



### INDEX OF DRAWINGS

INDEX OF DRAWINGS - Volume 1				
Sheet Number	Sheet Name	Full Set	Demo Set	Food Service Set
<b>GENERAL INFORMATION</b>				
G000	General Information	X	X	
G100	Code Review	X		
G101	Code Plan	X		

<b>ARCHITECTURAL DEMOLITION</b>				
AD100	Demolition Plan - Site	X	X	
AD101	Demolition - Floor Plan	X	X	
AD111	Demolition - Roof Plan	X	X	
AD151	Demolition Reflected Ceiling Plan	X	X	
AD191	Demolition Details	X	X	

<b>ARCHITECTURAL</b>				
A002	Accessibility Standards	X		
A030	Exterior Window Schedule, Types & Details	X		
A040	Interior Window Schedule, Types & Details	X		
A080	Door Types & Details	X		
A081	Door Schedule & Details	X		
A090	Interior Partition Types	X		
A100	Vertical Improvement Plan	X		
A100.1	Vertical Improvement Plan Details	X		
A101	Floor Plan	X		
A111	Roof Plan	X		
A112	Tile Roof Details	X		
A113	Foam Roof Details	X		
A151	Reflected Ceiling Plan	X		
A201	Exterior Elevations	X		
A202	Exterior Elevations	X		
A250	Enlarged Plans & Int. Elevations	X		
A251	Enlarged RCPS	X		
A252	Enlarged Plans & Details	X		
A253	Interior Elevations	X		
A254	Interior Elevations	X		
A301	Building Sections	X		
A302	Building Sections	X		
A310	Wall Sections	X		
A311	Wall Sections	X		
A501	Exterior Details	X		
A600	Casework Standards & Elevations	X		
A611	Millwork Details	X		
A701	Interior Details	X		
A801	Ceiling Details	X		

<b>ARCHITECTURAL FINISHES</b>				
AF001	Finish Legend & Details	X		
AF101	Finish Plan	X		

<b>LANDSCAPE</b>				
L101	Landscape Plan	X		
L201	Landscape Details	X		
L501	Irrigation Plan	X		
L501	Irrigation Details	X		
LC-01	Landscape Cover Sheet	X		
LS101	Inventory/Salvage Combo Plan	X	X	

<b>STRUCTURAL</b>				
S0.0	General Structural Notes	X	X	
S0.1	Special Inspection	X		
S0.2	Typical Structural Details	X		
S1.1	Foundation Plan	X		
S1.2	Floor Framing Plan	X		
S1.3	Roof Framing Plan	X		
S1.4	Ceiling Plan	X		

<b>MECHANICAL</b>				
M000	3D Mechanical BIM	X		
M001	Mechanical Specification and Legends	X		
M002	Mechanical Schedules & Controls	X		
M003	Mechanical Schedules & Controls	X		
M100	Mechanical Demolition Floor Plans	X	X	
M200	Mechanical Floor Plans	X		
M201	Mechanical Sections	X		
M202	Attic Coordination Section	X		
M300	Mechanical Details	X		
M301	Mechanical Details & OSA Calks	X		
M400	Mechanical COMCHECK	X		

<b>PLUMBING</b>				
P001	Plumbing Specification and Legends	X		
P002	Plumbing Schedules	X		
P100	Plumbing Demolition Floor Plan	X	X	

INDEX OF DRAWINGS - Volume 1				
Sheet Number	Sheet Name	Full Set	Demo Set	Food Service Set
P200	Plumbing Floor Plan	X		
P201	Plumbing Enlarged Plan	X		
P202	Plumbing Section	X		
P300	Plumbing Roof Plan	X		
P400	Plumbing Isometric	X		
P500	Plumbing Details	X		

<b>ELECTRICAL</b>				
E0.0	Electrical Cover Sheet	X		
E0.1	Electrical Legend	X		
E0.3	Lighting Specifications & Energy Calculations	X		
E0.4	Fire Alarm Riser Diagram	X		
E1.0	Electrical Site Demolition Plan	X	X	
E1.1	Electrical Site Plan	X		
E1.2	Photometric Site Plan	X		
E1.3	Site Lighting Calculations	X		
E2.0	Electrical Demo Plan	X	X	
E2.1	Power Plan	X		
E3.0	Lighting Plan	X		
E4.0	Fire Alarm Plan	X		
E6.0	One-Line Diagram and Schedules	X		
E7.0	Panel Schedules	X		
E7.1	Panel Schedules	X		
E8.0	Electrical Details	X		
E8.1	Electrical Details	X		
E8.2	Electrical Details	X		

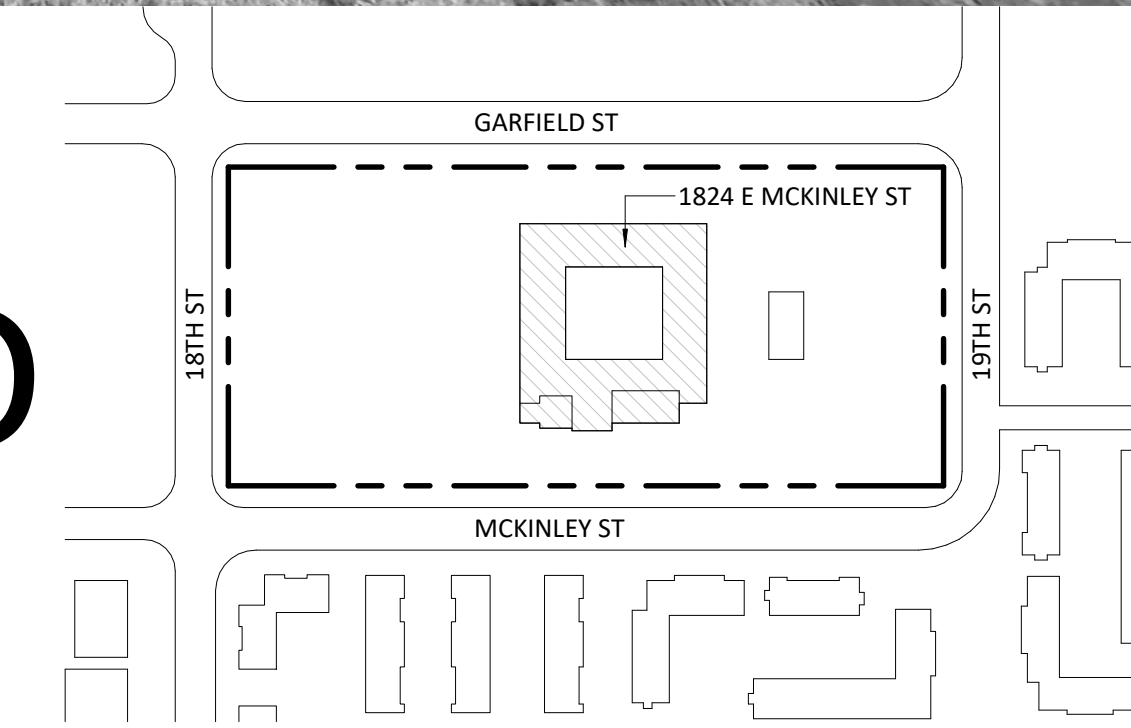
<b>CIVIL</b>				
C100	Cover Sheet	X		
C101	Notes	X		
C102	Demolition Plan	X	X	
C103	Overall Grading Plan - West	X		
C104	Overall Grading Plan - East	X		
C105	Grading Details	X		
C106	Driveway Detail	X		
C107	Cross Sections	X		
C108	Details	X		
C109	Retention Basin Plan	X		
C200	Onsite and Offsite Fire Line Plan Cover Sheet	X		
C301	Onsite and Offsite Fire Plan	X		
C300	Utility Cover Sheet	X		
C301	Utility Notes	X		
C302	Overall Utility - West	X		
C303	Overall Utility - East	X		
C400	SWMP Cover Sheet	X		
C401	Stormwater Management Plan	X		

<b>FOOD SERVICE</b>				
FS101	Food Service Equipment Floor Plan	X	X	
FS102	Food Service Equipment Plumbing	X	X	
	Rough-In	X		
FS103	Food Service Equipment Electrical	X	X	
	Rough-In	X		
FS104	Food Service Equipment Exhaust Plan	X	X	
FS401	Food Service Equipment Elevations	X	X	
FS501	Food Service Equipment Special Details	X	X	
FS502	Food Service Equipment Exhaust Hood Details	X	X	
FS503	Food Service Equipment Exhaust Hood Details	X	X	
FS601	Food Service Equipment Schedule	X	X	

# City of Phoenix Project AH20300003-1 EDISON IMPACT HUB ABATEMENT AND DEMOLITION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

## COVER SHEET



VICINITY MAP: NTS

**Titus Mathew** (May 22, 2023 07:41 PDT)

MAY 12, 2023

### Project Team:

owner: architect: historic preservation: structural engineer: civil engineer: mechanical engineer: landscape architect: food service:

**City of Phoenix**  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

**Gould Evans**  
4200 Pennsylvania Avenue  
Kansas City, MO 64111  
816.931.6655 voice  
www.goulddevans.com

**Ryden Architects**  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

**BDA design**  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

**Wilson & Company**  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.283.2701  
www.wilsonco.com

**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

**Floor Associates**  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

**Design-Tec Food Facilities**  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

City Approval  
KIVA # 23-2575  
SDEV # 2100269  
CS #11-31

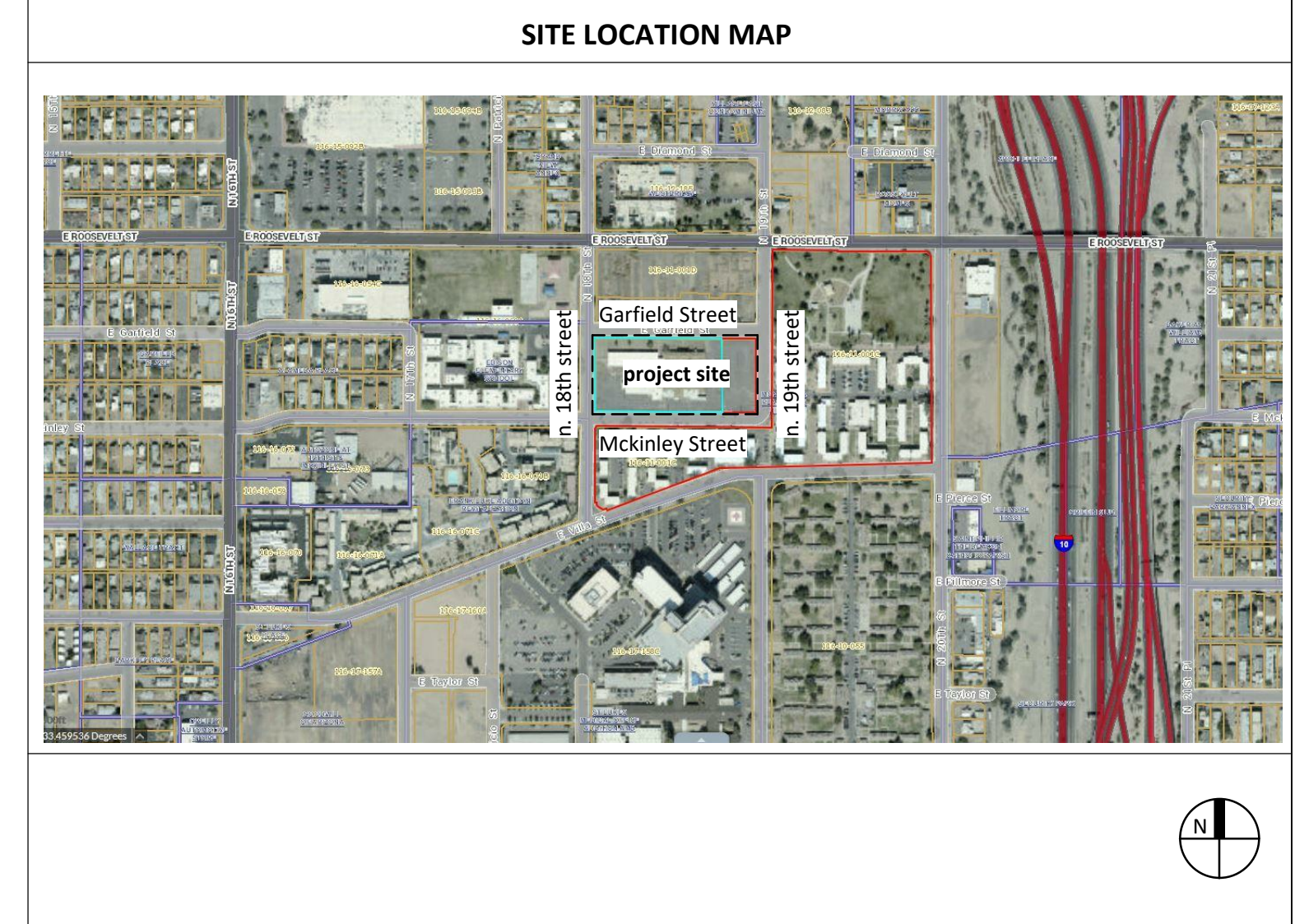
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## BID SET - DEMO PHASE

0520-0020



Main table containing project specifications, materials, and drawing notes. Columns include alphanumeric codes (A-Z, 1-18) and descriptive text for various building components and materials.

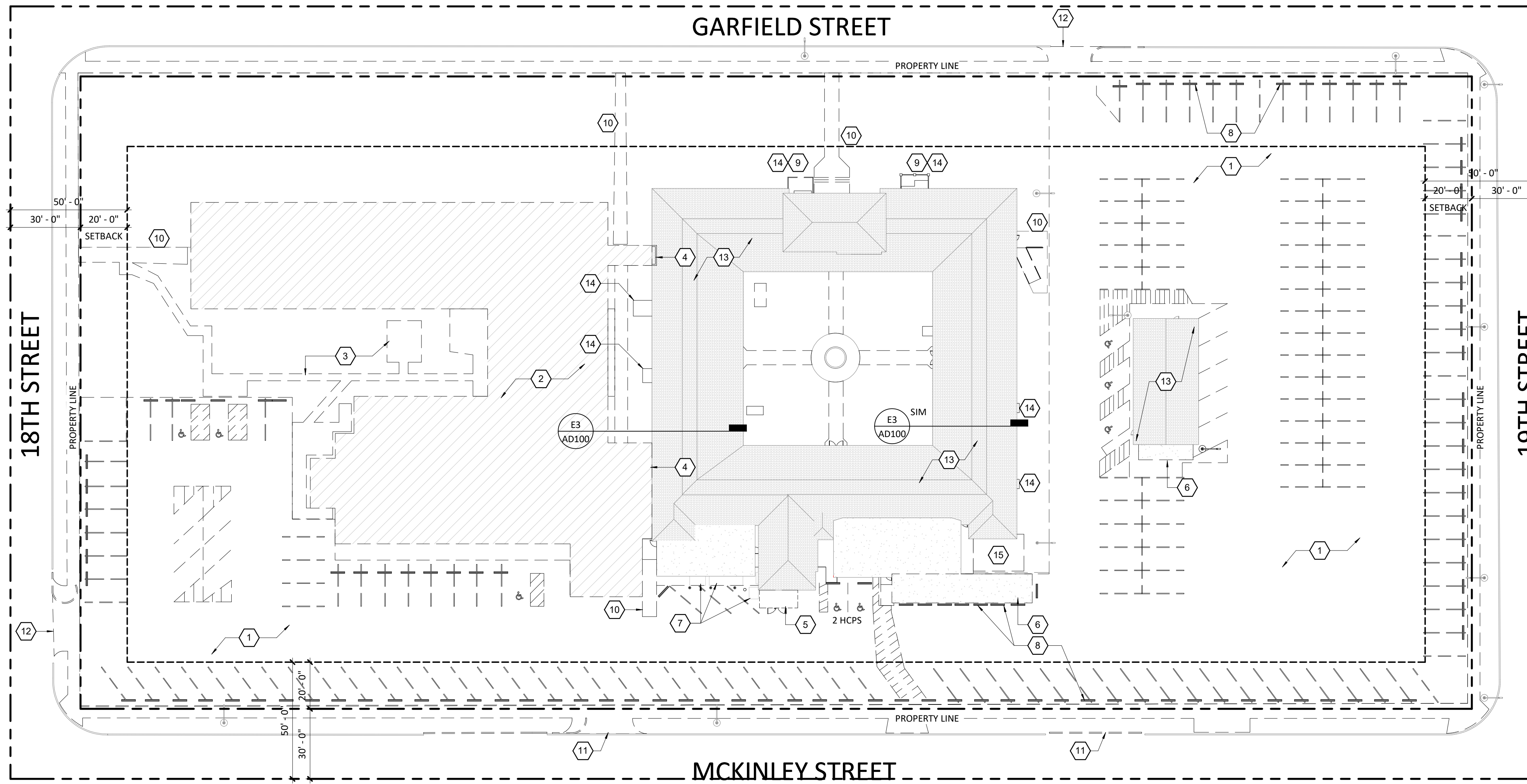


Materials Graphics and Graphic Symbols section. Includes categories like 02 SITE CONSTRUCTION, 03 CONCRETE, 04 MASONRY, 05 METALS, 06 WOODS AND PLASTICS, 07 THERMAL & MOISTURE PROTECTION, 08 GLAZING, and 09 FINISHES. Each category lists materials with corresponding graphical symbols.

- General Architectural Drawing Notes: 1. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. 2. ORGANIZATION OF THE SPECIFICATIONS INTO DIVISIONS, SECTIONS AND ARTICLES, AND ARRANGEMENT OF DRAWINGS SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE. 3. DRAWINGS, SPECIFICATIONS, GENERAL AND SUPPLEMENTARY CONDITIONS ARE ESSENTIAL PARTS OF THE CONTRACT...

Project information and branding. Includes 'gouldevans' logo, address '1824 E. MCKINLEY STREET PHOENIX, AZ 85006', contact details for Wilson & Company, and a 'REVISIONS' table with columns for Number, Description, and Date.

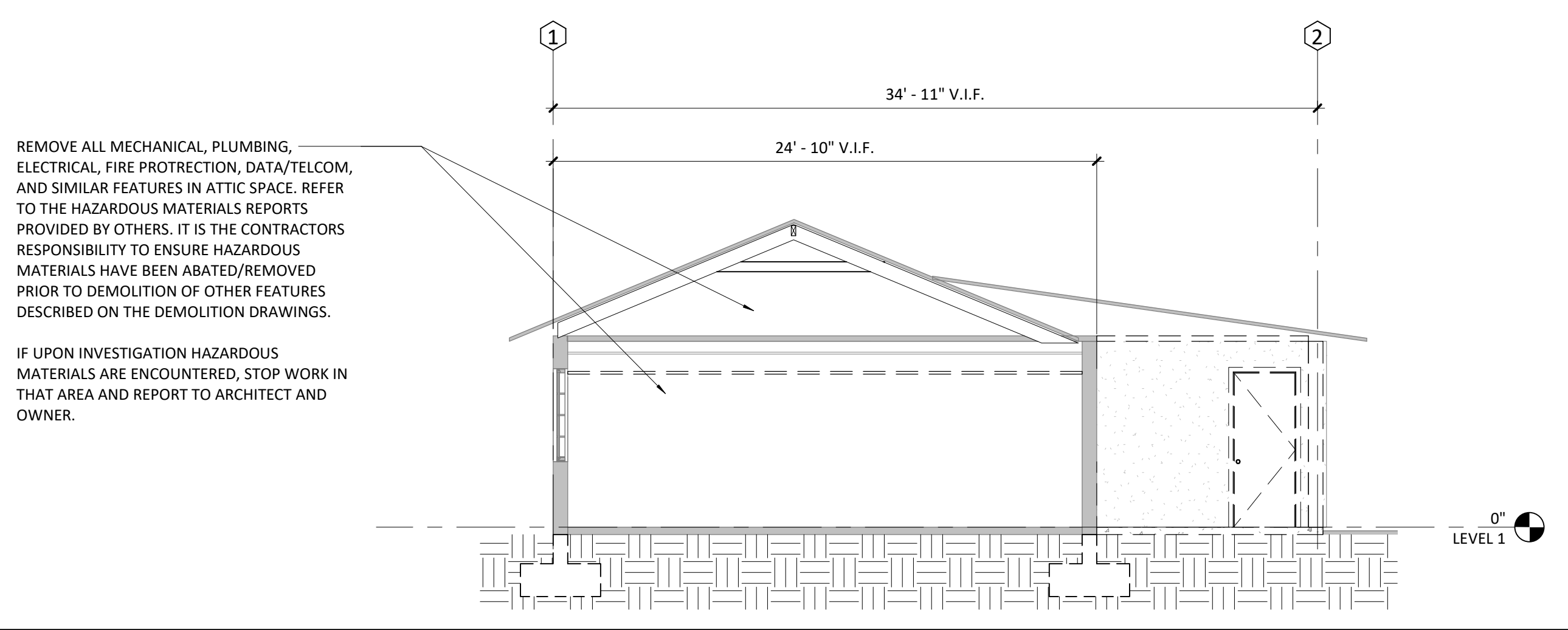




**SITE PLAN\_ DEMOLITION H3**  
1" = 30'-0"

**Demo Site Plan Keynotes**

1	DEMOLISH ASPHALT PAVING AND ASSOCIATED CURBS, PARKING BUMPERS AND LANDSCAPE
2	DEMOLISH WEST BUILDING ADDITION & ALL ASSOCIATED SYSTEMS/ CONDUITS/ UTILITIES, AS REQUIRED
3	DEMOLISH CONCRETE WALKS AND HARDSCAPING CONNECTED TO WEST ADDITION
4	DEMOLISH WEST BUILDING CONNECTION TO HISTORIC BUILDING
5	DEMOLISH NON-HISTORIC BUILDING ADDITION
6	DEMOLISH PARKING SHADE STRUCTURE
7	REMOVE EXISTING ELECTRICAL EQUIPMENT & ASSOCIATED CONDUITS
8	REMOVE AND SALVAGE WHEEL STOPS FOR FUTURE USE
9	DEMOLISH MECHANICAL EQUIPMENT AND EQUIPMENT ENCLOSURE
10	DEMOLISH CONCRETE WALK/STEPS AND CONCRETE RAMPS AND RAILING @ BUILDING ENTRY
11	DEMOLISH CONCRETE CURB @ NEW PARKING DRIVE LOCATION- REF. SITE PLAN
12	WIDEN EXISTING CURB CUT FOR PARKING DRIVE/ENTRY- REF. SITE PLAN
13	EXISTING BUILDING TO REMAIN. PROTECT IN PLACE FOR NEW RENOVATION WORK
14	DEMOLISH CONCRETE PAD
15	DEMOLISH EXISTING RAISED CONCRETE PAD AND RAMPED WALKWAY



**TYPICAL DEMO SECTION E3**  
3/16" = 1'-0"

**NOTE: HAZARDOUS MATERIALS**

HAZARDOUS MATERIALS HAVE BEEN DETECTED AT VARIOUS LOCATIONS AND ELEMENTS WITHIN THE EXISTING STRUCTURE, INCLUDING ELEMENTS PLANNED FOR REMOVAL OR DISTURBANCE, ACCORDING TO TESTING CONDUCTED BY THE OWNER'S CONSULTANT. WORK ASSOCIATED WITH HAZARDOUS MATERIALS IS OUTSIDE OF THE SCOPE OF THE ARCHITECT'S CONSTRUCTION DOCUMENTS (INCLUDING DEMO AND NEW CONSTRUCTION DRAWINGS AND SPECIFICATIONS BY GOULD EVANS AND THEIR CONSULTANTS). REFER TO "ASBESTOS AND LEAD PAINT ABATEMENT TECHNICAL SPECIFICATIONS" AND ANY ASSOCIATED DOCUMENTS AND INFORMATION PREPARED BY THE OWNERS ENVIRONMENTAL CONSULTANT, ADAMS AND WENDT.

