

# City of Phoenix Office of the City Engineer Design and Construction Procurement

### AH20620004 THE MORELAND REBID

### **ADDENDUM NO. 1**

ISSUE DATE: September 14, 2023

Bidders must include the attached Construction Bid Proposal with their submitted proposals.

Bidders are hereby notified that the Bidding and Contract Documents for the above project, for which Bids are to be received on September 19, 2023, are amended as follows:

Q1.	Sheet A803-A is showing a Master Finish legend that has LVT Hatching & location callouts that aren't matching up with the Finished Floor plan. LVT-1 Location callout is residential units but the floor hatching is shown through the corridors, but the Corridors is supposed to				
	show LVT-3. LVT-2 Location is calling out Unit Restrooms, but the Hatching seems to be				
	shown throughout the entire unit. The concern is for the price point of each of the LVT to				
	make sure of capturing the correct materials. Clarify LVT Finish locations.				
A1.	LVT finishes clarified on attached sheets and updated Master Finish Legend. Refer to Master				
	Finish Legend for residential unit bathroom floor finish. Apply transition strip at center of door panel.				
Q2.	The first floor has a hatching of Conc throughout corridors, but also shows Unit LVT				
	continuing into the corridor. Will the unit LVT continue into the corridor, or will it be terminated at the unit doorway?				
A2.	The LVT on the ground floor will terminate at the unit doorway. See updated sheets.				
Q3.	The plans only show finishes for Building 1 & Building 2 for a total of 132 units, but the Plans				
	scope of work on Sheet G101-A description includes a Building 3 for a total of 237 units.				
	Confirm if Building 3 is part of this scope of work or part of this phase and If it is part of this scope of work, are there plans for Building 3?				
A3.	Building 3 is not part of this scope, only Buildings 1 and 2 for a total of 132 units. Scope of				
Αυ.	Work description has been updated on sheet G101-A.				
	Tronk decomplian flag pool apaded on effect of the				
Q4.	Referring to Building 2, finish callouts for Trash Rooms, Bicycle areas, Stair/Elevator Corrido or Stairs appears to be missing. Are any of the areas in Building 2 receiving finishes?				
A4.	a. Trash Rooms: Sealed Concrete				
	b. Bicycle Areas: Bicycle area finishes to match precast concrete garage floor finish				
	c. Stair/Elevator Corridors: Ground floor, Conc-1, Upper floors, LVT-3				
	d. Stairs: Concrete with light broom finish				
Q5.	Referring to Building 1, Plans are showing precast Conc Treads. Clarify if there are finishes				
ασ.	at the stairs or landings.				
A5	Concrete with light broom finish.				
1	<u> </u>				

### Plan Sheets:

- 1. Sheet G101-A (COVER SHEET BLDG 1): Replace this sheet with the attached revised Sheet G101-A
- 2. Sheet A101.1-B (OVERALL 1<sup>ST</sup> FLOOR PLAN): Replace this sheet with the attached revised Sheet A101.1-B
- 3. Sheet A102.1-B (OVERALL 2<sup>ND</sup> FLOOR PLAN): Replace this sheet with the attached revised Sheet A102.1-B
- 4. Sheet A803-A (MASTER FINISH LEGEND): Replace this sheet with the attached revised Sheet A803-A
- 5. Sheet A804-A (OVERALL 1<sup>ST</sup> FLOOR FINISH PLAN): Replace this sheet with the attached revised Sheet A804-A
- 6. Sheet A805-A (OVERALL 2<sup>ND</sup>, 3<sup>RD</sup>, 4<sup>TH</sup>, 5<sup>TH</sup> FINISH FLOOR PLANS): Replace this sheet with the attached revised Sheet A805-A

NOTE: Bidders must acknowledge receipt of this Addendum by listing the number and date, where provided, on the PROPOSAL P-1.

### **END OF ADDENDUM**



<u>ARCHITECTURAL</u> SPS+ Architects, LLP (480) 991-0800 PM Email: **STRUCTURAL** 

Wright Engineers 480-483-6111

pkrizan@wrightengineers.com MECHANICAL/PLUMBING/ELECTRICAL

Solutions AEC 480-566-1582 iremson@solutions-aec.com

Logan Simpson 480-967-1343 jmoar@logansimpson.com

**EPS** Group 623-547-4661 dan.auxier@epsgroupinc.com PARKING GARAGE

Coreslab

NATIVE AMERICAN CONNECTIONS 1125 N 3RD ST. PHOENIX, AZ 85004



## SHEET INDEX

.DG 1	A116-A	UNIT PLAN - 2 BED - TYPE B2	FUUTA	SYMBOLS
COVER SHEET - BLDG 1	A117-A	UNIT PLAN - 2 BED - TYPE B3	P002A	PLUMBING :
CODE SHEET - BLDG 1	A118-A	UNIT PLAN - 3 BED - ADA & TYPE A	P100A	PLUMBING
CODE SHEET - BLDG 1	A119-A	UNIT PLAN - 3 BED - TYPE B	P101A	PLUMBING
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LEVEL 2 CODE PLAN	A121-A	UNIT PLAN - STUDIO - BLDG 1 - ADA & TYPE A	P103A	PLUMBING :
LEVEL 3 CODE PLAN	A201-A	1ST FLOOR REFLECTED CEILING PLAN	P104A	PLUMBING A
LEVEL 4 CODE PLAN	A202-A	2ND FLOOR REFLECTED CEILING PLAN	P105A	PLUMBING :
LEVEL 5 CODE PLAN	A203-A	3RD FLOOR REFLECTED CEILING PLAN	P106A	PLUMBING
	A204-A	4TH FLOOR - REFLECTED CEILING PLAN	P201A	PLUMBING
	A205-A	5TH FLOOR REFLECTED CEILING PLAN	P202A	PLUMBING :
CODE DETAILS	A206-A	ENLARGED AWNING RCP	P203A	PLUMBING :
CODE DETAILS	A300-A	ROOF PLAN - BLDG 1	P204A	PLUMBING A
CODE DETAILS	A400-A	EXTERIOR ELEVATIONS	P205A	PLUMBING :
CODE DETAILS	A401-A	EXTERIOR ELEVATIONS	P206A	PLUMBING I
	A402-A	COURTYARD ELEVATIONS - BLDG 1	P300A	WATER HEA
	A500-A	BUILDING SECTIONS	P301	1 BED COR
COVER SHEET	A501-A	BUILDING SECTIONS	P302	1 BED ADA
GENERAL NOTES & DETAILS	A502-A	BUILDING SECTIONS	P303	STUDIO - TYI

