



**City of Phoenix
Office of the City Engineer
Design and Construction Procurement**

**AH20620004
THE MORELAND
REBID**

ADDENDUM NO. 1

ISSUE DATE: September 14, 2023

Bidders must include the attached Construction Bid Proposal with their submitted proposals.

Bidders are hereby notified that the Bidding and Contract Documents for the above project, for which Bids are to be received on September 19, 2023, are amended as follows:

Q1.	Sheet A803-A is showing a Master Finish legend that has LVT Hatching & location callouts that aren't matching up with the Finished Floor plan. LVT-1 Location callout is residential units but the floor hatching is shown through the corridors, but the Corridors is supposed to show LVT-3. LVT-2 Location is calling out Unit Restrooms, but the Hatching seems to be shown throughout the entire unit. The concern is for the price point of each of the LVT to make sure of capturing the correct materials. Clarify LVT Finish locations.
A1.	LVT finishes clarified on attached sheets and updated Master Finish Legend. Refer to Master Finish Legend for residential unit bathroom floor finish. Apply transition strip at center of door panel.
Q2.	The first floor has a hatching of Conc throughout corridors, but also shows Unit LVT continuing into the corridor. Will the unit LVT continue into the corridor, or will it be terminated at the unit doorway?
A2.	The LVT on the ground floor will terminate at the unit doorway. See updated sheets.
Q3.	The plans only show finishes for Building 1 & Building 2 for a total of 132 units, but the Plans scope of work on Sheet G101-A description includes a Building 3 for a total of 237 units. Confirm if Building 3 is part of this scope of work or part of this phase and If it is part of this scope of work, are there plans for Building 3?
A3.	Building 3 is not part of this scope, only Buildings 1 and 2 for a total of 132 units. Scope of Work description has been updated on sheet G101-A.
Q4.	Referring to Building 2, finish callouts for Trash Rooms, Bicycle areas, Stair/Elevator Corridors or Stairs appears to be missing. Are any of the areas in Building 2 receiving finishes?
A4.	<ul style="list-style-type: none">a. Trash Rooms: Sealed Concreteb. Bicycle Areas: Bicycle area finishes to match precast concrete garage floor finishc. Stair/Elevator Corridors: Ground floor, Conc-1, Upper floors, LVT-3d. Stairs: Concrete with light broom finish
Q5.	Referring to Building 1, Plans are showing precast Conc Treads. Clarify if there are finishes at the stairs or landings.
A5.	Concrete with light broom finish.

Plan Sheets:

1. Sheet G101-A (COVER SHEET – BLDG 1): Replace this sheet with the attached revised Sheet G101-A
2. Sheet A101.1-B (OVERALL 1ST FLOOR PLAN): Replace this sheet with the attached revised Sheet A101.1-B
3. Sheet A102.1-B (OVERALL 2ND FLOOR PLAN): Replace this sheet with the attached revised Sheet A102.1-B
4. Sheet A803-A (MASTER FINISH LEGEND): Replace this sheet with the attached revised Sheet A803-A
5. Sheet A804-A (OVERALL 1ST FLOOR FINISH PLAN): Replace this sheet with the attached revised Sheet A804-A
6. Sheet A805-A (OVERALL 2ND, 3RD, 4TH, 5TH FINISH FLOOR PLANS): Replace this sheet with the attached revised Sheet A805-A

NOTE: Bidders must acknowledge receipt of this Addendum by listing the number and date, where provided, on the PROPOSAL P-1.

END OF ADDENDUM



MASTER FINISH LEGEND

WALL

PAINT:	
PAINT FINISH:	GENERAL WALLS, U.N.O
EGGSHELL:	CEILING
FLAT:	RESTROOMS, MECH, FIRE RISER, RESIDENTIAL UNITS
SEMI GLOSS:	BATHROOMS
PT-1 (FIELD):	MFR: DUNN-EDWARDS COLOR: DEC774 SHADY LOCATION: ALL GYP. BOARD PARTITIONS, U.N.O
PT-2:	MFR: DUNN-EDWARDS COLOR: DEW380 WHITE LOCATION: ALL GYP. BOARD CEILING
PT-3:	MFR: DUNN-EDWARDS COLOR: DEW381 DROPLETS LOCATION: RESIDENTIAL UNITS - WALL BASE, DOOR AND WINDOW TRIMS
PT-4:	MFR: DUNN-EDWARDS COLOR: TBD LOCATION: HM DOOR FRAMES
PT-5 (ACCENT):	MFR: DUNN-EDWARDS COLOR: TBD LOCATION: REFER TO FINISH PLAN
PT-6 (ACCENT):	MFR: DUNN-EDWARDS COLOR: TBD LOCATION: REFER TO FINISH PLAN
WALL TILE:	
TL-1:	MFR: DALTILE STYLE: \$3/SF MATERIAL COLOR: TBD SIZE: TBD GROUT: MAPEI #TBD LOCATION: TYPICAL COMMUNITY RESTROOM & BACKSLASH INSTALLATION: STACK BOND
WALL PANEL:	
FRP-1:	ITEM: FIBER REINFORCED PLASTIC CRANE COMPOSITES STYLE: STANDARD FRP COLOR: WHITE TEXTURE: SMOOTH LOCATION: TRASH ROOMS AND JANITOR ROOM. REFER TO ELEVATIONS SIZE: 4'W x 7'H (JAN. ROOM) 4'W x 4'H (TRASH ROOMS)
WALL BASE:	
WB-1:	MFR: ROPPE STYLE: COVE RUBBER WALL BASE COLOR: TBD SIZE: 4'H LOCATION: GENERAL, U.N.O
WB-2:	MFR: WOOD BASE PROFILE: TBD COLOR: PAINTED PT-3 SIZE: 1/2" x 4'H LOCATION: RESIDENTIAL UNITS GENERAL, U.N.O

FLOORING

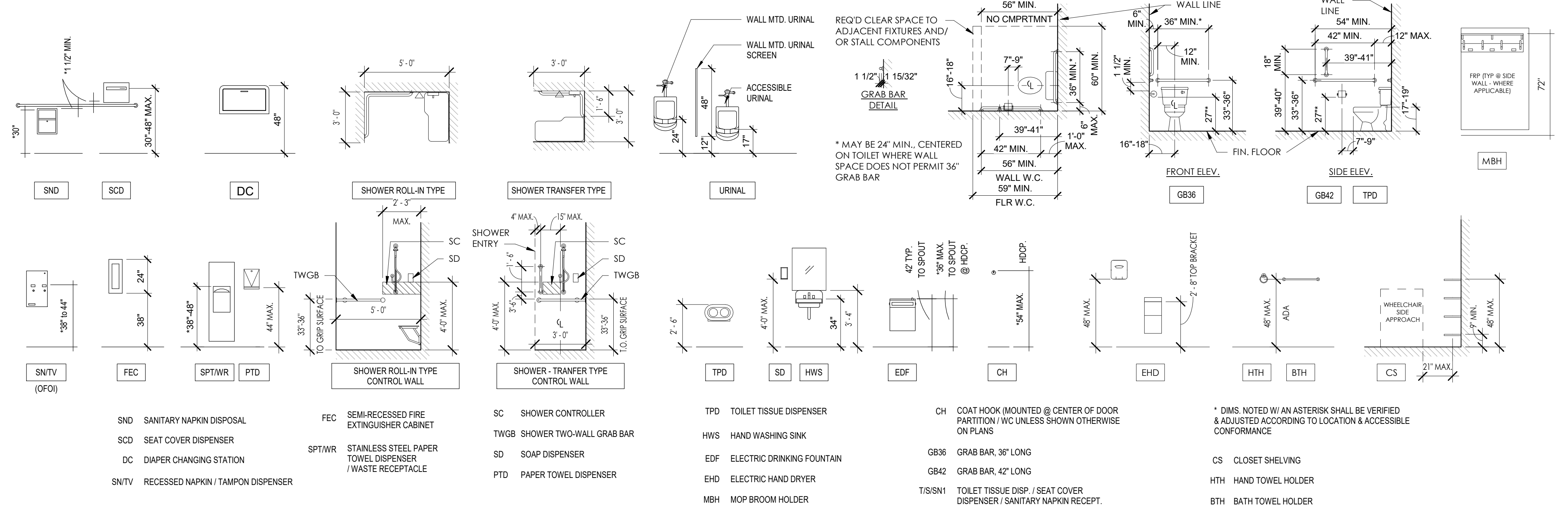
CONCRETE:	
CON-1:	MFR: SANDED AND SEALED CONCRETE STYLE: MAT SEALER FINISH: ADD ANTI-SLIP COAT IN RESTROOMS LOCATION: SEE FINISH PLAN
CON-2:	MFR: SANDED AND SEALED CONCRETE STYLE: EPOXY FINISH LOCATION: SEE FINISH PLAN
CON-3:	MFR: BROOM FINISH FINISH: BALCONY IN INDIVIDUAL UNITS LOCATION:
LUXURY VINYL TILE:	
LVT-1:	MFR: TBD STYLE: PLANK LVT, 12 MIL, \$1/SF MATERIAL COLOR: TBD SIZE: TBD INSTALLATION: 1/3 OFFSET LOCATION: RESIDENTIAL UNITS
LVT-2:	MFR: TBD STYLE: SHEET VINYL, \$8/SY MATERIAL COLOR: TBD SIZE: TBD INSTALLATION: 1/3 OFFSET LOCATION: RESIDENTIAL UNIT RESTROOMS
LVT-3:	MFR: TBD STYLE: PLANK LVT, 20 MIL, \$2.50/SF MATERIAL COLOR: TBD SIZE: TBD INSTALLATION: 1/3 OFFSET LOCATION: CORRIDORS LEVEL 2,3,4 & 5- REFER TO FINISH PLAN
CARPET TILE:	
CPT-1:	MFR: TBD STYLE: \$20/SY MATERIAL COLOR: TBD SIZE: 24" X 24" OR 12" X 36" INSTALLATION: TBD LOCATION: OFFICES - SEE FINISH PLAN
TRIMS:	
TR-1:	MFR: SCHLUTER SYSTEMS PROFILE: SCHIENE COLOR: SATIN ANODIZED ALUMINUM (AE) SIZE: VERIFY THE THICKNESS OF MATERIAL LOCATION: COMMUNITY RESTROOMS - OUTSIDE TILE CORNERS AND EXPOSED TILE EDGES
TR-2:	MFR: SCHLUTER SYSTEMS PROFILE: DILEX-AHKA COLOR: SATIN ANODIZED ALUMINUM (AE) SIZE: VERIFY THE THICKNESS OF MATERIAL LOCATION: COMMUNITY RESTROOM - TILE COVE STRIP
TR-3:	MFR: SCHLUTER SYSTEMS PROFILE: RENO-U COLOR: SATIN ANODIZED ALUMINUM (AE) SIZE: VERIFY THE THICKNESS OF MATERIAL LOCATION: FLOOR TRANSITIONS AT DIFFERENT HEIGHTS

MILLWORK

SOLID SURFACE:	
SS-1:	MFR: LG HAUSYS, GROUP 4 COLOR: TBD NOTE: EASED & LAMINATED EDGE LOCATION: MILLWORK COUNTERTOP IN COMMUNITY ROOM
PLASTIC LAMINATE:	
PL-1 (ALT PL-1):	MFR: TBD COLOR: TBD FIN: 3D LOCATION: MILLWORK CABINERY IN RESIDENTIAL UNITS
PL-2:	MFR: WILSONART COLOR: PREMIUM LAMINATE FINISH: TBD LOCATION: MILLWORK CABINERY IN COMMUNITY ROOM
PL-3:	MFR: LG HAUSYS, GROUP 4 COLOR: TBD FINISH: TBD LOCATION: MILLWORK & BATHROOM COUNTERTOPS IN RESIDENTIAL UNITS
WOOD:	
WD-1 (ALT PL-1):	MFR: - COLOR: TBD FINISH: TBD LOCATION: MILLWORK CABINERY IN RESIDENTIAL UNITS
WD-2:	MFR: - TYPE: 3/4" THICK BNPB UPPER SHELF COLOR: PAINTED - WHITE LOCATION: WASHER/DRYER CLOSET IN NON-ADA RESIDENTIAL UNITS NOTE: MOUNT B.O. SHELF AT 5'-0" AFF. PROVIDE ADEQUATE WALL SUPPORTS
WD-3:	MFR: - TYPE: HANGING ROD & 3/4" THICK BNPB UPPER SHELF COLOR: PAINTED - WHITE LOCATION: ALL BEDROOM AND LIVING RM CLOSETS NOTE: PROVIDE ADEQUATE WALL SUPPORTS. MOUNTING HEIGHT TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS
WD-4:	MFR: - TYPE: 3/4" THICK BNPB LINEN SHELVES COLOR: PAINTED - WHITE LOCATION: RESIDENTIAL UNIT BATHROOMS NOTE: PROVIDE ADEQUATE WALL SUPPORTS. MOUNTING HEIGHT TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS
*BNPB = BULL NOSED PARTICLE BOARD	
MISCELLANEOUS:	
CG-1:	ITEM: CORNER GUARD MFR: ACROVYN PROFILE: S/M20AN COLOR: WHITE TO MATCH FIELD WALL PAINT SIZE: 48" H LOCATION: COMMUNITY AREA & CIRCULATION CORRIDORS
CG-2:	ITEM: CORNER GUARD MFR: ACROVYN PROFILE: S/M20AN COLOR: ACCENT TO MATCH WALL PAINT COLOR SIZE: 48" H LOCATION: COMMUNITY AREA & CIRCULATION CORRIDORS