COORDINATE WITH THE ABATEMENT CONTRACTORS AND ENSURE ALL HAZARDOUS MATERIALS HAVE BEEN PROPERLY ABATED PRIOR TO COMMENCING ANY WORK ASSOCIATED WITH THESE DEMOLITION/CONSTRUCTION DOCUMENTS.

ENVIRONMENTAL CONSULTANT:  
ADAMS AND WENDT  
INC. 461 NORTH GILBERT ROAD, MESA, ARIZONA 85203  
PHONE 480.924.7144

- General Notes (Demolition):**
- THIS DEMOLITION PLAN OUTLINES THE SCOPE OF THE WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL ALSO REFER TO THE DRAWINGS FOR THE CONSTRUCTION OF THE NEW ADDITION FOR ADDITIONAL INFORMATION.
  - EXISTING CONDITIONS INFORMATION WAS OBTAINED FROM DOCUMENTS AND INFORMATION SUPPLIED TO THE ARCHITECT. THE CONTRACTOR IS TO VERIFY EXACT LOCATIONS, SIZES, ELEVATIONS, ETC. AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
  - IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED STOP WORK IMMEDIATELY AND NOTIFY OWNER. DO NOT RESUME WORK UNTIL DIRECTED BY THE OWNER.
  - ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
  - REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN ON SITE, THE CONTRACTOR SHALL REPAIR THE DAMAGE.
  - CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO DEMOLITION ACTIVITIES.
  - CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION NOT TO BE REMOVED FROM DAMAGE AND SOILING DURING DEMOLITION. REMOVE DEBRIS REGULARLY AS NECESSARY TO ELIMINATED INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
  - CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND NOISE PROOF PARTITION BETWEEN CONSTRUCTION AREA AND ADJACENT PROPERTIES AS NECESSARY.
  - NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. THAT ARE TO BE REMOVED THAT ARE DEEMED SALVAGEABLE TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD CONDITION.
  - ALL DEMOLITION MATERIALS NOT CLAIMED BY THE OWNER, OR TO BE REUSED ARE TO BE DISPOSED OF OFF SITE AS PER LOCAL WASTE DISPOSAL REGULATIONS AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
  - MAINTAIN THE INTEGRITY OF ALL EXISTING RATED WALLS, FIRE SEAL ANY PENETRATIONS WITH U.L. APPROVED ASSEMBLY.
  - WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, DETERMINE THE NATURE AND EXTENT OF THE CONFLICT AND NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
  - PROTECT EXISTING SITE IMPROVEMENTS AND LANDSCAPING TO REMAIN. INCLUDING BUT NOT LIMITED TO EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN. PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL, OR EXCAVATED MATERIAL WITHIN DRIP LINES.
  - CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES AS NECESSARY TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AND AS REQUIRED BY THE CITY.
  - DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO GOVERNING AUTHORITIES.
  - WHEN UTILITY SERVICES ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE BYPASS CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICE BEFORE PROCEEDING WITH DEMOLITION.
  - CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT WITH ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THOSE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
  - CONTRACTOR TO PATCH/REPAIR ALL HOLES IN WALLS, FLOORS, &/ OR CEILINGS, AS REQUIRED. PAINT TO MATCH ADJACENT WALL/CEILING.
  - CONTRACTOR TO RE-LOCATE UTILITIES & EQUIPMENT AS REQUIRED TO ACCOMMODATE NEW HVAC, ELECTRICAL & PLUMBING REQUIREMENTS FOR NEW RENOVATION WORK.
  - REFER TO DEMOLITION PLUMBING PLANS FOR EXTENT OF CONCRETE SLAB TO BE REMOVED AND REPLACED FOR UNDER FLOOR PIPING INSTALLATION.
  - FILL ALL EXISTING FLOOR AND WALL PENETRATIONS RESULTING FROM PIPING AND CONDUIT REMOVAL WITH NON-SHRINK GROUT, READY TO RECEIVE FINAL FLOOR OR WALL FINISH.
  - EXISTING WALLS (OR PORTIONS OF WALLS) TO BE REMOVED SHALL BE CUT FLUSH WHERE INTERSECTING WITH WALLS TO REMAIN. REMAINING WALLS TO BE PATCHED AND FINISHED SMOOTH.
  - REPAIR FLOOR AS REQUIRED TO ACHIEVE A FLUSH CONDITION.
  - NEW OPENING TO BE CUT IN EXISTING WALLS SHALL BE SAW-CUT AT LOCATIONS INDICATED TO THE HEIGHT AND WIDTH INDICATED. NEW LITELS SHALL BE INSTALLED TO SUPPORT EXISTING WALL CONSTRUCTION ABOVE AS INDICATED ON THE DRAWINGS, OR IF NOT INDICATED, AS REQUIRED FOR NEW WALL CONSTRUCTION PER STRUCTURAL DRAWINGS.
  - WHERE EXISTING INTERIOR WALLS ARE REPLACED OR REMOVED, REMOVE MEP SYSTEMS BACK TO PANEL OR MECHANICAL ROOM OR FARTHEST POSSIBLE POINT WITHOUT DISTURBING EXISTING STRUCTURE. REMOVE EXISTING MECHANICAL EQUIPMENT, RELOCATE POWER PER MEP DRAWINGS.
  - REFER TO MEP DRAWINGS FOR DEMOLITION OF MEP SYSTEMS TO IDENTIFY WORK REQUIRED BY THIS CONTRACTOR WHICH MAY AFFECT DEMOLITION AND/OR REPAIRS OF ARCHITECTURAL ELEMENTS. COORDINATE WITH RELATED SUBS THE EXTENT OF ALL DEMOLITION WORK.
  - PATCH FLOORS, WALLS CEILINGS WHICH REMAIN AT LOCATIONS WHERE PIPES, CONDUITS, ETC. ARE REMOVED AS REQUIRED TO MATCH EXISTING CONDITIONS OR FOR NEW FINISHES.
  - WHERE EXISTING FINISH FLOOR IS REMOVED, PREPARE SURFACE TO RECEIVE NEW FLOORING.
  - REMOVE ANY EXISTING VINYL MATERIAL IN ACCORDANCE WITH EPA STANDARDS, NOTIFY ARCHITECT & OWNER OF ANY ADDITIONAL ASBESTOS CONTAINING MATERIALS DISCOVERED BEFORE PROCEEDING WITH WORK. PROTECT INTERIOR CONSTRUCTION TO REMAIN DURING DEMOLITION AND CONSTRUCTION.

**gouldevans**

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**EDISON  
IMPACT HUB**

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
420 W. Washington Street  
Phoenix, AZ 85003  
602.263.2611  
www.phoenix.gov

civil engineer:  
Wilson & Company  
420 W. Washington Street  
Phoenix, AZ 85003  
602.263.2703  
www.wilsonco.com

architect:  
Gould Evans  
4200 Pennsylvania Avenue  
Garden City, MO 64113  
816.931.6655 voice  
www.gould-evans.com

mechanical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

historic preservation:  
Bylan Architects  
903 W. McDowell Road  
Phoenix, AZ 85007  
602.251.5381  
www.bylanarchitects.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

structural engineer:  
RDA design  
1801 N. Greenway Plaza #750  
Scottsdale, AZ 85254  
480.388.7739  
www.rdadesign.com

food service:  
Design-Tec Food Facilities  
8246 N. 15th Street  
Phoenix, AZ 85020  
602.379.0222

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.

**REVISIONS**

Number	DESCRIPTION	DATE
4	Phase 1 Demo Scope Revision	09/12/2023

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

Demolition Plan - Site  
**AD100**  
BID SET - DEMO PHASE



**EDISON  
IMPACT HUB**

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.263.6011  
www.phoenix.gov

architect:  
Gould Evans  
4300 Pennsylvania Avenue  
Kansas City, MO 64111  
816.931.6655 voice  
www.gould-evans.com

mechanical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

historical preservation:  
Ryden Architects  
903 W. McDowell Road  
Phoenix, AZ 85007  
www.rydenarchitects.com

structural engineer:  
RDA design  
1501 E. Greenway Plaza #750  
Scottsdale, AZ 85254  
480.388.7739  
www.rdadesign.com

landscape architect:  
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Phoenix, AZ 85004  
602.462.1475  
www.floorassociates.com

food service:  
Design-Tec Food Facilities  
8166 N. 15th Street  
Scottsdale, AZ 85254  
480.279.0222

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- THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- MAINTAIN THE INTEGRITY OF ALL EXISTING RATED WALLS, FIRE SEAL ANY PENETRATIONS WITH U.L. APPROVED ASSEMBLY.
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- PROTECT EXISTING SITE IMPROVEMENTS AND LANDSCAPING TO REMAIN. INCLUDING BUT NOT LIMITED TO EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
- CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES AS NECESSARY TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AND AS REQUIRED BY THE CITY.
- DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO GOVERNING AUTHORITIES.
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- REPAIR FLOOR AS REQUIRED TO ACHIEVE A FLUSH CONDITION.
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- REFER TO MEP DRAWINGS FOR DEMOLITION OF MEP SYSTEMS TO IDENTIFY WORK REQUIRED BY THIS CONTRACTOR WHICH MAY AFFECT DEMOLITION AND/OR REPAIRS OF ARCHITECTURAL ELEMENTS. COORDINATE WITH RELATED SUBS THE EXTENT OF ALL DEMOLITION WORK.
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- WHERE EXISTING FINISH FLOOR IS REMOVED, PREPARE SURFACE TO RECEIVE NEW FLOORING.
- REMOVE ANY EXISTING VINYL MATERIALS IN ACCORDANCE WITH EPA STANDARDS, NOTIFY ARCHITECT & OWNER OF ANY ADDITIONAL ASBESTOS CONTAINING MATERIALS DISCOVERED BEFORE PROCEEDING WITH WORK. PROTECT INTERIOR CONSTRUCTION TO REMAIN DURING DEMOLITION AND CONSTRUCTION.

**DEMO FLOOR PLAN- LEVEL 2 K3**  
1/8" = 1'-0"

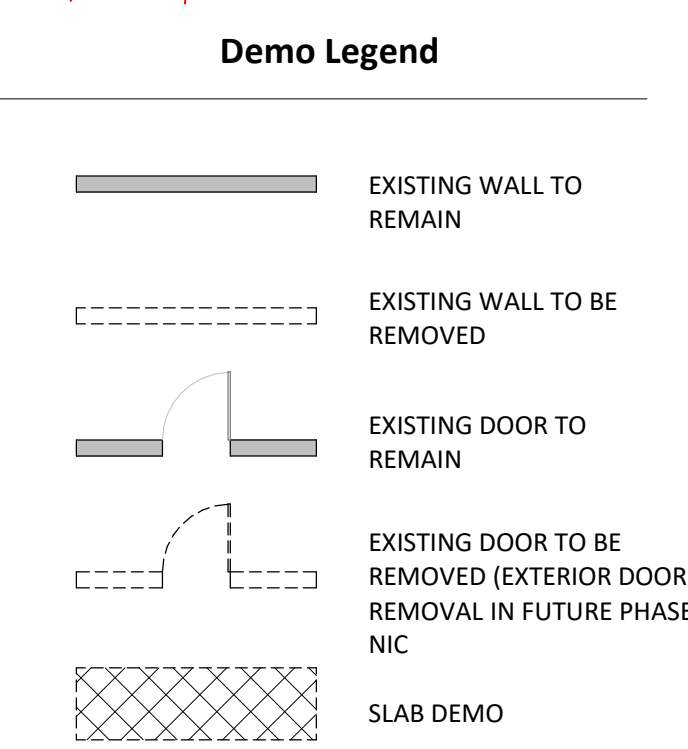
**DEMO FLOOR PLAN BASEMENT H3**  
1/8" = 1'-0"

**Demo Floor Plan Keynotes**

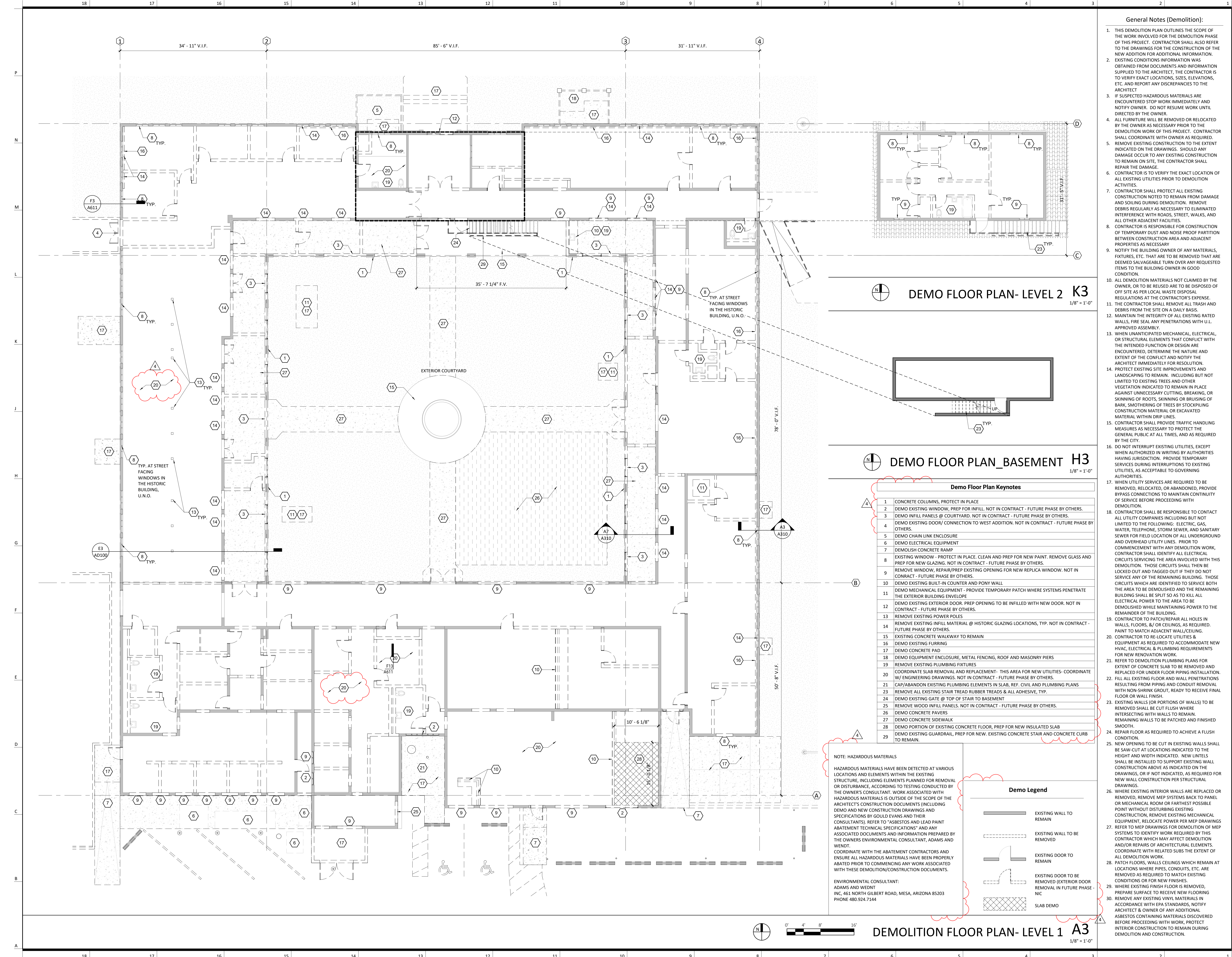
1	CONCRETE COLUMNS, PROTECT IN PLACE
2	DEMO EXISTING WINDOW, PREP FOR INFILL, NOT IN CONTRACT - FUTURE PHASE BY OTHERS.
3	DEMO INFILL PANELS @ COURTYARD, NOT IN CONTRACT - FUTURE PHASE BY OTHERS.
4	DEMO EXISTING DOOR CONNECTION TO WEST ADDITION, NOT IN CONTRACT - FUTURE PHASE BY OTHERS.
5	DEMO CHAIN LINK ENCLOSURE
6	DEMO ELECTRICAL EQUIPMENT
7	DEMOLISH CONCRETE RAMP
8	EXISTING WINDOW - PROTECT IN PLACE. CLEAN AND PREP FOR NEW PAINT. REMOVE GLASS AND PREP FOR NEW GLAZING. NOT IN CONTRACT - FUTURE PHASE BY OTHERS.
9	REMOVE WINDOW, REPAIR/PREP EXISTING OPENING FOR NEW REPLICA WINDOW. NOT IN CONTRACT - FUTURE PHASE BY OTHERS.
10	DEMO EXISTING BUILT-IN COUNTER AND PONY WALL
11	DEMO MECHANICAL EQUIPMENT - PROVIDE TEMPORARY PATCH WHERE SYSTEMS PENETRATE THE EXTERIOR BUILDING ENVELOPE
12	DEMO EXISTING EXTERIOR DOOR. PREP OPENING TO BE INFILLED WITH NEW DOOR. NOT IN CONTRACT - FUTURE PHASE BY OTHERS.
13	REMOVE EXISTING POWER POLES
14	REMOVE EXISTING INFILL MATERIAL @ HISTORIC GLAZING LOCATIONS, TYP. NOT IN CONTRACT - FUTURE PHASE BY OTHERS.
15	EXISTING CONCRETE WALKWAY TO REMAIN
16	DEMO EXISTING FURRING
17	DEMO CONCRETE PAD
18	DEMO EQUIPMENT ENCLOSURE, METAL FENCING, ROOF AND MASONRY PIERS
19	REMOVE EXISTING PLUMBING FIXTURES
20	COORDINATE SLAB REMOVAL AND REPLACEMENT- THIS AREA FOR NEW UTILITIES- COORDINATE W/ ENGINEERING DRAWINGS. NOT IN CONTRACT - FUTURE PHASE BY OTHERS.
21	CAP/ABANDON EXISTING PLUMBING ELEMENTS IN SLAB. REF. CIVIL AND PLUMBING PLANS
23	REMOVE ALL EXISTING STAIR TREAD RUBBER TREADS & ALL ADHESIVE, TYP.
24	DEMO EXISTING GATE @ TOP OF STAIR TO BASEMENT
25	REMOVE WOOD INFILL PANELS. NOT IN CONTRACT - FUTURE PHASE BY OTHERS.
26	DEMO CONCRETE PAVERS
27	DEMO CONCRETE SIDEWALK
28	DEMO PORTION OF EXISTING CONCRETE FLOOR, PREP FOR NEW INSULATED SLAB
29	DEMO EXISTING GUARDRAIL, PREP FOR NEW EXISTING CONCRETE STAIR AND CONCRETE CURB TO REMAIN.

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ENVIRONMENTAL CONSULTANT:  
ADAMS AND WEDNT  
INC, 461 NORTH GILBERT ROAD, MESA, ARIZONA 85203  
PHONE 480.924.7144



**DEMOLITION FLOOR PLAN- LEVEL 1 A3**  
1/8" = 1'-0"



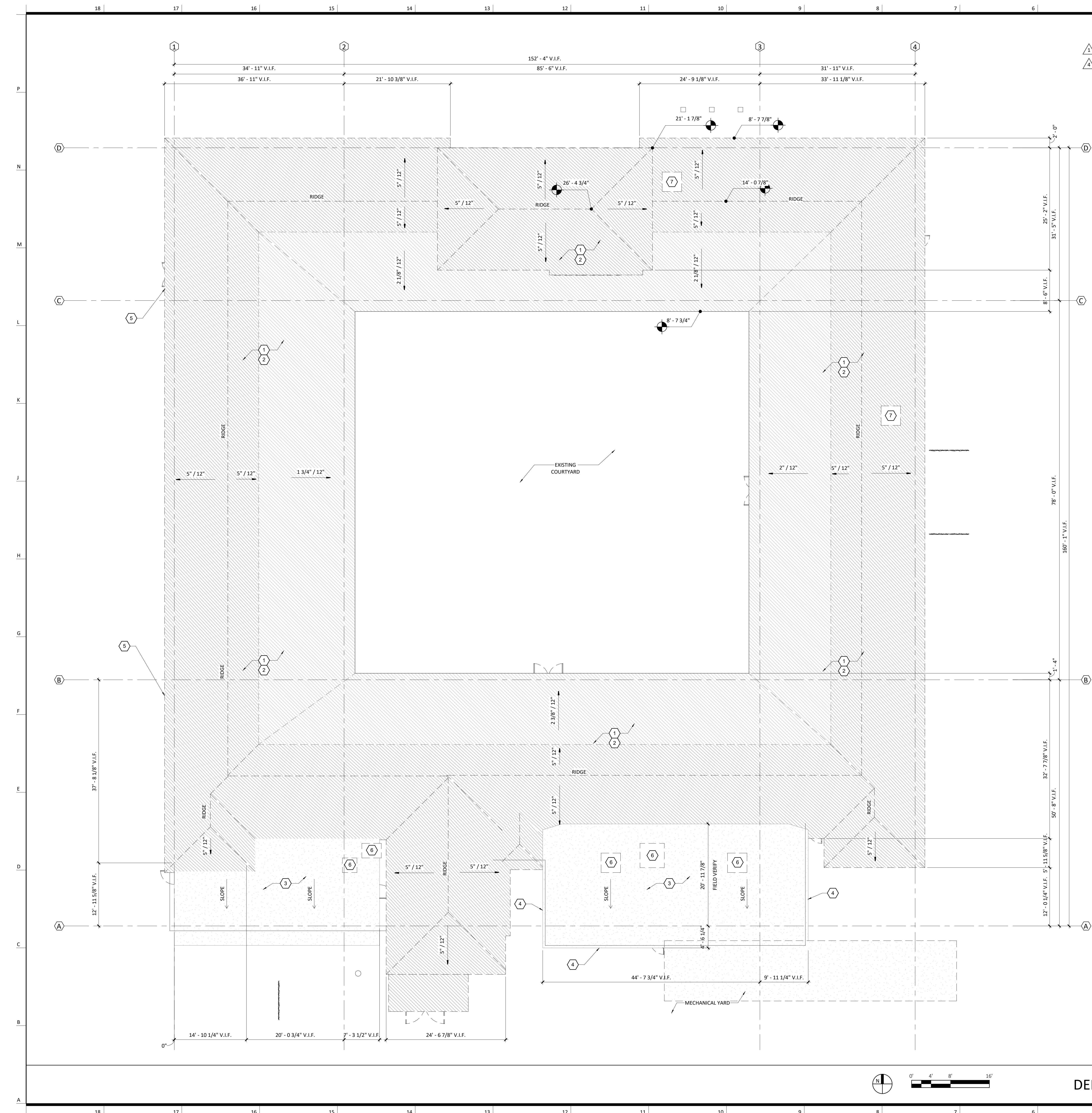
PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