A PLUMBING PLANS A502-A BUILDING SECTIONS A503-A BUILDING SECTIONS A600-A WALL SECTIONS A601-A WALL SECTIONS A602-A WALL SECTIONS A700-A DOOR SCHEDULES ENLARGED STAIR/ELEVATOR PLANS AND 2 BED - ADA PLUMBING PLANS SECTIONS A802-A ENLARGED STAIR SECTIONS 1 BED CUSTOM NW PLUMBING PLANS MASTER FINISH LEGEND COMMUNITY AREA A804-A OVERALL 1ST FLOOR FINISH PLAN PLUMBING DETAILS

**ARCHITECTURA** ARCHITECTURAL DETAILS ARCHITECTURAL DETAILS

TYPICAL ROOF DETAILS TYPICAL ROOF DETAILS LANDSCAPE COVER A970 DOOR DETAILS HARDSCAPE DETAILS DOOR DETAILS WINDOW DETAILS HARDSCAPE DETAILS HARDSCAPE DETAILS WINDOW DETAILS STAIR DETAILS A980 LANDSCAPE NOTES AND SCHEDULE **BALCONY DETAILS** LANDSCAPE PLAN

SHADE STUDY EXHIBIT IRRIGATION PLAN IRRIGATION DETAILS

SP099 DEMO SITE PLAN OVERALL SITE PLAN OVERALL FIRE ACCESS SITE PLAN LOT 1 SITE PLAN SP102 SITE FRONTAGES SP104 SP105 SITE AMENITIES PARKING GARAGE LAYOUT SITE DETAILS SITE DETAILS

SHEET NO. SHEET NAME

**COVER BLDG 1** G101-A C

G102-A

G103-A

G104-A

G105-A

G106-A

G107-A

G108-A

G120

G121

G122

G123

CS01

SD01

SD02

SD03

LANDSCAPE

LC001

A500Y.1

GENERAL NOTES & DETAILS

**GRADING SECTIONS** 

STORM DRAIN PROFILES

STORM DRAIN PROFILES

MINOR LAND DIVISION

MINOR LAND DIVISION

OFFSITE WATER PLAN - COVER SHEET

STORM WATER MANAGEMENT PLAN

STORM WATER MANAGEMENT - COVER SHEET

ONSITE AND OFFSITE FIRE PLAN - COVER SHEET

ONSITE WATER AND SEWER PLUMBING PLAN -

**BLOW UP DETAIL** 

**SEWER PROFILES** 

PAVING PLAN

DETAIL SHEET

FIRE LINE PLAN

COVER SHEET

NOTES AND DETAILS

LANDSCAPE DETAILS

ELEVATIONS

A101-A OVERALL 1ST FLOOR PLAN

A102-A OVERALL 2ND FLOOR PLAN

A113.1-A UNIT PLAN - 1 BED - TYPE B.2

OVERALL 3RD FLOOR PLAN

OVERALL 4TH FLOOR PLAN

OVERALL 5TH FLOOR PLAN

A110-A UNIT PLAN - 1 BED CORNER UNITS - TYPE B

A111-A UNIT PLAN - 1 BED CUSTOM - NW - TYPE B

A112-A UNIT PLAN - 1 BED - ADA & TYPE A

UNIT PLAN - 1 BED - TYPE B

**ELEVATIONS** 

ONSITE/OFFSITE UTILITY PLAN

S-512 & PUBLIC FIRE HYDRANT PLANS

**SEWER PROFILES** 

**GRADING & DRAINAGE PLAN** 

# SPECIAL INSPECTIONS

ITEM 1: SOILS - INCLUDING BEARING CAPACTLY, EXCAVATION, AND FILL ITEM 2: CONCRETE - INCLUDING REINFORCING AND ANCHOR BOLTS ITEM 3: FIRE RESISTANT PENETRATIONS AND JOINSTS (PER IBC SECTION

A805-A OVERALL 2ND, 3RD, 4TH, & 5TH FINISH FLOOR A806-A ENLARGED PLAN - 1ST FLOOR COMMUNITY A807-A ENLARGED RESTROOM PLANS A808-A INTERIOR ELEVATIONS TYPICAL RESTROOM MOUNTING HEIGHTS

A900 WALL TYPES A902 REFLECTED CEILING DETAILS

GENERAL STRUCTURAL NOTES AND LEGENDS - BLDG 1

PLAN - AREA 3 - BLDG 1

S207-A PARTIAL ROOF FRAMING PLAN - AREA 1 - BLDG 1

S208-A PARTIAL ROOF FRAMING PLAN - AREA 2 - BLDG 1

INTERIOR DETAILS

GENERAL STRUCTURAL NOTES (CONT'D) - BLDG 1 TYPICAL DETAILS - BLDG 1 TYPICAL DETAILS - BLDG 1 TYPICAL DETAILS - BLDG 1 S005 SHEARWALL ASSEMBLIES - BLDG 1 \$101-A PARTIAL FOUNDATION PLAN - AREA 1 - BLDG 1 S102-A PARTIAL FOUNDATION PLAN - AREA 2 - BLDG 1 PARTIAL FOUNDATION PLAN - AREA 3 - BLDG 1 PARTIAL 2nd FLOOR FRAMING PLAN - AREA 1 -PARTIAL 2nd FLOOR FRAMING PLAN - AREA 2 -

BLDG 1 PARTIAL 2nd FLOOR FRAMING PLAN - AREA 3 -

S204-A PARTIAL 3rd, 4th, AND 5th FLOOR FRAMING PLAN - AREA 1 - BLDG S205-A PARTIAL 3rd, 4th, AND 5th FLOOR FRAMING PLAN - AREA 2 - BLDG 1

S206-A PARTIAL 3rd, 4th, AND 5th FLOOR FRAMING

**ELECTRICAL UNIT PANEL SCHEDULES** ELECTRICAL UNIT PANEL SCHEDULES ELECTRICAL CALCULATIONS ELECTRICAL PHOTOMETRIC PLAN FIRE PROTECTION FP001A FIRE PROTECTION DESIGN CRITERIA

E203A

JOB No:

# ABBREVIATION SCHEDULE

ANCHOR BOLT AGGREGATE BASE COURSE ACOUSTICAL CEILING PANEL ACOUSTICAL TILE (APPLIED) ADA(AG) AMERICAN W/ DISABILITIES ACT (ACCESSIBILITY GUIDELINES) ABOVE FINISHED FLOOR NOT APPLICABLE NOT IN CONTRACT ARCHITECT (URAL) NOISE REDUCTION COEFFICIENT NOT TO SCALE BUILDING BENCHMARK **BUILT-UP ROOF** CEMENTITIOUS BACKING BOARD PERFORATE (D) PREFAB PREFABRICATÉ (D) CONTROL JOINT PLAM PLASTIC LAMINATE PLAS PLASTER PLUMB PLUMBING PLYWD PLYWOOD PANEL PROPERTY POUNDS PER SQUARE INCH POUNDS PER SQUARE INCH POLY-VINYL CHLORIDE COLD WATER CUBIC YARD QUARRY TILE (NOT REFRIGERATED) DISPENSER/DISPOSAL DOWN **ROOF DRAIN** EACH ELECTRIC DRINKING SPECIFICATION STAINLESS STEEL SOUND TRANSMISSION FIRE ALARM **FACTORY FINISH** FLOOR DRAIN TONGUE & GROOVE FIRE RATED GYPSUM BOARD FIRE HOSE CABINET GALVANIZED IRON TUBE STEEL TELEVISION TYPICAL UNLESS NOTED OTHERWISE HDWR HARDWARE HDWD HARDWOOD VINYL COMPOSITION TILE HM HOLLOW WELL HORIZ HORIZ HORIZHOLD VESTIBULE VERTICAL GRAIN HOT WATER WITHOUT WATER CLOSET WOOD INSIDE DIAMETER INVERT ELEVATION WELDED WIRE FABRIC JANITOR SYMBOLS USED AS ABBREVIATIONS KNOCKOUT PANEL