GENERAL FINISH NOTES

- PROVIDE LVT-1 IN RESIDENTIAL SUITES. REFER TO FINISH PLANS FOR SPEC.
- PROVIDE LVT-2 IN RESIDENTIAL SUITE RESTROOMS. REFER TO FINISH PLANS FOR SPEC.
- CONTRACTOR TO VERIFY ALL DIMENSIONS GIVEN ON THE PLANS/ELEVATIONS IN THE FIELD TO DETERMINE ACCURACY AND CONDITIONS BEFORE INSTALLATION AND/OR FABRICATION OF ANY SYSTEM.
- SEE INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR ADDITIONAL FINISH INFORMATION, TYP. TILE PATTERNS, ETC.
- ALL FURNITURE SHOWN FOR REFERENCE ONLY AND IS N.L.C. UNLESS NOTED OTHERWISE. ALL FURNITURE IS TO BE PROVIDED BY OWNER.
- CONTRACTOR TO VERIFY ELECTRICAL AND SPECIAL SYSTEM OUTLET HEIGHTS AND LOCATIONS BEFORE INSTALLATION OF FINISHES AND CASEWORK.
- ALL PLUMBING FIXTURE FINISH SPECIFICATIONS ARE PER PLUMBING DRAWINGS AND/OR TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD FINISH SELECTIONS AT TIME OF SUBMITTAL.
- ALL FLOORING FINISHES ARE TO BE APPLIED UNDER CENTER OF DOOR.
- CONTRACTOR TO SUBMIT SAMPLES, CUT SHEETS AND SHOP DRAWINGS PERTAINING TO COLORS, FINISHES, FIXTURES, MATERIALS AND OTHER ITEMS TO BE INSTALLED AS PART OF THIS PROJECT. THE CONTRACTOR SHALL RECEIVE APPROVAL FROM THE ARCHITECT PRIOR TO ORDERING OR INSTALLATION OF SUCH ITEMS. ANY INSTALLATION OR USE OF ANY ITEMS WITHOUT THE ARCHITECT'S WRITTEN APPROVAL WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.**
- ALL MILLWORK FABRICATION AND INSTALLATION SHALL CONFORM TO THE AIA CUSTOM GRADE QUALITY STANDARD UNLESS NOTED OTHERWISE. ALL MILLWORK NOT COMPLYING TO THIS STANDARD, AS JUDGED BY THE ARCHITECT, SHALL BE REDONE AT THE CONTRACTOR'S EXPENSE.
- NO PAINTING OR APPLICATION OF INTERIOR FINISHES SHALL BE DONE UNDER CONDITIONS WHICH WOULD JEOPARDIZE THE QUALITY OR APPEARANCE OF SUCH WORK.
- ALL WORKMANSHIP JUDGED TO BE LESS THAN FIRST-QUALITY BY THE ARCHITECT OR DESIGNER WILL BE REJECTED.
- ALL COLORS SHALL BE AS PER THE FINISH SPECIFICATIONS UNLESS PRIOR WRITTEN APPROVAL FROM THE ARCHITECT/DESIGNER HAS BEEN RECEIVED.**
- ALL TRANSITION STRIPS SHALL BE SUBMITTED FOR ARCHITECTS APPROVAL PRIOR TO ORDER AND INSTALLATION.
- WALLS NOT INDICATED ON THIS FLOOR PLAN TO RECEIVE FIELD PAINT.



TYP. TOILET ACCESSORIES MOUNTING HEIGHTS

1/4" = 1'-0"



THE MORELAND
NATIVE AMERICAN CONNECTIONS
1125 N 3RD ST.
PHOENIX, AZ 85004
MASTER FINISH LEGEND

PERMIT SET

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REVISIONS
MARK DATE DESCRIPTION
2 8/08/23 BID 2

REVIEWED BY: AT
DRAWN BY: AT



DATE: 01-07-2022
JOB No: 2091
SHEET:

A803-A

PERMIT SET

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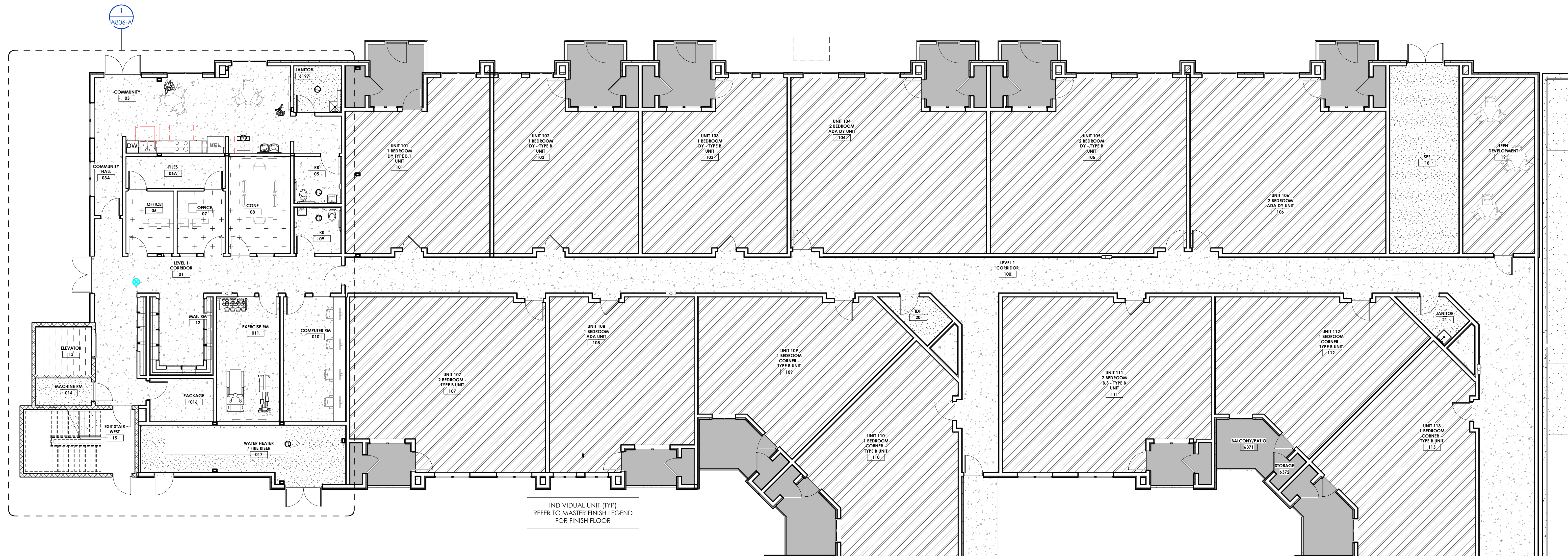
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4	4/14/23	LOT SPLIT
7	9/13/23	REV 2 ADD. 2

REVIEWED BY: _____ AT
 DRAWN BY: _____ AT



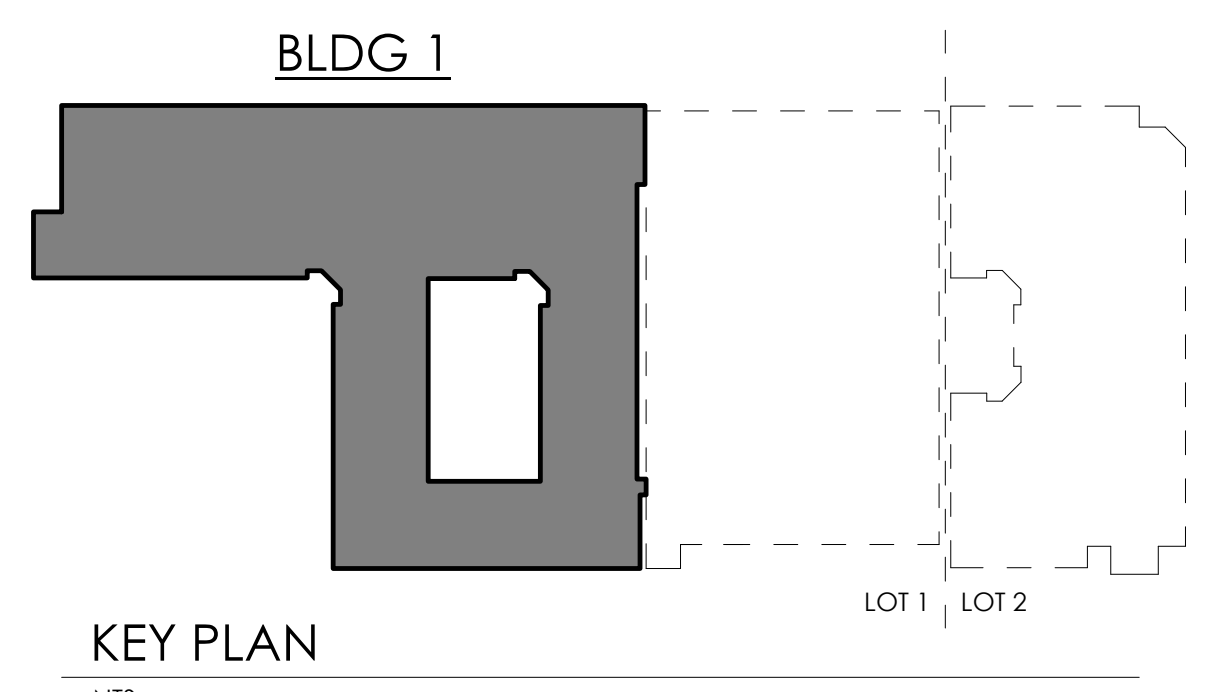
DATE: 01-07-2022
 JOB No.: 2091
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MASTER FINISH LEGEND