Demolition - Floor Plan

**AD101**

BID SET - DEMO PHASE





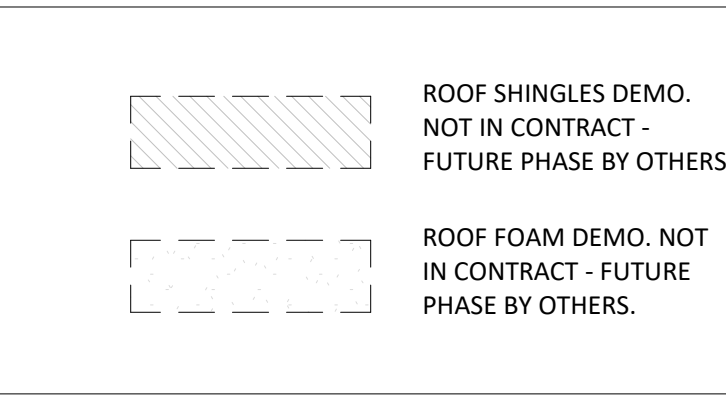
**Demo Roof Plan Keynotes**

- 1 DEMO EXISTING ASPHALT SHINGLE ROOF SYSTEM DOWN TO WOOD ROOF PLANKS. DEMO AND REPLACE ANY PLANK THAT IS COMPROMISED OR DAMAGED WITH NEW MEMBERS TO MATCH EXISTING. REFER TO STRUCTURAL DETAIL 9 ON S0.2 FOR HAULING ATTACHMENT. ANY EXISTING PENETRATIONS NOT NEEDED FOR NEW CONSTRUCTION SHALL BE DEMOLISHED AND PATCHED WITH NEW SHEATHING TO MATCH EXISTING. NOT IN CONTRACT - FUTURE PHASE BY OTHERS.
- 2 DEMO ALL PIPE PENETRATIONS, GUTTER SYSTEMS, AND ROOF JACKS. PROVIDE TEMPORARY PATCH. DEMO EXISTING FOAM ROOF SYSTEM DOWN TO ROOF SHEATHING INCLUDING DRIP EDGE FLASHING. DEMO AND REPLACE ANY SHEATHING THAT IS COMPROMISED OR DAMAGED WITH NEW SHEATHING TO MATCH EXISTING. ANY EXISTING PENETRATIONS NOT NEEDED FOR NEW CONSTRUCTION SHALL BE DEMOLISHED AND CLOSED WITH NEW SHEATHING TO MATCH EXISTING. NOT IN CONTRACT - FUTURE PHASE BY OTHERS.
- 3 EXISTING METAL PANEL FASCIA TO REMAIN. PROTECT IN PLACE AND PREP FOR NEW PAINT. REF SPEC.
- 4 UTILIZE SELECTIVE DEMO PROCESSES IN THIS AREA TO ALLOW NEW CONSTRUCTION ELEMENTS SUCH AS RAFTERS AND FASCIA TO BE EASIER TO INTERFACE. NOT IN CONTRACT - FUTURE PHASE BY OTHERS.
- 5 ALL EXISTING ROOF EQUIPMENT TO BE REMOVED. PROVIDE TEMPORARY PATCH.
- 6 DEMO EXISTING ROOF CURB. INFILL DECK PER STRUCTURAL DRAWINGS. NOT IN CONTRACT - FUTURE PHASE BY OTHERS.
- 7

**General Notes (Demolition):**

1. THIS DEMOLITION PLAN OUTLINES THE SCOPE OF THE WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL ALSO REFER TO THE DRAWINGS FOR THE CONSTRUCTION OF THE NEW ADDITION FOR ADDITIONAL INFORMATION.
2. EXISTING CONDITIONS INFORMATION WAS OBTAINED FROM DOCUMENTS AND INFORMATION SUPPLIED TO THE ARCHITECT. THE CONTRACTOR IS TO VERIFY EXACT LOCATIONS, SIZES, ELEVATIONS, ETC. AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
3. IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED STOP WORK IMMEDIATELY AND NOTIFY OWNER. DO NOT RESUME WORK UNTIL DIRECTED BY THE OWNER.
4. ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
5. REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN ON SITE, THE CONTRACTOR SHALL REPAIR THE DAMAGE.
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7. CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION NOTED TO REMAIN FROM DAMAGE AND SOILING DURING DEMOLITION. REMOVE DEBRIS REGULARLY AS NECESSARY TO ELIMINATE INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
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**Roof Demo Legend**



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 ENVIRONMENTAL CONSULTANT:  
 ADAMS AND WENT  
 INC, 461 NORTH GILBERT ROAD, MESA, ARIZONA 85203  
 PHONE 480.924.7144

**EDISON  
IMPACT HUB**

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.263.8011  
www.phoenix.gov

civil engineer:  
Wilson & Company  
420 S. 44th Street Suite 400  
Phoenix, AZ 85008  
602.283.2763  
www.wilsonco.com

architect:  
Gould Evans  
4200 Pennsylvania Avenue  
Tempe, AZ 85281  
480.968.3070  
www.gould-evans.com

mechanical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

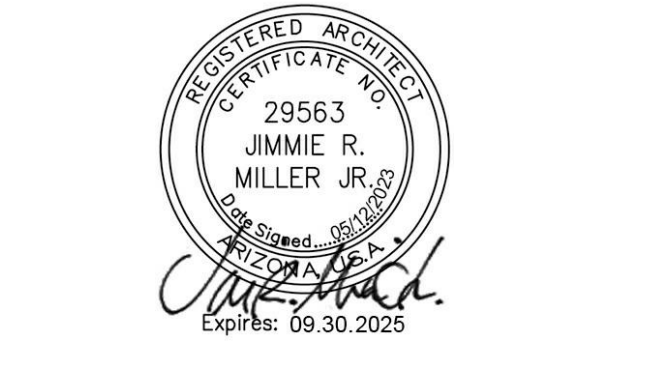
historic preservation:  
Rylen Architects  
903 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rylenarchitects.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

structural engineer:  
RDA design  
1501 N. Greenway Plaza #750  
Scottsdale, AZ 85254  
480.288.7729  
www.rdadesign.com

food service:  
Design-Tec Food Facilities  
8346 N. 15th Street  
Phoenix, AZ 85024  
602.279.0222

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REVISIONS		
Number	DESCRIPTION	DATE
1	Delta 1 - COP 1st Review Comments	02/12/2023
4	Phase 1 Demo Scope Revision	02/12/2023

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

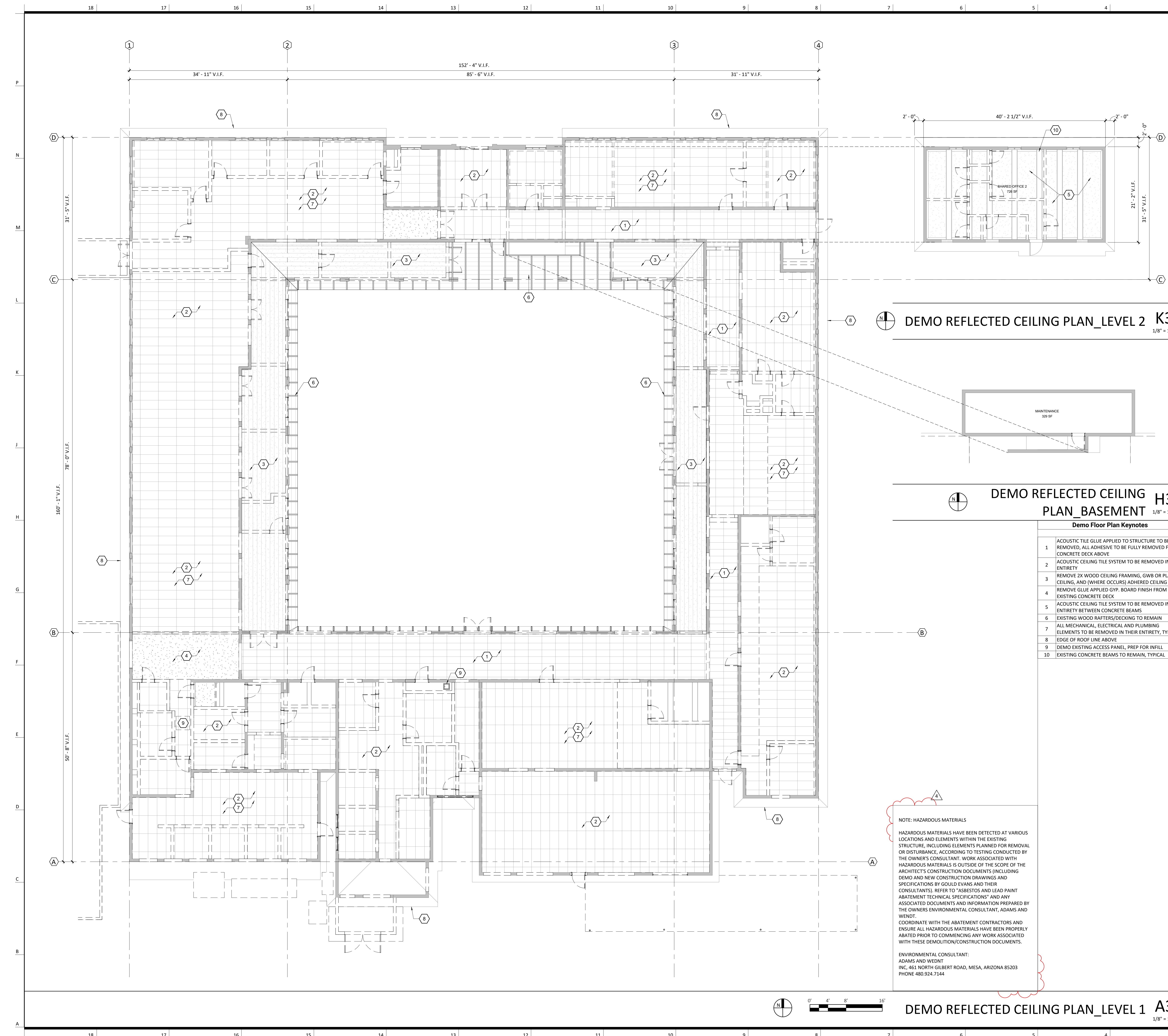
**Demolition - Roof Plan**

**AD111**

BID SET - DEMO PHASE

**DEMOLITION ROOF PLAN A3**  
1/8" = 1'-0"





DEMO REFLECTED CEILING PLAN\_LEVEL 2 K3  
1/8" = 1'-0"

DEMO REFLECTED CEILING H3  
PLAN\_BASEMENT 1/8" = 1'-0"

**Demo Floor Plan Keynotes**

1	ACOUSTIC TILE GLUE APPLIED TO STRUCTURE TO BE REMOVED. ALL ADHESIVE TO BE FULLY REMOVED FROM CONCRETE DECK ABOVE
2	ACOUSTIC CEILING TILE SYSTEM TO BE REMOVED IN ITS ENTIRETY
3	REMOVE 2x WOOD CEILING FRAMING, GWB OR PLASTER CEILING, AND (WHERE OCCURS) ADHERED CEILING TILE
4	REMOVE GLUE APPLIED GYP. BOARD FINISH FROM EXISTING CONCRETE DECK
5	ACOUSTIC CEILING TILE SYSTEM TO BE REMOVED IN ITS ENTIRETY BETWEEN CONCRETE BEAMS
6	EXISTING WOOD RAFTERS/DECKING TO REMAIN
7	ALL MECHANICAL, ELECTRICAL AND PLUMBING ELEMENTS TO BE REMOVED IN THEIR ENTIRETY, TYP.
8	EDGE OF ROOF LINE ABOVE
9	DEMO EXISTING ACCESS PANEL, PREP FOR INFILL
10	EXISTING CONCRETE BEAMS TO REMAIN, TYPICAL

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DEMO REFLECTED CEILING PLAN\_LEVEL 1 A3  
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  - DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO GOVERNING AUTHORITIES.
  - WHEN UTILITY SERVICES ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE BYPASS CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICE BEFORE PROCEEDING WITH DEMOLITION.
  - CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT WITH ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THOSE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
  - CONTRACTOR TO PATCH/REPAIR ALL HOLES IN WALLS, FLOORS, &/ OR CEILINGS, AS REQUIRED. PAINT TO MATCH ADJACENT WALLS/CEILING.
  - CONTRACTOR TO RE-LOCATE UTILITIES & EQUIPMENT AS REQUIRED TO ACCOMMODATE NEW HVAC, ELECTRICAL & PLUMBING REQUIREMENTS FOR NEW RENOVATION WORK.
  - REFER TO DEMOLITION PLUMBING PLANS FOR EXTENT OF CONCRETE SLAB TO BE REMOVED AND REPLACED FOR UNDER FLOOR PIPING INSTALLATION.
  - FILL ALL EXISTING FLOOR AND WALL PENETRATIONS RESULTING FROM PIPING AND CONDUIT REMOVAL WITH NON-SHRINK GROUT, READY TO RECEIVE FINAL FLOOR OR WALL FINISH.
  - EXISTING WALLS (OR PORTIONS OF WALLS) TO BE REMOVED SHALL BE CUT FLUSH WHERE INTERSECTING WITH WALLS TO REMAIN. REMAINING WALLS TO BE PATCHED AND FINISHED SMOOTH.
  - REPAIR FLOOR AS REQUIRED TO ACHIEVE A FLUSH CONDITION.
  - NEW OPENING TO BE CUT IN EXISTING WALLS SHALL BE SAW-CUT AT LOCATIONS INDICATED TO THE HEIGHT AND WIDTH INDICATED. NEW LITELS SHALL BE INSTALLED TO SUPPORT EXISTING WALL CONSTRUCTION ABOVE AS INDICATED ON THE DRAWINGS, OR IF NOT INDICATED, AS REQUIRED FOR NEW WALL CONSTRUCTION PER STRUCTURAL DRAWINGS.
  - WHERE EXISTING INTERIOR WALLS ARE REPLACED OR REMOVED, REMOVE MEP SYSTEMS BACK TO PANEL OR MECHANICAL ROOM OR FARTHEST POSSIBLE POINT WITHOUT DISTURBING EXISTING CONSTRUCTION. REMOVE EXISTING MECHANICAL EQUIPMENT. RELOCATE POWER PER MEP DRAWINGS
  - REFER TO MEP DRAWINGS FOR DEMOLITION OF MEP SYSTEMS TO IDENTIFY WORK REQUIRED BY THIS CONTRACTOR WHICH MAY AFFECT DEMOLITION AND/OR REPAIRS OF ARCHITECTURAL ELEMENTS. COORDINATE WITH RELATED SUBS THE EXTENT OF ALL DEMOLITION WORK.
  - PATCH FLOORS, WALLS CEILINGS WHICH REMAIN AT LOCATIONS WHERE PIPES, CONDUITS, ETC. ARE REMOVED AS REQUIRED TO MATCH EXISTING CONDITIONS OR FOR NEW FINISHES.
  - WHERE EXISTING FINISH FLOOR IS REMOVED, PREPARE SURFACE TO RECEIVE NEW FLOORING
  - REMOVE ANY EXISTING VINYL MATERIALS IN ACCORDANCE WITH EPA STANDARDS, NOTIFY ARCHITECT & OWNER OF ANY ADDITIONAL ASBESTOS CONTAINING MATERIALS DISCOVERED BEFORE PROCEEDING WITH WORK. PROTECT INTERIOR CONSTRUCTION TO REMAIN DURING DEMOLITION AND CONSTRUCTION.

**gouldevans**

kansas city • lawrence • new orleans  
phoenix • san francisco

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**EDISON  
IMPACT HUB**

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.263.6011  
www.phoenix.gov

civil engineer:  
Wilson & Company  
420 N. Washington Street  
Phoenix, AZ 85008  
602.263.2703  
www.wilsonco.com

architect:  
Gould Evans  
4200 Pennsylvania Avenue  
Garden City, MO 64113  
916.951.6655 voice  
www.gouldevans.com

mechanical engineer:  
Applied Hub  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

historic preservation:  
Ryden Architects  
903 W. McDowell Road  
Phoenix, AZ 85007  
602.251.5381  
www.rydenarchitects.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

structural engineer:  
RDA design  
1901 E. Greenway Plaza #750  
Scottsdale, AZ 85254  
480.388.7729  
www.rdadesign.com

food service:  
Design-Tec Food Facilities  
8106 N. 19th Street  
Phoenix, AZ 85020  
602.379.0222

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**REVISIONS**

Number	DESCRIPTION	DATE
4	Phase 1 Demo Scope Revision	09/12/2023

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

Demolition Reflected Ceiling Plan  
**AD151**  
BID SET - DEMO PHASE



**EDISON  
IMPACT HUB**

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner: <b>City of Phoenix</b> 400 W. Washington Street Phoenix, AZ 85003 602.263.6011 www.phoenix.gov	civil engineer: <b>Wilson &amp; Company</b> 420 N. Washington Street Phoenix, AZ 85008 602.263.2703 www.wilsonco.com
architect: <b>Gould Evans</b> 4200 Pennsylvania Avenue Kansas City, MO 64113 816.931.6655 voice www.gouldeng.com	mechanical engineer: <b>Applied Engineering</b> 2800 S. Rural Road #101 Tempe, AZ 85282 480.968.3070 www.appliedengineering.com
historic preservation: <b>Ryden Architects</b> 303 W. McDowell Road Phoenix, AZ 85007 602.251.5181 www.rydenarchitects.com	landscape architect: <b>Floor Associates</b> 1425 N. 1st Street #1607 Phoenix, AZ 85004 602.462.1425 www.floorassociates.com
structural engineer: <b>RDA design</b> 8160 N. 15th Street Scottsdale, AZ 85254 480.388.7739 www.rdadesign.com	food service: <b>Design-Tec Food Facilities</b> 8160 N. 15th Street Phoenix, AZ 85020 602.279.0222

NOTE: PHOTOGRAPHS OF EXISTING CONDITIONS ARE PROVIDED TO HIGHLIGHT CERTAIN ELEMENTS AND SERVE AS A SUPPLEMENT TO OTHER DRAWINGS IN THIS SET. NOT ALL ELEMENTS REQUIRING DEMOLITION ARE NOTED. REFER TO ALL DRAWINGS AND SPECS FOR FULL DEMO SCOPE.

**Demo Floor Plan Keynotes**

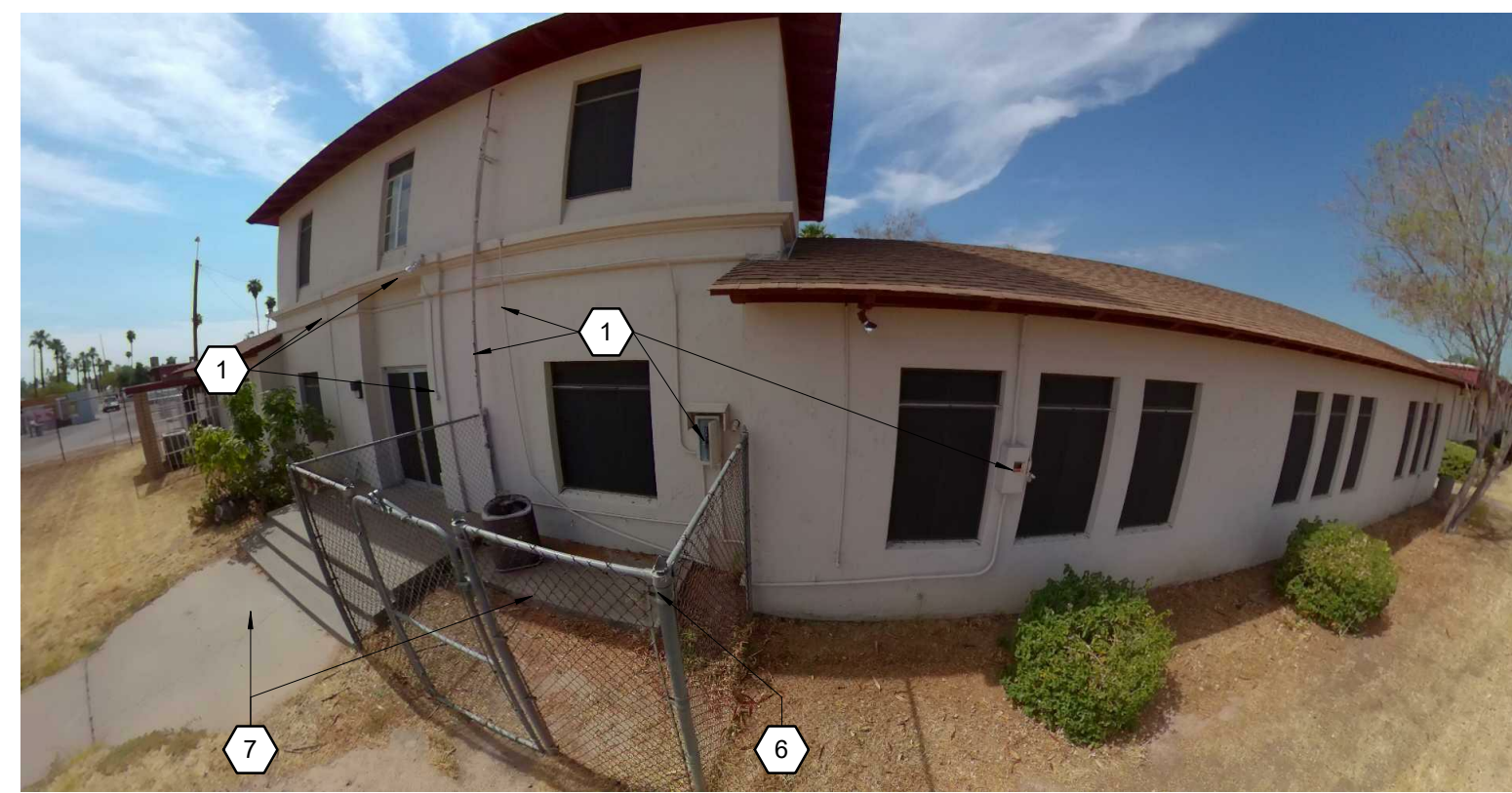
REMOVE THE FOLLOWING:

- 1 REMOVE ELEMENT ON WALL OR EAVE. PATCH/REPAIR AS REQUIRED TO ACHIEVE A SMOOTH, UNIFORM SURFACE. COORDINATE REMOVAL OF MEP UTILITIES WITH MEP DEMO DRAWINGS AND SPECS AND SUBCONTRACTORS.
- 2 WINDOW DEMOLITION SCOPE AT STREET FACING HISTORIC WINDOWS; REFER TO OWNER'S HAZARDOUS MATERIALS REPORT. ABATE LEAD PAINT AS REQUIRED. REMOVE WINDOW SCREEN, GLAZING, REMOVE PAINT FINISH/COATINGS DOWN TO METAL FRAME. NOT IN CONTRACT - FUTURE PHASE BY OTHERS
- 3 WINDOW DEMOLITION SCOPE AT OTHER WINDOWS; REMOVE WINDOW IN ITS ENTIRETY, INCLUDING GLAZING, FRAMES, SCREENS, ETC. NOT IN CONTRACT - FUTURE PHASE BY OTHERS
- 4 DOOR AND FRAME. NOT IN CONTRACT - FUTURE PHASE BY OTHERS
- 5 RAILING
- 6 STRUCTURE; BUILDING, CANOPY, ETC
- 7 SITE FEATURE; RAMP, CURB, PAVING, ETC.
- 9 MEP EQUIPMENT: COORDINATE REMOVAL OF MEP UTILITIES WITH MEP DEMO DRAWINGS AND SPECS AND SUBCONTRACTORS. REMOVE ALL ASSOCIATED CONSTRUCTIONS, EQUIPMENT PADS, ETC.
- 10 REMOVE WINDOW, REPAIR/PREP EXISTING OPENING FOR NEW REPLICA WINDOW. NOT IN CONTRACT - FUTURE PHASE BY OTHERS

