



DOWNTOWN PHOENIX

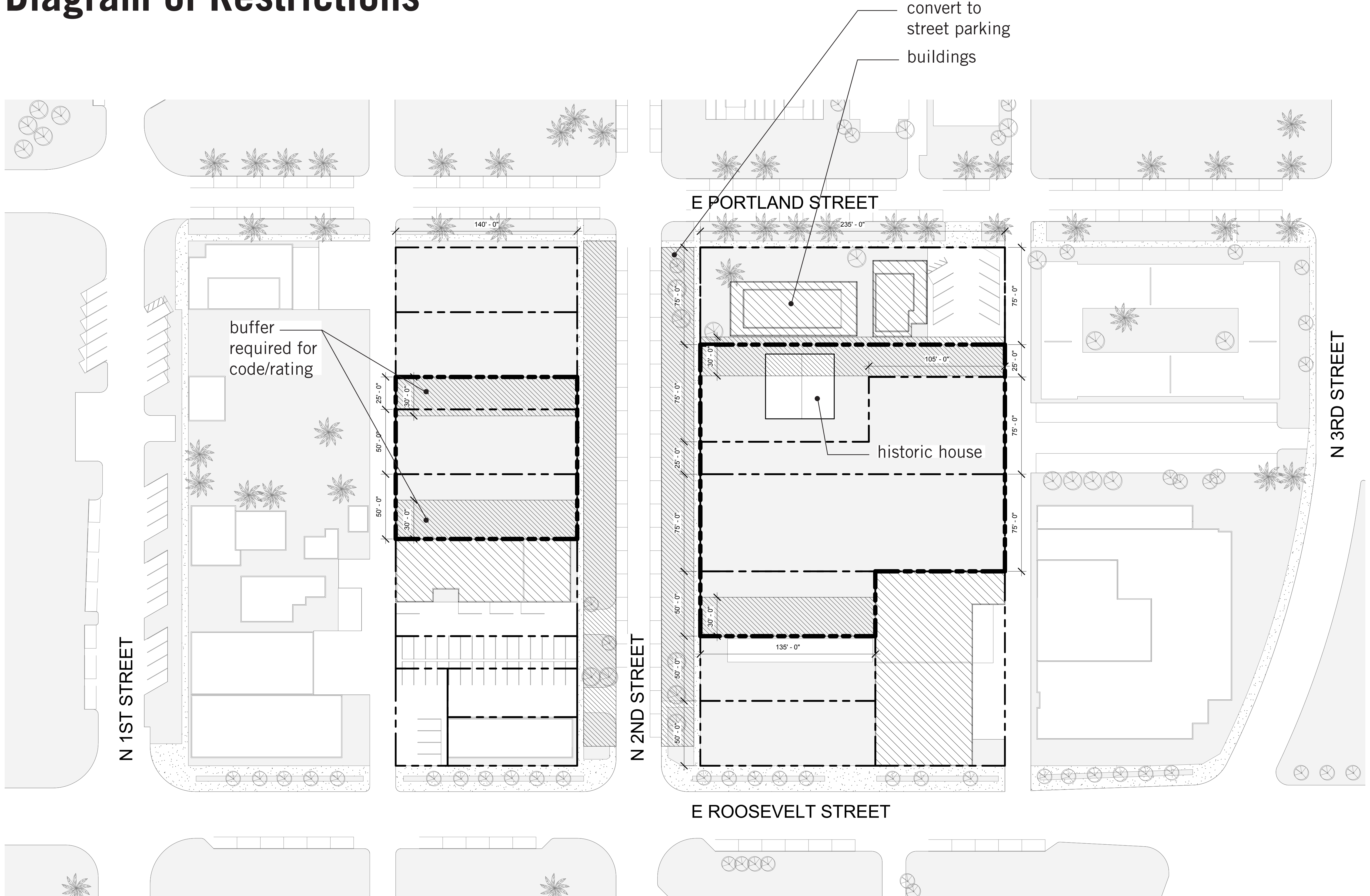
COMMUNITY DEVELOPMENT CORPORATION

Urban Development Concept Plan

09 December 2015



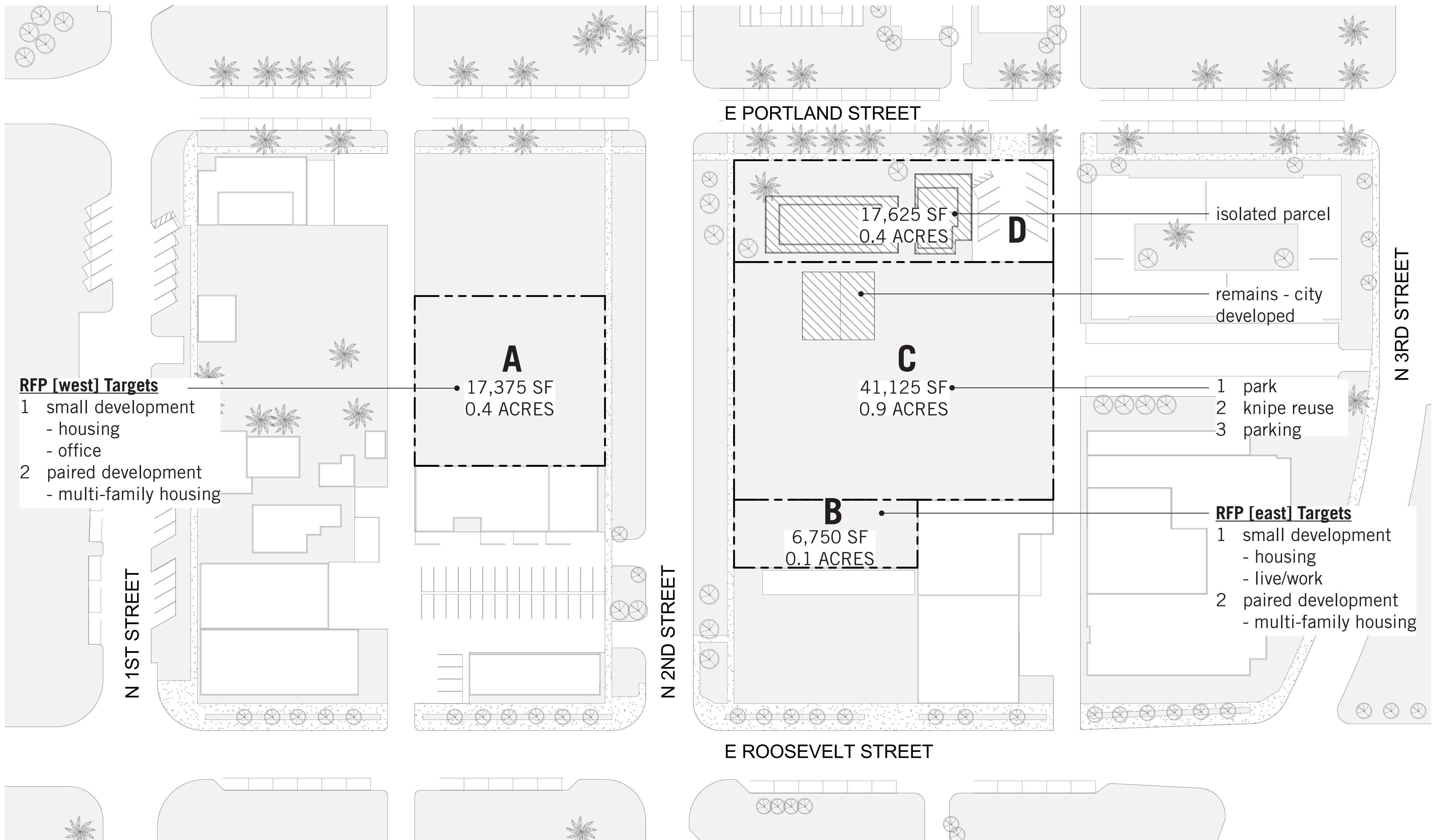
Diagram of Restrictions



RFP Targets

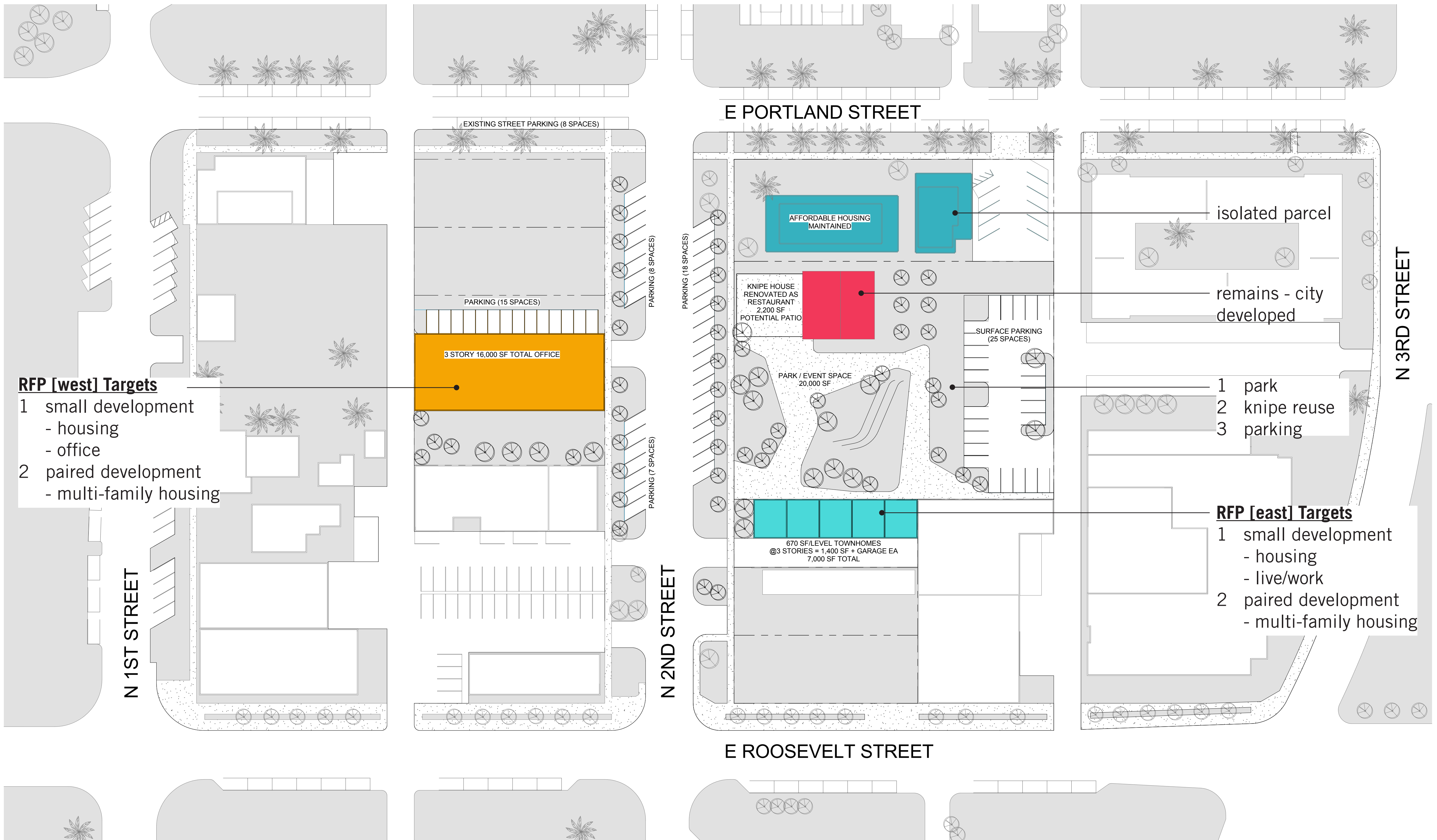
- identify parcels
- identify use

PARCEL DIAGRAM - EXISTING