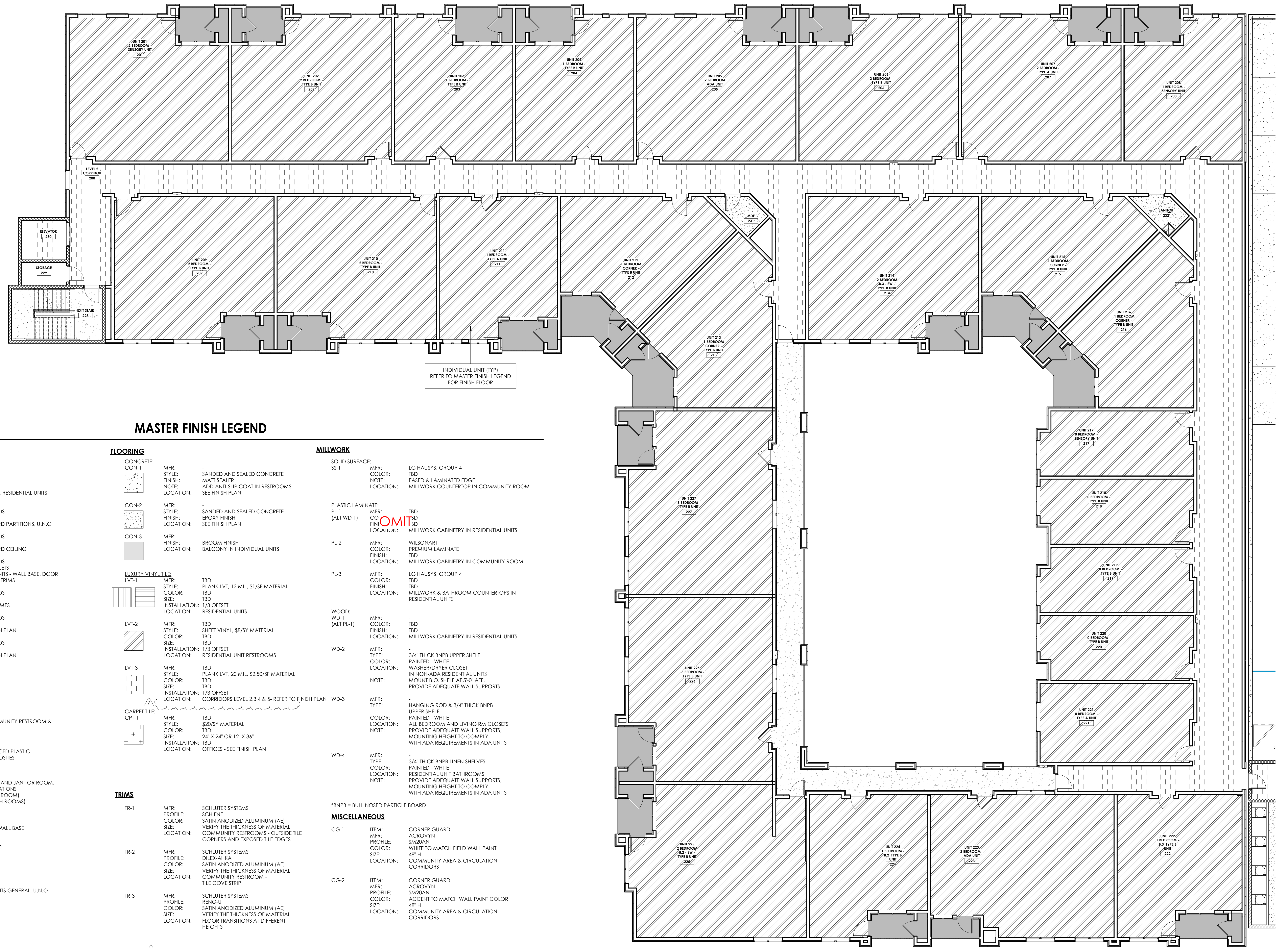
<p>WALL</p> <p>PAINT:</p> <p>GENERAL WALLS, U.N.O</p> <p>CEILING RESTROOMS, MECH, FIRE RISER, RESIDENTIAL UNITS BATHROOMS</p> <p>PT-1 (FIELD) MFR: DUNN-EDWARDS DEC774 SHADY COLOR: ALL GYP. BOARD PARTITIONS, U.N.O LOCATION:</p> <p>PT-2 MFR: DUNN-EDWARDS DEW380 WHITE COLOR: ALL GYP. BOARD CEILING LOCATION:</p> <p>PT-3 MFR: DUNN-EDWARDS DEW381 DROPLETS COLOR: RESIDENTIAL UNITS - WALL BASE, DOOR AND WINDOW TRIMS LOCATION:</p> <p>PT-4 MFR: DUNN-EDWARDS COLOR: TBD LOCATION: HM DOOR FRAMES</p> <p>PT-5 (ACCENT) MFR: DUNN-EDWARDS COLOR: TBD LOCATION: REFER TO FINISH PLAN</p> <p>PT-6 (ACCENT) MFR: DUNN-EDWARDS COLOR: TBD LOCATION: REFER TO FINISH PLAN</p> <p>WALL TILE:</p> <p>TL-1 MFR: DALTILE STYLE: 33/SF MATERIAL COLOR: TBD SIZE: TBD GROUT: MAPEI #TBD LOCATION: TYPICAL COMMUNITY RESTROOM & BACKSPLASH INSTALLATION: STACK BOND</p> <p>WALL PANEL:</p> <p>FRP-1 ITEM: FIBER REINFORCED PLASTIC MFR: CRANE COMPOSITES STYLE: STANDARD FRP COLOR: WHITE TEXTURE: SMOOTH LOCATION: TRASH ROOMS AND JANITOR ROOM. REFER TO ELEVATIONS SIZE: 4'W x 7'H (JAN. ROOM) 4'W x 4'H (TRASH ROOMS)</p> <p>WALL BASE:</p> <p>WB-1 MFR: ROPPE STYLE: COVE RUBBER WALL BASE COLOR: TBD SIZE: 4"H LOCATION: GENERAL, U.N.O</p> <p>WB-2 MFR: WOOD BASE STYLE: TBD PROFILE: PAINTED PT-3 COLOR: 1/2" x 4" LOCATION: RESIDENTIAL UNITS GENERAL, U.N.O</p>		<p>FLOORING</p> <p>CONCRETE:</p> <p>CON-1 MFR: - STYLE: SANDED AND SEALED CONCRETE FINISH: MATT SEALER SIZE: ADD ANTI-SLIP COAT IN RESTROOMS LOCATION: SEE FINISH PLAN</p> <p>CON-2 MFR: - STYLE: SANDED AND SEALED CONCRETE FINISH: EPOXY FINISH SIZE: TBD LOCATION: SEE FINISH PLAN</p> <p>CON-3 MFR: - STYLE: BROOM FINISH FINISH: BALCONY IN INDIVIDUAL UNITS LOCATION:</p> <p>LUXURY VINYL TILE:</p> <p>LVT-1 MFR: TBD STYLE: PLANK LVT, 12 MIL, \$1/SF MATERIAL COLOR: TBD SIZE: TBD INSTALLATION: 1/3 OFFSET LOCATION: RESIDENTIAL UNITS</p> <p>LVT-2 MFR: TBD STYLE: SHEET VINYL, \$8/SY MATERIAL COLOR: TBD SIZE: TBD INSTALLATION: 1/3 OFFSET LOCATION: RESIDENTIAL UNIT RESTROOMS</p> <p>LVT-3 MFR: TBD STYLE: PLANK LVT, 20 MIL, \$2.50/SF MATERIAL COLOR: TBD SIZE: TBD INSTALLATION: 1/3 OFFSET LOCATION: CORRIDORS LEVEL 2,3,4 & 5- REFER TO FINISH PLAN</p> <p>CARPET TILE:</p> <p>CPT-1 MFR: TBD STYLE: \$20/SY MATERIAL COLOR: TBD SIZE: 24" X 24" OR 12" X 36" INSTALLATION: TBD LOCATION: OFFICES - SEE FINISH PLAN</p> <p>TRIMS</p> <p>TR-1 MFR: SCHLITZER SYSTEMS PROFILE: SCHIENE COLOR: SATIN ANODIZED ALUMINUM [AE] SIZE: VERIFY THE THICKNESS OF MATERIAL LOCATION: COMMUNITY RESTROOMS - OUTSIDE TILE CORNERS AND EXPOSED TILE EDGES</p> <p>TR-2 MFR: SCHLITZER SYSTEMS PROFILE: DILEX-AHKA COLOR: SATIN ANODIZED ALUMINUM [AE] SIZE: VERIFY THE THICKNESS OF MATERIAL LOCATION: COMMUNITY RESTROOM - TILE COVE STRIP</p> <p>TR-3 MFR: SCHLITZER SYSTEMS PROFILE: RENO-U COLOR: SATIN ANODIZED ALUMINUM [AE] SIZE: VERIFY THE THICKNESS OF MATERIAL LOCATION: FLOOR TRANSITIONS AT DIFFERENT HEIGHTS</p>		<p>MILLWORK</p> <p>SOLID SURFACE:</p> <p>SS-1 MFR: LG HAUSYS, GROUP 4 COLOR: TBD NOTE: EASED & LAMINATED EDGE LOCATION: MILLWORK COUNTERTOP IN COMMUNITY ROOM</p> <p>PLASTIC LAMINATE:</p> <p>PL-1 (ALT WD-1) MFR: TBD COLOR: TBD FINI: FINI LOCATION: MILLWORK CABINERY IN RESIDENTIAL UNITS</p> <p>PL-2 MFR: WILSONART COLOR: PREMIUM LAMINATE FINISH: TBD LOCATION: MILLWORK CABINERY IN COMMUNITY ROOM</p> <p>PL-3 MFR: LG HAUSYS, GROUP 4 COLOR: TBD FINISH: TBD LOCATION: MILLWORK & BATHROOM COUNTERTOPS IN RESIDENTIAL UNITS</p> <p>WOOD:</p> <p>WD-1 (ALT PL-1) MFR: - COLOR: TBD FINISH: TBD LOCATION: MILLWORK CABINERY IN RESIDENTIAL UNITS</p> <p>WD-2 MFR: - TYPE: 3/4" THICK BNPB UPPER SHELF COLOR: PAINTED - WHITE LOCATION: WASHER/DRYER CLOSET IN NON-ADA RESIDENTIAL UNITS MOUNT B.O. SHELF AT 5'-0" AFF. PROVIDE ADEQUATE WALL SUPPORTS</p> <p>WD-3 MFR: - TYPE: HANGING ROD & 3/4" THICK BNPB UPPER SHELF COLOR: PAINTED - WHITE LOCATION: ALL BEDROOM AND LIVING RM CLOSETS PROVIDE ADEQUATE WALL SUPPORTS. MOUNTING HEIGHT TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS</p> <p>WD-4 MFR: - TYPE: 3/4" THICK BNPB LINEN SHELVES COLOR: PAINTED - WHITE LOCATION: RESIDENTIAL UNIT BATHROOMS PROVIDE ADEQUATE WALL SUPPORTS. MOUNTING HEIGHT TO COMPLY WITH ADA REQUIREMENTS IN ADA UNITS</p> <p>*BNPB = BULL NOSED PARTICLE BOARD</p> <p>MISCELLANEOUS</p> <p>CG-1 ITEM: CORNER GUARD MFR: ACROVYN PROFILE: SM20AN COLOR: WHITE TO MATCH FIELD WALL PAINT SIZE: 48"H LOCATION: COMMUNITY AREA & CIRCULATION CORRIDORS</p> <p>CG-2 ITEM: CORNER GUARD MFR: ACROVYN PROFILE: SM20AN COLOR: ACCENT TO MATCH WALL PAINT COLOR SIZE: 48"H LOCATION: COMMUNITY AREA & CIRCULATION CORRIDORS</p>	
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BLDG 1 - LEVEL 1 OVERALL FINISH FLOOR PLAN

1/8" = 1'-0"