**Hatch Demo Legend**



Structure Demolition



M18 NORTH EXTERIOR



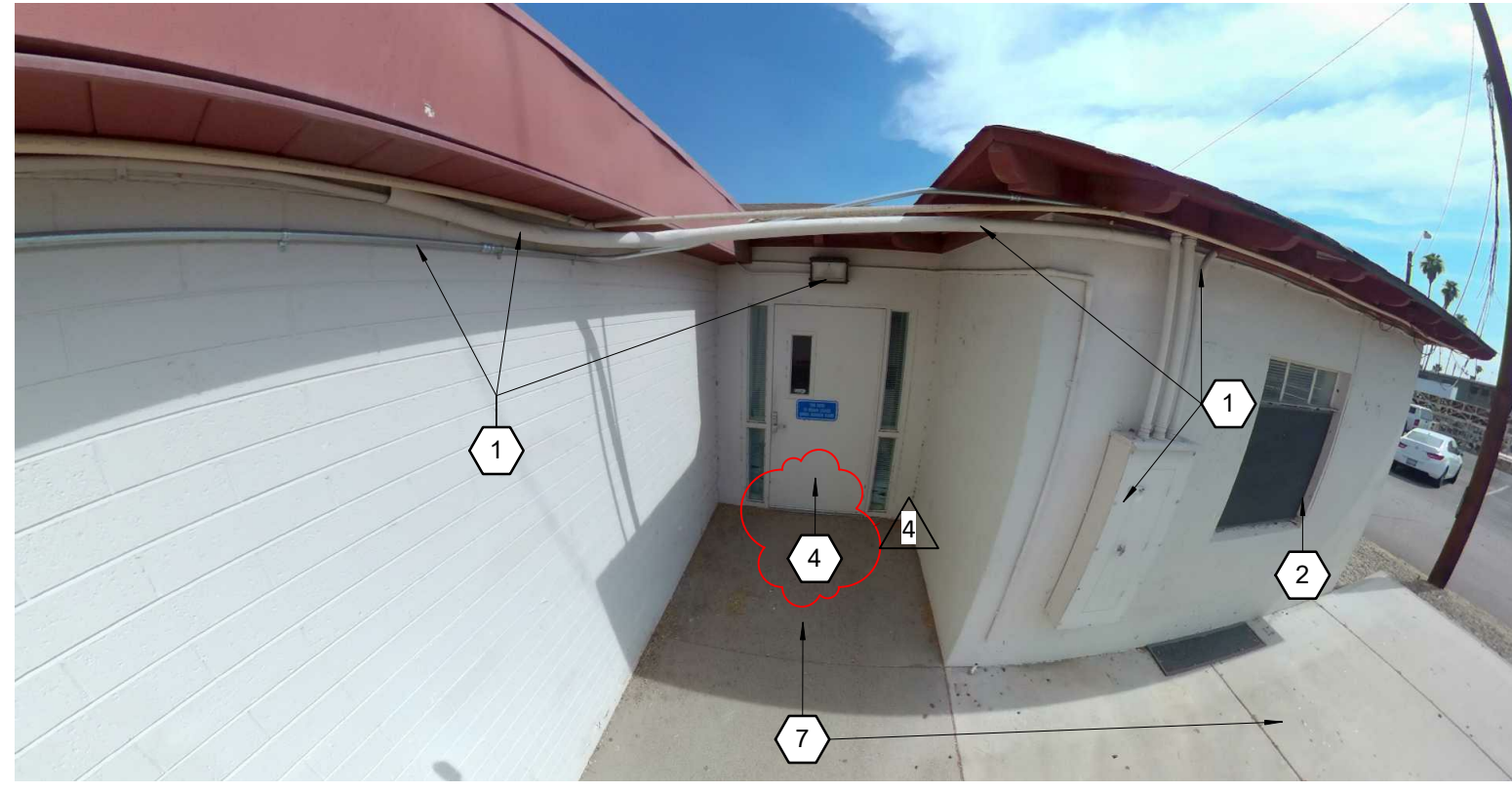
M14 NORTHEAST EXTERIOR



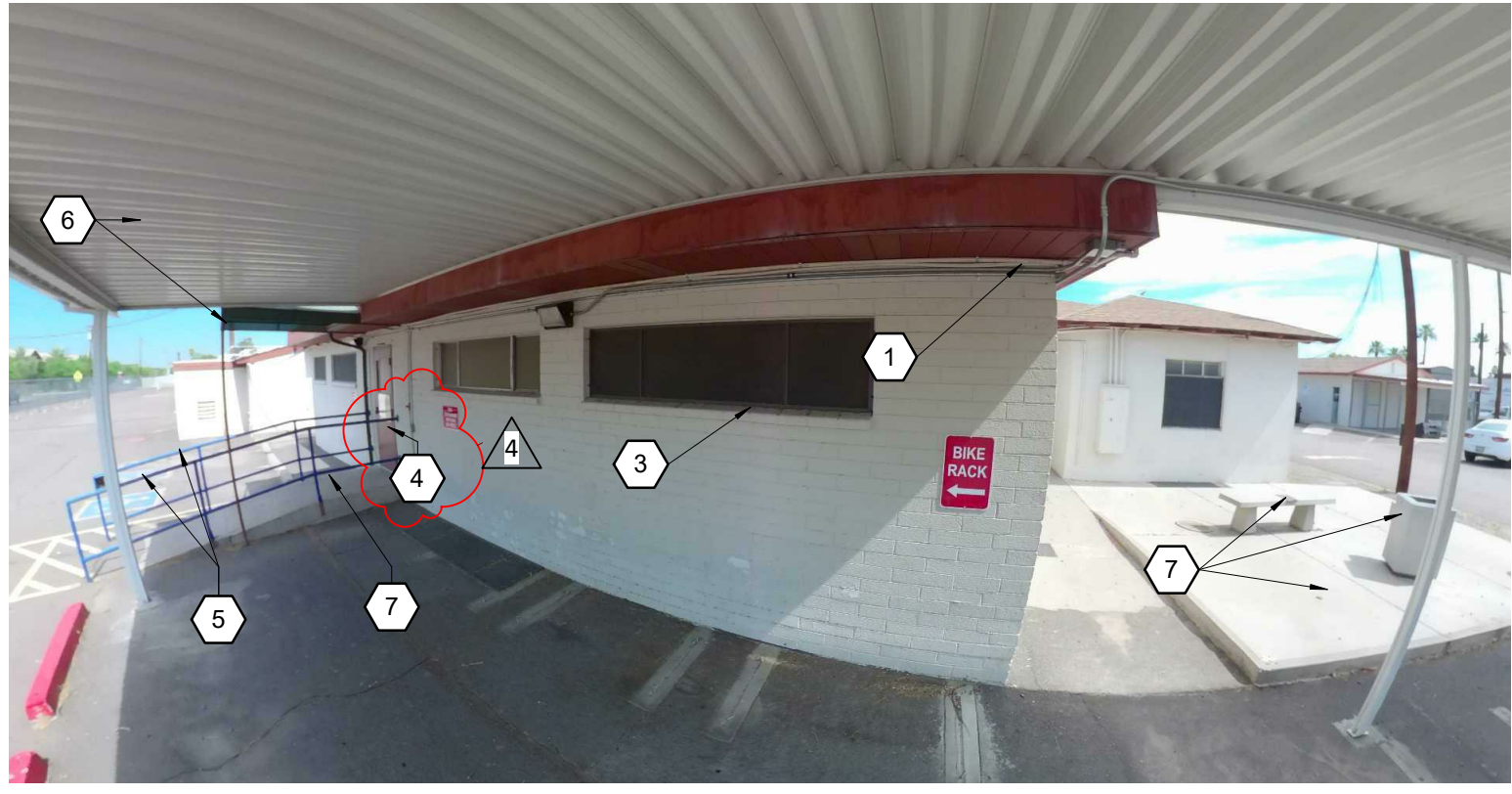
M10 NORTHEAST EXTERIOR



J18 SOUTH EXTERIOR



J14 SOUTHEAST EXTERIOR



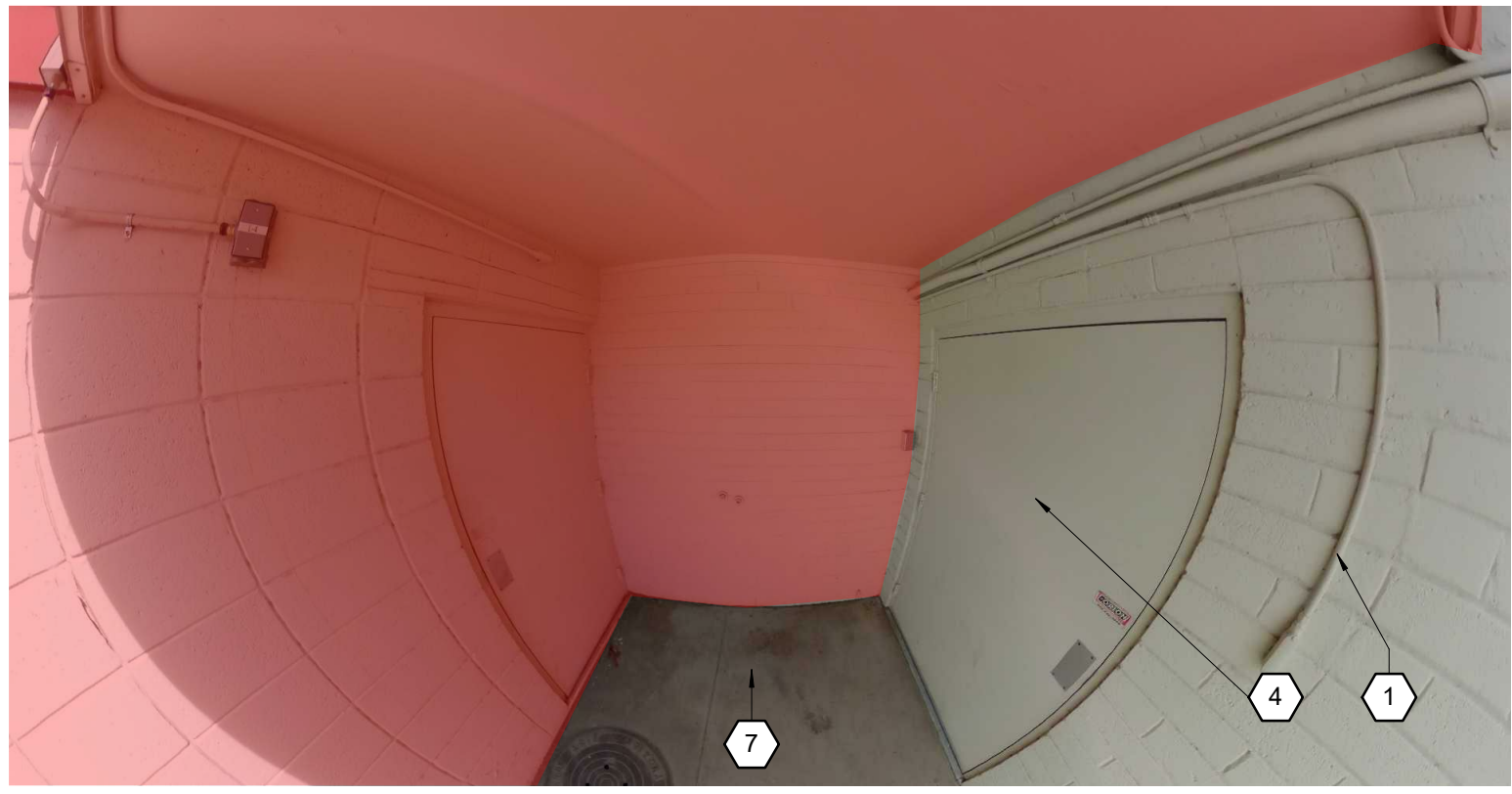
J10 SOUTHEAST EXTERIOR



G18 SOUTH EXTERIOR



G14 SOUTH EXTERIOR



G10 SOUTH EXTERIOR



D18 SOUTHWEST EXTERIOR



D14 SOUTHWEST EXTERIOR



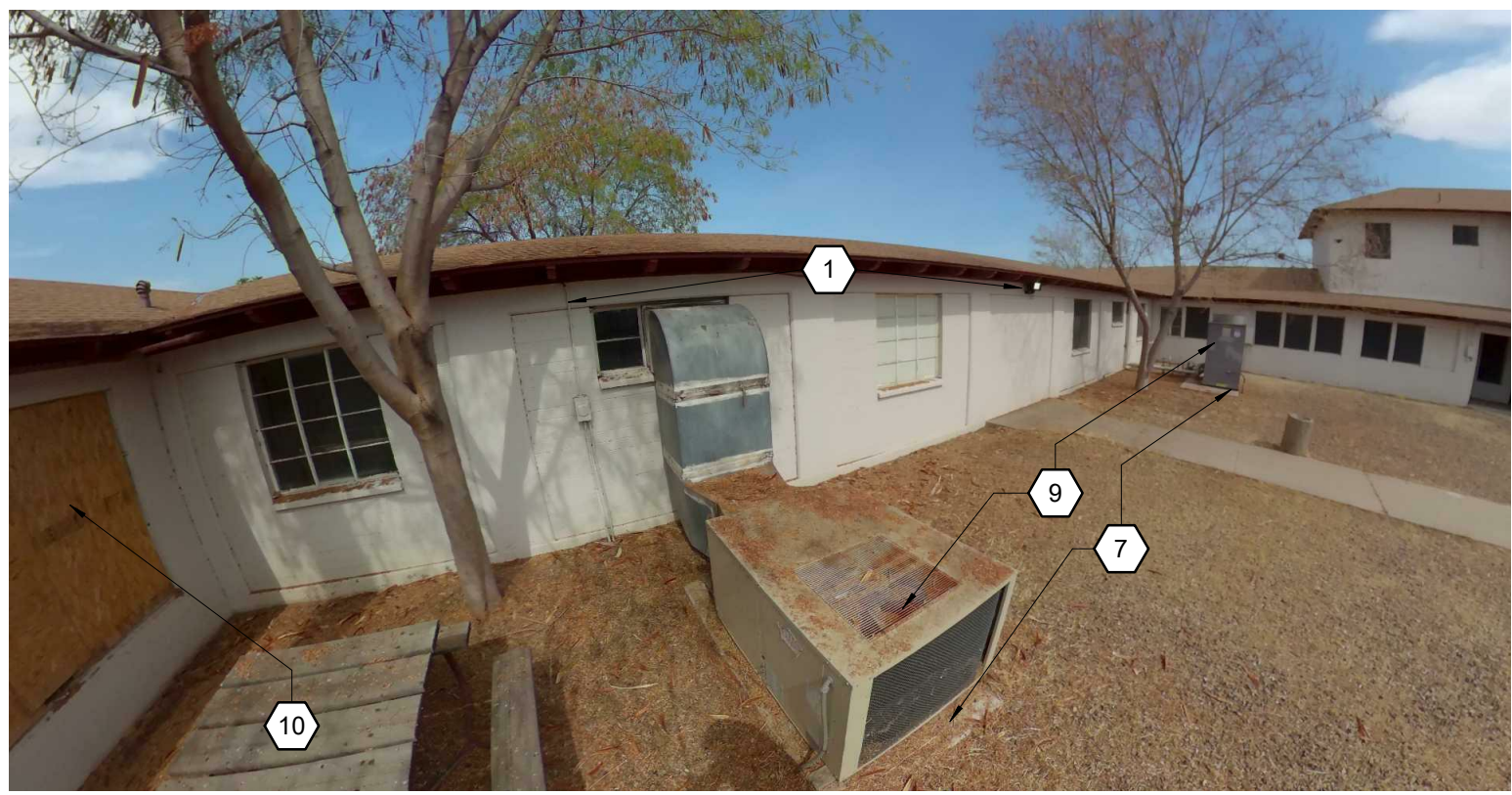
D10 NORTH COURTYARD



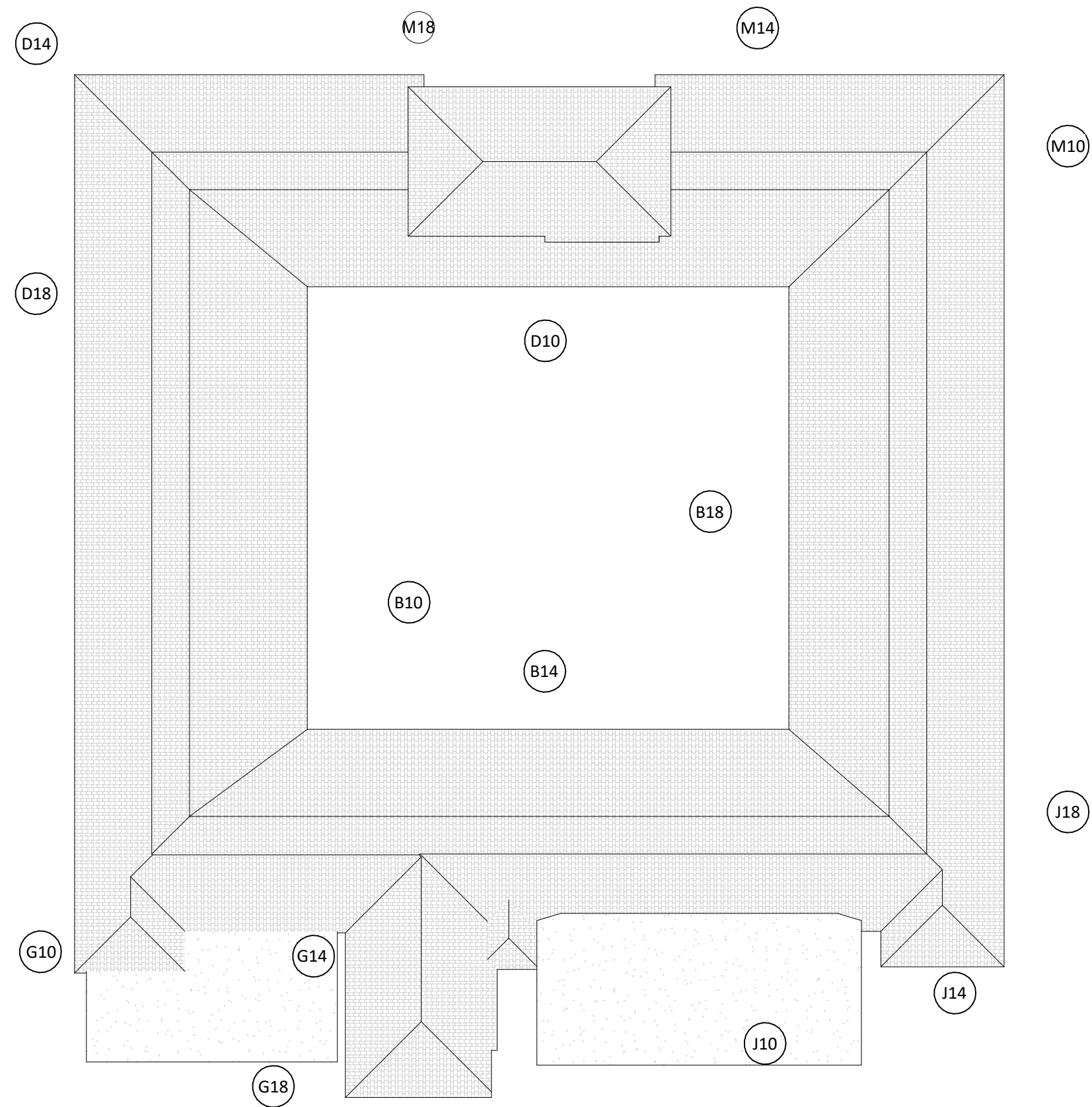
B18 EAST COURTYARD



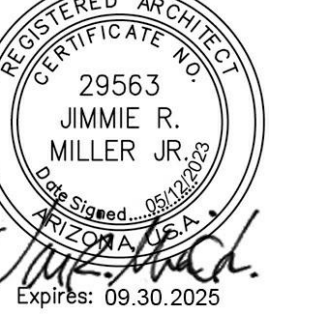
B14 SOUTH COURTYARD



B10 SOUTHEAST COURTYARD



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**REVISIONS**

Number	DESCRIPTION	DATE
4	Phase 1 Demo Scope Revision	09/12/2023

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

Demolition Details

**AD191**

BID SET - DEMO PHASE

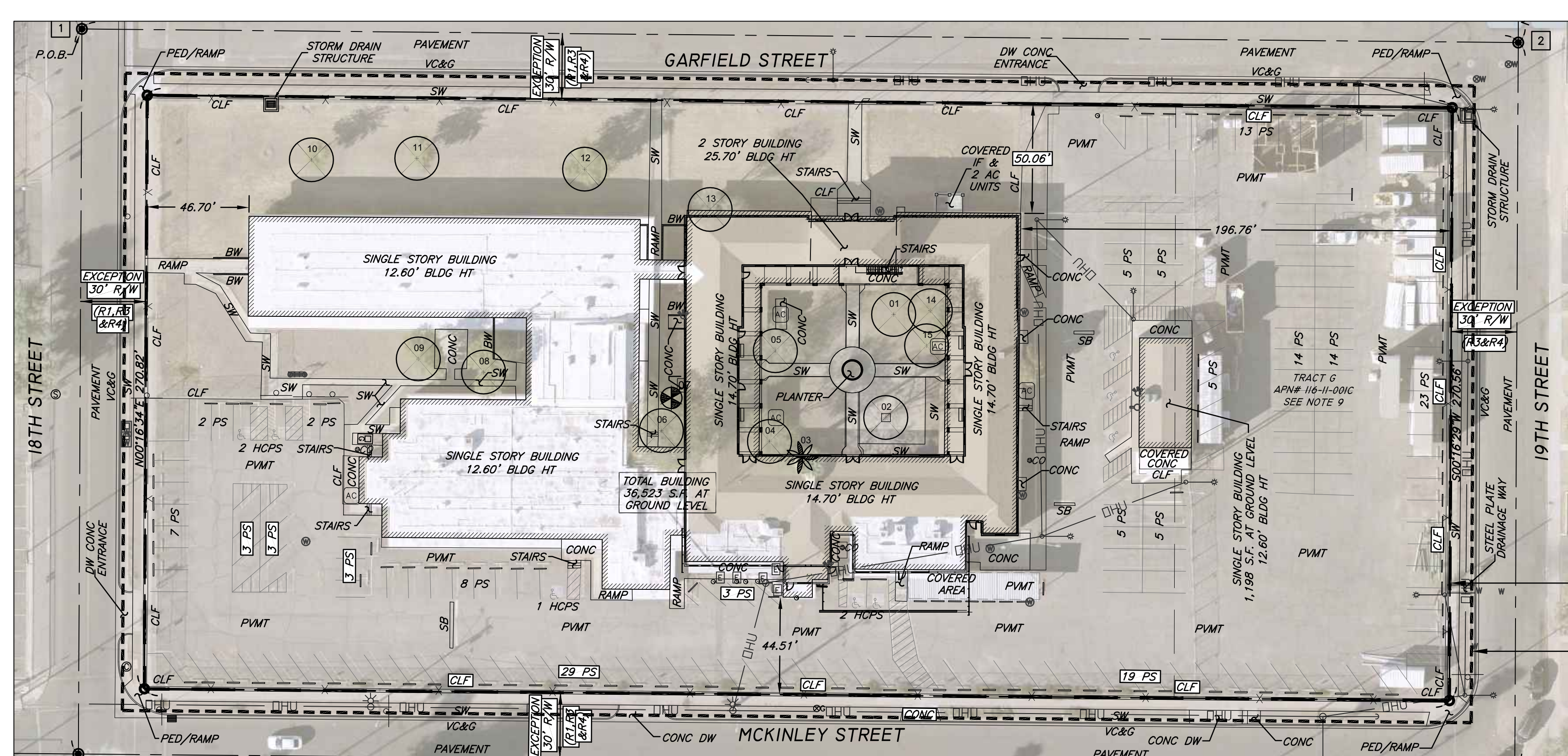


**CITY OF PHOENIX GENERAL INVENTORY/SALVAGE NOTES**

1. THE CITY OF PHOENIX GENERAL NOTES ARE THE ONLY NOTES APPROVED ON THIS PLAN. ADDITIONAL GENERAL NOTES GENERATED BY THE SEALANT AND PLACED ON THE PLANS ARE NOT APPROVED AS PART OF THIS PLAN AND ARE NOTED AS SUCH ON THE PLANS.
2. PLANT MATERIALS MUST BE INDIVIDUALLY TAGGED IN THE FIELD AT THE TIME THE INVENTORY PLANS ARE SUBMITTED. TAGGED MATERIAL MUST BE CLEARLY MARKED WITH WATERPROOF INK AND INCLUDE THE NUMBER WHICH CORRESPONDS TO THE NUMBER SHOWN ON THE PLAN. A FIELD REVIEW WILL NOT OCCUR UNTIL CLEARLY MARKED TAGS ARE IN PLACE ON EACH PLANT TO BE INCLUDED IN THE INVENTORY.
3. TAGS MUST BE ATTACHED SO THAT THEY WILL REMAIN ON THE PLANT FOR THE DURATION OF THE SALVAGE AND NURSERY STORAGE PERIOD. PLANT MATERIALS WITHOUT NUMBERED TAGS IN THE NURSERY WILL NOT BE COUNTED TOWARD THE TOTAL REQUIREMENT FOR THE PROJECT.
4. ALL SALVAGEABLE MATERIAL TO BE CLEARLY FLAGGED WITH TAPE OR PLASTIC TAGS VISIBLE FROM ALL DIRECTIONS. TAGS SHALL BE NUMBERED TO CORRESPOND WITH THE PLANT INVENTORY AND LEGEND. COLOR CODE AS FOLLOWS:  
 RED - SALVAGE AND RELOCATE  
 WHITE - PRESERVE AND PROTECT IN PLACE  
 BLUE - DESTROY, NOT SALVAGEABLE AND CANNOT REMAIN IN PLACE
5. CONTACT THE PARKS & RECREATION DEPARTMENT, FORESTRY SUPERVISOR, AT 602-262-6862, TO VERIFY OWNERSHIP OF AN PLANT MATERIAL IN THE PUBLIC R.O.W. PRIOR TO ANY PLANT RE-LOCATIONS OR REMOVALS. OBTAIN WRITTEN PERMISSION FROM THE PARKS & RECREATION DEPARTMENT PRIOR TO THE RE-LOCATION OR REMOVAL OF ANY CITY PLANT MATERIAL OR EQUIPMENT.
6. CONTACT THE STREET TRANSPORTATION DEPARTMENT, HORTICULTURIST, AT 602-262-6284, PRIOR TO THE RE-LOCATION OR REMOVAL OF EXISTING PLANT MATERIAL IN THE A.D.O.T. R.O.W. THAT IS ON THE CITY'S SIDE OF THE SOUND WALL. OBTAIN WRITTEN PERMISSION FROM THE STREET TRANSPORTATION DEPARTMENT PRIOR TO THE RELOCATION OR REMOVAL OF ANY PLANT MATERIAL OR EQUIPMENT.
7. A SALVAGE PERMIT SHALL BE OBTAINED AND COMPLETED PRIOR TO THE GRADING AND DRAINAGE PERMIT BEING ISSUED. NO CLEARING OR GRUBBING MAY OCCUR PRIOR TO THE PURCHASE OF THE SALVAGE PERMIT, FIELD APPROVAL OF THE CONSTRUCTION FENCE, AND ALL SALVAGE PLANTS PLACED IN THE NURSERY AND FIELD INSPECTED.
8. ALL PROTECTIVE FENCING SHALL BE IN PLACE BEFORE ANY EARTH MOVING EQUIPMENT IS MOVED INTO THE SITE BEFORE ANY SALVAGE, CLEARING OR GRUBBING TAKES PLACE. CALL 602-262-7811 TO SCHEDULE AN INSPECTION OF CONSTRUCTION FENCE.
9. ALL MATERIAL TO BE SALVAGED SHALL BE REMOVED AND PLACED PLACED IN THE DESIGNATED NURSERY AREA BEFORE ANY CLEARING OR GRADING TAKES PLACE. CALL 602-262-7811 TO SCHEDULE AN INSPECTION AFTER SALVAGE IS COMPLETED.
10. ALL TAGGED MATERIALS MUST REMAIN IN NURSERY OR ON-SITE UNTIL NURSERY CHECK IS APPROVED.
11. NO NAILS, WIRES OR OTHER OBJECTS THAT DAMAGE THE CAMBIUM OR CAUSE INJURY TO THE TREE MAY BE USED DURING THE SALVAGE PROCESS. ALL EFFORTS SHALL BE TAKEN BY USING PADDING OR OTHER METHODS TO PRESERVE THE INTEGRITY OF THE BARK.
12. TREES AND PROTECTED PLANT MATERIAL OR MATERIAL NOTED FOR SALVAGE THAT ARE DESTROYED OR DIE DURING THE SALVAGE, RELOCATION, OR MAINTENANCE PERIOD WILL BE REPLACED WITH A PLANT OF THE SAME SIZE AND TYPE BY THE RESPONSIBLE PARTY A MINIMUM OF 90 DAYS BEFORE THE COMPLETION OF THE PROJECT. NO CERTIFICATES OF OCCUPANCY WILL BE ISSUED BEFORE ALL REQUIRED MATERIAL HAS BEEN REPLACED. ALL REPLACEMENT MATERIAL SHALL BE APPROVED BY THE DEVELOPMENT SERVICES LANDSCAPE ARCHITECT. A MAXIMUM OF 10% OF THE SALVAGEABLE PLANT MATERIAL WILL NOT BE REQUIRED TO BE REPLACED IF LOST.
13. ALL REQUIREMENTS OF THE STATE OF ARIZONA, INCLUDING THE "NOTICE OF INTENT TO CLEAR LAND," SHALL BE MET NOTWITHSTANDING ANY APPROVALS BY THE CITY OF PHOENIX.
14. FILE NOTICE OF INTENT (NOI) TO CLEAR LAND WITH THE STATE OF ARIZONA, 602-542-6408. PROVIDE A COPY OF THE NOI PERMIT TO THE INSPECTOR. HTTP://WWW.AZDA.GOV/ESD/CLEARLAND.PDF.
15. PROVIDE A COPY OF THE COUNTY DUST CONTROL PERMIT TO THE INSPECTOR.
16. NO SALVAGE MATERIAL SHALL BE REMOVED FROM THE SITE WITHOUT DEVELOPMENT SERVICES LANDSCAPE ARCHITECT APPROVAL.
17. KNOWINGLY OR NEGLIGENTLY PROVIDING FALSE OR MISLEADING INFORMATION TO THE CITY OF PHOENIX REGARDING SALVAGEABLE MATERIALS MAY RESULT IN DELAYS AND/OR SUSPENSION OF PERMITS AND INSPECTIONS.
18. PLAN APPROVAL IS VALID FOR 180 DAYS. PRIOR TO PLAN APPROVAL EXPIRATION, ALL ASSOCIATED PERMITS SHALL BE PURCHASED OF THE PLANS SHALL BE RESUBMITTED FOR EXTENSION OF PLAN APPROVAL. THE EXPIRATION, EXTENSION, AND REINSTATEMENT OF SALVAGE PLANS AND PERMITS SHALL FOLLOW THE SAME GUIDELINES AS THOSE INDICATED IN THE PHOENIX BUILDING CONSTRUCTION CODE ADMINISTRATIVE PROVISIONS SECTION 105.3 FOR BUILDING PERMITS.

**GENERAL NOTES:**

1. ALL PLANT MATERIAL DESIGNATED TO REMAIN IN PLACE SHALL BE IRRIGATED DURING CONSTRUCTION.
2. ALL PLANT MATERIAL DESIGNATED TO BE RELOCATED / SALVAGED IS TO BE BOXED AND MOVED TO THE SALVAGE NURSERY / GREENHOUSE.
3. ALL PLANT MATERIAL DESIGNATED TO BE RELOCATED / SALVAGED SHALL BE MAINTAINED BY THE CONTRACTOR.
4. ALL SALVAGEABLE MATERIAL NOT SPECIFIED FOR REUSE WITHIN THE LIMITS OF WORK WILL BE MAINTAINED IN AN EXISTING NURSERY / GREENHOUSE AND WILL BE UTILIZED AT DIFFERENT LOCATIONS.
5. ALL PLANT MATERIAL DESIGNATED TO REMAIN IN PLACE SHALL BE PROTECTED BY A TEMPORARY CONSTRUCTION FENCE LOCATED AT THE CANOPY EDGE/D RIP LINE (AT MINIMUM) OF DESIGNATED PLANT MATERIAL.



**LANDSCAPE INVENTORY**

TREE NO.	BOTANICAL NAME	COMMON NAME	CALIPER (IN)	HEIGHT/ SPREAD (FT)	SALVAGEABLE (S) OR NON-SALVAGEABLE (NS)	CONDITION (HEALTH)	COMMENTS	SALVAGE DESIGNATION (PIPEDESTROY/RELOCATE PER PLANS)
#01	<i>Leucaena leucocephala</i>	White Leadtree	12"	40' x 48'	NS	Poor	Tree is too close to building foundation. It is also considered an invasive.	Destroy
#02	<i>Leucaena leucocephala</i>	White Leadtree	17"	48' x 65'	NS	Poor	Tree is dead.	Destroy
#03	<i>Washingtonia filifera</i>	California Fan Palm	27"	65' x 12'	NS	Fair	Tree is too close to building foundation.	Destroy
#04	<i>Leucaena leucocephala</i>	White Leadtree	9"	48' x 40'	NS	Poor	Tree is too close to building foundation. It is also considered an invasive.	Destroy
#05	<i>Leucaena leucocephala</i>	White Leadtree	12"	48' x 48'	NS	Poor	Tree is too close to building foundation. It is also considered an invasive.	Destroy