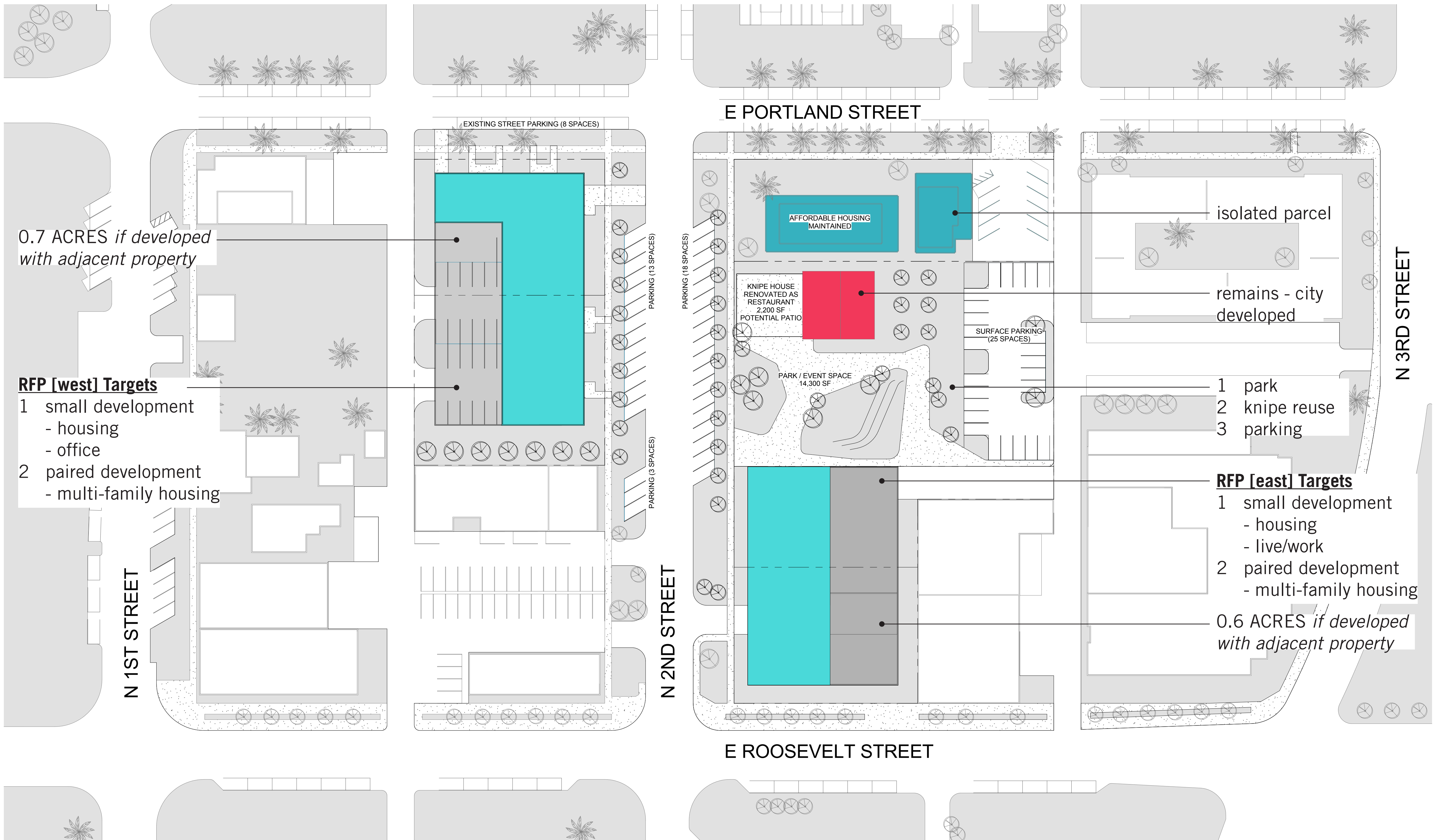
PARCEL DIAGRAM - OPTION A

- A - RFP#1 - UNRESTRICTED
- B - RFP#2 - UNRESTRICTED
- C - CITY DEVELOPED
- D - REMAINS AFFORDABLE



PARCEL PLAN - OPTION A1

- SMALL PARCELS
- FRAGMENTED DEVELOPMENT
- MORE CONTROL
- LESS DENSITY



0.7 ACRES if developed with adjacent property

RFP [west] Targets

- 1 small development
 - housing
 - office
- 2 paired development
 - multi-family housing

N 1ST STREET

N 2ND STREET

N 3RD STREET

E PORTLAND STREET

E ROOSEVELT STREET

EXISTING STREET PARKING (8 SPACES)

PARKING (13 SPACES)

PARKING (3 SPACES)

PARKING (18 SPACES)

SURFACE PARKING (25 SPACES)