MASTER FINISH LEGEND

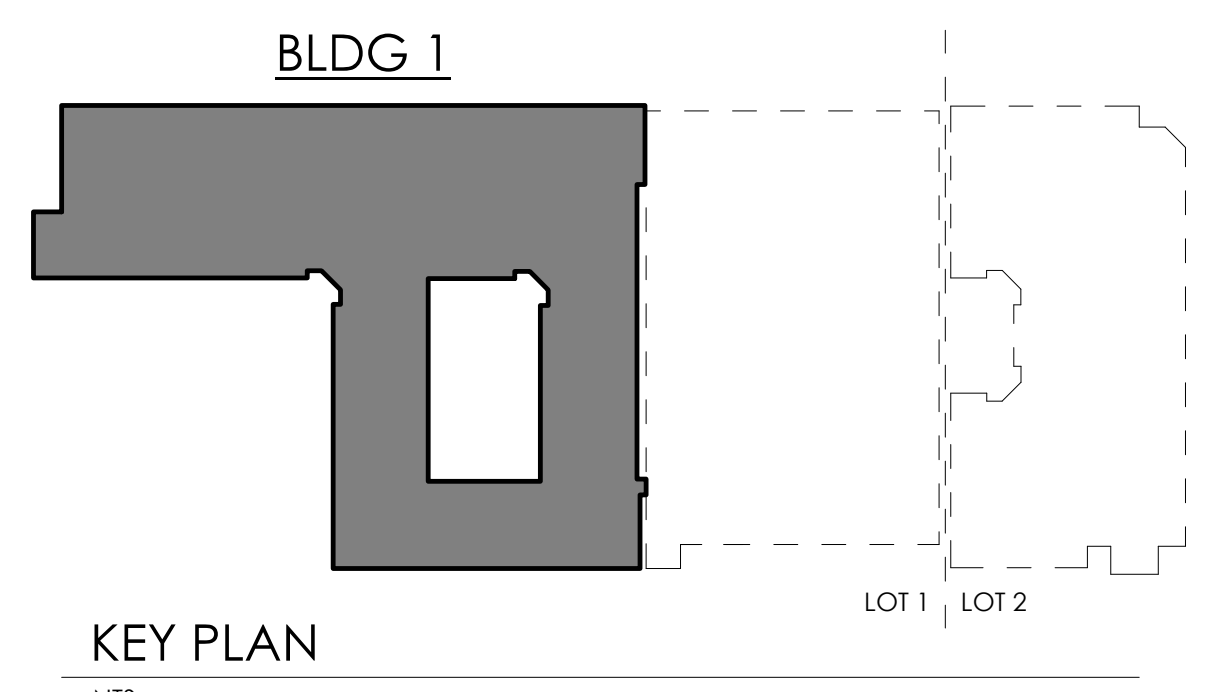
WALL		FLOORING		MILLWORK	
PAINT:		CONCRETE:		SOLID SURFACE:	
PAINT FINISH: GENERAL WALLS, U.N.O		CON-1: MFR: - STYLE: - FINISH: SANDED AND SEALED CONCRETE NOTE: MATT SEALER LOCATION: ADD ANTI-SLIP COAT IN RESTROOMS SEE FINISH PLAN		SS-1: MFR: LG HAUSYS, GROUP 4 COLOR: TBD LOCATION: EASED & LAMINATED EDGE MILLWORK COUNTERTOP IN COMMUNITY ROOM	
EGGSHELL: CEILING		CON-2: MFR: - STYLE: - FINISH: SANDED AND SEALED CONCRETE LOCATION: SEE FINISH PLAN		PL-1: MFR: TBD COLOR: CO FINISH: 3D LOCATION: (ALT WD-1) MILLWORK CABINERY IN RESIDENTIAL UNITS	
SEMI GLOSS: RESTROOMS, MECH, FIRE RISER, RESIDENTIAL UNITS BATHROOMS		CON-3: MFR: - STYLE: - FINISH: BROOM FINISH LOCATION: BALCONY IN INDIVIDUAL UNITS		PL-2: MFR: WILSONART COLOR: PREMIUM LAMINATE FINISH: TBD LOCATION: MILLWORK CABINERY IN COMMUNITY ROOM	
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PT-3: MFR: DUNN-EDWARDS COLOR: DEW381 DROPLETS LOCATION: RESIDENTIAL UNITS - WALL BASE, DOOR AND WINDOW TRIMS		LVT-2: MFR: - STYLE: TBD COLOR: SHEET VINYL, \$8/SY MATERIAL SIZE: TBD INSTALLATION: 1/3 OFFSET LOCATION: RESIDENTIAL UNITS		WD-1 (ALT PL-1): MFR: - COLOR: TBD FINISH: TBD LOCATION: MILLWORK CABINERY IN RESIDENTIAL UNITS	
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FRP-1: ITEM: FIBER REINFORCED PLASTIC CRANE COMPOSITES MFR: STANDARD FRP STYLE: WHITE COLOR: WHITE TEXTURE: SMOOTH LOCATION: TRASH ROOMS AND JANITOR ROOM. REFER TO ELEVATIONS SIZE: 4W X 7H (JAN. ROOM) 4W X 4H (TRASH ROOMS)		TR-3: MFR: SCHLUTER SYSTEMS PROFILE: RENO-U COLOR: SATIN ANODIZED ALUMINUM (AE) SIZE: - LOCATION: VERIFY THE THICKNESS OF MATERIAL FLOOR TRANSITIONS AT DIFFERENT HEIGHTS			
WALL BASE:					
WB-1: MFR: ROPPE STYLE: COVE RUBBER WALL BASE COLOR: TBD SIZE: 4H LOCATION: GENERAL, U.N.O					
WB-2: MFR: - STYLE: WOOD BASE PROFILE: TBD COLOR: PAINTED PT-3 SIZE: 1/2" X 4H LOCATION: RESIDENTIAL UNITS GENERAL, U.N.O					

INDIVIDUAL UNIT (TYP)
 REFER TO MASTER FINISH LEGEND FOR FINISH FLOOR

**NOTE: FINISH FLOOR PLAN TYPICAL FOR LEVELS 2,3,4,&5.

BLDG 1 - LEVEL 2 OVERALL FINISH FLOOR PLAN

1/8" = 1'-0"



PERMIT SET

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MARK	DATE	DESCRIPTION
1	05/25/22	CITY COMMENTS
4	4/14/23	LOT SPLIT
7	9/13/23	WB 2 ADD-2

REVIEWED BY: AT
 DRAWN BY: AT



DATE: 01-07-2022
 JOB No: 2091
 SHEET:

A805-A

CEILING SYMBOLS

- NOTE: NOT ALL LIGHT FIXTURE & CEILING TYPES APPLY.
- 2x4 SUSPENDED ACOUSTIC CEILING, U.N.O. SEE FINISH SCHEDULE.
 - FG8 HARD CEILING, SEE FINISH SCHEDULE.
 - EXPOSED UNDERSIDE OF DECK, UNDERSIDE OF DECK, JOISTS, CONDUIT, ETC. TO RECEIVE PAINT FINISH BLACK WHERE EXPOSED TO VIEW.
 - 2x2 LIGHT FIXTURE IN SUSPENDED CEILING, SEE ELECTRICAL DRAWINGS.
 - CAN LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS.
 - SECURITY CAMERA
 - MECHANICAL SUPPLY AIR AT CEILING, SEE MECHANICAL DRAWINGS FOR SIZE.
 - MECHANICAL RETURN AIR AT CEILING, SEE MECHANICAL DRAWINGS FOR SIZE.
 - MECHANICAL EXHAUST AIR AT CEILING, SEE MECHANICAL DRAWINGS FOR SIZE.
 - SMOKE DETECTOR, SEE ELECTRICAL DRAWINGS.
 - CEILING ELECTRICAL JUNCTION BOX, SEE ELECTRICAL DRAWINGS.
 - EXIT SIGN FIXTURE, SEE ELECTRICAL DRAWINGS.
 - SPEAKER
 - SUSPENDED/RECESSED LINEAR LIGHT, SEE ELECTRICAL DRAWINGS
 - 1X4 LIGHT FIXTURE, SEE ELECTRICAL DRAWING
 - PENDANT LIGHT FIXTURE
 - DAYLIGHT SENSOR, SEE ELECTRICAL DRAWINGS
 - OCCUPANCY SENSOR, SEE ELECTRICAL DRAWINGS
 - STROBE
 - CAMERA - REFER TO ELECTRICAL PLANS
 - CEILING FAN, CONTRACTOR TO INCLUDE IN ALL UNITS

GENERAL NOTES

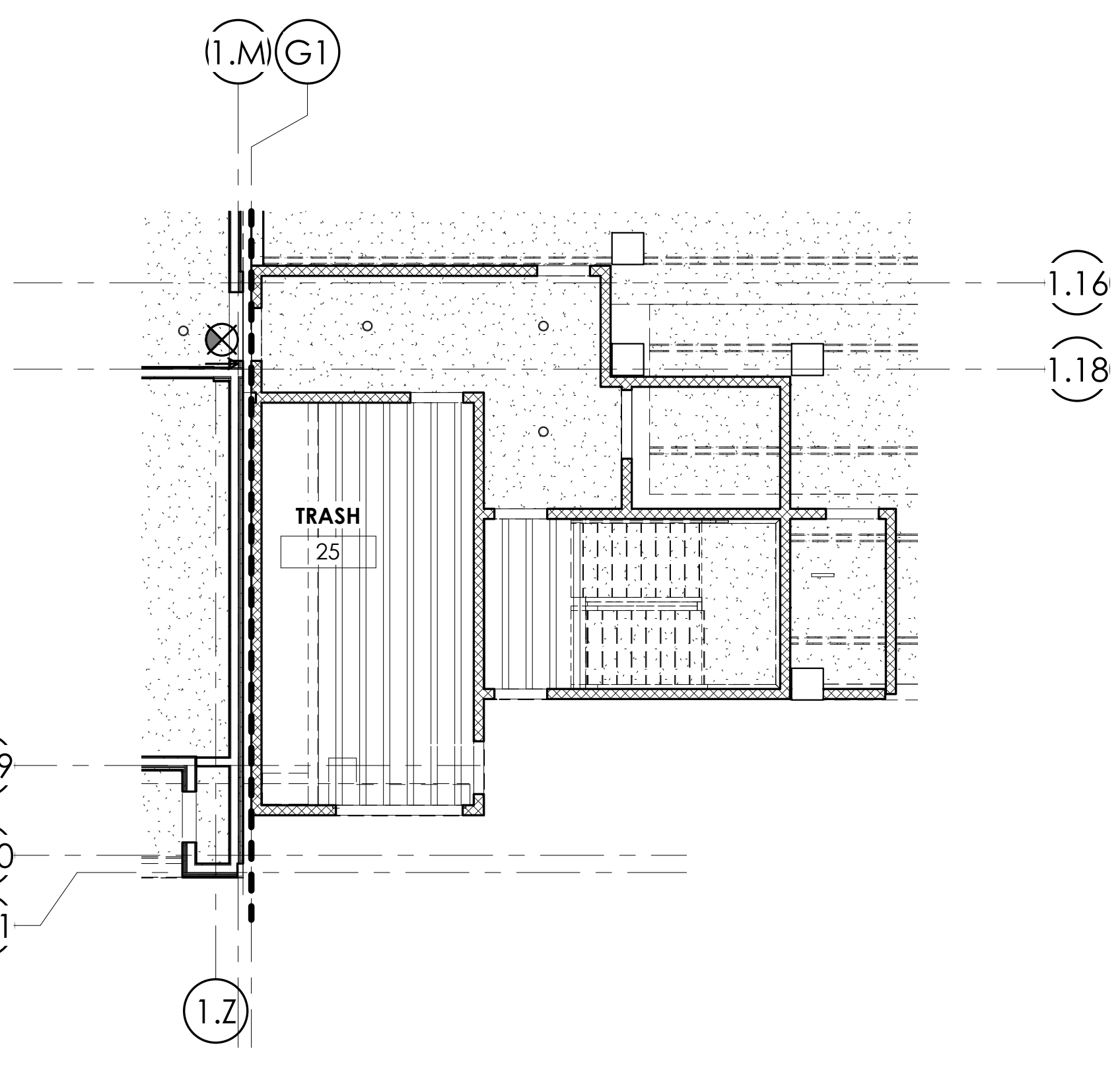
- NOTE: NOT ALL NOTES APPLY ON THIS SHEET
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT.
 - SEE SITE PLAN FOR WORK BEYOND THE BUILDING PERIMETER
 - IN-WALL INSULATION NOT SHOWN ON FLOOR PLANS FOR DRAWING CLARITY. REFER TO DETAILS AND WALL TYPES FOR ADDITIONAL INFORMATION.
 - ALL DIMENSIONS ARE TO FACE OF MASONRY WALL, GRID, FACE OF STUD OR CENTER OF OPENING UNLESS NOTES OTHERWISE. NOT ALL DIMENSIONS ARE SHOWN ON THIS PLAN. SEE DIMENSION PLAN FOR ADDITIONAL INFORMATION.
 - INTERIOR DOOR OPENINGS NOT LOCATED BY DIMENSIONS SHALL BE OFFSET WITH 4" CLEAR FROM EDGE OF DOOR AND FACE OF PERPENDICULAR STUD WALL.
 - SEAL ALL PENETRATIONS AT FIRE-RATED WALLS WITH FIRE-RATED SEALANT.
 - FOR INTERIOR WALL HEIGHT INFORMATION SEE REFLECTED CEILING PLANS AND WALL TYPE DETAILS.
 - WHERE PIPES, CONDUITS, AND OTHER PENETRATIONS ARE EXPOSED TO VIEW, PROVIDE ESCUTCHEONS, TYPICAL AT ALL WALLS, FLOORS, CEILINGS, ETC.
 - ALL UTILITIES, UNDERGROUND LINES, AND PIPING TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED, CAPPED, AND TAGGED FOR EASY LOCATION AND IDENTIFICATIONS. COMPLY WITH CODE REQUIREMENTS AND SOUND CONSTRUCTION PRACTICE.
 - CONTRACTOR SHALL COORDINATE ANY REQUIRED UTILITY SHUT-OFFS WITH THE OWNER.
 - PROVIDE BLOCKING OR METAL STRAPPING AT ALL WALL-MOUNTING CABINETS, DISPLAY BOARDS, TV'S, FIRE EXTINGUISHER CABINETS, WALL-BOARD EQUIPMENT, ETC.
 - FOR FINISH MATERIALS AND LOCATIONS, REFER TO FINISH PLANS, INTERIOR ELEVATIONS, AND FINISH DETAILS.
 - ALL DWELLING UNIT CLOTHES WASHERS AND DRYERS SHALL BE INSTALLED WITH WASHER ON THE LEFT.
 - ALL WINDOWS FACING ARTIFICIAL TURF THAT ARE NOT RECESSED IN A BALCONY MUST HAVE A SUN SCREEN

