

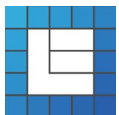
# 44<sup>th</sup> STREET SKY TRAIN STATION

## CHILDCARE FACILITY TENANT DESIGN CRITERIA (TDC)

May 08, 2023



PREPARED BY:



LEA Architects, LLC



City of Phoenix



PHOENIX SKY HARBOR  
INTERNATIONAL AIRPORT

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# 1 INTRODUCTION

PROJECT PRINCIPALS

PURPOSE OF DOCUMENT

LANDLORD & TENANT RESPONSIBILITIES

DEFINITIONS / ABBREVIATIONS

# 1 INTRODUCTION

## PROJECT PRINCIPALS

Tenant Spaces, All Communications Shall Be Addressed To:

Matthew Heil  
Special Projects Administrator  
Director's Office  
Aviation Department  
602-697-7954, cell

Architectural Design Communications Shall Be Addressed To:

Lance Enyart, AIA  
LEA Architects LLC (Core & Shell Architect of Record)  
1730 E. Northern Ave. Suite 110  
Phoenix, AZ 85020  
602-943-7511

Mechanical, Plumbing, Electrical and Special Systems Design Communications Shall Be Addressed To:

Cory Killpack, PE  
LSW Engineers  
2333 W. Northern Ave. #9  
Phoenix, AZ 85021

Fire Protection Design Communications Shall Be Addressed To:

Cory Killpack, PE  
LSW Engineers  
2333 W. Northern Ave. #9  
Phoenix, AZ 85021

Communications associated with Architect/Engineer Infrastructure Design Contract requirements shall be Address to:

Eugene Deng  
Design & Construction Services  
500 South 24th Street  
Phoenix, AZ 85008  
480 625 9098

## PURPOSE OF DOCUMENT

1. The Phoenix Aviation Childcare Tenant Design Criteria is intended to ensure an aesthetically coordinated approach to design in keeping with Phoenix's original design objectives, and to ensure that standards for exterior/interior finishes, and signage requirements are understood by tenants, contractors, and designers.
2. The TDC has been established to provide a foundation and broad understanding of the general requirements for building out the lease space.
3. The TDC encourages exciting concepts and design identity within the existing 44<sup>th</sup> Street Sky Train Station
4. The TDC provides space requirements including design philosophies, criteria for signage and space requirements.
5. Each tenant must be familiar with the intent, scope and detailed requirements of this document before the design process begins. Each tenant's design must be approved and permitted by the necessary parties before any construction is allowed to begin. Submittal and approval procedures are outlined in Section 5 of this document.
6. The TDC document contains design standards to assist prospective tenants with the development of proposals, and the construction process for the Childcare Facility located at the 44<sup>th</sup> Street Sky Train Station.



# 1 INTRODUCTION

## LANDLORD & TENANT RESPONSIBILITIES

1. The following is an overview of responsibilities assumed by the Landlord for construction and improvements to the Tenant-leased premises. Specific Tenant work is described, as it applies to the leased premises, in Chapter 4, Technical Criteria. The Landlord will be responsible for the construction of the core and shell, unless otherwise indicated by lease or other agreement, Tenant-leased premises shell, and all pedestrian circulation areas unless noted otherwise. Approval of the Tenant's design and construction materials will be at the sole discretion of the Landlord, and will be subject to change in accordance with the Landlord's determination.
2. Allowable Tenant Signage Area
  - a) Maximum area designated by Landlord for Tenant signage and logos. Refer to Chapter 3 Finishes / Materials. Illumination of the Tenant signage is the Tenant's responsibility.
3. Infrastructure Plan
  - a) Area plan identifying infrastructure items provided to each Tenant within their space.