AFFORDABLE HOUSING MAINTAINED

KNIPE HOUSE RENOVATED AS RESTAURANT 2,200 SF POTENTIAL PATIO

PARK / EVENT SPACE 14,300 SF

isolated parcel

remains - city developed

- 1 park
- 2 knipe reuse
- 3 parking

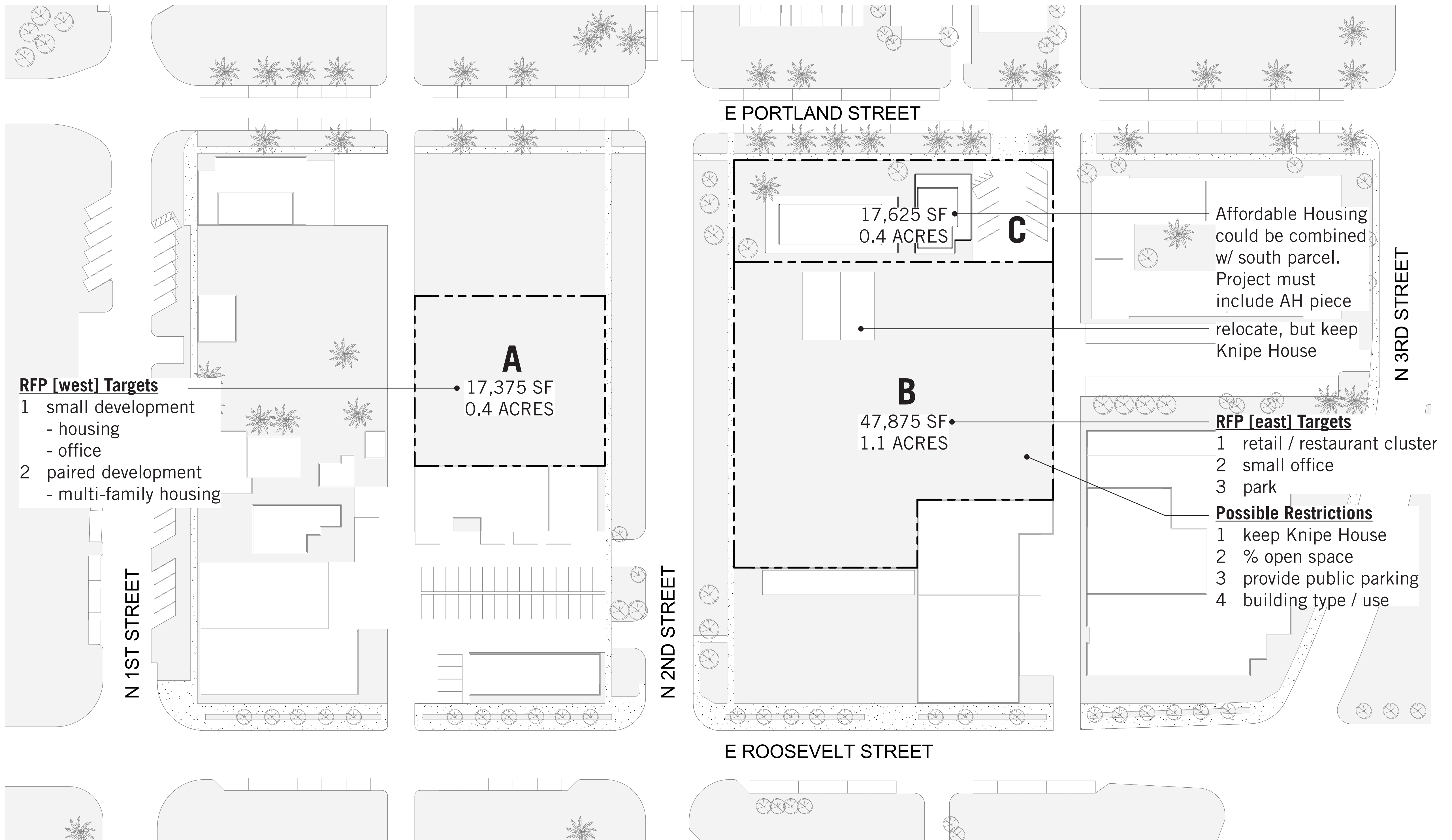
RFP [east] Targets

- 1 small development
 - housing
 - live/work
- 2 paired development
 - multi-family housing

0.6 ACRES if developed with adjacent property

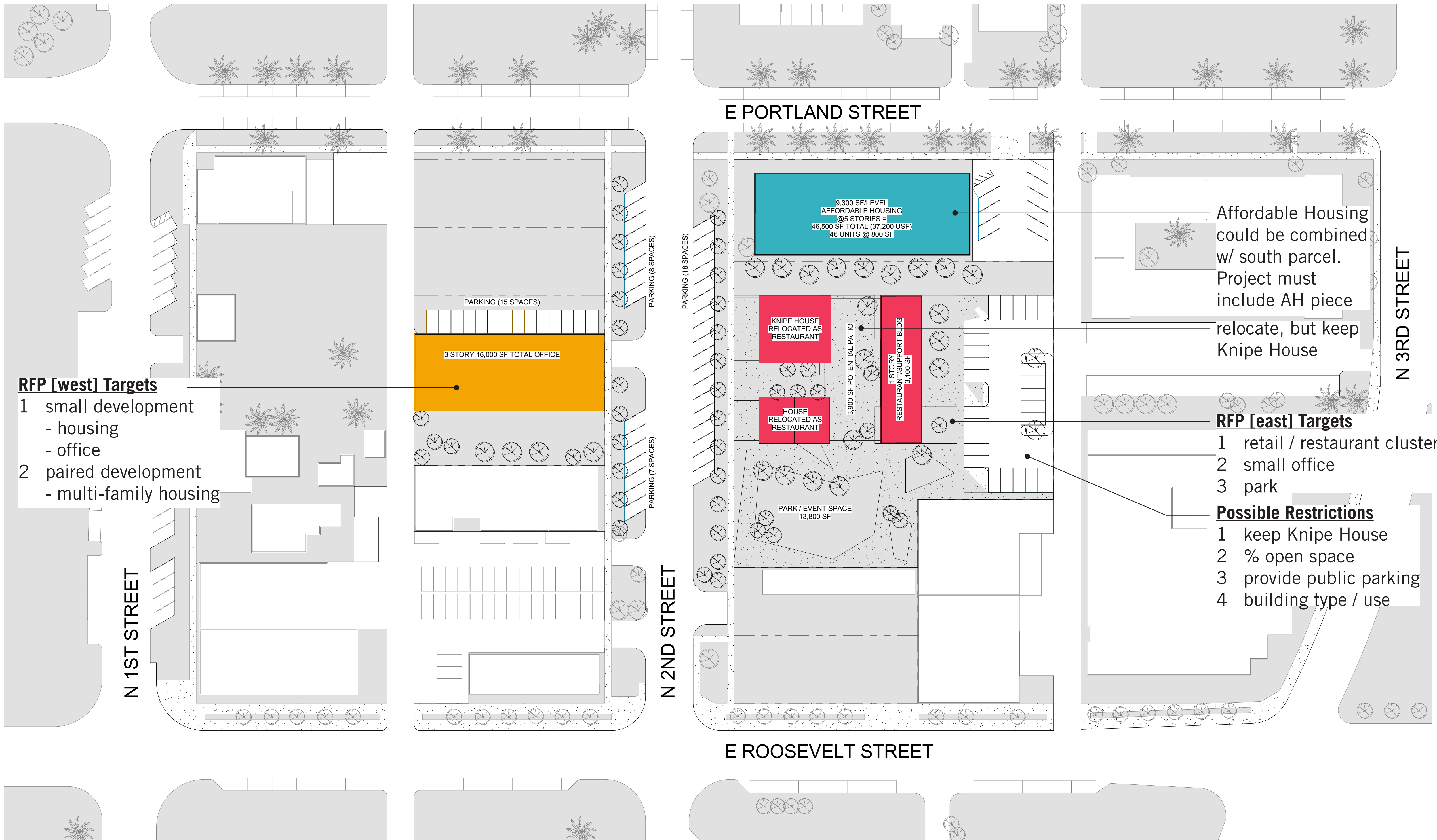
PARCEL PLAN - OPTION A2

- LARGE PARCELS
- MORE DENSITY



PARCEL DIAGRAM - OPTION B

- A - RFP#1 - UNRESTRICTED
- B - RFP#2 - WITH RESTRICTIONS
- C - OPTIONAL PARCEL



RFP [west] Targets

- 1 small development
 - housing
 - office
- 2 paired development
 - multi-family housing