CHANNEL

NUMBER PENNY

PROPERTY LINE

PLATE

ROUND

MB MACHINE BOLT
MC MINERAL CORE
MDF MEDIUM DENSIT
MECH MECHANICAL
MED MEDIUM
MTL METAL

# GENERAL LEGEND

WALL SECTION

1/8:12 SLOPE INDICATOR

EXTERIOR BUILDING ELEVATION

NTERIOR ELEVATION / DETAIL

EXIT SIGN (CEILING)

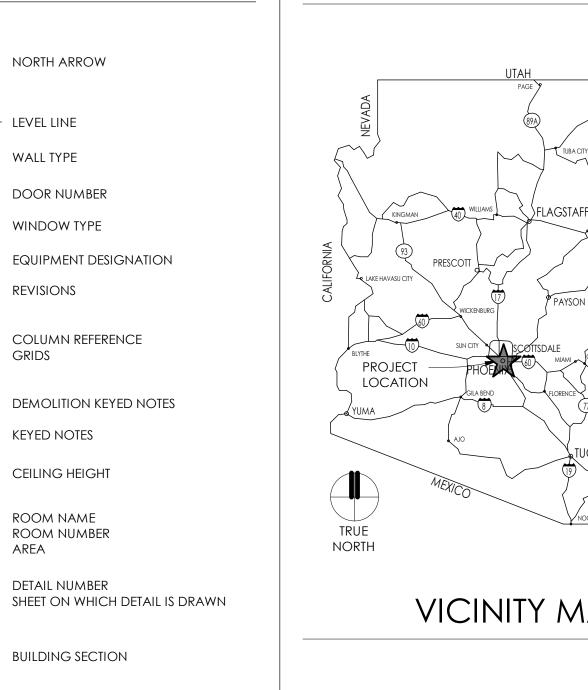
EXIT SIGN (WALL)

NOTE: REFER TO CODE SHEET FOR OCCUPANCY,

ACCESSIBILITY, AND EGRESS SYMBOLS

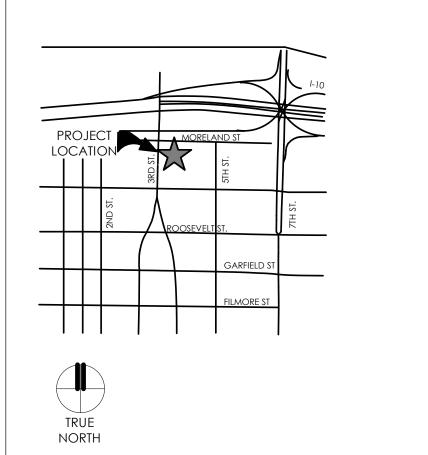
NORTH

 $\langle A \rangle$ 



LOCATION MAP

# VICINITY MAP



## DEFERRED SUBMITTALS

PROJECT DATA

2018 PHOENIX BUILDING CONSTRUCTION CODE

2018 INTERNATIONAL ENERGY CONSERVATION CODE

2009 INTERNATIONAL CODE COUNCIL/ ANSI A117.1

AS ADOPTED BY THE STATE OF ARIZONA

AMERICAN WITH DISABILITIES ACT

HUD FAIR HOUSING REGULATIONS

(24C.F.R.PART100,SUBPART D)

SECTION 504 OF THE REHABILITATION ACT OF 1973 FOR

EXHIBIT D - 2017 MANDATORY DESIGN GUIDLINES, ARIZONA

LEED FOR HOMES V4 - GOLD CERTIFICATION

ARIZONA FAIR HOUSING ACT (A.R.S. § 41-1491 TO

FEDERAL FAIR HOUSING ACT (42 U.S.C. § 3601 ET SEQ.)

2018 INTERNATIONAL FIRE CODE AS ADOPTED BY ARIZONA

2007 ASME A17.1 PERFORMANCE BASED SAFETY CODE FOR

2010 ADA AMERICAN STANDARDS FOR ACCESSIBLE DESIGN

111-38-102

DTC-E-EV EVANS CHURCHILL

LOT 1: 1.5978 ACRES (69,601 SQFT)

LOT 2: 0.5029 ACRES (21,908 SQFT)

NATIVE AMERICAN CONNECTIONS

AND AMENDMENTS

2017 NATIONAL ELECTRIC CODE

STATE FIRE MARSHAI

2018 INTERNATIONAL BUILDING CODE

2018 INTERNATIONAL FUEL GAS CODE

2018 INTERNATIONAL PLUMBING CODE

2018 INTERNATIONAL MECHANICAL CODE

**ELEVATORS AND ESCALATORS** 

ACCESSIBILITY AND SENSORY IMPARED

DEPARTMENT OF HOUSING

41-1491.37)

4520 N. CENTRAL AVE, SUITE 600

PHOENIX, AZ 85012

(602) 254 - 3247

PARCEL NUMBER:

<u>ZONING:</u>

FLOOD ZONE:

PER IBC SECTION 107.3.4.1

ITEM 3: FIRE SPRINKLER

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

PER IBC SECTIONS 107.3.4 THRU 107.3.4.2 DEFERRED SUBMITTALS ARE ITEM 1: PREFABRICATED WOOD TRUSSES ITEM 2 : FIRE ALARM

## SCOPE OF WORK

NATIVE AMERICAN CONNECTIONS (NAC – DEVELOPER) HAS BEEN AWARDED THE CONTRACT TO RE-DEVELOP THE EXISTING MULTIFAMILY PROPERTY LOCATED AT 1125 N. 3RD STREET BY THE CITY OF PHOENIX HOUSING DEPARTMENT; TO BE CALLED **THE MORELAND** (PROJECT). THE PROJECT WILL BE AN AFFORDABLE MULTIFAMILY COMPLEX LOCATED ON APPROXIMATELY 2.72 GROSS ACRES (2.10 NET ACRES) AT 1125 NORTH 3RD STREET, DOWNTOWN PHOENIX. ON-SITE IMPROVEMENTS WILL INCLUDE CLUBHOUSE & INTERIOR AMENITY SPACES, OUTDOOR AMENITY SPACES, AND PEDESTRIAN CONNECTIVITY SPACES. ALL ON-SITE PARKING WILL BE LOCATED WITHIN A STRUCTURED PARKING GARAGE ON-SITE. OFF-SITE IMPROVEMENTS WILL INCLUDE STREET FRONT LANDSCAPE AND PEDESTRIAN CONNECTIVITY SPACES ALONG 3RD STREET AND MORELAND STREET. THE EXISTING ALLEY LOCATED OF THE PROJECT WILL ALSO INCLUDE IMPROVEMENTS FOR SERVICE AND FIRE /SAFETY CIRCULATION AND ACCESS. THE PROPERTY IS PART OF THE CITY OF PHOENIX (CITY) DOWNTOWN CORE, AND THE PROJECT IS CURRENTLY ZONED UNDER THE DOWNTOWN CODE-EVANS CHURCHILL EAST CHARACTER AREA. THE OVERALL DEVELOPMENT SCOPE WILL INCLUDE PREPARING SITE PLANS AND BUILDING CONSTRUCTION DOCUMENTS TO CONSTRUCT NEW MULTI-FAMILY HOUSING CONSISTING OF TOTAL OF 132 RESIDENTIAL UNITS AND AMENITY SPACE CONVENIENTLY LOCATED FOR TENANTS. PROJECT WILL CONSIST OF 5-STORY WOOD FRAMED RESIDENTIAL FLOORS (GROUP R-2, TYPE IIIA CONSTRUCTION), AND A 4-TIER PARKING GARAGE AT GRADE (GROUP S-2, TYPE IB CONSTRUCTION) -FINANCED WITH CROSS-ACCESS AGREEMENT FOR PARKING AND FOR

THERE WILL BE A LOT SPLIT TO ALLOW A FUTURE PHASE TO BE SEPARATELY SERVICE ACCESS. UTILITY CONNECTIONS, LANDSCAPING, STORMWATER DRAIN & RETENTION WILL BE CONSTRUCTED PER PHASE TO MEET REQUIREMENTS. THE BUILDING(S) ARE ORGANIZED TO EFFECTIVELY DISTRIBUTE THE NUMBER OF UNITS AND WITH CIRCULATION ACCESS AND WITH RESIDENT

CONNECTIVITY IN MIND, PROMOTING SAFETY, IDENTITY, PEDESTRIAN COMMON AREAS, AND ACCESSIBILITY. THE BUILDING'S EXTERIOR WILL BE ARTICULATED TO REINFORCE COMPATIBILITY TO SURROUNDING NEIGHBORHOOD BY USING SIMPLE MATERIALS, COLOR, AND MASSING. ELEVATIONS WILL BE ESSENTIAL FOR THE ARCHITECTURAL CHARACTER INTENDED FOR EVANS CHURCHILL EAST CHARACTER AREA.

## SEPARATE PERMIT REQUIRED

PER THE CITY OF PHOENIX, THE FOLLOWING ADDITIONAL PERMITS ARE

ITEM 1: FIRE SPRINKLER/FIRE PROTECTION SYSTEM ITEM 2: FIRE ALARM SYSTEM ITEM 3: EMERGENCY ACCESS ITEM 4: PARKING STRUCTURE

MECHANICAL ABBREVIATIONS, NOTES, AND MECHANICAL SPECIFICATIONS

PARTIAL ROOF FRAMING PLAN - AREA 3 - BLDG

AWNING FRAMING PLAN - AREA 1 AND 2

FOUNDATION ANCHOR LAYOUT (1 OF 3)

FOUNDATION DETAILS - BLDG 1

ENLARGED MECHANICAL UNIT PLANS ENLARGED MECHANICAL AMENITY PLANS MECHANICAL DETAILS

MECHANICAL DETAILS MECHANICAL SCHEDULES MECHANICAL SCHEDULES MECHANICAL SCHEDULES MECHANICAL SCHEDULES

PLUMBING ABBREVIATIONS, NOTES, AND

G SPECIFICATIONS G UNDERGROUND - SANITARY G 1ST FLOOR - SANITARY G 2ND FLOOR - SANITARY G 3RD FLOOR - SANITARY G 4TH FLOOR - SANITARY G 5TH FLOOR - SANITARY G ROOF - SANITARY G 1ST FLOOR - DOMESTIC G 2ND FLOOR - DOMESTIC

G 3RD FLOOR - DOMESTIC G 4TH FLOOR - DOMESTIC G 5TH FLOOR - DOMESTIC G ROOF - DOMESTIC EATER/ FIRE RISER ROOM RNER UNIT PLUMBING PLANS STUDIO - TYPE B PLUMBING PLANS STUDIO ADA PLUMBING PLANS 1 BED - TYPE B PLUMBING PLANS

B4 - 2 BED - TYPE B PLUMBING PLANS B5 - 2 BED - TYPE B PLUMBING PLANS 3 BED UNIT - ADA PLUMBING PLANS 3 BED - TYPE B PLUMBING PLANS B3 - 2 BED - TYPE B PLUMBING PLANS

P502 PLUMBING DETAILS PLUMBING SCHEDULES PLUMBING CALCULATIONS

PLUMBING ISOMETRICS PLUMBING ISOMETRICS PLUMBING ISOMETRICS

PLUMBING ISOMETRICS PLUMBING ISOMETRICS PLUMBING ISOMETRICS PLUMBING ISOMETRICS **ELECTRICAL** 

ELECTRICAL 2ND FLOOR POWER PLAN

ELECTRICAL 3RD FLOOR POWER PLAN

ELECTRICAL 4TH FLOOR POWER PLAN

ELECTRICAL 5TH FLOOR POWER PLAN

ELECTRICAL 1ST FLOOR LIGHTING PLAN

ELECTRICAL 2ND FLOOR LIGHTING PLAN

ELECTRICAL 3RD FLOOR LIGHTING PLAN

ELECTRICAL 4TH FLOOR LIGHTING PLAN

ELECTRICAL 5TH FLOOR LIGHTING PLAN

ELECTRICAL ROOF POWER PLAN

ELECTRICAL ENLARGED PLANS

ELECTRICAL PANEL SCHEDULES

FIRE PROTECTION 2ND FLOOR

FIRE PROTECTION 3RD FLOOR

FIRE PROTECTION 4TH FLOOR FIRE PROTECTION 5TH FLOOR

ENLARGED UNIT PLANS

FP101A FIRE PROTECTION 1ST FLOOR

THIS DRAWING IS AN INSTRUMENT OF SERVICE & IS THE PROPERTY OF PS+ARCHITECTS LLP & MAY NOT BE REPRODUCED OR REPRODUCTIONS HEREOF USED WITHOUT WRITTEN PERMISSION ELECTRICAL SYMBOLS AND NOTES **ELECTRICAL SPECIFICATIONS** REVISIONS ELECTRICAL SCHEDULES ELECTRICAL SCHEDULES 
 MARK
 DATE
 DESCRIPTION