#06	<i>Leucaena leucocephala</i>	White Leadtree	19"	70' x 60'	NS	Fair	Tree is considered to be invasive.	Destroy
#07	<i>Cereus peruvianus</i>	Hedge Cactus	32"	15' x 10'	NS	Fair	Overgrown. Conflicts with utility location.	Destroy
#08	<i>Dalbergia sissoo</i>	Indian Rosewood	11"	50' x 60'	NS	Fair	Growing in the demo area. Invasive / destructive tree.	Destroy
#09	<i>Dalbergia sissoo</i>	Indian Rosewood	11"	65' x 60'	NS	Fair	Growing in the demo area. Invasive / destructive tree.	Destroy
#10	<i>Dalbergia sissoo</i>	Indian Rosewood	5"	24' x 16'	NS	Poor	Poor structure, leaning	Destroy
#11	<i>Dalbergia sissoo</i>	Indian Rosewood	7"	20' x 16'	NS	Poor	Poor structure, leaning	Destroy
#12	<i>Dalbergia sissoo</i>	Indian Rosewood	11"	20' x 16'	NS	Poor	Poor structure, leaning	Destroy
#13	<i>Leucaena leucocephala</i>	White Leadtree	16"	36' x 36'	NS	Poor	Tree is too close to building foundation	Destroy
#14	<i>Leucaena leucocephala</i>	White Leadtree	5"	40' x 14'	NS	Poor	Tree is too close to building foundation. It is also considered an invasive.	Destroy
#15	<i>Leucaena leucocephala</i>	White Leadtree	5"	40' x 16'	NS	Poor	Tree is too close to building foundation. It is also considered an invasive.	Destroy

**SEASONAL SALVAGE STATEMENT**

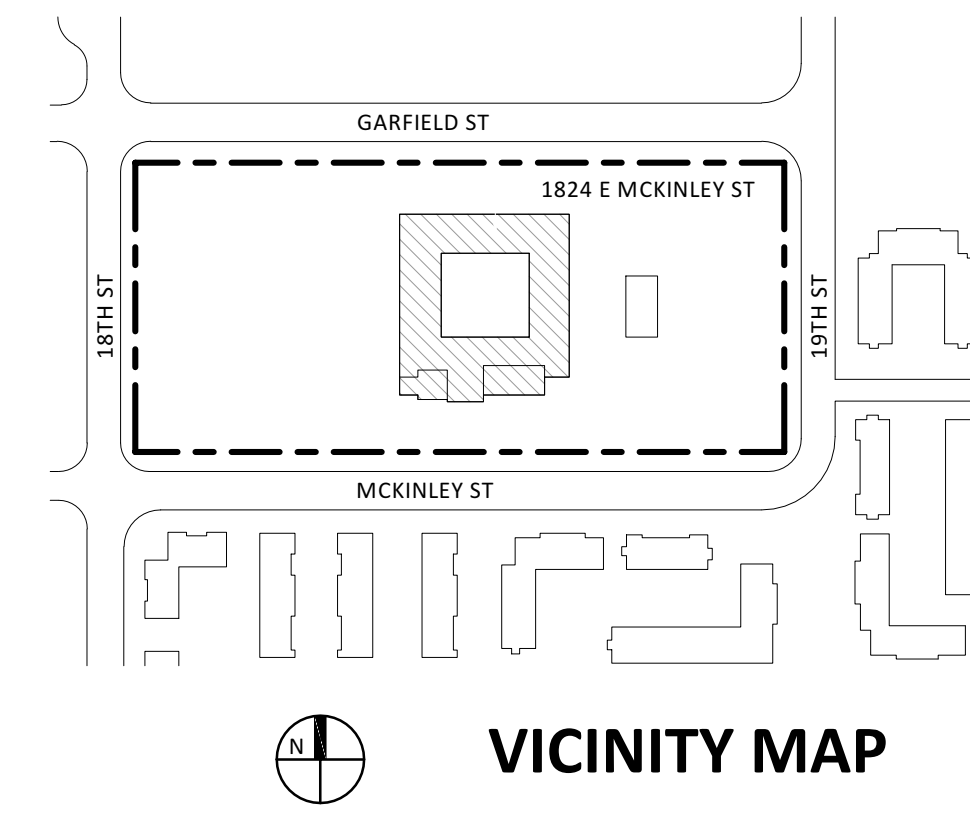
I, Kris Floor, UNDERSTAND THAT WINTER SALVAGE OPERATIONS OF SONORAN PLANT MATERIAL HAVE AN INCREASED POTENTIAL FOR LOSS OF PLANT MATERIAL (LOW SURVIVABILITY RATE.) I ALSO UNDERSTAND THAT THE CITY OF PHOENIX ONLY ALLOWS A TEN PERCENT LOSS DURING THE SALVAGE PROCESS. ANY ADDITIONAL LOSS OF PLANT MATERIALS (BEYOND THE ALLOWED TEN PERCENT) MUST BE REPLACED WITH LIKE KIND AND LIKE SIZED PLANT MATERIALS.

SIGNATURE: [Signature] DATE: 08.05.2021

**LOUIS QUIROZ APPROVED WAIBEL** 09/14/2021  
INVENTORY/SALVAGE PLAN APPROVAL, CITY OF PHOENIX

TOTAL & PERCENTAGE	QUANTITY TREES	QUANTITY CACTI
REMAIN/PROTECT IN PLACE	0	0
SALVAGE	0	0
DESTROY	14	1

3.7 ACRES	ACRES OF AREA BEING EVALUATED FOR USABLE MATERIALS
15 SPECIMENS	TOTAL NUMBER OF PLANTS INVENTORIED ON-SITE



**INVENTORY/SALVAGE LEGEND**

SYM.	DESCRIPTION
---	LIMIT OF CONSTRUCTION
---	LIMIT OF INVENTORY
---	10' OFFSET FROM LIMIT OF WORK

**PLANT MATERIAL**

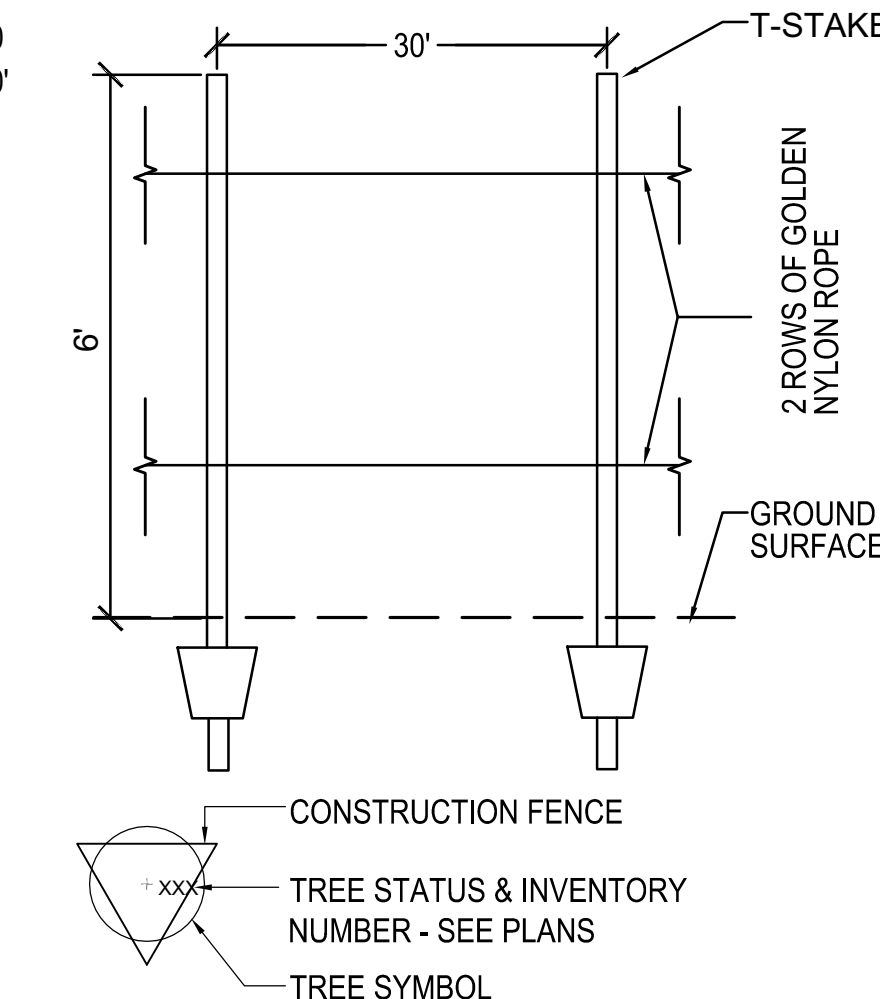
- XX (circle) EXISTING TREE - DESTROY TAG NUMBER
- XX (palm) EXISTING PALM - DESTROY TAG NUMBER
- XX (cactus) EXISTING CACTUS - DESTROY TAG NUMBER

STATUS KEY:  
 REMAIN = REMAIN IN PLACE - WHITE TAG  
 SALVAGE = SALVAGEABLE - RED TAG  
 NS = NON-SALVAGEABLE - BLUE TAG

LIMIT OF WORK

LIMIT OF INVENTORY  
 10" OFFSET FROM LIMIT OF WORK

**CONSTRUCTION FENCE DETAIL (NTS)**



**EDISON IMPACT HUB**

1824 E. MCKINLEY STREET  
 PHOENIX, AZ 85006

owner:  
 City of Phoenix  
 300 W. Washington Street  
 Phoenix, AZ 85003  
 602.262.6011  
 www.phoenix.gov

architect:  
 Gould Evans  
 521 S. 3rd Street #100  
 Phoenix, AZ 85004  
 602.234.1140 voice  
 www.gould-evans.com

historic preservation:  
 Ryden Architects  
 902 W McDowell Road  
 Phoenix, AZ 85007  
 602.253.5381  
 www.rydenarchitects.com

structural engineer:  
 BDA design  
 7047 E. Greenway Pkwy #250  
 Scottsdale, AZ 85254  
 480.398.7729  
 www.bdadesign.com

civil engineer:  
 Wilson & Company  
 410 N 44th Street Suite 460  
 Phoenix, AZ 85008  
 602.283.2701  
 www.wilsonco.com

mechanical/electrical engineer:  
 Applied Engineering  
 2800 S. Rural Road #101  
 Tempe, AZ 85282  
 480.968.3070  
 www.appliedengineering.com

landscape architect:  
 Kris Floor, Floor Associates  
 1425 N. 1st Street #1607  
 Phoenix, AZ 85004  
 602.462.1425  
 kris@floorassociates.com

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**KRISTINA J. FLOOR**  
 LANDSCAPE ARCHITECT  
 LICENSE NO. 22612  
 EXPIRES: 12/31/23

PROJECT NO: 0520-0020  
 DATE: AUGUST 5, 2021

**INVENTORY / SALVAGE COMBINATION PLAN LS101**

INVENTORY / SALVAGE PLAN SUBMITTAL



# GENERAL STRUCTURAL NOTES

## GENERAL:

- A. THE STRUCTURAL DRAWINGS SHOW THE COMPLETED PROJECT. THEY DO NOT INCLUDE COMPONENTS THAT MAY BE NECESSARY FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY ON AND AROUND THE JOBSITE DURING CONSTRUCTION.
- B. STRUCTURAL NOTES SHALL BE USED ALONG WITH THE SPECIFICATIONS, WREATHMENTS AND VAPOR BARRIERS, DRAWINGS OR SPECIFICATIONS DISAGREE, THE CONTRACTOR MAY REQUEST A CLARIFICATION DURING THE BIDDING PERIOD. OTHERWISE THE MORE STRINGENT REQUIREMENTS SHALL CONTROL.
- C. PROVIDE ALL TEMPORARY BRACING, SHORING, GUYING OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.
- D. ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL AND PLUMBING WITH THE APPROPRIATE TRADES, DRAWINGS AND SUBCONTRACTORS PRIOR TO CONSTRUCTION.
- E. VERIFY AND COORDINATE ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES.
- F. STRUCTURAL DETAILS: DETAILS ARE APPLICABLE WHERE INDICATED BY SECTION CUT, BY NOTE OR BY DETAIL TITLE. PROVIDE SIMILAR DETAILS AT SIMILAR CONDITIONS UNLESS NOTED OTHERWISE. THE CONTRACTOR MAY REQUEST A CLARIFICATION DURING THE BIDDING PERIOD OTHERWISE THE MORE STRINGENT REQUIREMENTS SHALL CONTROL.
- G. TYPICAL DETAILS MAY NOT NECESSARILY BE CUT ON PLANS, BUT APPLY UNO.
- H. REFER TO ARCHITECTURAL DRAWINGS FOR ALL SLAB ELEVATIONS AND SLOPES NOT INDICATED.
- I. ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE SEAL AND SIGNATURE OF A STRUCTURAL ENGINEER REGISTERED IN ARIZONA.
- J. CHANGES TO THE DESIGN OF THE STRUCTURE WHICH ARE PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW BY THE STRUCTURAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL STRUCTURAL AND NON-STRUCTURAL ELEMENTS AFFECTED BY THE PROPOSED CHANGE. THE COST OF ANY DESIGN WORK NECESSITATED BY SUCH A PROPOSED CHANGE SHALL BE BORNE BY THE CONTRACTOR.
- K. THE COST OF DESIGN WORK RESULTING FROM ERRORS OR OMISSIONS IN CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR.
- L. CONTRACTOR SHALL PROVIDE COMPLETE STRUCTURAL ANALYSIS, DESIGN AND DETAILS OF ALL STEEL STAIRS. CONTRACTOR SHALL SUBMIT THIS DATA TO THE ARCHITECT FOR REVIEW BY THE STRUCTURAL ENGINEER. CONTRACTOR SHALL FIELD MEASURE THE STAIR DIMENSIONS IN PREPARING THE SHOP DRAWINGS. CONTRACTOR SHALL ALSO FIELD VERIFY THE LOCATION OF EMBEDS PROVIDED FOR SUPPORT OF STAIRS. FABRICATE ONLY AFTER ACCEPTANCE OF DESIGN BY ARCHITECT AND STRUCTURAL ENGINEER.
- M. BUILDING TOLERANCE SHALL BE BASED ON THE REQUIREMENTS OF THE AISI CODE OF STANDARD PRACTICE AND AISC 117. STANDARD SPECIFICATIONS FOR CONCRETE CONSTRUCTION AND MATERIALS.
- N. EXISTING CONDITIONS: CONTRACTOR SHALL VERIFY IN THE FIELD ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE PRIOR TO BEGINNING ANY PERTINENT WORK. NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS.
- O. EXISTING CONDITIONS: DURING THE DESIGN PROCESS, CARE HAS BEEN TAKEN TO REFLECT EXISTING CONDITIONS. HOWEVER, NOT ALL EXISTING CONDITIONS WERE VERIFIABLE DUE TO ACCESS. CONTRACTOR TO VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO BEGINNING ANY WORK. THIS INCLUDES, BUT IS NOT LIMITED TO, DIMENSIONS, BEARING WALLS, COLUMNS AND FOUNDATIONS. NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL CONDITIONS. DO NOT BEGIN THE WORK UNLESS EXISTING CONDITIONS LEAVE QUESTION AS TO THE STRUCTURE AND SUPPORTING ELEMENTS.