Affordable Housing could be combined w/ south parcel. Project must include AH piece

relocate, but keep Knipe House

RFP [east] Targets

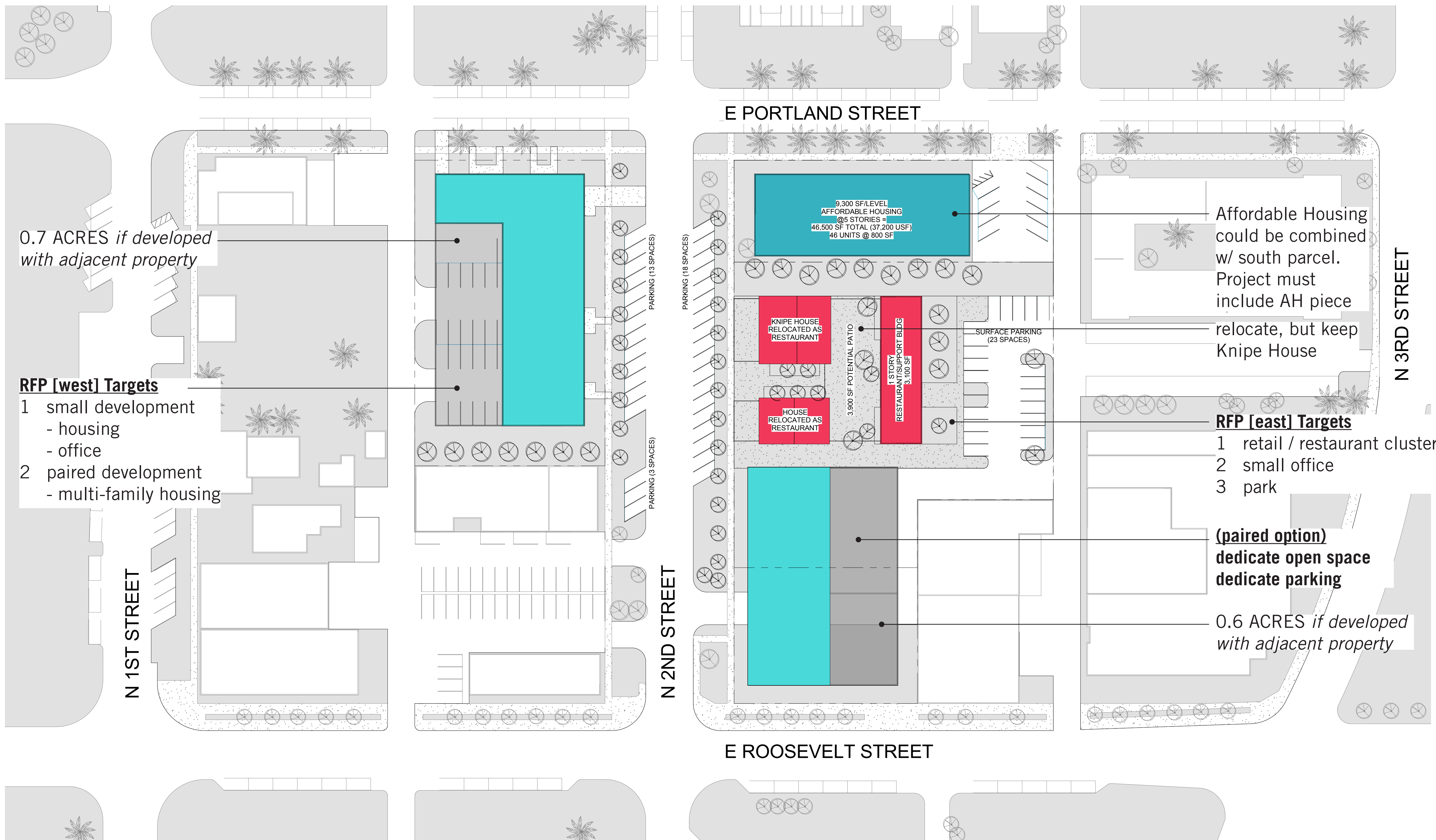
- 1 retail / restaurant cluster
- 2 small office
- 3 park

Possible Restrictions

- 1 keep Knipe House
- 2 % open space
- 3 provide public parking
- 4 building type / use