CEILING GENERAL NOTES

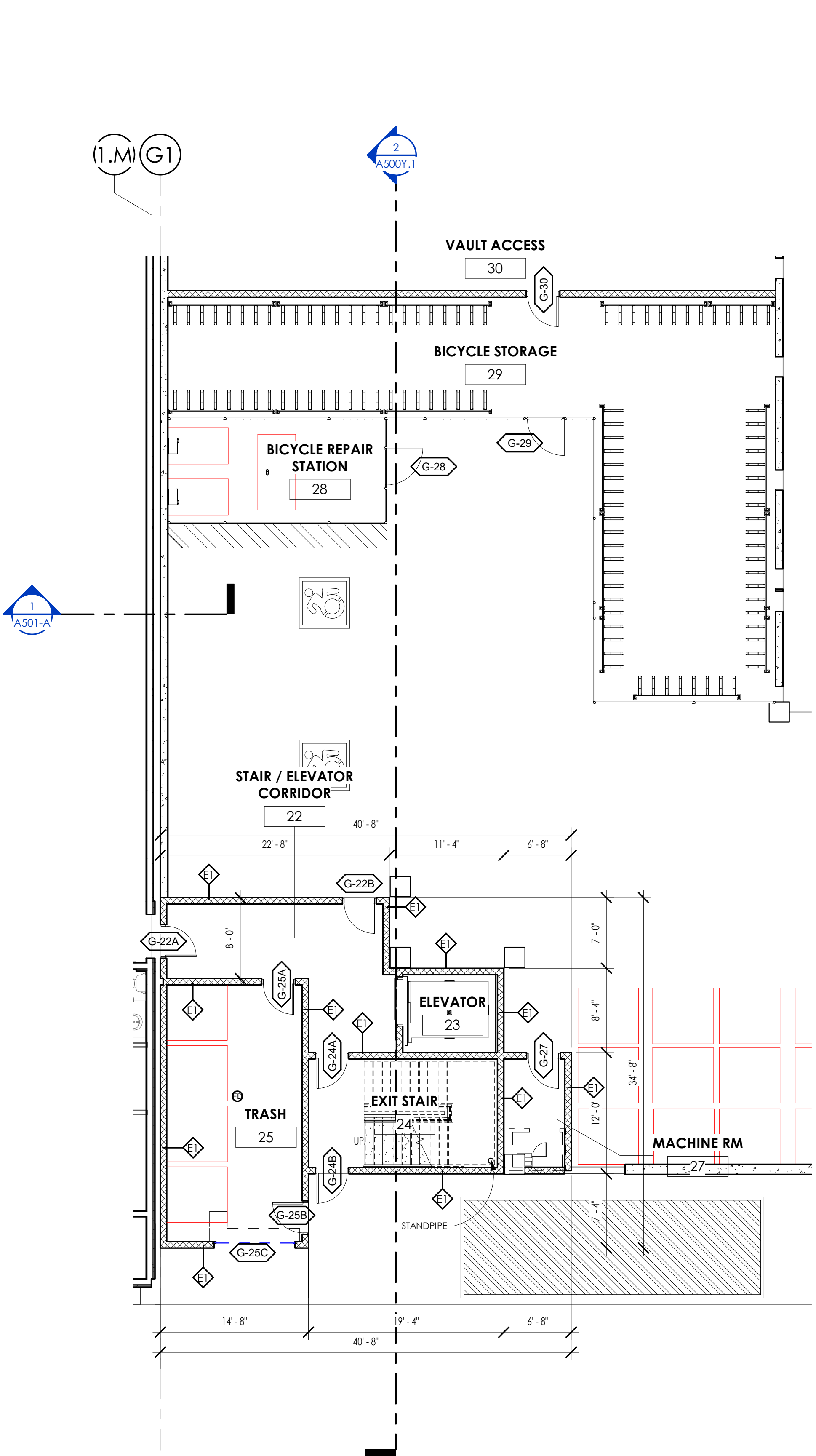
- CEILING SYSTEMS SHALL PROVIDE FOR LIGHTING FIXTURES AND AIR CONDITIONING DIFFUSERS. INDEPENDENT FRAMING AND ATTACHMENTS TO THE STRUCTURE SHALL BE ADEQUATE TO SUPPORT THE CEILING SYSTEM WHERE DUCTWORK INTERFERES WITH NORMAL SUSPENSION. ATTACHMENT OF HANGERS OR FRAMING TO DUCTWORK PROHIBITED.
- COORDINATE EXACT LOCATIONS OF ALL CEILING ITEMS (DIFFUSERS, LIGHT FIXTURES) LIGHT FIXTURES ARE SHOWN ON THIS DRAWING FOR THE ARCHITECTURAL LOCATIONS AND GENERAL FIXTURE TYPE ONLY. SEE ELECTRICAL DRAWINGS FOR THE EXACT FIXTURE TYPE AND CIRCUITING.
- MECHANICAL REGISTERS ARE SHOWN ON THIS DRAWING FOR THE ARCHITECTURAL LOCATIONS ONLY. SEE MECHANICAL DRAWINGS AND SPECIFICATIONS FOR SIZING, DISTRIBUTION, CONNECTIONS, AND ALL OTHER REQUIREMENTS.
- REFLECTED CEILING PLAN DIMENSIONS ARE FACE OF FINISH, UNLESS OTHERWISE NOTED.
- CEILING GRID TO BE CENTERED IN EVERY ROOM, U.N.O.
- FOR SMOKE DETECTOR LOCATIONS IN CEILING SEE SPECIAL SYSTEMS DRAWINGS.
- ALL STUD WALLS EXTEND TO UNDERSIDE OF ROOF DECK/FLOOR, UNLESS NOTED OTHERWISE. FOR TYPICAL TOP OF WALL TERMINATIONS, SEE DETAILS.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE ITEMS WITHIN THE SPACE ABOVE ALL CEILING (INCLUDING, BUT NOT LIMITED TO: STRUCTURAL MEMBERS, MECHANICAL DUCTS AND INSTALLATION, CONDUITS, RACEWAYS, SPRINKLER SYSTEMS, AND ANY SPECIAL STRUCTURAL SUPPORTS REQUIRED) AND SHALL BE RESPONSIBLE FOR MAINTAINING THE FINISH CEILING HEIGHT ABOVE THE FINISH FLOOR INDICATED IN THE DRAWINGS AND THE FINISH SCHEDULE. (CEILING HEIGHT DIMENSIONS ARE TO THE FINISH SURFACE OF CEILING).
- ACCESS PANELS SHALL BE PROVIDED & INSTALLED WHEREVER REQUIRED BY BUILDING CODE OR FOR THE PROPER OPERATION OR MAINTENANCE OF MECHANICAL OR ELECTRICAL EQUIPMENT, WHETHER OR NOT INDICATED ON DRAWINGS. CONTRACTOR SHALL COORDINATE SIZE, LOCATION AND TYPE OF ACCESS PANEL WITH OTHER CONTRACTORS WORK & RECEIVE APPROVAL OF THE ARCHITECT. NO ACCESS PANEL SHALL BE LOCATED, FRAMED OR INSTALLED WITHOUT THE EXPRESSED APPROVAL OF THE ARCHITECT.
- ALL DUCT PENETRATIONS THROUGH PARTITIONS & CEILING SHALL BE PROVIDED WITH NECESSARY FRAMES AND BRACING AROUND THE OPENING & SHALL BE PROVIDED WITH AUTOMATIC FIRE DAMPERS (IF REQUIRED) BY MECHANICAL DRAWINGS OR FOR FIRE-RATED PENETRATIONS.
- FIRE SPRINKLER HEADS TO BE SEMI-RECESSED OR PROTECTED. SEE SPRINKLER PLANS (WHICH IS A DEFERRED SUBMITTAL) FOR EXACT EXACT LOCATIONS AND QUANTITIES.
- ALL DUCT PENETRATIONS THROUGH PARTITIONS & CEILING SHALL BE PROVIDED WITH NECESSARY FRAMES AND BRACING AROUND THE OPENING & SHALL BE PROVIDED WITH AUTOMATIC FIRE DAMPERS (IF REQUIRED) BY MECHANICAL DRAWINGS FOR FIRE - RATED PENETRATIONS.
- PROVIDED CONT. FIRE CAULKING @ ALL PIPE, VENT, DUCT, STRUCTURAL, ETC., PENETRATIONS THROUGH FIRE RATED WALLS - TYPICAL

KEY NOTES

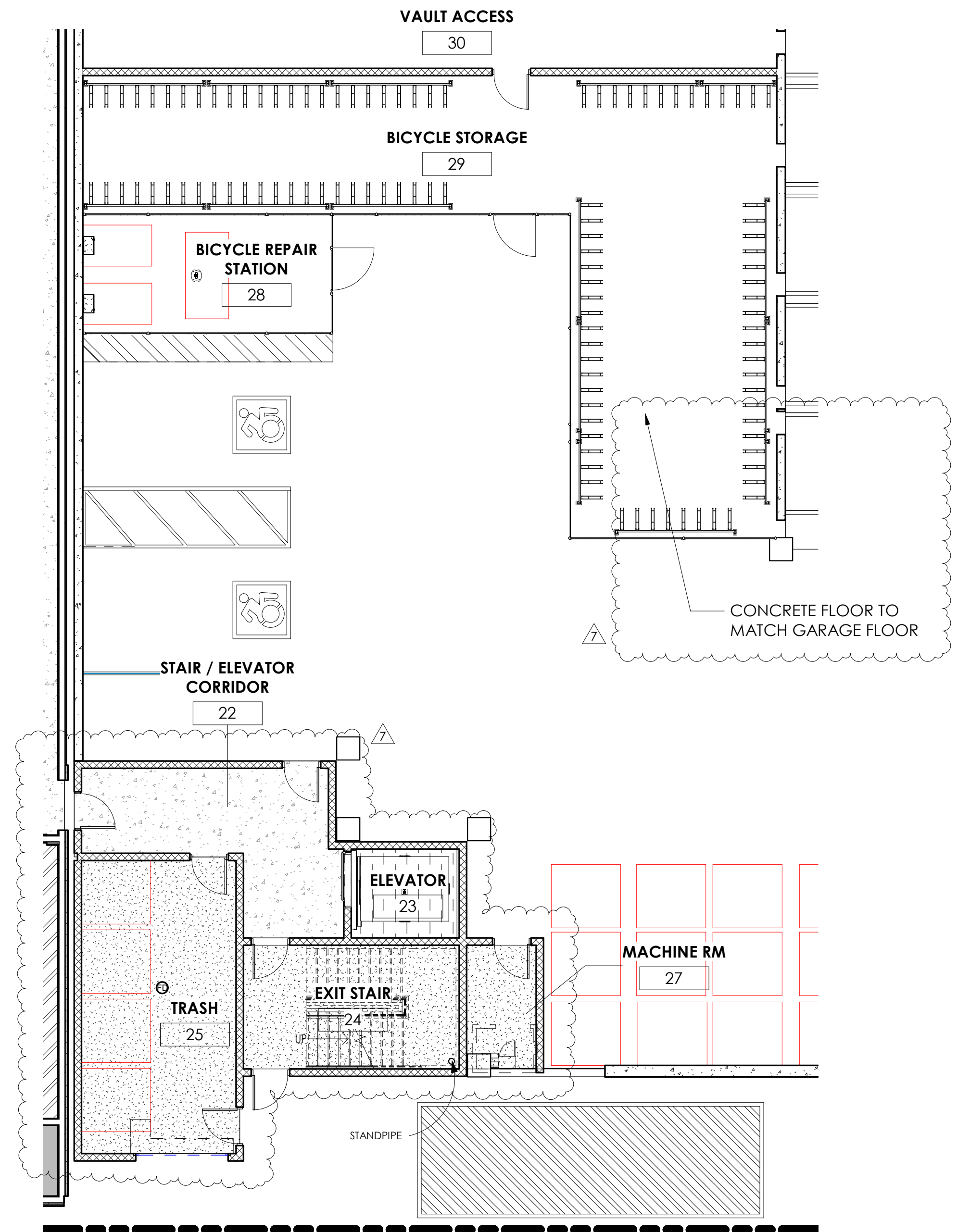
- 5.07 STEEL COLUMN - REFER TO STRUCTURAL