- D. DEMOLITION:
  - 1. CONTRACTOR SHALL VERIFY IN THE FIELD ALL EXISTING CONDITIONS, ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT/ENGINEER PRIOR TO CONTINUING ANY WORK.
  - 2. CONTRACTOR SHALL EXERCISE EXTREME CARE DURING DEMOLITION TO AVOID DAMAGING THOSE PORTIONS OF THE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY OF ANY DAMAGE TO THE STRUCTURE TO REMAIN.
  - 3. ALL METHODS USED SHALL BE CAREFULLY PLANNED AND SHALL BE APPROPRIATE TO THE WORK TO BE DONE. THE EXISTING STRUCTURE TO REMAIN SHALL NOT BE SUBJECTED TO ANY SUDEN OR EXCESSIVE FORCES WHICH MIGHT ADVERSELY AFFECT THE INTEGRITY OF THE STRUCTURE.
  - 4. WHERE EXISTING CONCRETE OR MASONRY IS TO BE REMOVED SAWCUT BETWEEN THE STRUCTURE TO REMAIN AND THAT TO BE REMOVED UNLESS NOTED OTHERWISE. WHERE NEW DOORS OR OTHER OPENINGS ARE TO BE CUT INTO EXISTING WALLS OR SLABS A MINIMUM 6" DIAMETER CORE HOLE SHALL BE DRILLED INTO EACH CORNER. THE SAWCUT SHALL BE BETWEEN THE CORE HOLES. NO OVERCUTTING INTO THE STRUCTURE TO REMAIN SHALL BE PERMITTED.

## DESIGN CRITERIA:

- A. BUILDING CODE:
  - 1. CITY OF PHOENIX, 2018 I.B.C.W/ AMENDMENTS
- B. LOADINGS:
  - 1. ROOF LIVE LOAD = 20 PSF (ON HORIZONTAL PROJECTION)
  - 2. SECOND FLOOR LIVE LOAD = 50 PSF + 20 PSF PARTITIONS (OFFICE)
  - 3. CORRIDOR & STAIR LIVE LOAD = 100 PSF
  - 4. WIND LOAD - 115 MPH WIND ZONE (ULT), EXPOSURE C
  - 5. WIND IMPORTANCE FACTOR,  $I_w = 1.0$
  - 6. INTERNAL PRESSURE COEFFICIENT (GCp) = 0.18
  - 7. WIND VELOCITY PRESSURE (qs=30.1 PSF (ULT) AT H= 25 FT FOR COMPONENTS AND CLADDING)
  - 8. SEISMIC OCCUPANCY CATEGORY - II
  - 9. SEISMIC IMPORTANCE FACTOR = 1.0
  - 10. DESIGN CATEGORY = B
  - 11. SITE CLASS = D
  - 12. SEISMIC SDS = 0.192, SD1 = 0.094
- C. SOIL BEARING ALLOWABLE:
  - 1. USING PRESCRIPTIVE VALUES PER CITY OF PHOENIX AMMENDED TABLE 1806.2 / R4014 SOIL CLASSIFICATION SIGSM. ALL FOOTINGS ARE TO BE FOUNDED AT NOT LESS THAN 1'-0" BELOW LOWEST ADJACENT FINISH FLOOR OR FINISH GRADE ONTO UNDISTURBED EXISTING SUBSOILS HAVING A MINIMUM BEARING CAPACITY OF 1500 PBF FOR TOTAL LOAD.
  - 2. ALL FOOTING EXCAVATIONS ARE TO BE REVIEWED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE WHO IS FAMILIAR WITH THE LOCAL SITE SOILS, TO VERIFY THE SUITABILITY OF THE DESIGN BEARING PRESSURE USED.
- D. FUTURE EXPANSION: THIS PROJECT IS NOT DESIGNED FOR FUTURE EXPANSION.

- MATERIALS AND EXECUTION:
  - A. CONCRETE:
    - 1. CONCRETE MATERIAL PROPERTIES: 28 DAY COMPRESSIVE STRENGTHS ARE TO BE 3000 PSI UNLESS NOTED OTHERWISE. DESIGN BASED ON 2500 PSI. USE TYPE II PORTLAND CEMENT, UNO.

- 3. CAST IN PLACE CONCRETE:
  - a. ALL REINFORCING IS TO EXTEND A MINIMUM OF 2'0" BEYOND THE JAMB AND IS TO BE GROUDED SOLID FOR THE ENTIRE DEPTH INDICATED.
  - b. ALL CONCRETE MASONRY UNITS USED IN THE LENGTH ARE TO BE "OPENEND" TYPE, TO INSURE FULLY GROUDED HEAD JOINTS.
  - c. ALL LATERAL MOVEMENT FOR A MINIMUM OF 7 DAYS AFTER GROUTING, UNLESS NOTED OTHERWISE.
- 4. REINFORCING STEEL:
  - a. ALL BARS #4 AND LARGER TO BE ASTM A 615, GRADE 60. ALL #2 AND #3 BARS TO BE ASTM A 615, GRADE 40. DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH AISC'S LATEST ADOPTION.
  - b. WELDED WIRE FABRIC TO BE IN ACCORDANCE WITH ASTM A 195.
  - c. ALL BARS INDICATED ON THE PLANS TO BE WELDED SHALL CONFORM TO ASTM A 706 (GRADE 60).
  - d. NO TACK WELDING OF REINFORCING BARS SHALL BE ALLOWED WITHOUT PRIOR REVIEW OF PROCEDURE BY THE STRUCTURAL ENGINEER.
  - e. MASONRY WIRE JOINT REINFORCING TO BE ASTM A 82.
  - f. MINIMUM CONCRETE COVER FOR REINFORCING BARS, TO FACE OF BARS INCLUDING TIES AND SPIRALS:
    - 1. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3"
- 5. DRYPACK:
  - a. DRYPACK SHALL BE 5,000 PSI NON-SHRINK GROUT, FIVE STAR EQUIVALENT. INSTALL DRYPACK UNDER BEARING PLATES BEFORE FRAMING MEMBER INSTALLED.
  - b. AT COLUMNS, INSTALL DRY PACK UNDER BASE PLATES AFTER COLUMN HAS BEEN PLUMBED BUT PRIOR TO FLOOR OR ROOF INSTALLATION.

- 6. NOTES ON CRACKING OF CONCRETE STRUCTURES:
  - a. CRACKING IS INHERENT TO THE MATERIAL PROPERTIES OF CONCRETE CONSTRUCTION. WHILE EVERY EFFORT HAS BEEN MADE TO MINIMIZE THE EFFECTS OF UNSIGHTLY CRACKING, THE PRESENCE OF CRACKS ARE NORMAL AND UNAVOIDABLE.
  - b. THE DESIGN OF CONCRETE STRUCTURAL ITEMS HAVE BEEN ANALYZED USING A "CRACKED SECTION".
  - c. THE PRESENCE OF CRACKING SHOULD NOT BE CONSIDERED DETRIMENTAL TO THE STRUCTURE AND ITS PERFORMANCE.
  - d. CRACKS LARGER THAN 1/8 MILS SHALL BE FILLED AND SEALED WITH AN APPROVED CRACK FILLER TO PREVENT FUTURE DETEIORATION.
  - e. ALLOWANCE SHALL BE MADE IN THE CONSTRUCTION BUDGET FOR SEALING OF SUCH CRACKS.
  - f. IN SOME CASES, CRACKS DO NOT APPEAR UNTL WELL AFTER CONSTRUCTION HAS BEEN COMPLETED. IT IS THE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE STRUCTURE PROPERLY OVER THE LIFE OF THE STRUCTURE. CONCRETE CRACKS, SHOULD THEY OCCURE, SHALL BE FILLED AND SEALED.

- B. MASONRY:
  - 1. GENERAL:
    - a. NORMAL HOLLOW C.M.U. TO BE ASTM C 90, GRADE N-1 AND HAVE A MINIMUM Fm OF 1500 PSI. MORTAR TO BE TYPE "S". GROUT FILL TO BE 2000 PSI AT 28 DAYS.
    - b. SEE CONCRETE FOR REQUIREMENTS FOR REINFORCING.
  - 2. MASONRY REINFORCING:
    - a. C.M.U. WALLS ARE TO HAVE #5 VERTICALS AT 32" O.C. WITH #5 VERTICALS AT ALL CORNERS, ENDS, JAMBS, INTERSECTIONS AND BOTH SIDES OF CONTROL JOINTS, TYPICAL UNLESS NOTED OTHERWISE.
    - b. C.M.U. WALLS ARE TO HAVE #5 HORIZONTALS AT 48" O.C. TYPICAL UNLESS NOTED OTHERWISE.
    - c. HORIZONTAL JOINT REINFORCING IS TO BE STANDARD TRUSS TYPE JOINT REINFORCING AT 16" O.C. (MINIMUM 290 GAGE WIRES).
    - d. ADDITIONAL VERTICAL REINFORCING SHOWN ON PLAN IS IN LIEU OF TYPICAL REINFORCING. PLACE ONE BAR PER CELL IN SOLID GROUT. EXTEND BARS A MINIMUM OF 30 BAR DIAMETERS BEYOND THE FLOOR OR ROOF LEVEL ABOVE.
    - e. BUILDING WALLS ARE TO HAVE 2 #5 BARS CONTINUOUS IN A MINIMUM 8" DEEP BOND BEAM AT ALL ROOF LEVELS UNLESS NOTED OTHERWISE.
    - f. BUILDING WALLS ARE TO HAVE 1 #5 BAR CONTINUOUS IN A MINIMUM 8" DEEP BOND BEAM AT THE TOP OF ALL PARAPETS UNLESS NOTED OTHERWISE.
    - g. PROVIDE A MINIMUM OF 2 #4 BARS X (THE WIDTH OF THE OPENING PLUS 4") IN A MINIMUM 4" DEEP BOND BEAM BELOW ALL WINDOW AND MECHANICAL OPENINGS UNLESS NOTED OTHERWISE.
    - h. BOND BEAM REINFORCING IS TO BE CONTINUOUS THROUGH CONTROL JOINTS. DISCONTINUE TYPICAL JOINT REINFORCING.
    - i. REINFORCEMENT LAPS SHALL BE A MINIMUM OF 48 TIMES THE DIAMETER OF THE SMALLER OF THE TWO BARS UNLESS NOTED OTHERWISE. WHERE BARS ARE OFFSET THE MINIMUM LAP SHALL BE 48 BAR DIAMETERS PLUS THE DISTANCE OFFSET.

- 3. MASONRY LINTELS:
  - a. ALL REINFORCING IS TO EXTEND A MINIMUM OF 2'0" BEYOND THE JAMB AND IS TO BE GROUDED SOLID FOR THE ENTIRE DEPTH INDICATED.
  - b. ALL CONCRETE MASONRY UNITS USED IN THE LENGTH ARE TO BE "OPENEND" TYPE, TO INSURE FULLY GROUDED HEAD JOINTS.
  - c. ALL LATERAL MOVEMENT FOR A MINIMUM OF 7 DAYS AFTER GROUTING, UNLESS NOTED OTHERWISE.
- 4. MASONRY GROUING PROCEDURES:
  - a. GROUDED MASONRY SHALL BE CONSTRUCTED IN SUCH A MANNER THAT ALL ELEMENTS OF THE MASONRY ACT TOGETHER AS A STRUCTURAL ELEMENT.
  - b. PRIOR TO GROUING, THE GROUT SPACE SHALL BE CLEANED SO THAT ALL SPACES TO BE FILLED WITH GROUT DO NOT CONTAIN MORTAR PROJECTIONS GREATER THAN 1/2" MORTAR DROPPINGS OR OTHER FOREIGN MATERIAL.
  - c. GROUT MATERIAL AND WATER CONTENT SHALL BE CONTROLLED TO PROVIDE ADEQUATE FLUIDITY FOR PLACEMENT, WITHOUT SEGREGATION OF THE CONSTITUENTS AND SHALL BE MIXED THOROUGHLY. SEGREGATION OF THE GROUT MATERIALS AND DAMAGE TO THE MASONRY SHALL BE AVOIDED DURING THE GROUING PROCESS.
  - d. THE GROUING OF ANY SECTION OF WALL SHALL BE COMPLETED IN ONE DAY WITH NO INTERRUPTIONS GREATER THAN ONE HOUR.
  - e. BETWEEN GROUT POURS, A HORIZONTAL CONSTRUCTION JOINT SHALL BE FORMED BY STOPPING ALL WYTHES AT THE SAME ELEVATION AND WITH THE GROUT TO A MINIMUM OF 1 1/2 INCHES BELOW A MORTAR JOINT, EXCEPT AT THE TOP OF THE WALL, WHERE BOND BEAMS OCCUR. STOP GROUT POUR A MINIMUM OF 1/2 INCH BELOW THE TOP OF THE MASONRY.
  - f. ALL CELLS AND SPACES CONTAINING REINFORCING BARS SHALL BE FILLED WITH GROUT. GROUT SHALL BE PLACED SO THAT ALL SPACES TO BE GROUDED DO NOT CONTAIN VOIDS.
  - g. GROUT SHALL BE CONSOLIDATED BY MECHANICAL VIBRATION DURING PLACING BEFORE LOSS OF PLASTICITY IN A MANNER TO FILL THE GROUT SPACE. GROUT POURS GREATER THAN 12 INCHES SHALL BE RECONSOLIDATED BY MECHANICAL VIBRATION TO MINIMIZE VOIDS DUE TO WATER LOSS. GROUT POURS 12 INCHES OR LESS IN HEIGHT SHALL BE MECHANICALLY VIBRATED, OR PULDED.
  - h. WHERE GROUT POURS EXCEED 5 FEET, CLEANOUTS SHALL BE PROVIDED IN THE BOTTOM COURSE AT EVERY VERTICAL BAR LOCATION BUT SHALL NOT BE SPACED MORE THAN 32 INCHES ON CENTER FOR SOLID GROUDED MASONRY. GROUT SHALL BE PLACED IN A CONTINUOUS POUR NOT TO EXCEED 16 FEET IN HEIGHT, AND IN GROUT LIFTS NOT TO EXCEED 6 FEET.
  - i. REINFORCING SHALL BE CONTINUOUS THE FULL HEIGHT OF THE GROUT POUR PLUS ANY REQUIRED LAP ABOVE. REINFORCEMENT SHALL BE SECURED AGAINST DISPLACEMENT PRIOR TO GROUING BY WIRE POSITIONERS OR OTHER SUITABLE DEVICES AT INTERVALS NOT TO EXCEED 200 BAR DIAMETERS NOR 10 FEET.
  - j. TOLERANCE FOR THE PLACEMENT OF STEEL IN WALLS AND FLEXURAL ELEMENTS SHALL BE PLUS OR MINUS 1/2 INCH FOR "d" EQUAL TO 8 INCHES OR LESS, PLUS OR MINUS ONE INCH FOR "d" EQUAL TO 24 INCHES OR LESS BUT GREATER THAN 8 INCHES, AND PLUS OR MINUS 1/4 INCH FOR "d" GREATER THAN 24 INCHES.

- C. STRUCTURAL AND MISCELLANEOUS STEEL:
  - 1. MATERIAL PROPERTIES:
    - a. ALL PLATES, ANGLES, AND CHANNELS TO BE ASTM A 36 UNLESS NOTED OTHERWISE. ALL PLATES IN MOMENT CONNECTIONS, UNO, SHALL BE 50 KSI STEEL.
    - b. ALL W SHAPES TO BE ASTM A 992 (Fy = 50 KSI).
    - c. SQUARE OR RECTANGULAR TUBES TO BE ASTM A 500, GRADE B, Fy = 46 KSI.
    - d. ALL STEEL TO BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH A.I.S.C. SPECIFICATIONS, LATEST ADOPTION.
  - 2. WELDING:
    - a. FOR STRUCTURAL STEEL TO BE IN ACCORDANCE WITH A.I.S.C. REQUIREMENTS FOR E70XX ELECTRODES.
  - 3. BOLTS:
    - a. ALL BOLTS TO BE 3/4" DIAMETER ASTM A 307 UNLESS NOTED OTHERWISE.
    - b. ANCHOR BOLTS SHALL BE ASTM A 307 OR A 36.

- D. WOOD:
  - 1. DIMENSIONAL LUMBER: ALL TO BE GRADE STAMPED PER W.C.I.B. RULES.
    - a. ALL JOISTS, BEAMS, PLATES, HEADERS AND OTHER LUMBER TO BE D.FIR/LARCH #2 UNLESS OTHERWISE NOTED.
    - b. 4x AND 6x POSTS TO BE D.FIR/LARCH N.1.
    - c. WALL STUDS TO BE D.FIR/LARCH STUD GRADE OR BETTER.
  - 4. PLYWOOD:
    - a. ROOF SHEATHING TO BE STD 1/2" CD WITH EXTERIOR GLUE, IDENTIFICATION INDEX 240 WITH EXTERIOR GLUE. NAIL WITH 8d NAILS AT 6" O.C. AT ALL EDGE SUPPORTS AND WITH 8d NAILS AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE.
    - b. EXTERIOR WALLS TO BE STD 1/2" CD WITH EXTERIOR GLUE. NAIL WITH 8d NAILS AT 6" O.C. AT ALL EDGE SUPPORTS AND WITH 8d NAILS AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE. SEE SHEAR WALL SCHEDULE FOR SHEAR WALL SHEATHING AND NAILING.

- 5. WOOD NAILING SCHEDULE: (SELECT AS APPROPRIATE)
  - a. JOIST TO SILL OR GIRDER, TOENAIL 38d
  - b. BRIDGING TO JOIST, TOENAIL EACH END 28d
  - c. 1"x6" SUBFLOOR OR LESS TO EACH JOIST FACE NAIL 28d
  - d. WIDER THAN 1"x6" SUBFLOOR TO EACH JOIST, FACE NAIL 38d
  - e. SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL 216d
  - f. SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL 216d
  - g. TOP PLATE TO STUD, END NAIL 216d
  - h. STUD TO SOLE PLATE TOENAIL 48d or FACE NAIL 216d
  - i. DOUBLE STUDS, FACE NAIL 16d @ 24" O.C.
  - j. DOUBLED TOP PLATES, FACE NAIL 16d @ 18" O.C.
  - k. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL 216d
  - l. CONTINUOUS HEADER, 2 PIECES 16d @ 16" O.C.
  - m. ALONG 2 EDGES
  - n. CEILING JOISTS TO PLATE, TOENAIL 38d
  - o. CONTINUOUS HEADER TO STUD, TOENAIL 48d
  - p. CEILING JOIST, LAPS OVER PARTITIONS FACE NAIL 316d
  - q. RAFTER TO PLATE, TOENAIL 48d
  - r. BRACE TO EACH STUD AND PLATE, FACE NAIL 28d
  - s. 1"x8" SHEATHING OR LESS TO EACH BEARING, FACE NAIL 28d
  - t. WIDER THAN 1"x8" SHEATHING TO EACH BEARING, FACE NAIL 38d
  - u. BUILT UP CORNER STUDS 16d @ 24" O.C.
  - v. BUILT UP GIRDERS AND BEAMS 20d @ 32" O.C. AT TOP AND BOTTOM AND STAGGERED 220d AT EACH END & SPLICE
  - w. PLANKS 216d AT EACH BEARING
- 6. WOOD CONNECTORS:
  - a. ALL LUMBER CONNECTORS SPECIFIED AS "SIMPSON" TYPE TO BE MANUFACTURED BY "SIMPSON STRONG-TIE COMPANY, INC." OR PRE-APPROVED EQUAL.
- E. MISCELLANEOUS:
  - 1. EXPANSION AND SCREW ANCHORS: USE STUD TYPE EXPANSION ANCHORS WITH A SINGLE PIECE WEDGE. CONTRACTOR SHALL SUBMIT MANUFACTURERS SIZE AND STRENGTH DATE PRIOR TO USE.
  - 2. CONCRETE ANCHORS: ANCHORS SHALL HAVE AN ICC APPROVAL AND INCLUDE HILTI HIT-RE500 SD (ESR 3814) OR APPROVED EQUAL. EPOXY SET ANCHORS IN MASONRY ANCHORS SHALL HAVE ICC APPROVAL AND INCLUDE HILTI HIT HY270 (ESR 4143) OR APPROVED EQUAL.
  - 3. EPOXY SET ANCHORS IN CONCRETE: ANCHORS SHALL HAVE ICC APPROVAL AND INCLUDE HILTI HIT-RE500 SD (ESR 3814) OR APPROVED EQUAL.
  - 4. EPOXY SET ANCHORS IN MASONRY ANCHORS SHALL HAVE ICC APPROVAL AND INCLUDE HILTI HIT HY270 (ESR 4143) OR APPROVED EQUAL.
- F. NOTE TO CONTRACTOR REGARDING PRICING/BIDDING OF PERMIT SUBMITTAL DRAWINGS:
  - 1. THESE DRAWINGS HAVE BEEN PREPARED FOR PERMIT SUBMITTAL AND ARE NOT TO BE CONSIDERED 100% CONSTRUCTION DOCUMENTS UNTIL PLANS REVIEW HAS BEEN COMPLETED AND FINAL BUILDING PERMIT HAS BEEN ISSUED.
  - 2. IF THESE DOCUMENTS ARE TO BE USED FOR PRICING, BID, BUDGET - THE CONTRACTOR OR SHALL PROVIDED IN THE PROJECT BUDGET AN ALLOWANCE FOR POTENTIAL CHANGES BETWEEN THE PERMIT SUBMITTAL DRAWINGS AND THE FINAL BUILDING PERMIT SETS.
  - 3. THE STRUCTURAL ENGINEER SHALL NOT BE RESPONSIBLE FOR CHANGE ORDERS AND COSTS INCURRED DUE TO BIDDING OR STEEL CHANGES FROM THESE DRAWINGS. CONTACT STRUCTURAL ENGINEER FOR CLARIFICATION IF THE SCOPE AND QUANTITY FOR ALLOWANCE IS NOT CLEAR.
- G. SPECIAL INSPECTION: SPECIAL INSPECTION IS REQUIRED IN ACCORDANCE WITH I.B.C SECTION 1701 FOR THE FOLLOWING ITEMS.
  - 1. CONCRETE CONSTRUCTION
  - 2. SPECIAL CASES: EPOXY SET POST INSTALLED ANCHORS
  - 3. ANCHORS: EXPANSION TYPE POST INSTALLED ANCHORS



kansas city • lawrence • new orleans  
phoenix • san francisco

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# EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner: **Wilson & Company**  
420 N. Washington Street  
Phoenix, AZ 85003  
602.282.8011  
www.wilsonco.gov

civil engineer:  
**Wilson & Company**  
420 N. Washington Street  
Phoenix, AZ 85003  
602.282.8011  
www.wilsonco.gov

architect: **Gould Evans**  
4300 Pennsylvania Avenue  
Tempe, AZ 85281  
480.968.3070  
www.gould-evans.com

mechanical engineer:  
**Applied Engineering**  
2805 S. Rural Road #101  
Tempe, AZ 85281  
480.968.3070  
www.appliedengineering.com

historic preservation:  
**Ryden Architects**  
903 W. McDowell Road  
Phoenix, AZ 85007  
602.251.5391  
www.rydenarchitects.com

landscape architect:  
**Floor Associates**  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1473  
www.floorassociates.com

structural engineer:  
**BDA design**  
8501 E. Greenway Plaza #750  
Scottsdale, AZ 85254  
480.288.7700  
www.bdaesign.com

food service:  
**Design-Tec Food Facilities**  
8501 E. Greenway Plaza #750  
Scottsdale, AZ 85254  
480.288.7700  
www.design-tec.com

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Number	Description	Date
1	Delta 1 - copy list Review Comments	02/25/2022

PROJECT NO: 0520-0020  
DATE: February 25, 2022

## GENERAL STRUCTURAL NOTES

# SO.0

BID SET - DEMO PHASE



**EDISON  
IMPACT HUB**

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
**Gould Evans**  
521 S. 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140 voice  
www.gouldevans.com