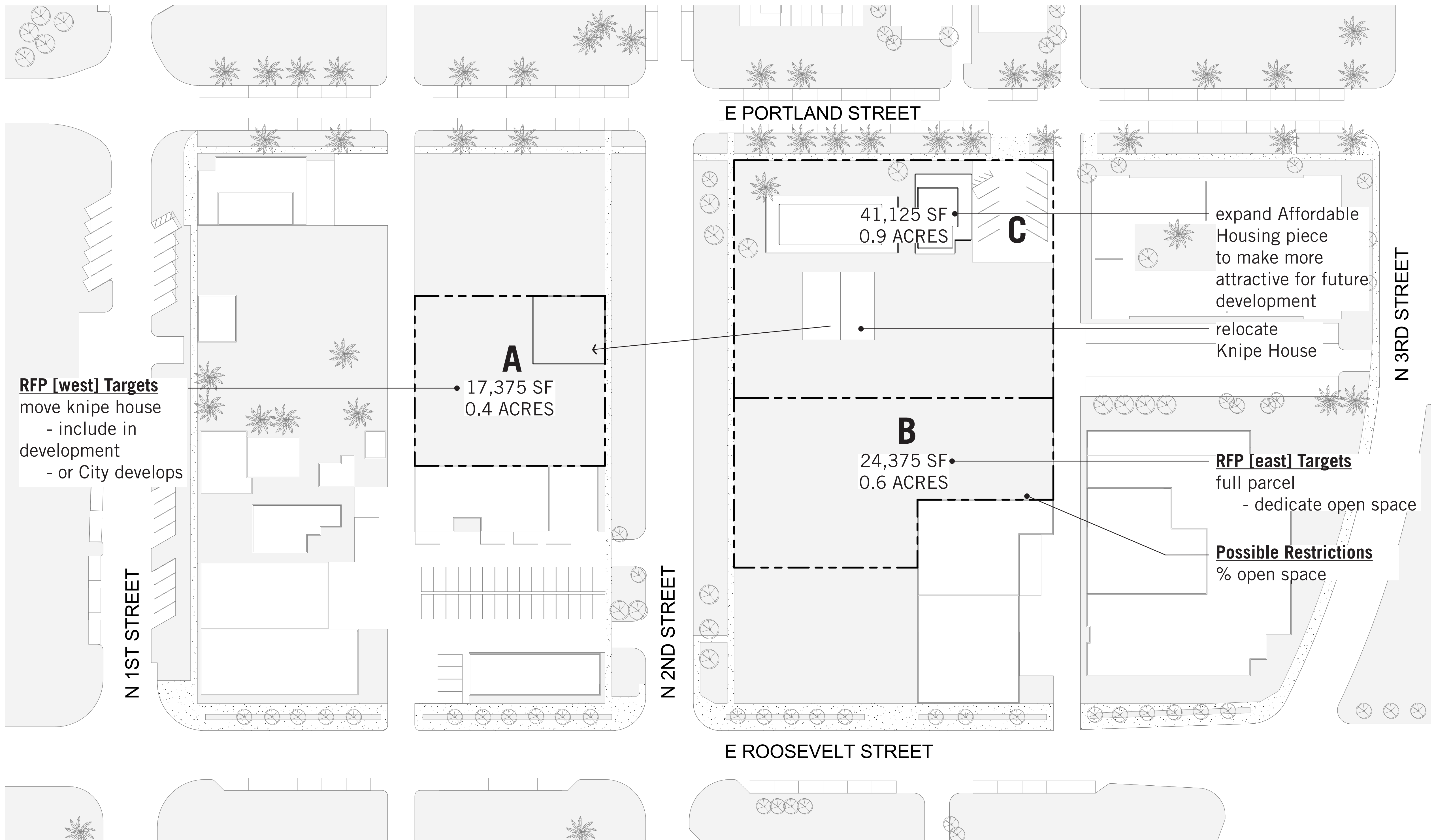
PARCEL PLAN - OPTION B1

- OPEN UP MIDDLE PARCEL FOR DEVELOPMENT
- KEEP SOME CONTROL
- COULD BRING AFFORDABLE HOUSING PARCEL INTO PLAY



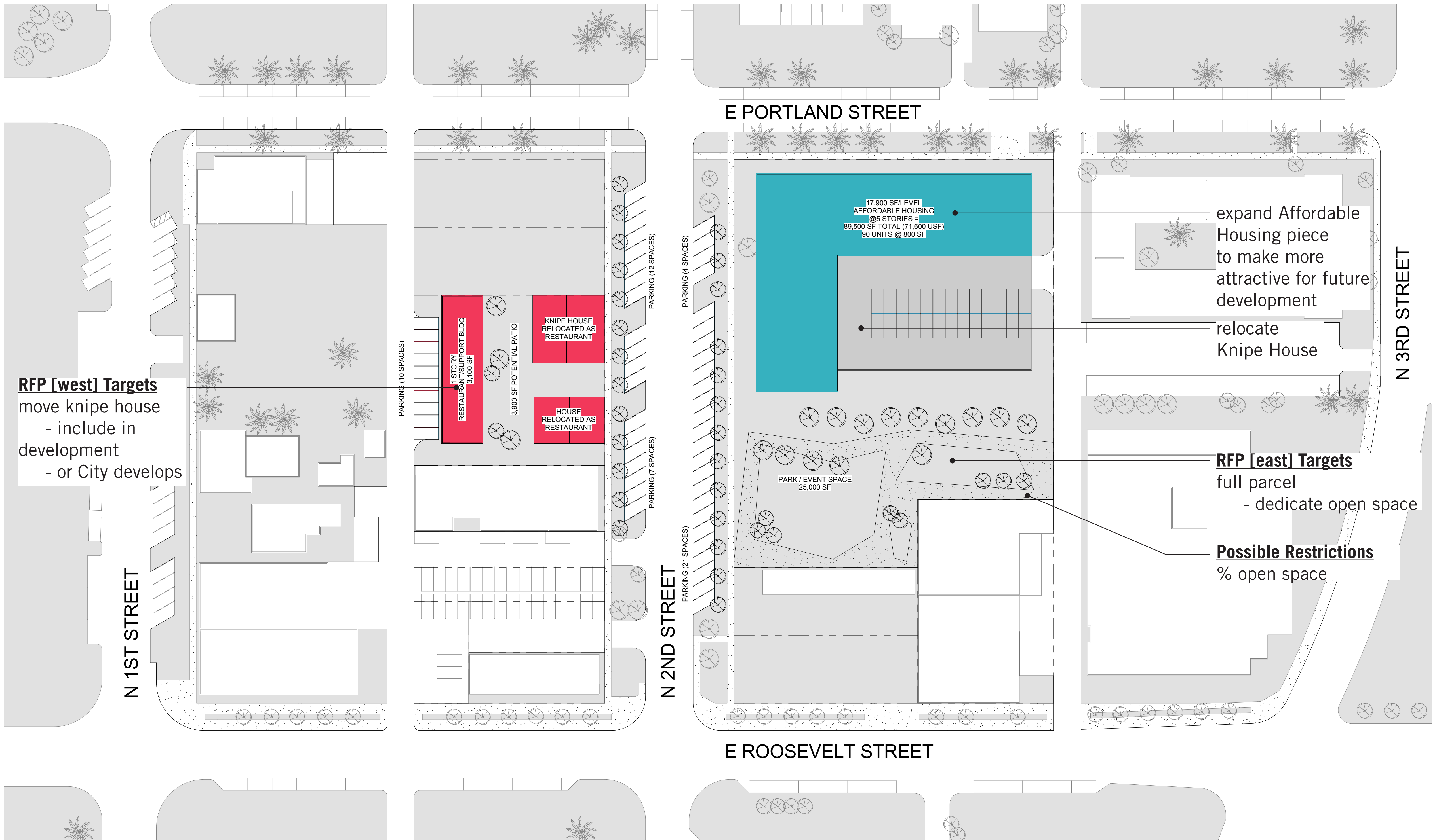
PARCEL PLAN - OPTION B2

- OPEN UP MIDDLE PARCEL FOR DEVELOPMENT
- COULD BRING AFFORDABLE HOUSING PARCEL INTO PLAY
- LARGE PARCELS
- MORE OPPORTUNITY FOR DENSITY