 4
 4/14/23
 LOT SPLIT

 5
 7/03/23
 BID 1

 6
 8/08/23
 BID 2
 ELECTRICAL SITE PLAN ELECTRICAL SITE LIGHTING PLAN **ELECTRICAL DETAILS** ELECTRICAL RISER DIAGRAM ELECTRICAL 1ST FLOOR POWER PLAN

> REVIEWED BY: AT DRAWN BY: 45840 MARK A. DAVENPORT

PERMIT SET

DATE: 01-07-2022

A114-A UNIT PLAN - 2 BED - TYPE B1 "Under Phoenix City Code Section 2-28, these plans are for official use only and may not be shared with others unless permitted by contract to fulfill Consultant's obligations to City"

TR-2

MFR:

MFR:

PROFILE:

COLOR:

SCHLUTER SYSTEMS

COLOR: SATIN ANODIZED ALUMINUM (AE)

TILE COVE STRIP

SCHLUTER SYSTEMS

LOCATION: FLOOR TRANSITIONS AT DIFFERENT

VERIFY THE THICKNESS OF MATERIAL

SATIN ANODIZED ALUMINUM (AE)

VERIFY THE THICKNESS OF MATERIAL

DILEX-AHKA

LOCATION: COMMUNITY RESTROOM -

RENO-U

COLOR:

SIZE:

MFR:

PROFILE:

COLOR:

SIZE:

WHITE TO MATCH FIELD WALL PAINT

ACCENT TO MATCH WALL PAINT COLOR

LOCATION: COMMUNITY AREA & CIRCULATION

LOCATION: COMMUNITY AREA & CIRCULATION CORRIDORS

CORRIDORS

ACROVYN

SM20AN

PROVIDE LVT-1 IN RESIDENTIAL SUITES. REFER TO FINISH PLANS FOR SPEC.

PROVIDE LVT-2 IN RESIDENTIAL SUITE RESTROOMS. REFER TO

FROVIDE LV1-2 IN RESIDENTIAL SUITE RESTROOMS. REFER TO FINISH PLANS FOR SPEC.

3. CONTRACTOR TO VERIFY ALL DIMENSIONS GIVEN ON THE PLANS/ELEVATIONS IN THE FIELD TO DETERMINE ACCURACY AND CONDITIONS BEFORE INSTALLATION AND/OR FABRICATION

4. SEE INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR ADDITIONAL FINISH INFORMATION, TYP. TILE PATTERNS, ETC.

5. ALL FURNITURE SHOWN FOR REFERENCE ONLY AND IS N.I.C. UNLESS NOTED OTHERWISE. ALL FURNITURE IS TO BE PROVIDED BY OWNER.

6. CONTRACTOR TO VERIFY ELECTRICAL AND SPECIAL SYSTEM OUTLET HEIGHTS AND LOCATIONS BEFORE INSTALLATION OF FINISHES AND CASEWORK.

7. ALL PLUMBING FIXTURE FINISH SPECIFICATIONS ARE PER PLUMBING DRAWINGS AND/OR TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD FINISH SELECTIONS AT TIME OF SUBMITTAL.

8. ALL FLOORING FINISHES ARE TO BE APPLIED UNDER CENTER OF DOOR.

9. CONTRACTOR TO SUBMIT SAMPLES, CUT SHEETS AND SHOP DRAWINGS PERTAINING TO COLORS, FINISHES, FIXTURES, MATERIALS AND OTHER ITEMS TO BE INSTALLED AS PART OF THIS PROJECT. THE CONTRACTOR SHALL RECEIVE APPROVAL FROM THE ARCHITECT PRIOR TO ORDERING OR INSTALLATION OF SUCH ITEMS. ANY INSTALLATION OR USE OF ANY ITEMS WITHOUT THE ARCHITECT'S WRITTEN APPROVAL WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

10. ALL MILLWORK FABRICATION AND INSTALLATION SHALL CONFORM TO THE AWI CUSTOM GRADE QUALITY STANDARD UNLESS NOTED OTHERWISE. ALL MILLWORK NOT COMPLYING TO THIS STANDARD, AS JUDGED BY THE ARCHITECT, SHALL BE REDONE AT THE CONTRACTOR'S EXPENSE.
 11. NO PAINTING OR APPLICATION OF INTERIOR FINISHES SHALL BE

DONE UNDER CONDITIONS WHICH WOULD JEOPARDIZE THE QUALITY OR APPEARANCE OF SUCH WORK.

12. ALL WORKMANSHIP JUDGED TO BE LESS THAN FIRST-QUALITY BY THE ARCHITECT OR DESIGNER WILL BE REJECTED.
 13. ALL COLORS SHALL BE AS PER THE FINISH SPECIFICATIONS

UNLESS PRIOR WRITTEN APPROVAL FROM THE ARCHITECT/DESIGNER HAS BEEN RECEIVED.