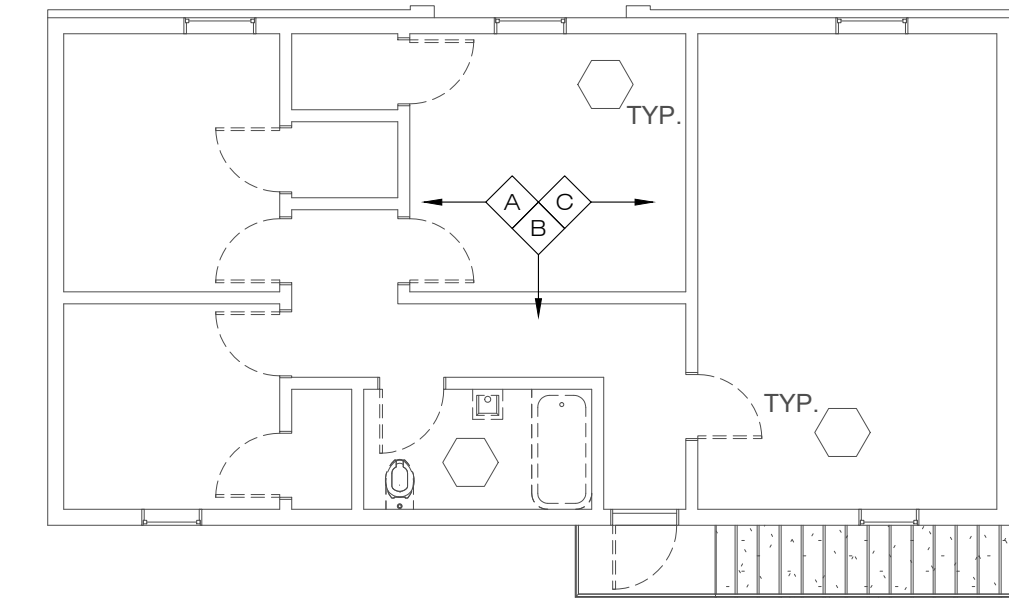
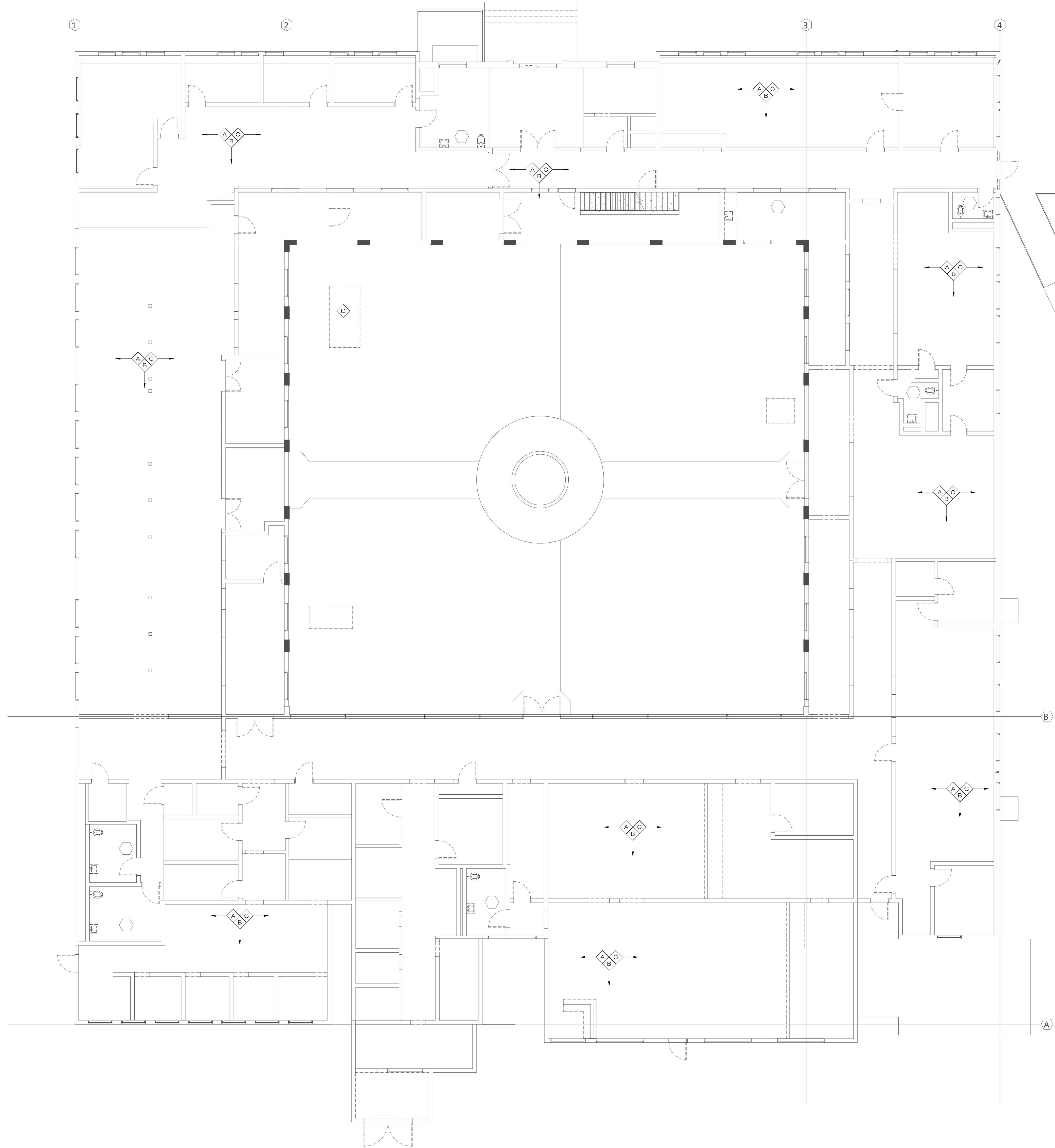
historic preservation:  
**Ryden Architects**  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

structural engineer:  
**BDA design**  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

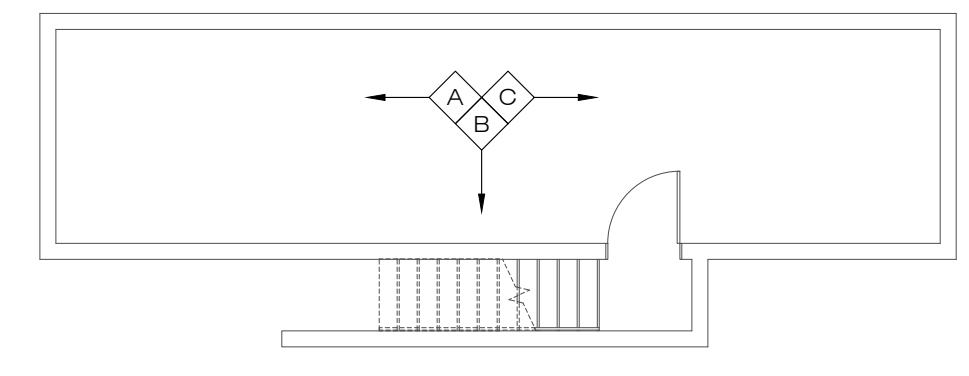
civil engineer:  
**Wilson & Company**  
410 N. 44th Street Suite 450  
Phoenix, AZ 85008  
602.283.7701  
www.wilsonco.com

mechanical/electrical engineer:  
**Applied Engineering**  
2000 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.ws

landscape architect:  
**Floor Associates**  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

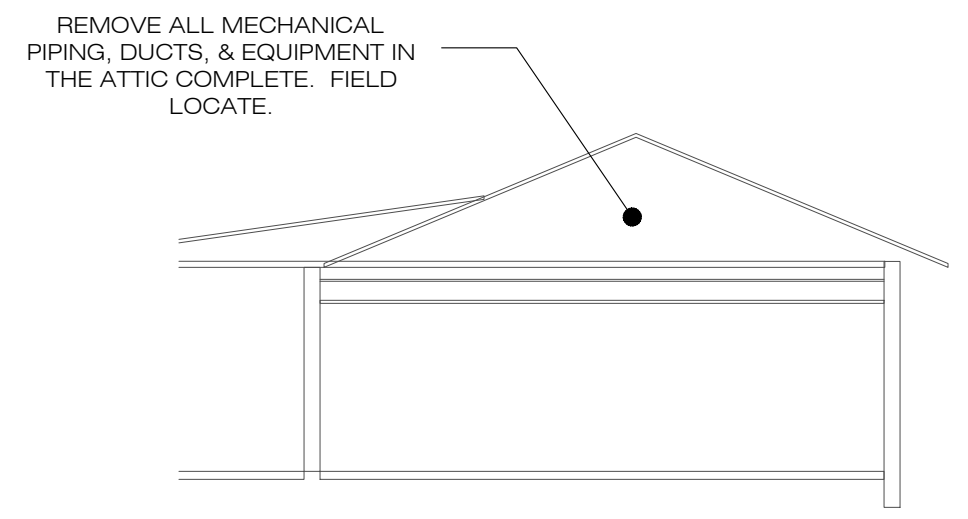


**MECHANICAL SECOND FLOOR DEMOLITION PLAN**  
SCALE: 1/8"=1'-0" NORTH



**MECHANICAL BASEMENT DEMOLITION PLAN**  
SCALE: 1/8"=1'-0" NORTH

- DEMOLITION KEYED NOTES**
- A. DEMOLISH AND REMOVE EXISTING OUTDOOR AND INDOOR MECHANICAL HVAC EQUIPMENT COMPLETE.
  - B. DEMOLISH AND REMOVE ALL EXISTING DUCTWORK AND AIR DEVICES COMPLETE BELOW AND ABOVE CONCRETE LID.
  - C. REMOVE AND DISPOSE OF EXISTING THERMOSTATS AND ZONE SENSORS.
  - D. REMOVE AND DISPOSE OF EXISTING CHILLER AND CHILLED WATER PIPING COMPLETE.



**MECHANICAL ATTIC DEMOLITION SECTION**  
SCALE: 1/8"=1'-0"

**MECHANICAL FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/8"=1'-0" NORTH

**APPLIED ENGINEERING**  
2800 S. RURAL RD., SUITE 101  
TEMPE, AZ 85282 (480)968 3070  
JOB NUMBER 21-017

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Expires 12/31/2022  
Applied Engineering  
Arizona License No. 29717  
Gregory Piraino Date: 2/25/2022  
Engineer

**REVISIONS**

Number	DESCRIPTION	DATE

PROJECT NO: 0520-0020  
DATE: February 25, 2022

Mechanical Demolition Floor Plans  
**M100**  
BID SET - DEMO PHASE



**EDISON  
IMPACT HUB**

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

Owner:  
City of Phoenix  
700 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

Architect:  
Gould Evans  
521 S. 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140 voice  
www.goulddevans.com

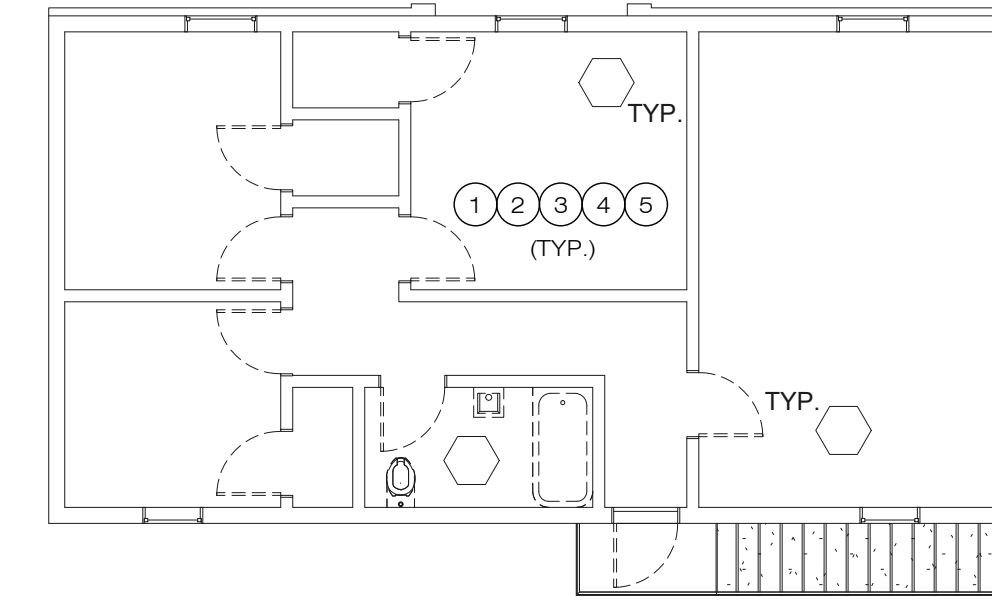
Historic Preservation:  
Ryden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5383  
www.rydenarchitects.com

Structural Engineer:  
RDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.rdadesign.com

Civil Engineer:  
Wilson & Company  
410 N. 44th Street Suite 460  
Phoenix, AZ 85008  
602.283.3701  
www.wilsonco.com

Mechanical/Electrical Engineer:  
Applied Engineering  
2900 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.us

Landscape Architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com



**PLUMBING SECOND FLOOR DEMOLITION PLAN**

SCALE: 1/8"=1'-0" NORTH

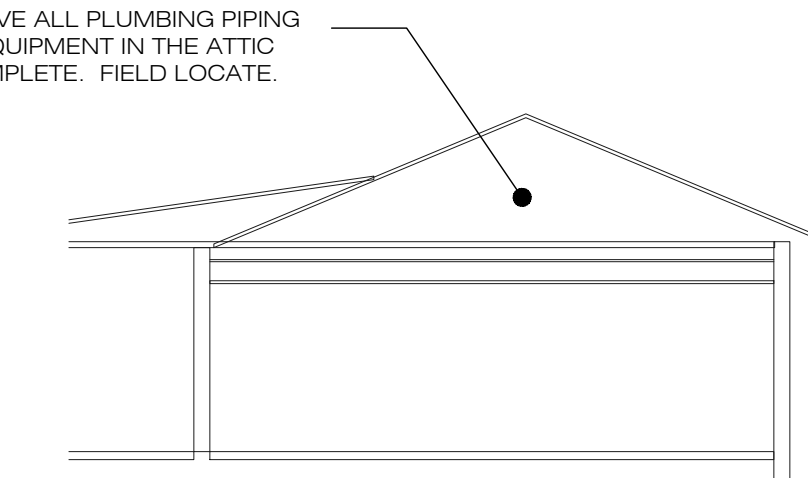
**DEMOLITION KEYED NOTES:**

- DEMOLISH EXISTING PLUMBING FIXTURES IN RESTROOM. ALL PIPING TO PLUMBING FIXTURES SHALL BE DEMOLISHED. WASTE LINES SHALL BE CAPPED BELOW SLAB, VENT AND WATER LINES SHALL BE CAPPED ABOVE CEILING. FIELD LOCATE.
- DEMOLISH ALL UNUSED PLUMBING FIXTURES, WATER, WASTE, AND VENT LINES. WASTE LINES SHALL BE CAPPED BELOW SLAB, AND VENT AND WATER LINES SHALL BE CAPPED ABOVE CEILING. FIELD LOCATE.
- NO EXISTING PLUMBING PIPING TO BE REUSED. ALL WASTE, DOMESTIC WATER, GAS, AND VENTS SHALL BE DEMOLISHED. DEMOLISH AND REMOVE ALL PIPING IN ALL AREAS OF THE ATTIC. FIELD LOCATE.
- FIELD LOCATE ALL EXISTING UNUSED VENT THROUGH ROOF AND DEMOLISH. ROOF SHALL BE REPAIRED WHERE VENT WAS REMOVED.
- DEMOLISH ALL EXISTING PLUMBING FIXTURES. ALL PIPING TO PLUMBING FIXTURES SHALL BE DEMOLISHED. WASTE LINES SHALL BE CAPPED BELOW SLAB, VENT AND WATER LINES SHALL BE CAPPED ABOVE CEILING. FIELD LOCATE.
- REMOVE ALL PLUMBING PIPING & EQUIPMENT IN THE ATTIC COMPLETE. FIELD LOCATE.

**LEGEND:**

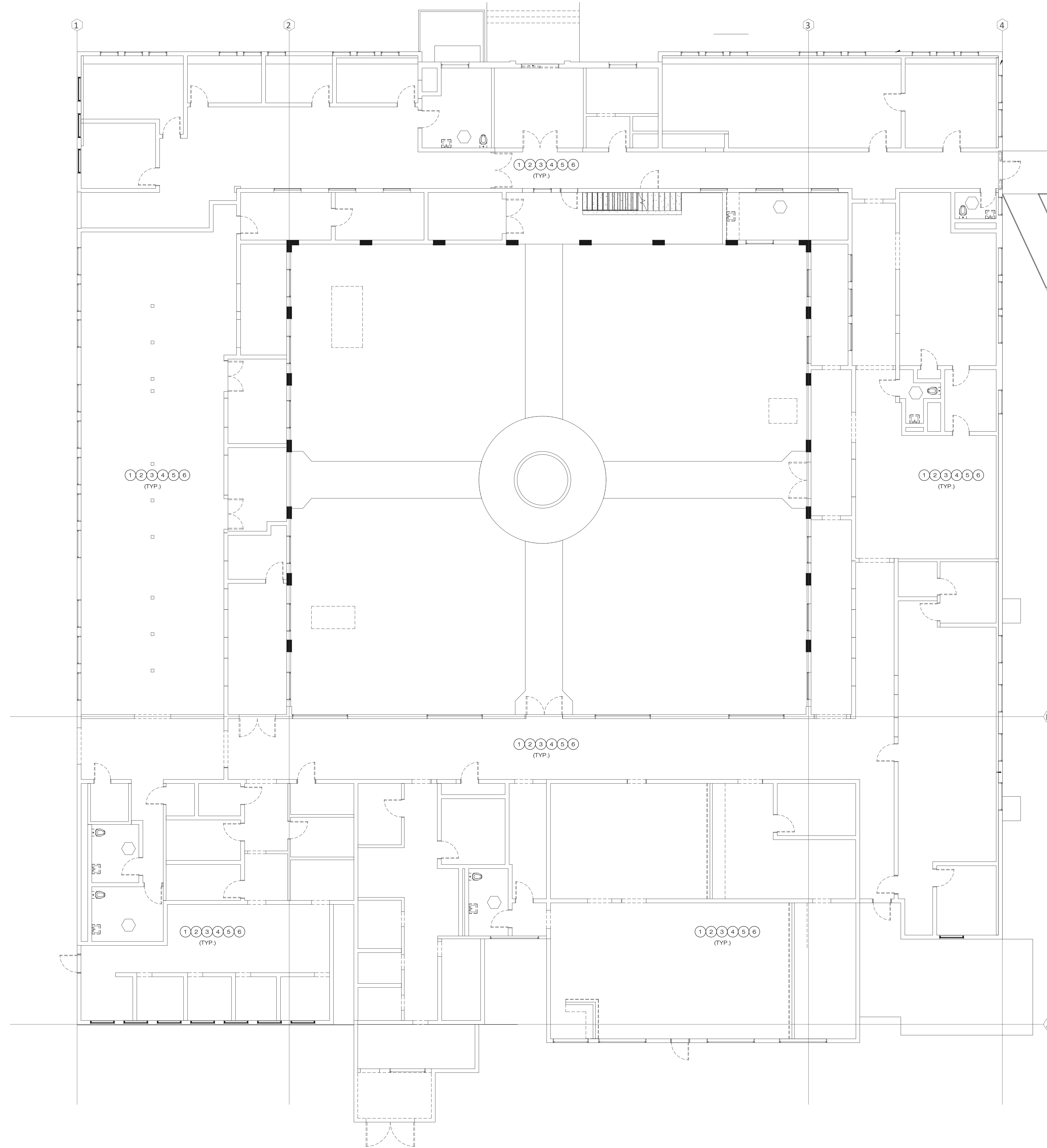
- (N) NEW WORK AND MATERIALS.
- (E) EXISTING TO REMAIN.
- (R) RELOCATE EXISTING.
- (X) EXISTING TO BE REMOVED.
- NEW POINT OF CONNECTION/DISCONNECTION.
- /// DENOTES AREA OF DEMOLITION.

REMOVE ALL PLUMBING PIPING & EQUIPMENT IN THE ATTIC COMPLETE. FIELD LOCATE.



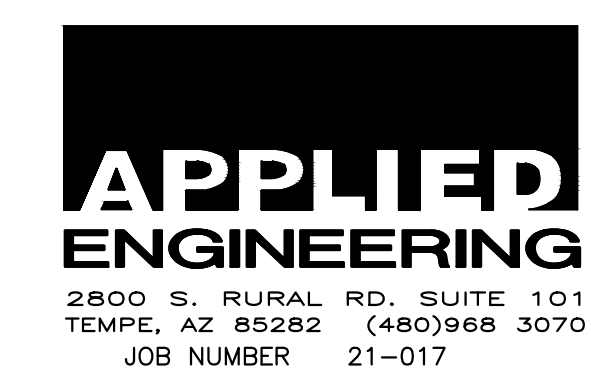
**ATTIC DEMOLITION SECTION**

SCALE: 1/8"=1'-0"

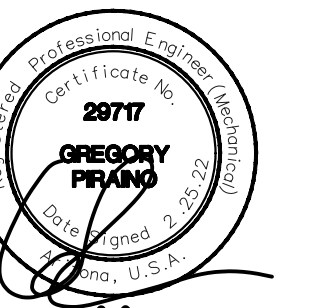


**PLUMBING FIRST FLOOR DEMOLITION PLAN**

SCALE: 1/8"=1'-0" NORTH



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Expires 12/31/2022

Applied Engineering  
Arizona License No. 29717  
Gregory Piraino Date: 2/25/2022  
Engineer

**REVISIONS**

Number	DESCRIPTION	DATE

PROJECT NO: 0520-0020  
DATE: February 25, 2022

Plumbing  
Demolition  
Floor Plan  
**P100**

**BID SET - DEMO PHASE**



**EDISON  
IMPACT HUB**

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
300 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Gould Evans  
521 S. 3rd Street #100  
Phoenix, AZ 85004  
602.234.1340 voice  
www.goulddevans.com

historic preservation:  
Hyden Architects  
902 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.hydenarchitects.com

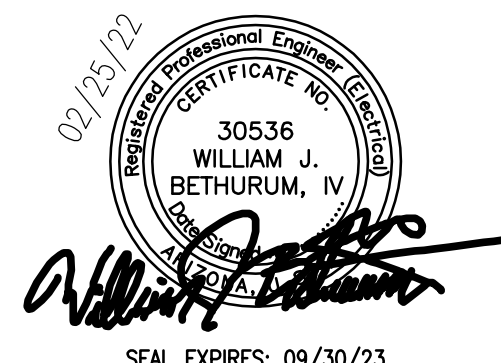
structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

civil engineer:  
Wilson & Company  
410 N. 44th Street Suite 450  
Phoenix, AZ 85008  
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mechanical/electrical engineer:  
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2900 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