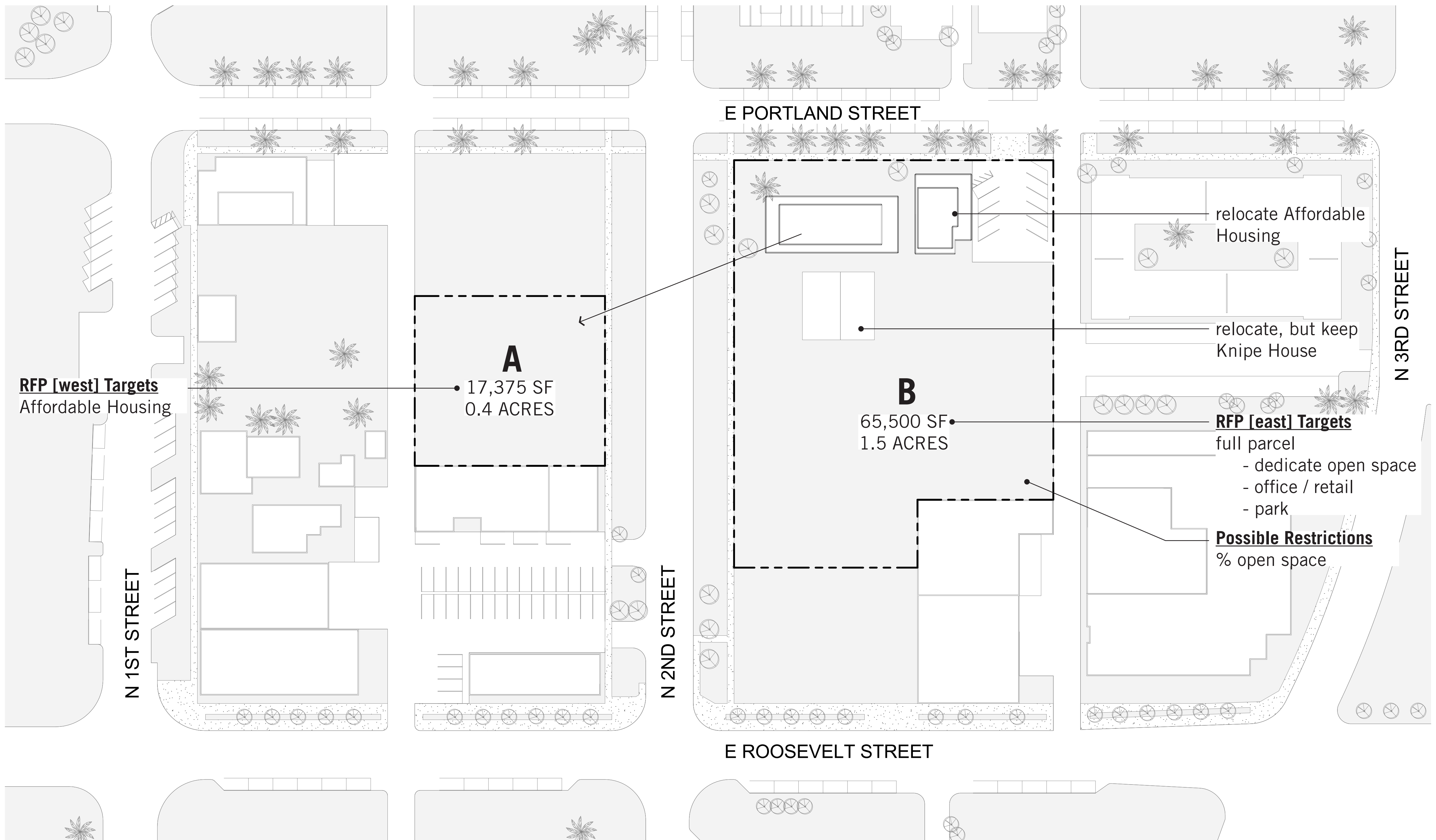
PARCEL DIAGRAM - OPTION C

- A - RFP#1 - DEVELOP PARCEL WITH KNIPE HOUSE
- B - RFP#2 - WITH RESTRICTIONS - MOVE KNIPE HOUSE
- C - OPTIONAL PARCEL



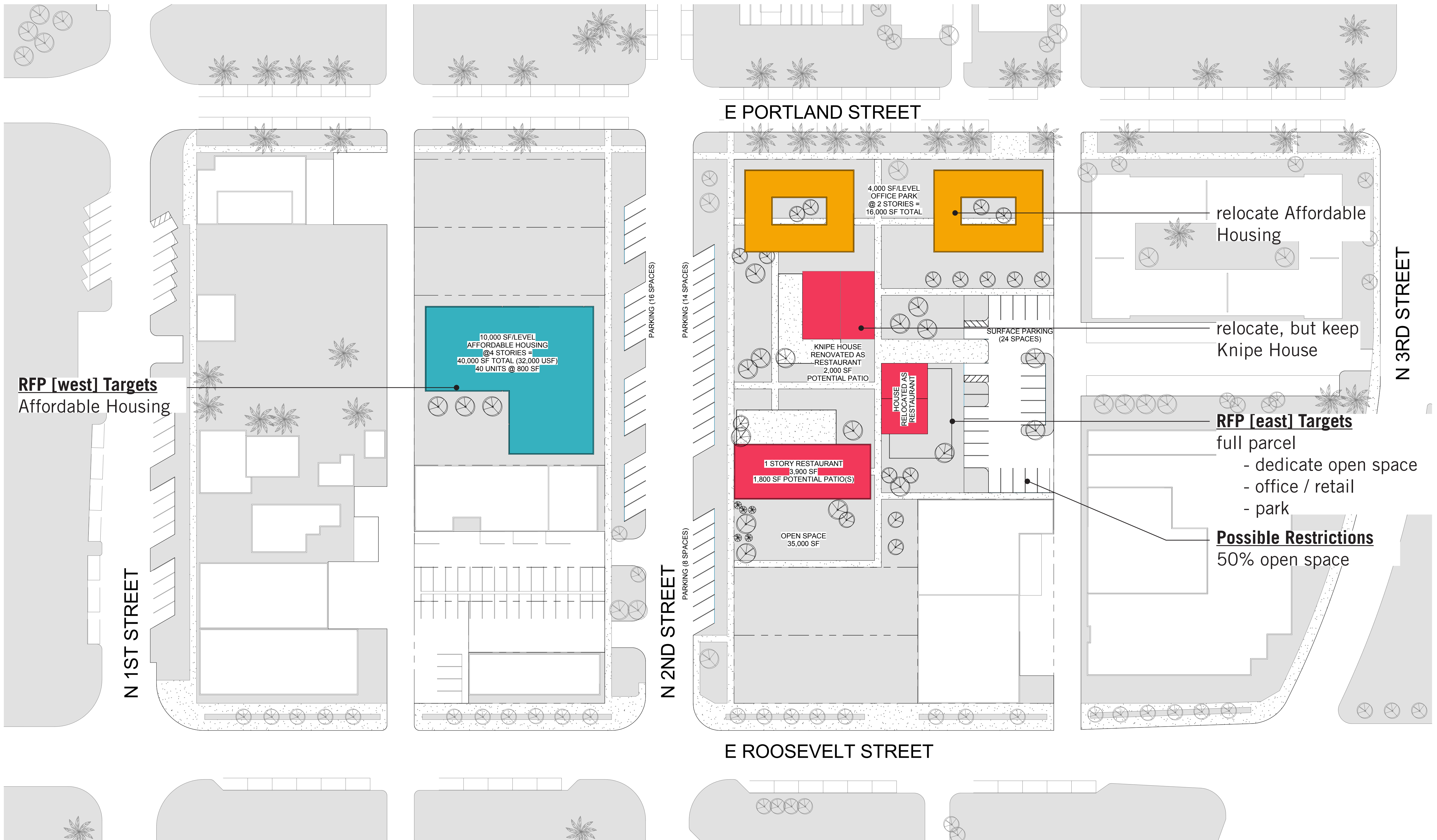
PARCEL PLAN - OPTION C

- MOVE KNIPE HOUSE
- MAXIMIZE POTENTIAL DEVELOPMENT



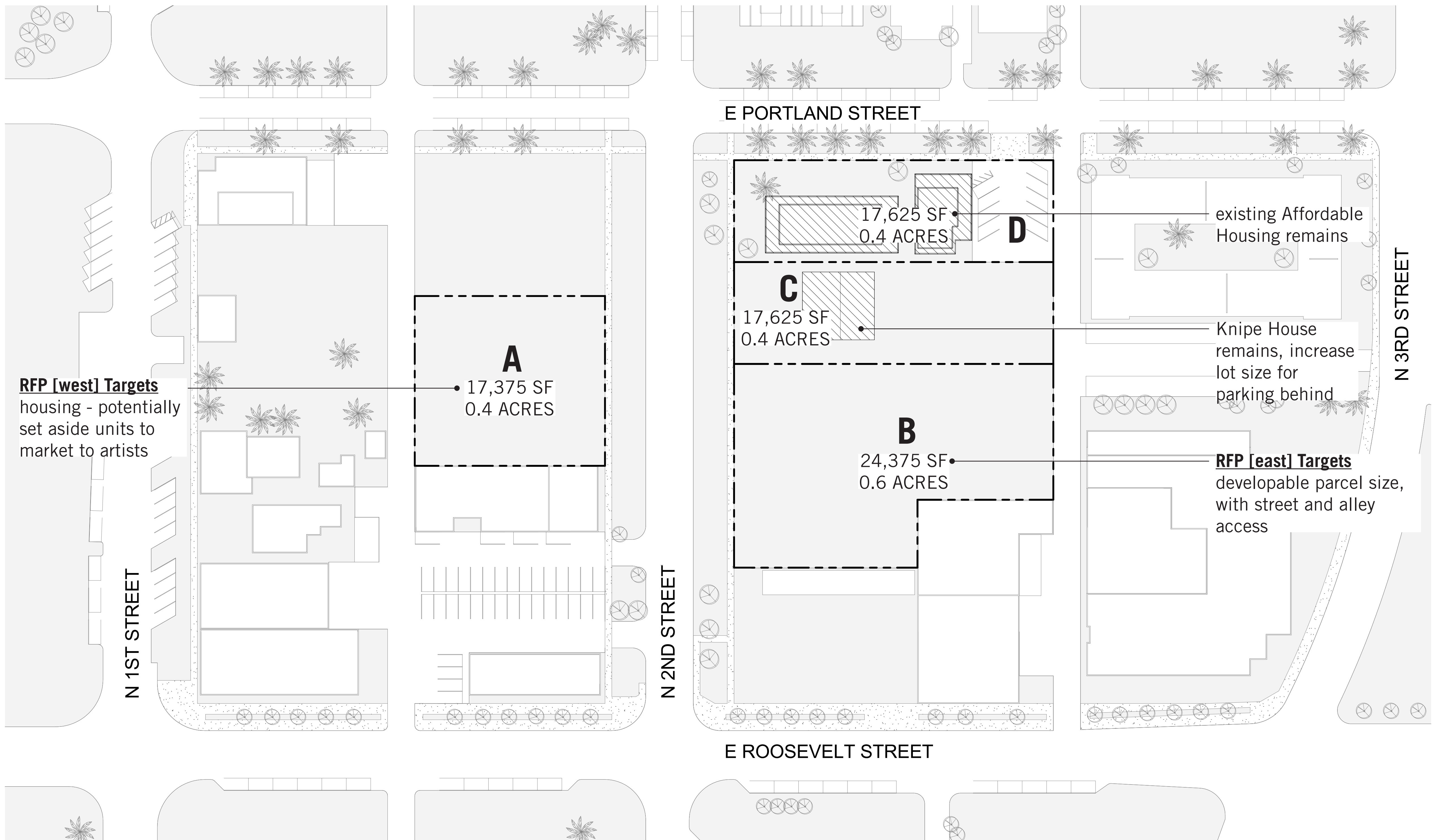
PARCEL DIAGRAM - OPTION D

- A - RELOCATE AFFORDABLE HOUSING
- B - FULL PARCEL WITH RESTRICTIONS



PARCEL PLAN - OPTION D

- MOVE AFFORDABLE HOUSING
- LESS DENSITY



PARCEL DIAGRAM - OPTION E

- A - RFP#1 - DEVELOP W/ HOUSING PREFERENCE
- B - RFP#2 - CREATE DEVELOPABLE PARCEL WITH ALLEY ACCESS
- C - KNIPE HOUSE REMAINS
- D - OPTIONAL PARCEL