## DEFINITIONS / ABBREVIATIONS

**ADA:** AMERICANS WITH DISABILITIES ACT  
**AFF:** ABOVE FINISHED FLOOR  
**AFP:** ANNUAL FACILITIES PROGRAM  
**ALLOWABLE SIGN AREA:** MAXIMUM AREA ALLOWED FOR SIGNAGE AND LOGOS.  
**B&P:** AVIATION DEPARTMENT'S BUSINESS AND PROPERTIES DIVISION.  
**BRAND STANDARDS:** GUIDELINES USED AS IDENTIFICATION FOR A SPECIFIC COMPANY  
**BULKHEAD:** AN OVERHEAD DIVIDING WALL OR BARRIER BETWEEN AREAS, BOTH PUBLIC AND BETWEEN TENANTS.  
**CD:** CONSTRUCTION DOCUMENTS  
**CIRCULATION:** PUBLIC PATH OF TRAVEL  
**COMMON AREAS:** PUBLIC SPACE; DESIGNED AND MAINTAINED BY THE LANDLORD.  
**COP:** CITY OF PHOENIX  
**DCS:** AVIATION DEPARTMENT'S DESIGN AND CONSTRUCTION SERVICES  
**F&S:** FACILITIES AND SERVICES: AVIATION DEPARTMENT OVERSEEING BUILDING MAINTENANCE  
**LANDLORD:** PHOENIX SKY HARBOR INTERNATIONAL AIRPORT  
**LEASE SPACE:** SPACE OWNED BY THE LANDLORD THAT IS LEASED TO A TENANT  
**LED:** LIGHT-EMITTING DIODE. REQUIRED LIGHTING TYPE.  
**LEED:** LEADERSHIP IN ENERGY & ENVIRONMENTAL DESIGN.  
**OSHA:** THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION  
**PREMISES SHELL:** WHAT A TENANT IS PROVIDED, INCLUDING: EXPOSED CONCRETE FLOORING, CEILING AND STUD WALLS  
**PSHIA:** PHOENIX SKY HARBOR INTERNATIONAL AIRPORT  
**PUBLIC AREAS:** LANDLORD OWNED AND MAINTAINED, UNLEASED AREAS.  
**SIGNAGE:** ALL PERMANENT SIGNS AND DISPLAYS AT THE STOREFRONT AND WITHIN THE TENANT'S SPACE.  
**TDC:** TENANT DESIGN CRITERIA  
**TENANT:** CHILDCARE OPERATOR LEASING A SPACE AT THE AIRPORT.  
**TENANT LEASED SPACE:** THE LANDLORD OWNED SPACE THE TENANT IS LEASING.  
**TI:** TENANT IMPROVEMENT

# 2 DESIGN CRITERIA

DESIGN INTENT + PHILOSOPHY

SECURITY

PARKING

SUSTAINABILITY



# 2 DESIGN CRITERIA

## DESIGN INTENT + PHILOSOPHY

The new Childcare Facility located at the 44<sup>th</sup> Street Sky Train Station will provide childcare services for City of Phoenix Sky Harbor badged workers. The PHX Sky Train is an automated train that transports travelers between Valley Metro Rail at 44<sup>th</sup> and Washington streets, the East Economy Parking area, the airport terminals, the 24<sup>th</sup> Street PHX Sky Train Station, and the Rental Car Center. The 44<sup>th</sup> street station design was inspired by the simplicity and beauty of aircraft design and is a multimodal transportation hub bringing together ground transportation, buses, cars and trains. The unique architectural form of the 44<sup>th</sup> street sky train facility is intended to be an iconic symbol of transportation.

Passengers being dropped off at the 44<sup>th</sup> Street Sky Train Station are protected by two opposing cantilevered canopy wings, with public shuttles on the north side and the south side for private vehicles. The childcare facility at the 44<sup>th</sup> Street Sky Train is located underneath the Sky Train platform inside of the existing breezeway between the eastern and western vertical circulation lobbies of the Sky Train Station. The entry for the Childcare Facility is located center of mass underneath the south side canopy with the designated childcare facility staff and public parking area located on the west side of the south parking lot. Passengers arriving to the Sky Train Facility will use the common breezeway on the east and west sides of the childcare facility that take them to escalators and deliver passengers to the elevated PHX Sky Train platform.

The design of the new childcare facility is intended to provide a safe and secure environment for children and childcare staff while at the same time integrating with the architecture and function of the existing Sky Train Station. The 13,462 SF facility is based on the program identified by the City of Phoenix for a facility serving 100 children and includes 8,546 SF of interior space with a 4,916 SF exterior play yard. A conceptual tenant improvement floor plan is included in the appendix of the TDC illustrating how the program for the new childcare facility can be accommodated within the shell building envelope provided. The classroom areas and indoor play area included in the conceptual plan are sized in accordance with ARS Bureau of Childcare Licensing Standards based on the 100 child capacity and program identified by the City of Phoenix. The following program spaces were identified by the City of Phoenix and are included in the conceptual tenant improvement plan; lobby, administrative offices, conference room, classrooms with integrated restrooms for children, staff break room, parent and teacher restrooms, City and Tennant IT rooms, electrical and mechanical rooms, and resource space.

The proposed design for the new childcare facility is based on an inward focused courtyard plan with interior program spaces forming a secure perimeter opening onto a centralized outdoor play area physically and visually separated from the passenger circulation zones of the 44<sup>th</sup> Street Sky Train Station. The plan and massing are designed to maintain sight lines and maintenance access to the kinetic artwork that is located above the childcare facility suspended below the structure of the Sky Train with architectural form and materials in harmony with the design of the original Sky Train Station.