14. ALL TRANSITION STRIPS SHALL BE SUBMITTED FOR ARCHITECT'S APPROVAL PRIOR TO ORDER AND INSTALLATION.

15. WALLS NOT INDICATED ON THIS FLOOR PLAN TO RECEIVE FIEL PAINT.

NATIVE AMERICAN CONNECTIONS
1125 N 3RD ST.
PHOENIX, AZ 85004

PERMIT SET

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REVISIONS

MARK DATE DESCRIPTION
6 8/08/23 BID 2

REVIEWED BY: AT

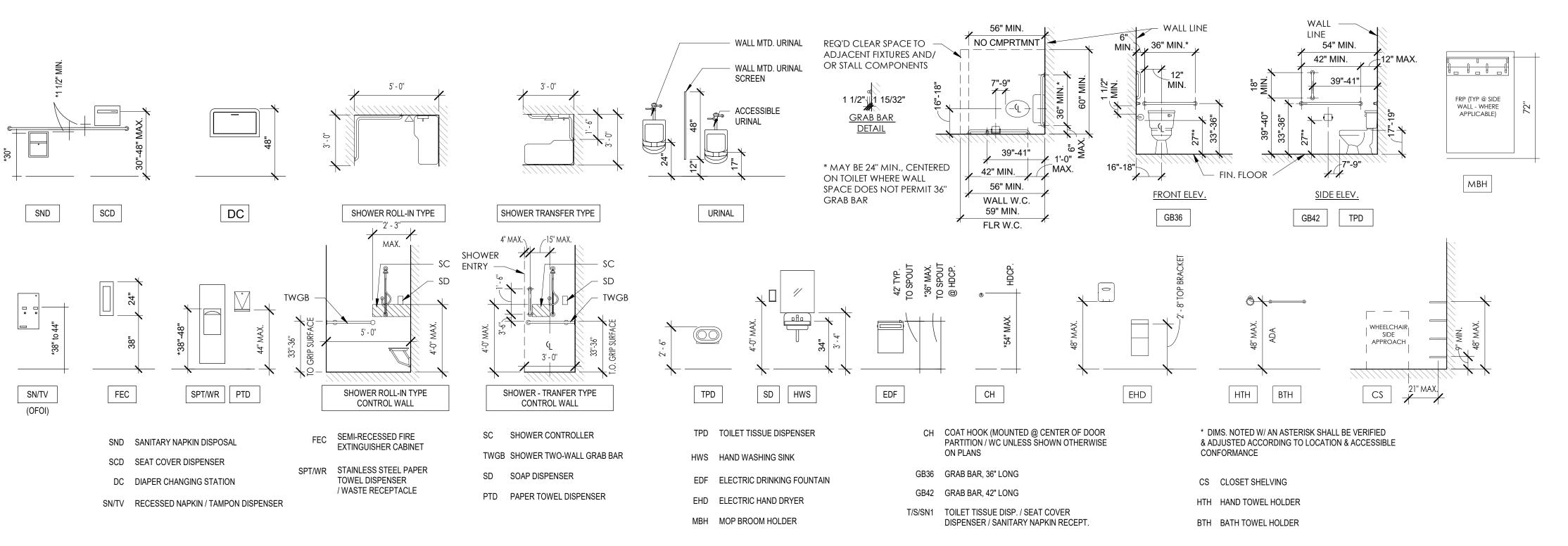
45840

MARK A. DAVENPORT

DATE:

JOB No:

PERMISSION.



TYP. TOILET ACCESSORIES MOUNTING HEIGHTS

LOCATION: GENERAL, U.N.O

**WOOD BASE** 

PAINTED PT-3

LOCATION: RESIDENTIAL UNITS GENERAL, U.N.O

1/2" x 4"H

STYLE:

SIZE:

COLOR:

WB-2

IM 360://2091 The Moreland/Deck Park Vista Redevelo

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REVISIONS

MARK DATE DESCRIPTION

1 03/25/22 CITY
COMMENTS

4 4/14/23 LOT SPLIT

7 9/13/23 BID 2 ADD. 2

REVIEWED BY: AT

DRAWN BY: AT

OSTERED ARCHITECT

45840

MARK A.

MARK A. DAVENPORT

OATE: 01-07-2022

JOB No: 2091

OB No: 2091
HEET:

4804-A



BIM 360://2091 The Moreland/Deck Park Vista Redevelopment.rvt

PERMIT SET THIS DRAWING IS AN INSTRUMENT OF SERVICE & IS THE PROPERTY OF

EPRODUCED OR REPRODUCTIONS HEREOF USED WITHOUT WRITTEN PERMISSION. REVISIONS 
 MARK
 DATE
 DESCRIPTION

 4
 4/14/23
 LOT SPLIT

 6
 8/08/23
 BID 2

 7
 9/13/23
 BID 2 ADD. 2

REVIEWED BY: Checker DRAWN BY: Author

MARK A. DAVENPORT

PARKING GARAGE LEVEL 2

KEY PLAN

BLDG 2

LOT 1 LOT 2



1. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS GOVERN.

PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT. 2. SEE SITE PLAN FOR WORK BEYOND THE BUILDING PERIMETER

3. IN-WALL INSULATION NOT SHOWN ON FLOOR PLANS FOR DRAWING CLARITY. REFER TO DETAILS AND WALL TYPES FOR ADDITIONAL INFORMATION.

ALL DIMENSIONS ARE TO FACE OF MASONRY WALL, GRID, FACE OF STUD OR CENTER OF OPENING UNLESS NOTES OTHERWISE. NOT ALL DIMENSIONS ARE SHOWN ON THIS PLAN. SEE DIMENSION PLAN FOR ADDITIONAL INFORMATION.

INTERIOR DOOR OPENINGS NOT LOCATED BY DIMENSIONS SHALL BE OFFSET WITH 4" CLEAR BETWEEN EDGE OF DOOR AND FACE OF PERPENDICULAR STUD WALL.

6. SEAL ALL PENETRATIONS AT FIRE-RATED WALLS WITH FIRE-RATED

FOR INTERIOR WALL HEIGHT INFORMATION SEE REFLECTED CEILING PLANS AND WALL TYPE DETAILS.

WHERE PIPES, CONDUITS, AND OTHER PENETRATIONS ARE EXPOSED TO VIEW, PROVIDE ESCUTCHEONS, TYPICAL AT ALL WALLS, FLOORS, CEILINGS, ETC.

ALL UTILITIES, UNDERGROUND LINES, AND PIPING TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED, CAPPED, AND TAGED FOR EASY LOCATION AND IDENTIFICATIONS, COMPLY WITH CODE REQUIREMENTS AND SOUND CONSTRUCTION PRACTICE.

10. CONTRACTOR SHALL COORDINATE ANY REQUIRED UTILITY SHUT-OFFS WITH THE OWNER.

11. PROVIDE BLOCKING OR METAL STRAPPING AT ALL WALL-MOUNTING CABINETS, DISPLAY BOARDS, TV'S, FIRE EXTINGUISHER CABINETS, WALL-BOARD EQUIPMENT, ETC.

12. FOR FINISH MATERIALS AND LOCATIONS, REFER TO FINISH PLANS, INTERIOR ELEVATIONS, AND FINISH DETAILS.

13. ALL DWELLING UNIT CLOTHES WASHERS AND DRYERS SHALL BE INSTALLED WITH WASHER ON THE LEFT.

ALL WINDOWS FACING ARTIFICAL TURF THAT ARE NOT RECESSED IN A BALCONY MUST HAVE A SUN SCREEN

## **KEY NOTES**

14.01 TRASH CHUTE

NOTE: NOT ALL NOTES APPLY ON THIS SHEET

SEALANT.

1. CEILING SYSTEMS SHALL PROVIDE FOR LIGHTING FIXTURES AND AIR CONDITIONING DIFFUSERS. INDEPENDENT FRAMING AND ATTACHMENTS TO THE STRUCTURE SHALL BE ADEQUATE TO ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON FLOOR SUPPORT THE CEILING SYSTEM WHERE DUCTWORK INTERFERES WITH NORMAL SUSPENSION. ATTACHMENT OF HANGERS OR

FRAMING TO DUCTWORK PROHIBITED. COORDINATE EXACT LOCATIONS OF ALL CEILING ITESMS (DIFFUSERS, LIGHT FIXTURES)LIGHT FIXTURES ARE SHOWN ON THIS

DRAWING FOR THE ARCHITECTURAL LOCATIONS AND GENERAL FIXTURE TYPE ONLY. SEE ELECTRICAL DRAWINGS FOR THE EXACT FIXTURE TYPE AND CIRCUITING. MECHANICAL REGISTERS ARE SHOWN ON THIS DRAWING FOR THE ARCHITECTURAL LOCATIONS ONLY, SEE MECHANICAL

CEILING GENERAL NOTES

DRAWINGS AND SPECIFICATIONS FOR SIZING, DISTRIBUTION, CONNECTIONS, AND ALL OTHER REQUIREMENTS. REFLECTED CEILING PLAN DIMENSIONS ARE FACE OF FINISH,

UNLESS OTHERWISE NOTED. 5. CEILING GRID TO BE CENTERED IN EVERY ROOM, U.N.O.