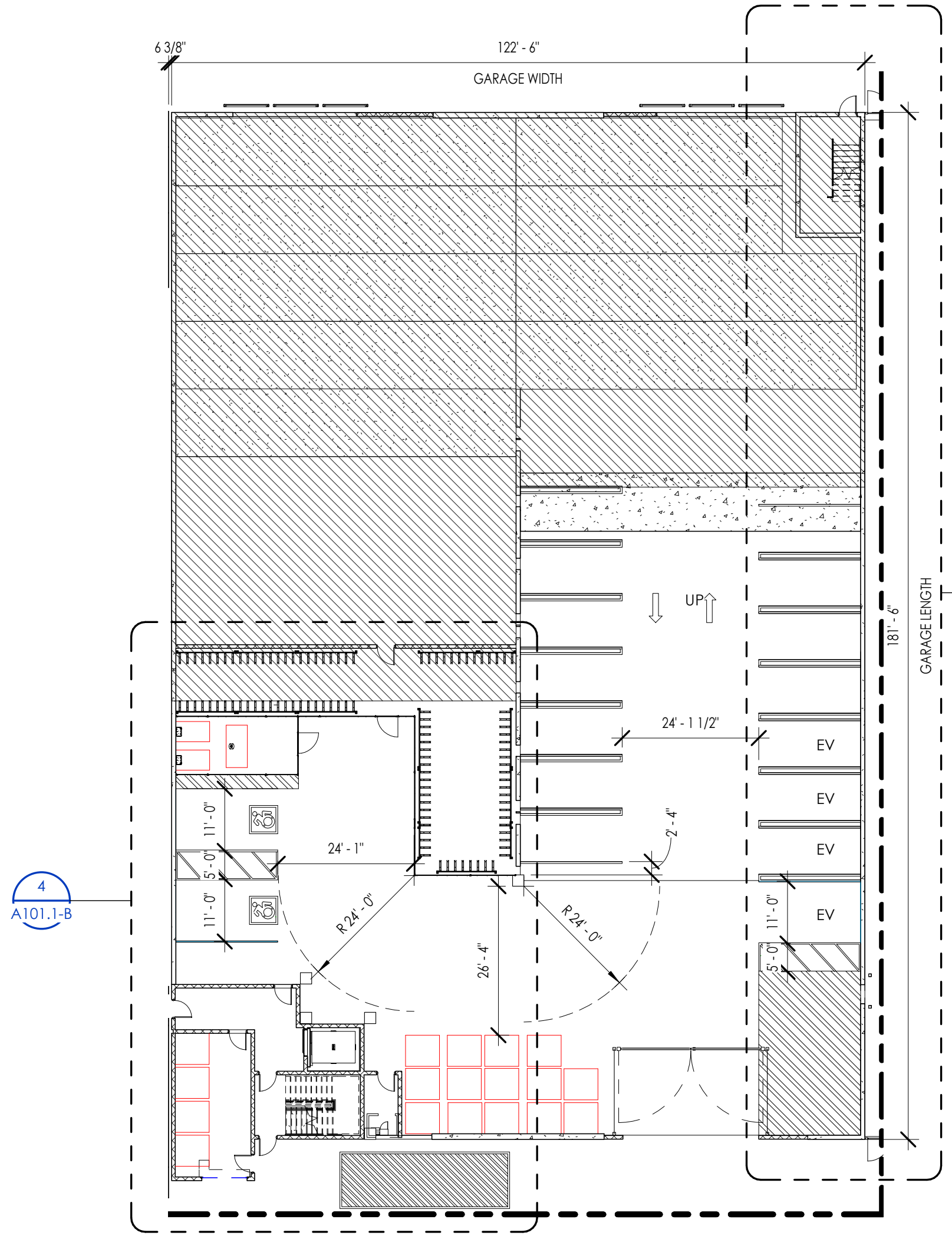
RCP - BLDG 2 LEVEL 1 - TRASH ROOM



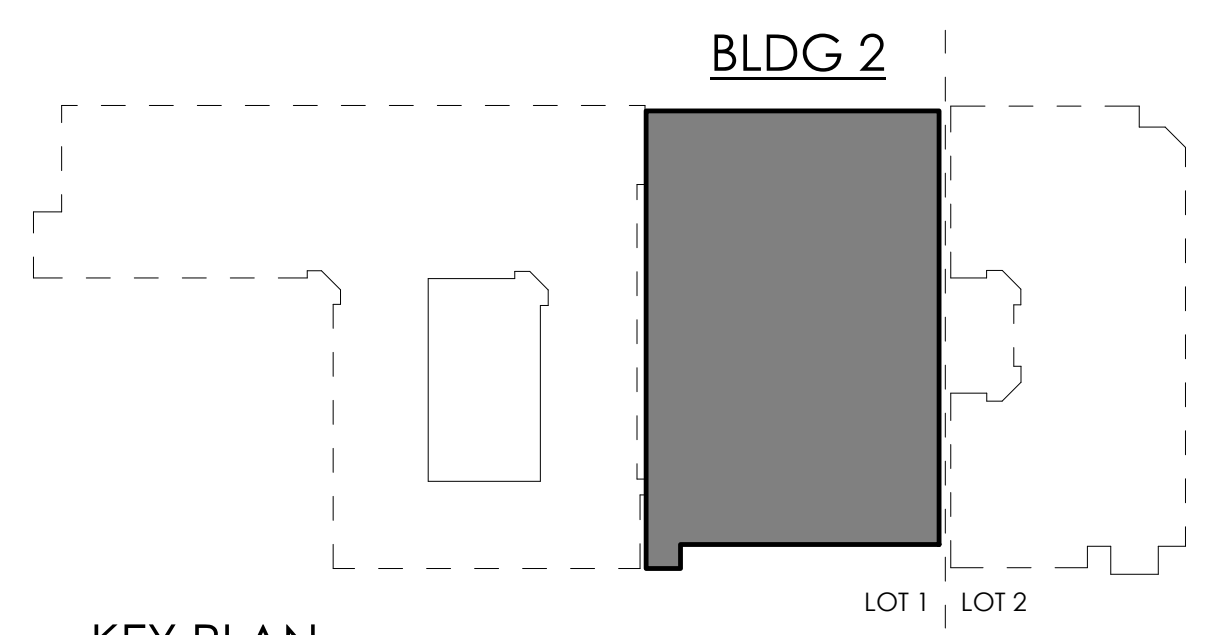
BLDG 2 - TRASH ROOM AND EGRESS - LEVEL 1



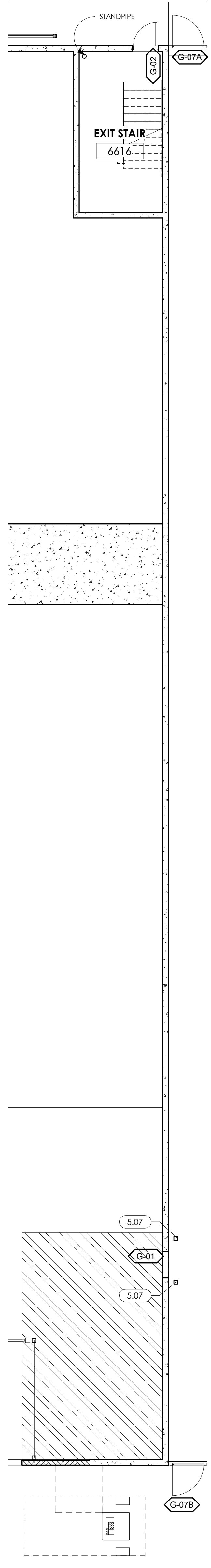
BLDG 2 - TRASH ROOM AND EGRESS LEVEL 1 FINISH PLAN



PARKING GARAGE LEVEL 1



KEY PLAN



BLDG 2 - STAIR AND DOORS - LEVEL 1

PERMIT SET

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REVISIONS		
MARK	DATE	DESCRIPTION
4	4/7/23	LOT SPLIT
6	8/29/23	IBD 2
7	9/13/23	IBD 2 ADD. 2

REVIEWED BY: checker
 DRAWN BY: Author



DATE: 01-07-2022
 JOB No: 2091
 SHEET:

A101.1-B

GENERAL NOTES

NOTE: NOT ALL NOTES APPLY ON THIS SHEET

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT.
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- ALL DIMENSIONS ARE TO FACE OF MASONRY WALL, GRID, FACE OF STUD OR CENTER OF OPENING UNLESS NOTES OTHERWISE. NOT ALL DIMENSIONS ARE SHOWN ON THIS PLAN. SEE DIMENSION PLAN FOR ADDITIONAL INFORMATION.
- INTERIOR DOOR OPENINGS NOT LOCATED BY DIMENSIONS SHALL BE OFFSET WITH 4" CLEAR BEYOND EDGE OF DOOR AND FACE OF PERPENDICULAR STUD WALL.
- SEAL ALL PENETRATIONS AT FIRE-RATED WALLS WITH FIRE-RATED SEALANT.
- FOR INTERIOR WALL HEIGHT INFORMATION SEE REFLECTED CEILING PLANS AND WALL TYPE DETAILS.
- WHERE PIPES, CONDUITS, AND OTHER PENETRATIONS ARE EXPOSED TO VIEW, PROVIDE ESCUTCHEONS, TYPICAL AT ALL WALLS, FLOORS, CEILINGS, ETC.
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- ALL DWELLING UNIT CLOTHES WASHERS AND DRYERS SHALL BE INSTALLED WITH WASHER ON THE LEFT.
- ALL WINDOWS FACING ARTIFICIAL TURF THAT ARE NOT RECESSED IN A BALCONY MUST HAVE A SUN SCREEN

KEY NOTES

- 14.01 TRASH CHUTE

CEILING GENERAL NOTES

- CEILING SYSTEMS SHALL PROVIDE FOR LIGHTING FIXTURES AND AIR CONDITIONING DIFFUSERS. INDEPENDENT FRAMING AND ATTACHMENTS TO THE STRUCTURE SHALL BE ADEQUATE TO SUPPORT THE CEILING SYSTEM WHERE DUCTWORK INTERFERES WITH NORMAL SUSPENSION. ATTACHMENT OF HANGERS OR FRAMING TO DUCTWORK PROHIBITED.
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- REFLECTED CEILING PLAN DIMENSIONS ARE FACE OF FINISH, UNLESS OTHERWISE NOTED.
- CEILING GRID TO BE CENTERED IN EVERY ROOM, U.N.O.
- FOR SMOKE DETECTOR LOCATIONS IN CEILING SEE SPECIAL SYSTEMS DRAWINGS.
- ALL STUD WALLS EXTEND TO UNDERSIDE OF ROOF DECK/FLOOR, UNLESS NOTED OTHERWISE. FOR TYPICAL TOP OF WALL TERMINATIONS, SEE DETAILS.
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- PROVIDED CONT. FIRE CAULKING @ ALL PIPE, VENT, DUCT, STRUCTURAL, ETC., PENETRATIONS THROUGH FIRE RATED WALLS - STRUCTURAL.