# 2 DESIGN CRITERIA

## SECURITY

The Tenant/Operator's Facility Security is the sole responsibility of the Tenant, but in no way shall it interfere with PSHIA AVN or COP Security Systems already in-place at the Phoenix Skytrain 44<sup>th</sup> Street Station.

## PARKING

50 parking spaces shall be provided for the Tenant / Operator's staff and for Childcare drop-off. The location of the designated Childcare Facility parking spaces is shown in the schematic drawings (A1.01 – Site Plan – Parking) included in the appendix of the TDC. Unattended vehicle curbside child drop-off in non-designated parking spaces along south and north side vehicle circulation drives shall not be permitted.

## SUSTAINABILITY

Sustainable design is an important design element to the Landlord and should be considered when designing the Tenant space.

1. The 44<sup>TH</sup> Street Sky Train Station obtained LEED Gold certification and it is encouraged that the Tenant consider how they too can incorporate sustainable design principles into their space.

### Indoor Water Use

#### Required:

##### Toilet Fixtures

- Water Closets: 1.28 gpm (WaterSense Labeled)
- Urinals: 0.125 gpf (WaterSense labeled)
- Lavatories: 0.35 gpm
- Kitchen / Break Room Sinks (if used): 0.5 gpm
- Showers (if used): 1.5 gpm (WaterSense Labeled)

#### Recommended:

- Appliances:

### Energy Performance

#### Required:

- Provide LED lighting
- Provide Energy Star appliances, office equipment, electronics, and food service equipment
- Provide Batt insulation per IECC 2018

### Refrigerants

#### Recommended - Refrigerant Based Equipment (if provided):

- Use only non-ozone depleting refrigerants
- Select equipment with an average HFC refrigerant recharge of no more than 1.75 pounds of refrigerant per 1,000 Btu/h total evaporator cooling load

# 2 DESIGN CRITERIA

## Recycling

### Required:

- Align recycling efforts with City of Phoenix Airport guidelines

## Materials

Required - Select products to the greatest extent possible that have lower life cycle impacts and reduced maintenance as well as products that minimize toxic ingredients:

- Life-cycle Impacts: Choose manufacturers that have products where published Environmental Product Declarations (EPD) exist
- Minimize Toxic Ingredients: Choose manufacturers that have products that carry either Health Product Declarations (HPD), Declare Label, or Cradle to Cradle (C2C) Certification.
- Select products to the greatest extent possible that contain recycled content, are regionally sourced and wood products that are FSC certified.

## General Requirements:

### Indoor Air Quality

#### Required:

Provide CO2 sensors in densely occupied spaces (25 people per 1,000 square feet)

Low-Emitting Materials Required:

- Paints, and Coatings: Must meet VOC content requirements of South Coast Air Quality Management District (SCAQMD) Rule 1113 or California Air Resources Board (CARB) 2007, Suggested Control Measures (SCM) for Architectural Coatings
- Adhesives and Sealants: Must meet VOC content requirements of South Coast Air Quality District (SCAQMD) Rule 1168
- Flooring: Meet requirements of California Department of Public Health Standard Method
- Composite Wood: Meet California Air Resources Board (CARB) ATCM for formaldehyde requirements for ultralow-emitting formaldehyde or no added formaldehyde

Low-Emitting Materials Recommended:

- Wall, Ceiling, and Insulation Materials: Meet requirements of California Department of Public Health Standard Method

Recommended - Specify light fixtures that achieve the following:

- Luminance of less than 2,500 cd/m<sup>2</sup> between 45 and 90 degrees from nadir
- Light sources with a CRI of 80 or higher
- Light sources that have a rated life of L70 for LED fixtures

## Furniture

### Recommended:

- Meet ANSI/BIFMA Standard Method M7.1 and comply with ANSI/BIFMA e3 Furniture Sustainability Standards