FOR SMOKE DETECTOR LOCATIONS IN CEILING SEE SPECIAL SYSTEMS DRAWINGS.

ALL STUD WALLS EXTEND TO UNDERSIDE OF ROOF DECK/FLOOR, UNLESS NOTED OTHERWISE. FOR TYPICAL TOP OF WALL TERMINATIONS, SEE DETAILS.

CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE ITEMS WITHIN THE SPACE ABOVE ALL CEILING (INCLUDING, BUT NOT LIMITED TO: STRUCTURAL MEMBERS, MECHANICAL DUCTS AND INSTALLATION, CONDUITS, RACEWAYS, SPRINKLER SYSTEMS, AND ANY SPECIAL STRUCTURAL SUPPORTS REQUIRED) AND SHALL BE RESPONSIBLE FOR MAINTAINING THE FINISH CEILING HEIGHT ABOVE THE FINISH FLOOR INDICATED IN THE DRAWINGS AND THE FINISH SCHEDULE. (CEILING HEIGHT DIMENSIONS ARE TO THE FINISH

ACCESS PANELS SHALL BE PROVIDED & INSTALLED WHEREVER REQUIRED BY BUILDING CODE OR FOR THE PROPER OPERATION OR MAINTENANCE OF MECHANICAL OR ELECTRICAL EQUIPMENT, WHETHER OR NOT INDICATED ON DRAWINGS. CONTRACTOR SHALL COORDINATE SIZE, LOCATION AND TYPE OF ACCESS PANEL WITH OTHER CONTRACTORS WORK & RECEIVE APPROVAL OF THE ARCHITECT. NO ACCESS PANEL SHALL BE LOCATED, FRAMED OR INSTALLED WITHOUT THE EXPRESSED APPROVAL OF THE ARCHITECT.

SURFACE OF CEILING).

10. ALL DUCT PENETRATIONS THROUGH PARTITIONS & CEILING SHALL BE PROVIDED WITH NECESSARY FRAMES AND BRACING AROUND THE OPENING & SHALL BE PROVIDED WITH AUTOMATIC FIRE DAMPERS (IF REQUIRED) BY MECHANICAL DRAWINGS OR FOR FIRE-RATED PENETRATIONS.

11. FIRE SPRINKLER HEADS TO BE SEMI-RECESSSED OR PROTECTED. SEE SPRINKLER PLANS (WHICH IS A DEFERED SUBMITTAL) FOR EXACT EXACT LOCATIONS AND QUANTITIES.

12. ALL DUCT PENETRATIONS THROUGH PARTITIONS & CEILING SHALL BE PROVIDED WITH NECESSARY FRAMES AND BRACING AROUND THE OPENING & SHALL BE PROVIDED WITH AUTOMATIC FIRE DAMPERS (IF REQUIRED) BY MECHANICAL DRAWINGS FOR FIRE - RATED PENETRATIONS.

13. PROVIDED CONT. FIRE CAULKING @ ALL PIPE, VENT, DUCT, STRUCTURAL, ETC., PENETRATIONS THROUGH FIRE RATED WALLS -

### CEILING SYMBOLS

NOTE: -NOT ALL LIGHT FIXTURE & CEILING TYPES APPLY. 2'x4' SUSPENDED ACOUSTIC CEILING, U.N.O. SEE FINISH SCHEDULE.

FGB HARD CEILING. SEE FINISH SCHEDULE. FGB HARD CEILING (DROPPED). SEE FINISH SCHEDULE.

> EXPOSED UNDERSIDE OF DECK. UNDERSIDE OF DECK, JOISTS, CONDUIT, ETC. TO RECEIVE PAINT FINISH BLACK WHERE EXPOSED TO VIEW.

2x2 LIGHT FIXTURE IN SUSPENDED CEILING, SEE ELECTRICAL DRAWINGS.

CAN LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS.

SECURITY CAMERA MECHANICAL SUPPLY AIR AT CEILING. SEE

MECHANICAL DRAWINGS FOR SIZE. MECHANICAL - RETURN AIR AT CEILING. SEE MECHANICAL DRAWINGS FOR SIZE.

MECHANICAL - EXHAUST AIR AT CEILING. SEE MECHANICAL DRAWINGS FOR SIZE. SMOKE DETECTOR, SEE ELECTRICAL DRAWINGS.

CEILING ELECTRICAL JUNCTION BOX, SEE ELECTRICAL

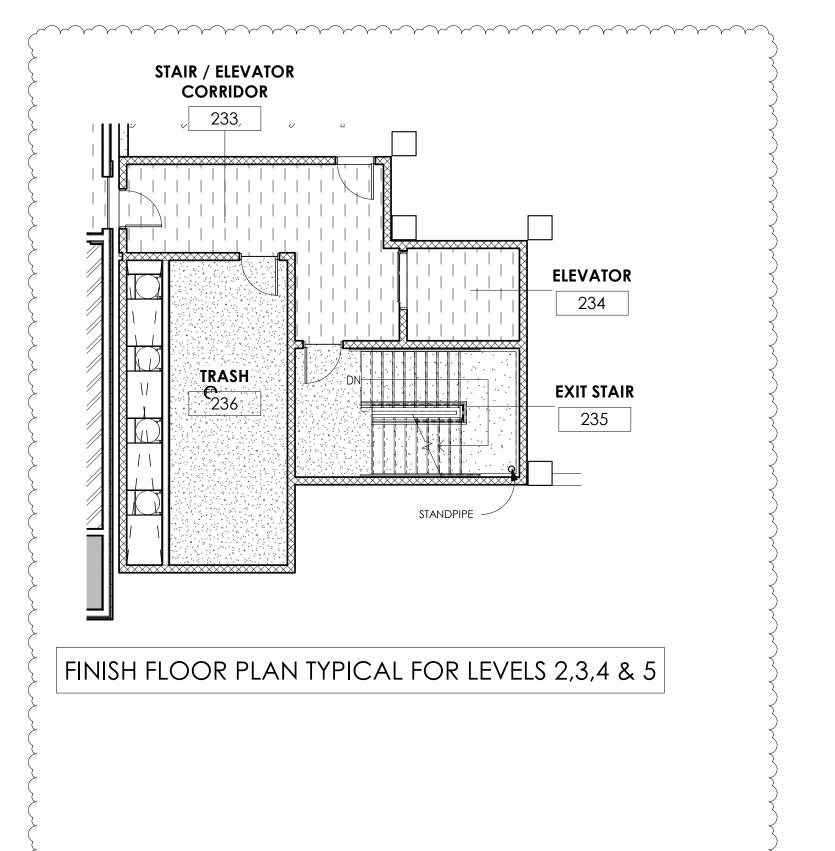
EXIT SIGN FIXTURE, SEE ELECTRICAL DRAWINGS.