CEILING SYMBOLS

- NOTE: NOT ALL LIGHT FIXTURE & CEILING TYPES APPLY.
- 2x4 SUSPENDED ACOUSTIC CEILING, U.N.O. SEE FINISH SCHEDULE.
 - FG8 HARD CEILING, SEE FINISH SCHEDULE.
 - FG8 HARD CEILING (DROPPED), SEE FINISH SCHEDULE.
 - EXPOSED UNDERSIDE OF DECK, UNDERSIDE OF DECK, JOISTS, CONDUIT, ETC. TO RECEIVE PAINT FINISH BLACK WHERE EXPOSED TO VIEW.
 - 2x2 LIGHT FIXTURE IN SUSPENDED CEILING, SEE ELECTRICAL DRAWINGS.
 - CAN LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS.
 - SECURITY CAMERA
 - MECHANICAL SUPPLY AIR AT CEILING, SEE MECHANICAL DRAWINGS FOR SIZE.
 - MECHANICAL - RETURN AIR AT CEILING, SEE MECHANICAL DRAWINGS FOR SIZE.
 - MECHANICAL - EXHAUST AIR AT CEILING, SEE MECHANICAL DRAWINGS FOR SIZE.
 - SMOKE DETECTOR, SEE ELECTRICAL DRAWINGS.
 - CEILING ELECTRICAL JUNCTION BOX, SEE ELECTRICAL DRAWINGS.
 - EXIT SIGN FIXTURE, SEE ELECTRICAL DRAWINGS.
 - SPEAKER
 - SUSPENDED/RECESSED LINEAR LIGHT, SEE ELECTRICAL DRAWINGS
 - 1X4 LIGHT FIXTURE, SEE ELECTRICAL DRAWING
 - PENDANT LIGHT FIXTURE
 - DAYLIGHT SENSOR, SEE ELECTRICAL DRAWINGS
 - OCCUPANCY SENSOR, SEE ELECTRICAL DRAWINGS
 - STROBE
 - CAMERA - REFER TO ELECTRICAL PLANS
 - CEILING-FAN, CONTRACTOR TO INCLUDE IN ALL UNITS

PERMIT SET

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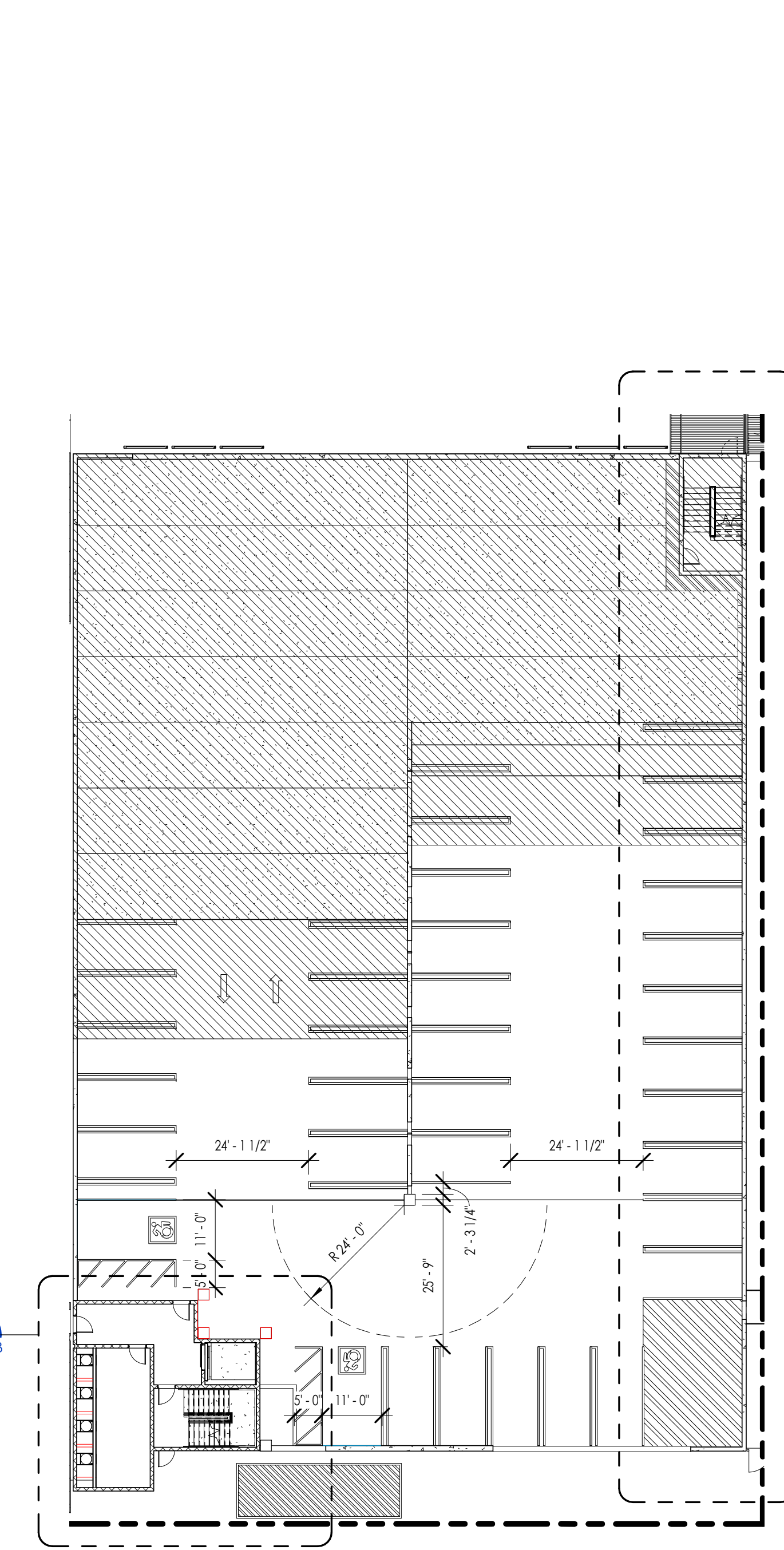
MARK	DATE	DESCRIPTION
4	4/14/23	LOT SPLIT
5	7/23/23	IBD 1
6	8/08/23	IBD 2
7	9/13/23	IBD 2 ADD. 2

REVIEWED BY: checker
 DRAWN BY: Author

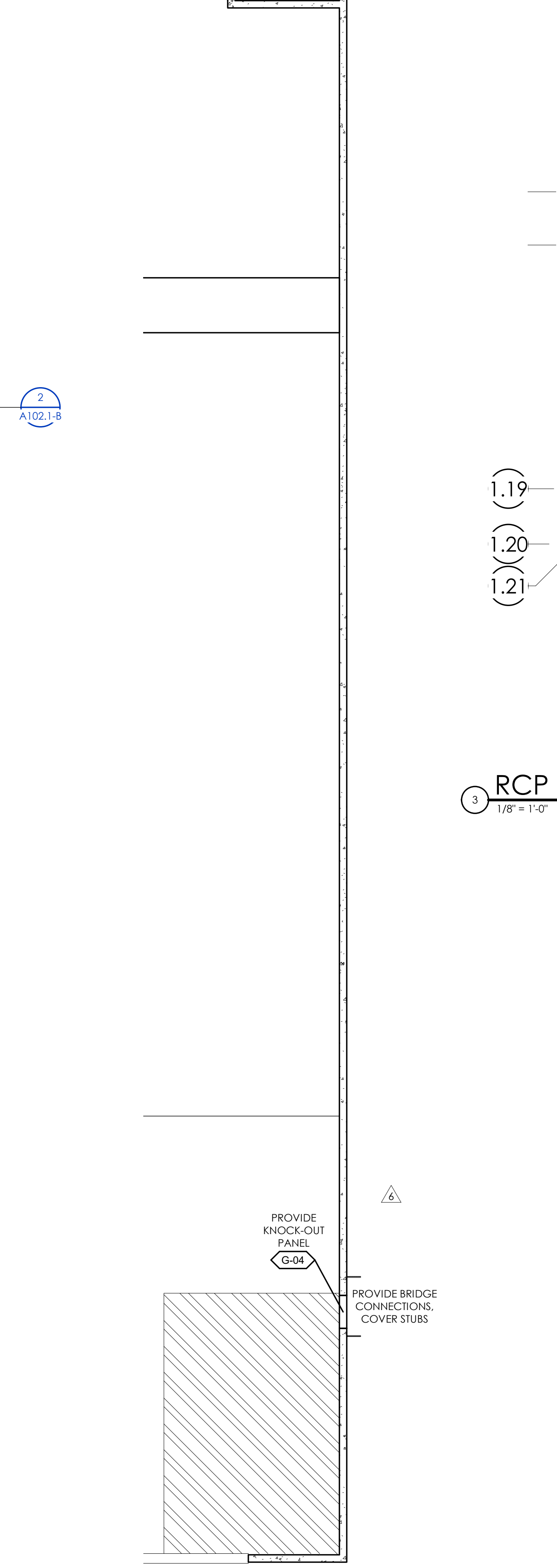
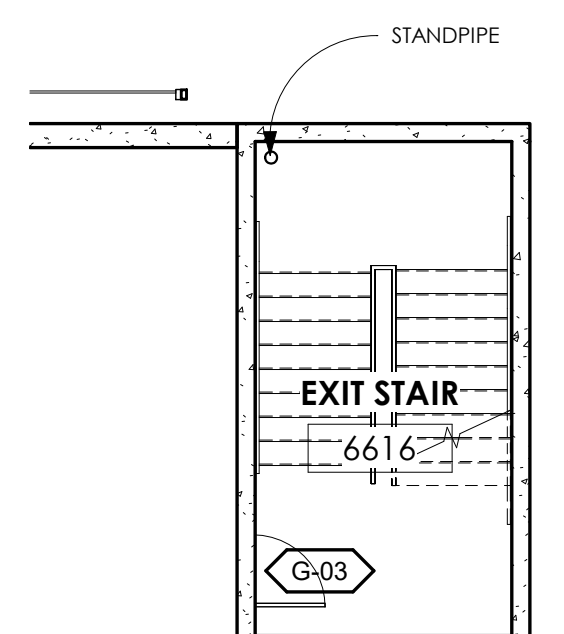


DATE: 01-07-2022
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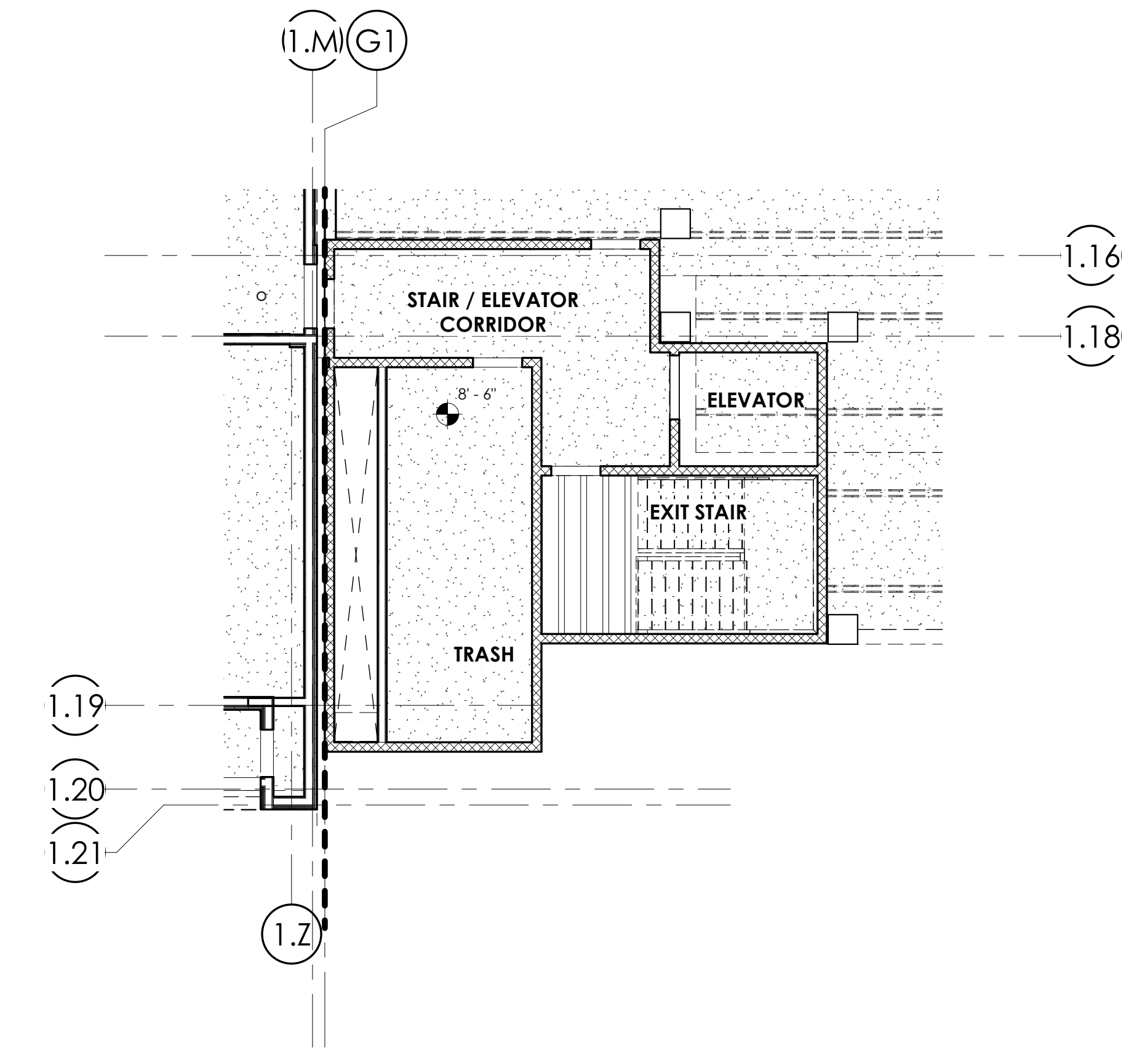
A102.1-B