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**REVISIONS**

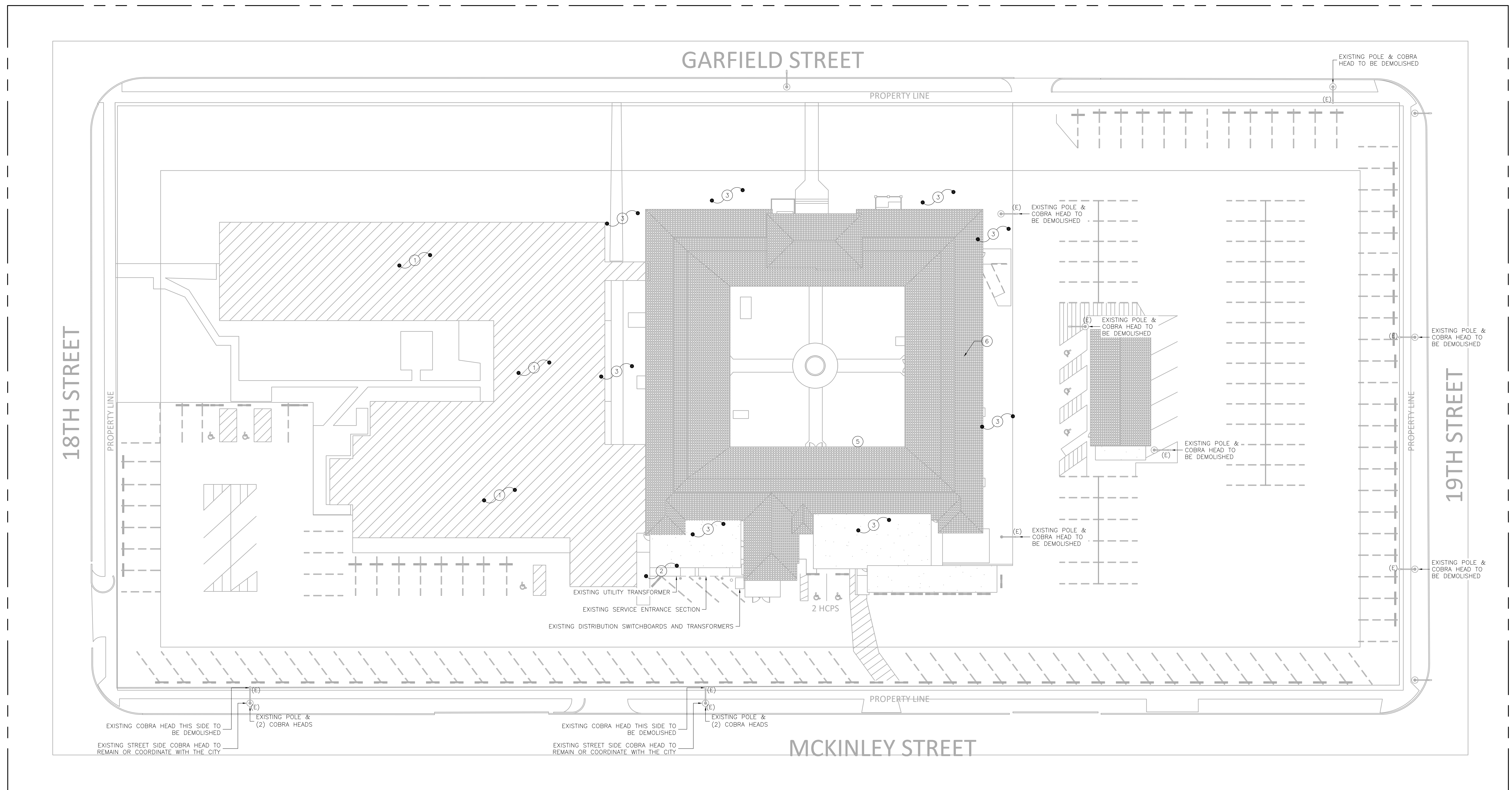
Number	DESCRIPTION	DATE
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PROJECT NO: 0520-0020  
DATE: FEBRUARY 25, 2022

Electrical Site  
Demolition Plan

**E1.0**

BID SET - DEMO PHASE



**KEYED NOTES**

- EXISTING BUILDING AND ASSOCIATED ELECTRICAL TO BE DEMOLISHED.
- REMOVE EXISTING ELECTRICAL SERVICE AND ASSOCIATED EQUIPMENT. COORDINATE WITH APS. SEE APS DESIGN FOR COMPLETE REQUIREMENTS.
- REMOVE ALL EXTERIOR CONDUIT AND BRANCH WIRING.
- (KEYED NOTE NOT USED).
- WITHIN THE STRUCTURE, REMOVE UNUSED ELECTRICAL EQUIPMENT, FEEDERS, LIGHTING, LOW VOLTAGE WIRING, WIRING DEVICES AS COORDINATED WITH THE FINAL ELECTRICAL DESIGN.
- WITHIN ATTIC SPACES, REMOVE ALL UNUSED CONDUIT, WIRING, AND DEVICES INCLUDING ALL UNUSED LOW VOLTAGE WIRING THROUGHOUT. COORDINATE ALL WORK WITH OWNER'S IT REPRESENTATIVE. THESE SPACES MAY BE USED FOR ROUTING NEW RACEWAYS AND WIRING ACCORDINGLY.

**DEMOLITION GENERAL NOTES**

- COORDINATE ALL WORK WITH OTHER TRADES AND ARCHITECTURAL DEMOLITION PLANS.
- WITHIN AREAS OF DEMOLITION, REMOVE ALL UNUSED LOW VOLTAGE WIRING & RACEWAYS REMAINING FROM ABANDONED SYSTEMS. REMOVE ALL NON-CONFORMING, DAMAGED, OR ABANDONED RACEWAYS, BRANCH WIRING, WIRING DEVICES.

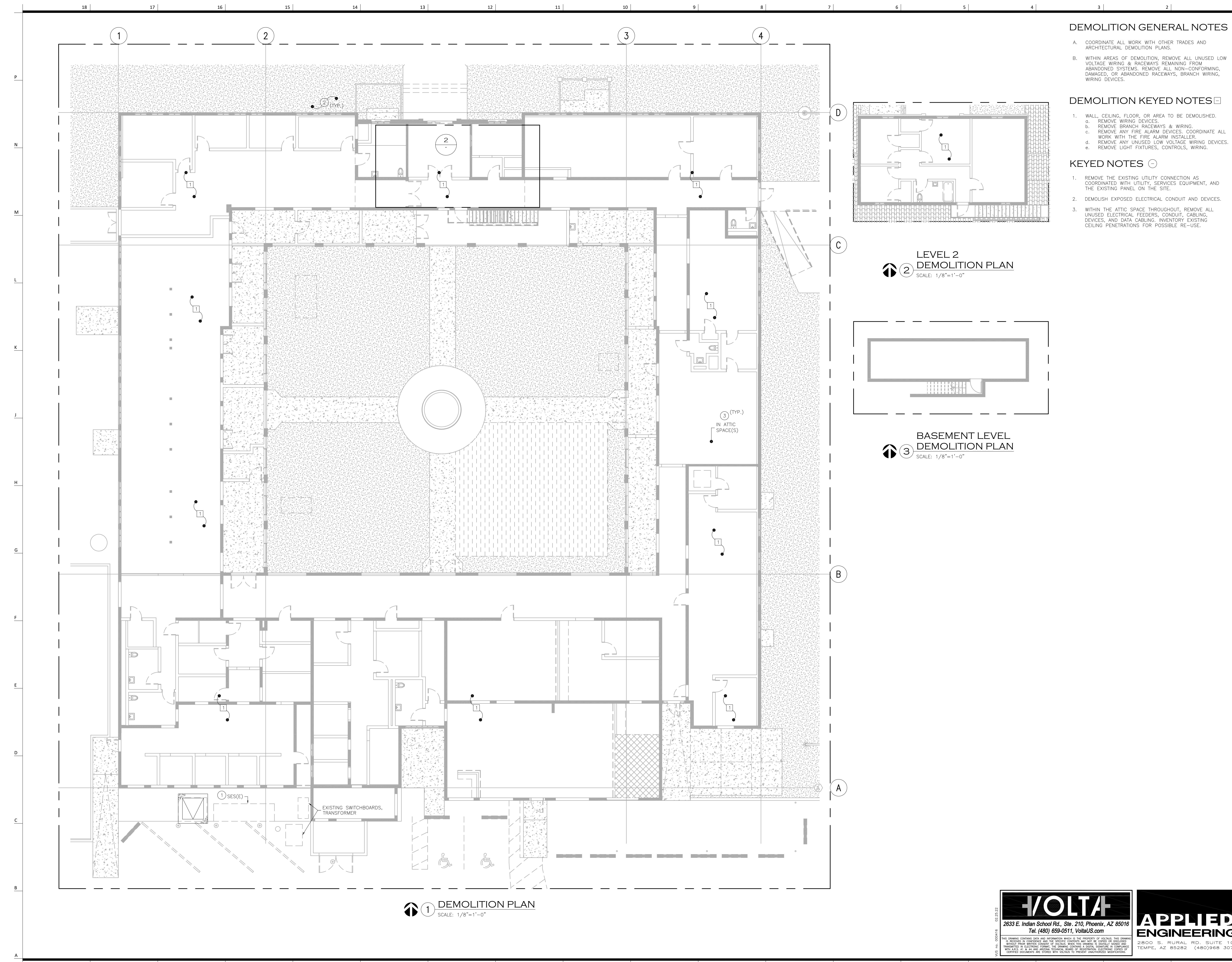
Call at least two full working days before you begin excavation.

**ARIZONA 811**  
Arizona Blue Stake, Inc.  
Dial 8-1-1 or 1-800-STAKE-IT (782-5348) in Maricopa County: (602) 263-1100

**VOLTA**  
2633 E. Indian School Rd., Ste. 210, Phoenix, AZ 85016  
Tel: (480) 659-0511, VoltaUS.com

**APPLIED ENGINEERING**  
2800 S. RURAL RD., SUITE 101  
TEMPE, AZ 85282 (480)968 3070





**DEMOLITION GENERAL NOTES**

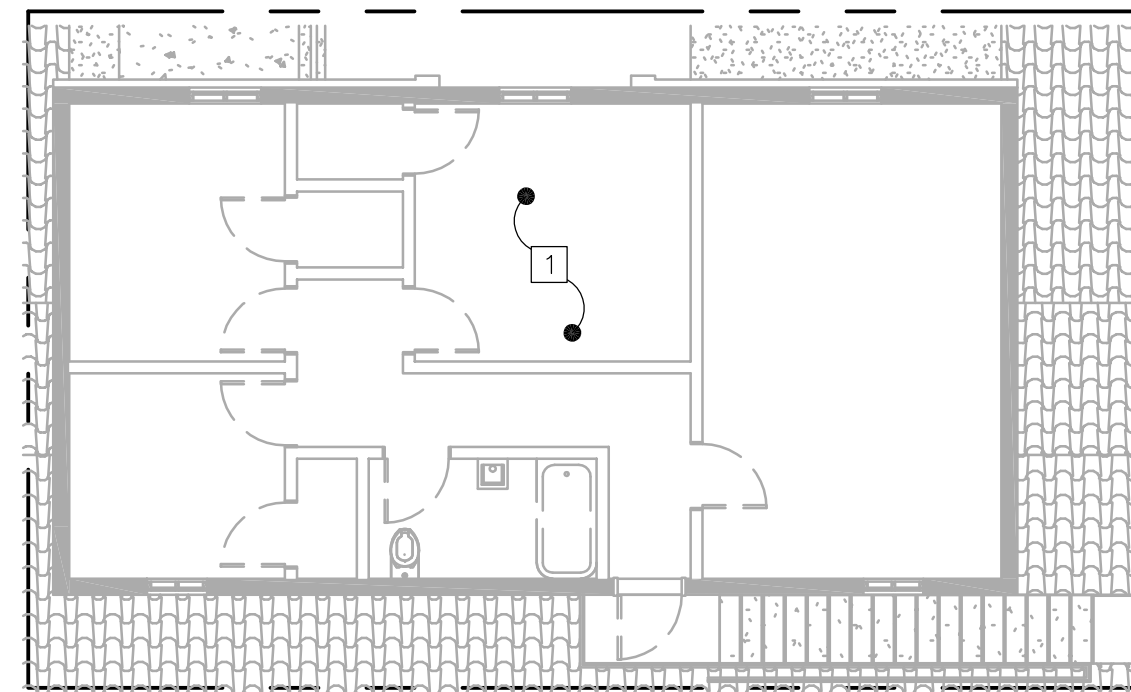
- A. COORDINATE ALL WORK WITH OTHER TRADES AND ARCHITECTURAL DEMOLITION PLANS.
- B. WITHIN AREAS OF DEMOLITION, REMOVE ALL UNUSED LOW VOLTAGE WIRING & RACEWAYS REMAINING FROM ABANDONED SYSTEMS. REMOVE ALL NON-COMFORMING, DAMAGED, OR ABANDONED RACEWAYS, BRANCH WIRING, WIRING DEVICES.

**DEMOLITION KEYED NOTES**

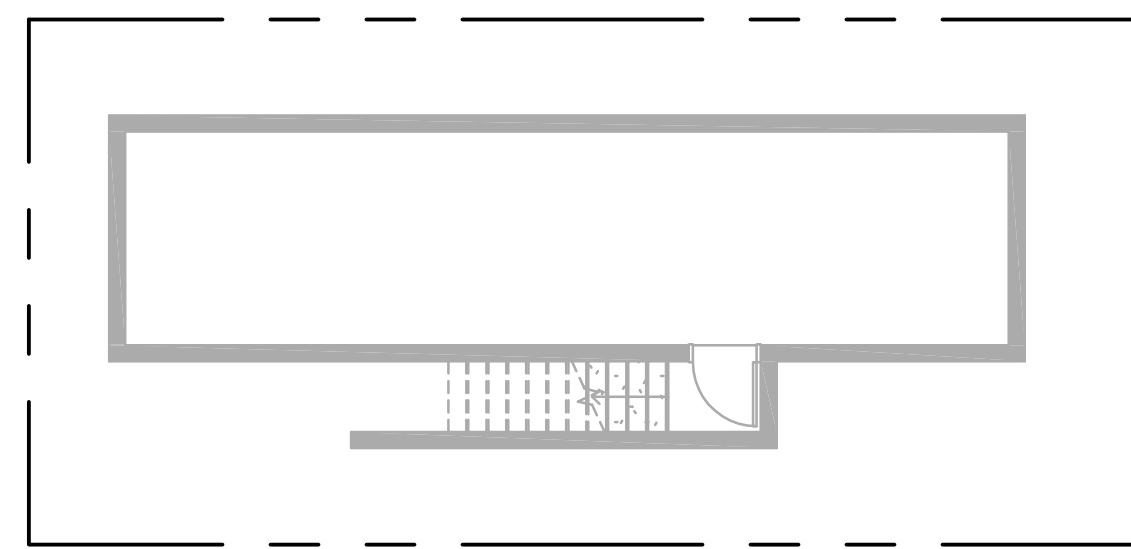
- 1. WALL, CEILING, FLOOR, OR AREA TO BE DEMOLISHED.
  - a. REMOVE WIRING DEVICES.
  - b. REMOVE BRANCH RACEWAYS & WIRING.
  - c. REMOVE ANY FIRE ALARM DEVICES. COORDINATE ALL WORK WITH THE FIRE ALARM INSTALLER.
  - d. REMOVE ANY UNUSED LOW VOLTAGE WIRING DEVICES.
  - e. REMOVE LIGHT FIXTURES, CONTROLS, WIRING.

**KEYED NOTES**

- 1. REMOVE THE EXISTING UTILITY CONNECTION AS COORDINATED WITH UTILITY, SERVICES EQUIPMENT, AND THE EXISTING PANEL ON THE SITE.
- 2. DEMOLISH EXPOSED ELECTRICAL CONDUIT AND DEVICES.
- 3. WITHIN THE ATTIC SPACE THROUGHOUT, REMOVE ALL UNUSED ELECTRICAL FEEDERS, CONDUIT, CABLING, DEVICES, AND DATA CABLING. INVENTORY EXISTING CEILING PENETRATIONS FOR POSSIBLE RE-USE.



**LEVEL 2 DEMOLITION PLAN**  
SCALE: 1/8"=1'-0"



**BASEMENT LEVEL DEMOLITION PLAN**  
SCALE: 1/8"=1'-0"

**DEMOLITION PLAN**  
SCALE: 1/8"=1'-0"

**EDISON  
IMPACT HUB**

1824 E. MCKINLEY STREET  
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owner:  
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www.phoenix.gov

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Gould Evans  
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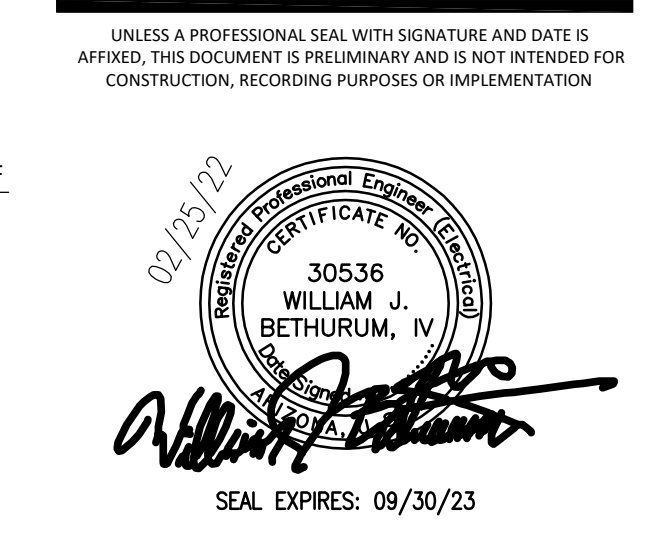
historic preservation:  
Ryden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

civil engineer:  
Wilson & Company  
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mechanical/electrical engineer:  
Applied Engineering  
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landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com



**REVISIONS**

Number	DESCRIPTION	DATE

PROJECT NO: 0520-0020  
DATE: FEBRUARY 25, 2022

Electrical Demo Plan

**E2.0**

BID SET - DEMO PHASE

**VOLTA**  
2633 E. Indian School Rd., Ste. 210, Phoenix, AZ 85016  
Tel: (480) 659-0511, VoltaUS.com

**APPLIED ENGINEERING**  
2800 S. RURAL RD., SUITE 101  
TEMPE, AZ 85282 (480)968 3070



# EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
**City of Phoenix**  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

civil engineer:  
**Wilson & Company**  
410 N. 44th Street Suite 400  
Phoenix, AZ 85008  
602.288.2701  
www.wilsonco.com

architect:  
**Gould Evans**  
4200 Pennsylvania Avenue  
Kansas City, MO 64113  
816.931.6655 voice  
www.goulddevans.com

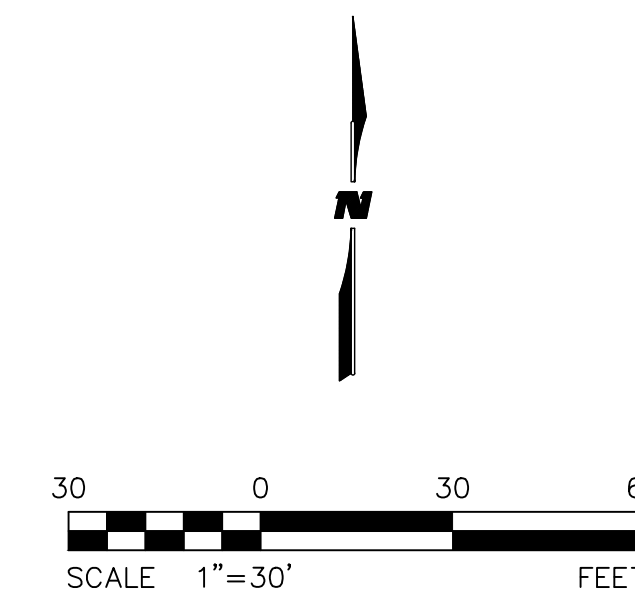
mechanical engineer:  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

historic preservation:  
**Ryden Architects**  
902 W. McDowell Road  
Phoenix, AZ 85007  
602.333.9391  
www.rydenarchitects.com




landscape architect:  
**Floor Associates**  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

structural engineer:  
**BDA design**  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

food service:  
**Design-Tec Food Facilities**  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222



### LEGEND

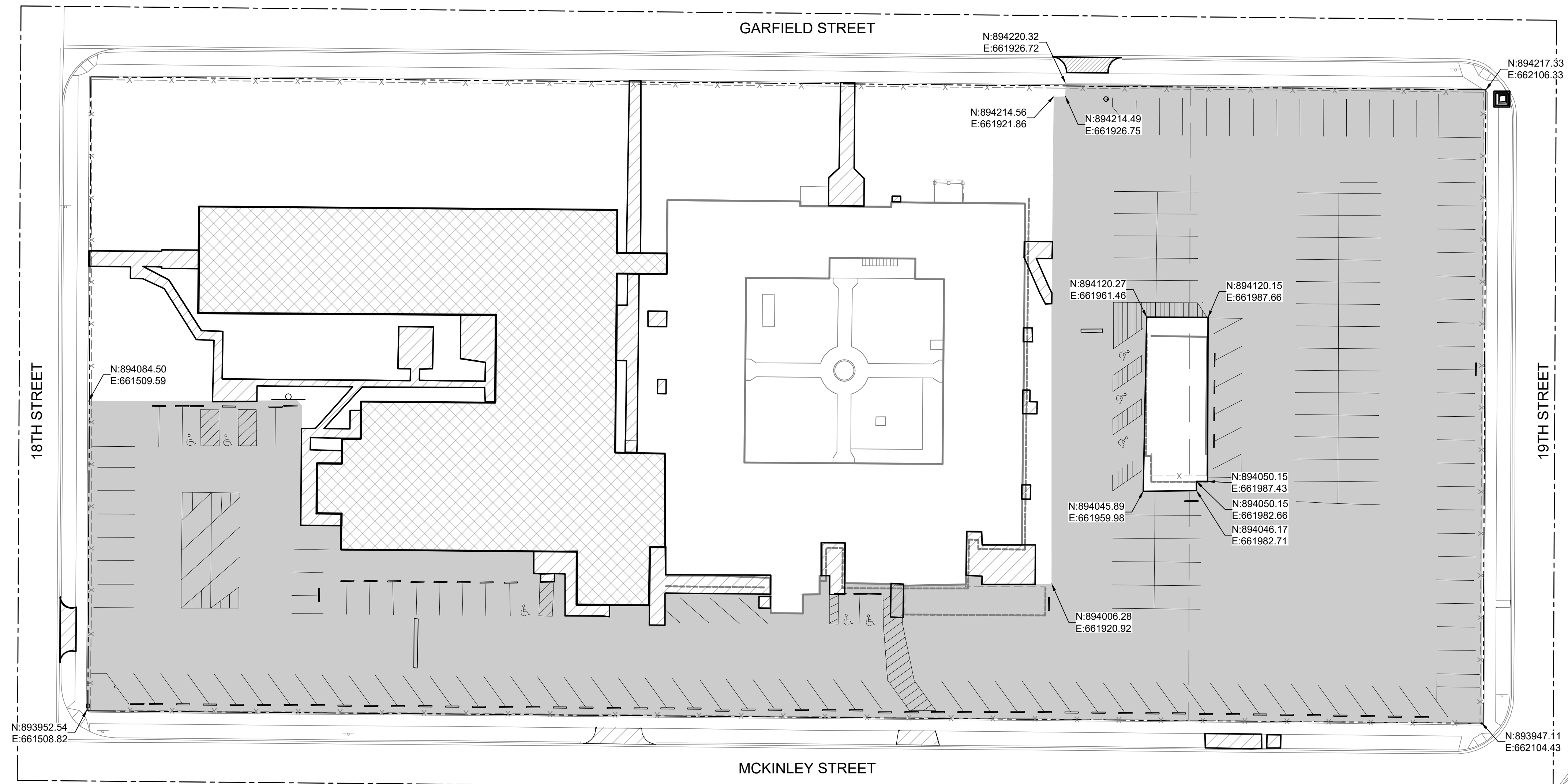
-  EXISTING ASPHALT TO BE REMOVED
-  EXISTING CONCRETE TO BE REMOVED
-  EXISTING BUILDING TO BE REMOVED (SEE ARCHITECTURAL PLANS)

### NOTE TO CONTRACTOR

EXISTING TREES AND SHRUBS SHALL BE REMOVED AS NOTED ON ARCHITECTURAL OR LANDSCAPE ARCHITECTURAL PLANS.

### NOTE TO CONTRACTOR

VERIFY VERTICAL AND HORIZONTAL LOCATIONS OF ALL POTENTIAL CONFLICTING UTILITIES PRIOR TO DEMOLITION.



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### REVISIONS

Number	DESCRIPTION	DATE
1	Delta 1 - COP 1st Review Comments	02/25/2022
2	Delta 2 - COP 2nd Review Comments	06/01/2022

PROJECT NO: 0520-0020  
DATE: JUNE 16, 2022  
WILSON & CO PN: 21-600-038

GRD/DRN 3 OF 10

DEMOLITION PLAN

# C102

BID SET - DEMO PHASE



KIVA #: 21-2575  
CPGD #: 2203284  
SDEV#: 2100269  
QS #: Q11-31

M:\MSD\21-600-038-002\_Disciplines\_SHEETS\1\_Sheets - Grading and Drainage\EI\H - C102 - GRADING AND DRAINAGE - DEMOLITION PLAN.dwg