SUSPENDED/RECESSED LINEAR LIGHT. SEE ELECTRICAL DRAWINGS

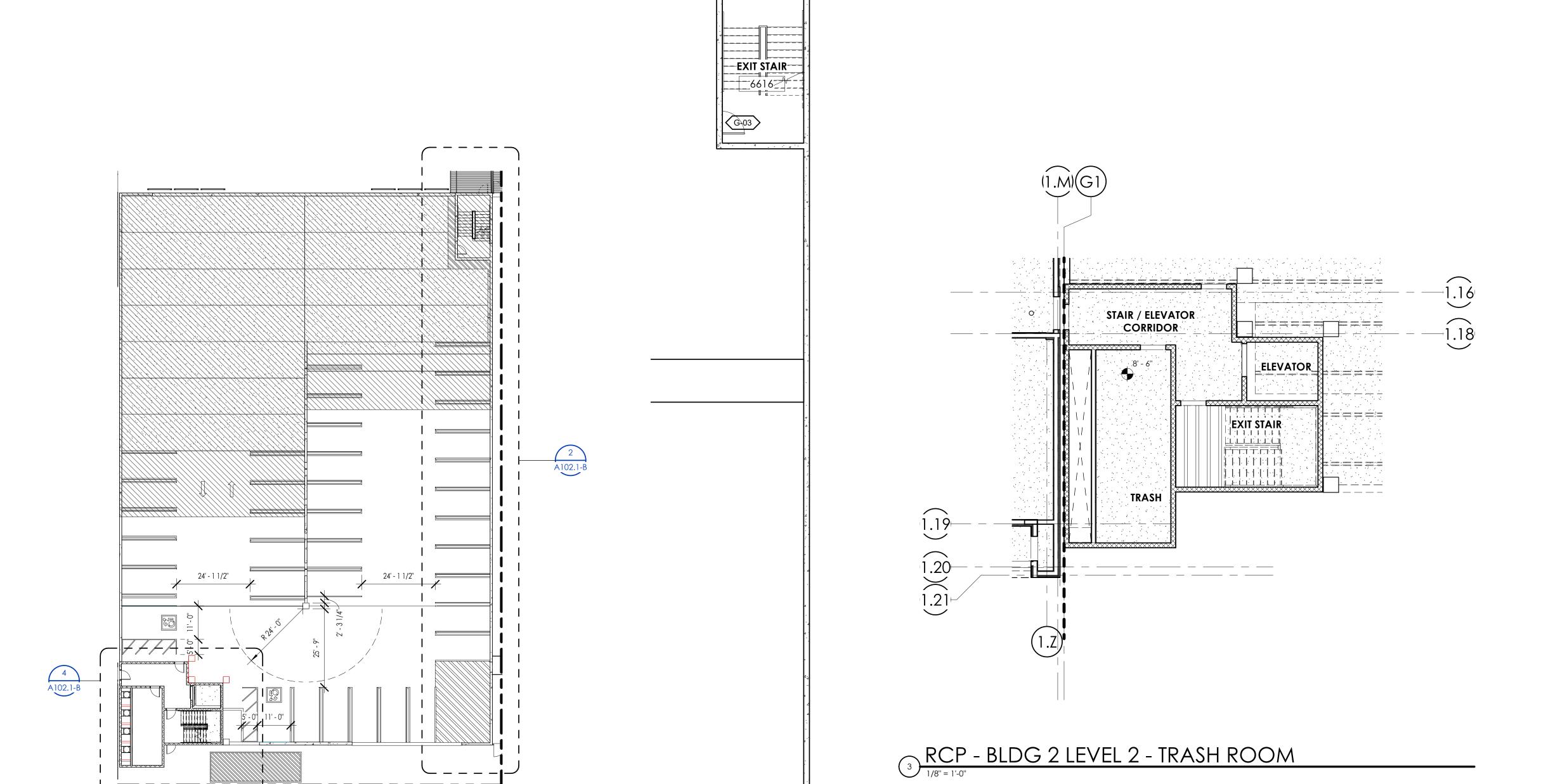
1X4 LIGHT FIXTURE. SEE ELECTRICAL DRAWING PENDANT LIGHT FIXTURE

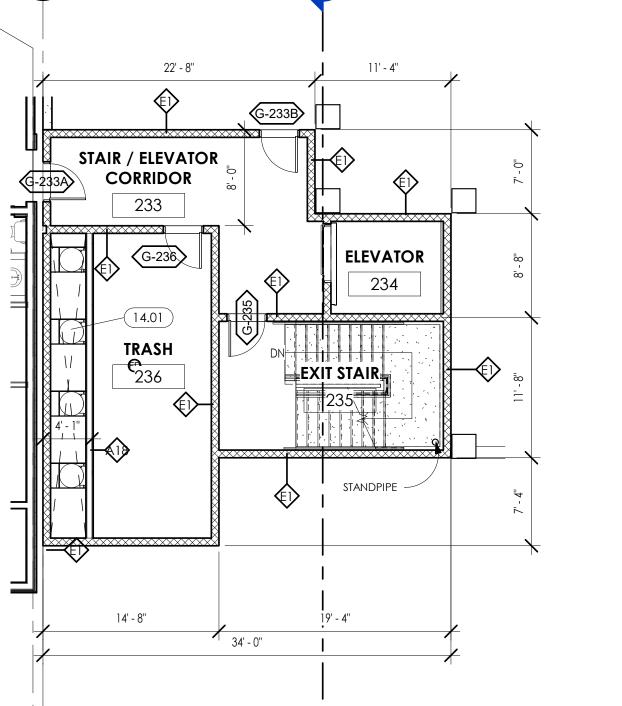
DS DAYLIGHT SENSOR. SEE ELECTRICAL DRAWINGS OCCUPANCY SENSOR. SEE ELECTRICAL DRAWINGS

CAMERA - REFER TO ELECTRICAL PLANS 6 CEILING FAN, CONTRACTOR TO INCLUDE IN ALL UNITS



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BLDG 2 - STAIR AND DOORS - LEVEL 2

PROVIDE

KNOCK-OUT

PANEL G-04

CONNECTIONS, COVER STUBS

BLDG 2 LEVEL 2 - TRASH ROOM

BLDG 2 LEVEL 2 - TRASH ROOM FINISH PLAN

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