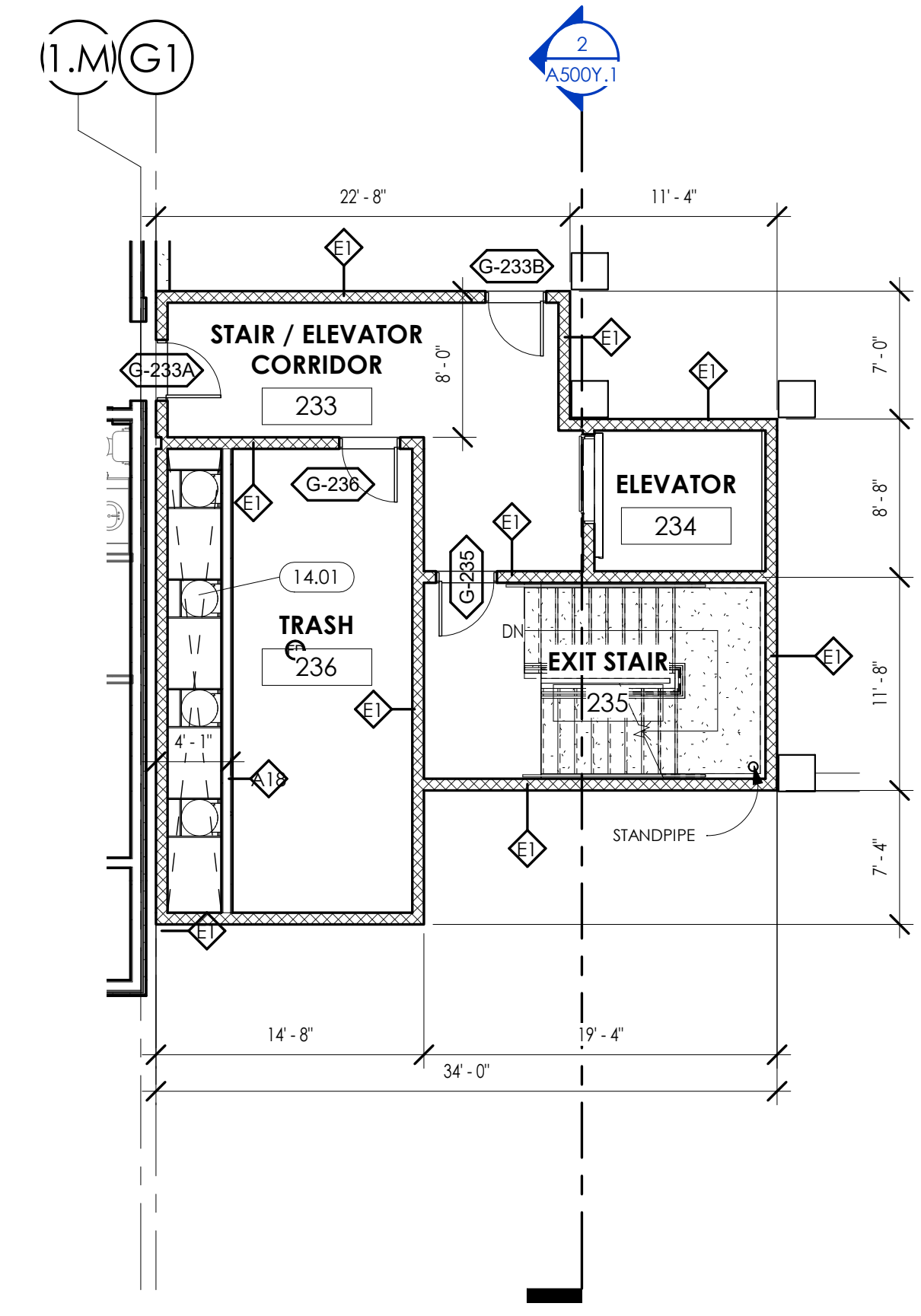
1 PARKING GARAGE LEVEL 2
 1" = 20'-0"



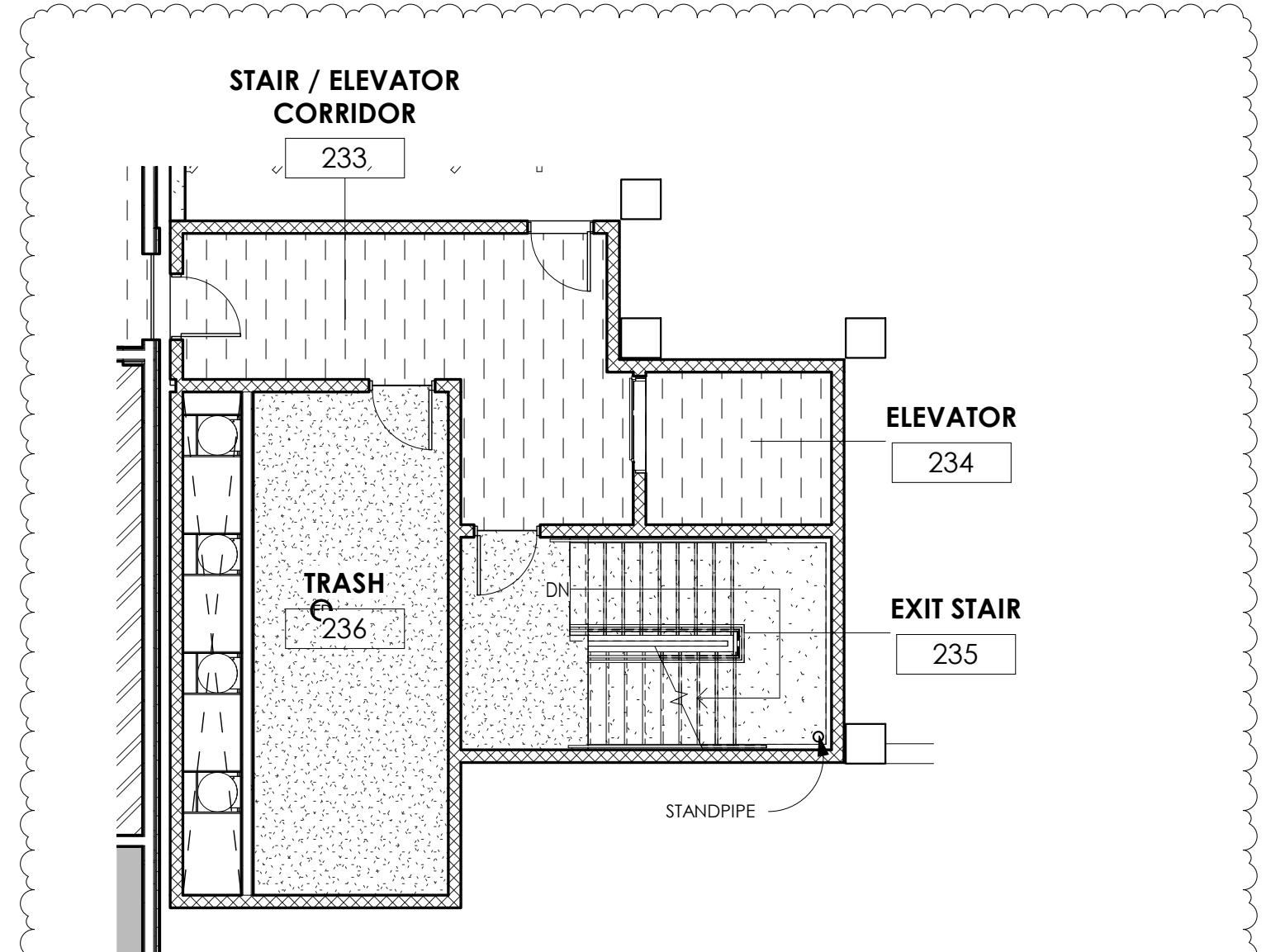
2 BLDG 2 - STAIR AND DOORS - LEVEL 2
 1/8" = 1'-0"



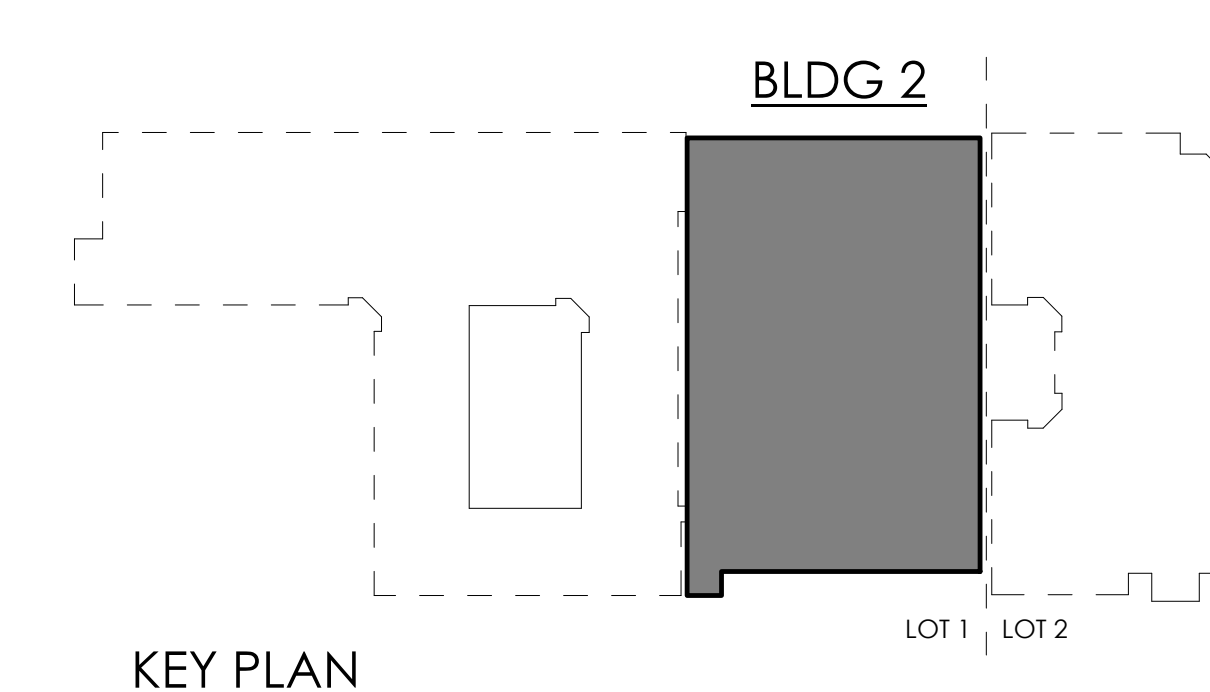
3 RCP - BLDG 2 LEVEL 2 - TRASH ROOM
 1/8" = 1'-0"



4 BLDG 2 LEVEL 2 - TRASH ROOM
 1/8" = 1'-0"



BLDG 2 LEVEL 2 - TRASH ROOM FINISH PLAN
 1/8" = 1'-0"



KEY PLAN
 NTS