# 3 FINISHES / MATERIALS

EXISTING ARTWORK

EXTERIOR FINISHES / BUILDING ENVELOPE

INTERIOR FINISHES

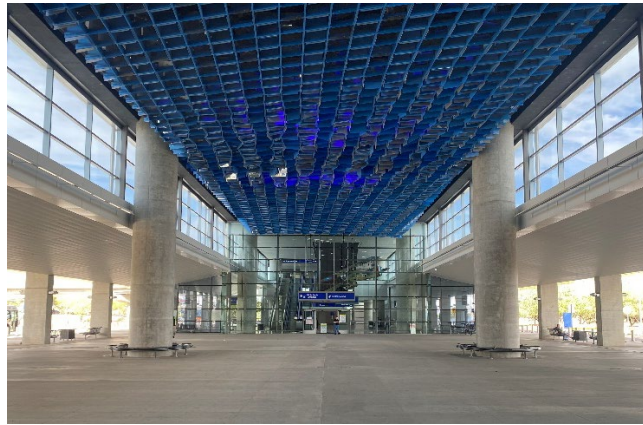
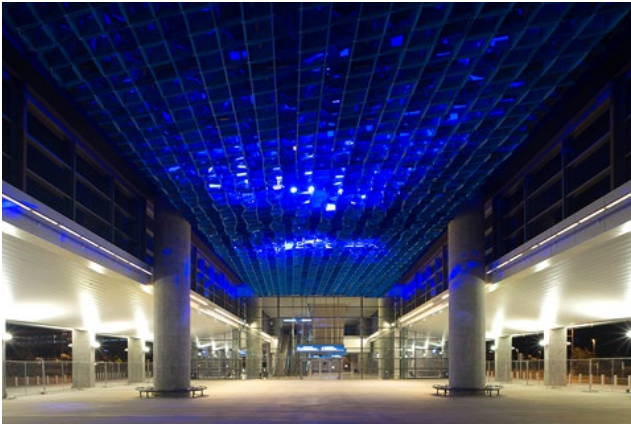
SIGNAGE



# 3 FINISHES / MATERIALS

## EXISTING ARTWORK

The existing kinetic artwork “Blue Stratus” consisting of optical and painted aluminum panels with LED lighting is hung from the bottom of the Sky Train Structure in the existing Atrium space above the new childcare facility. The artwork is part of the City of Phoenix Art Program and cannot be touched or modified by the Tenant. Any request to modify the Artwork will be denied.



Existing Artwork 44<sup>th</sup> Street Sky Train Station Atrium Artwork

## EXTERIOR FINISHES / BUILDING ENVELOPE

The exterior Finish Materials have been established to match the existing 44<sup>th</sup> Street Sky Train Station. Modifications are discouraged and, in most cases, NOT allowed. Should the Tenant require any exterior modifications they must be submitted to AVN DCS Project Manager for further review prior to incorporating into the Tenant’ Design Documents.

The following materials are being utilized in the exterior finishes which match the appearance of the ACM panels and glazing at south side pedestrian bridge:

Aluminum Composite Materials (Panels) – Kovach KRS-225 with Kynar 500 Finish (3 Coat: PPG#UC70092FXL)

Aluminum Storefront – Arcadia (Clear anodized) T500 OPG1900 (2 ¼” X 7”) system

Glazing – Solarban 70 (2) Optigray + Clear

EXTERIOR FINISHES (Facing the interior courtyard / play area)



44<sup>th</sup> Street Sky Train Station – South Elevation

# 3 FINISHES / MATERIALS

The following materials are being utilized in the exterior finishes which match the appearance of the existing 44<sup>th</sup> Street Sky Train Station:

Aluminum Composite Materials (Panels) – Kovach KRS-225 with Kynar 500 Finish (3 Coat: PPG#UC70092FXL)

Aluminum Storefront – Arcadia (Clear anodized)

Glazing – Solarban 70 (2) Optigray + Clear

**(NOTE: Modifications to these finishes not visible to the general public may be allowed, however the same finishes must be utilized following any revisions/modifications. Requests to modify must be submitted to AVN DCS Project Manager for further review prior to incorporating into the Tenant' Design Documents)**

## BUILDING ENVELOPE

The core and shell design is as follows:

Exterior Walls – Structural Metal Studs with R-13 Batt Insulation	w/R-6.5 CI by landlord and R-13 Batt Insulation by Tenant
Roof Structure (under existing Metal Canopies) -	w/ R-25 CI Insulation
Roof Structure (crossing atrium) -	w/ R-25 CI Insulation
Glazing – 1” low-e insulated glass with a SHGC of 0.23 and VLT value of 46	

Per exception C402.2.1 Roof Assembly, Exception 1

Continuously insulated roof assemblies where the thickness of insulation varies 1 inch or less and where the area-weighted U-Factor is equivalent to the same assembly with the R-value specified in Table C402.1.3. (U-0.039). To comply with IECC 2018 the tenant will need to provide R-38 Batt insulation at all roof assemblies.

## INTERIOR FINISHES

### Exterior Tenant Improvements

**Playground – The Tenant will be responsible to install a ‘poured’ rubberized or synthetic turf play surface approved for use as resilient material on outdoor activity areas with manufacturing information meeting Arizona Department of Health Services Bureau of Childcare Licensing and ASTM requirements for Impact Attenuation of Surfacing Materials Within the Use Zone of the Playground Equipment area. (Sand, wood chips, etc. which can be tracked out of the play area are NOT permitted). The tenant is also responsible for providing concrete sidewalks / circulation areas (if required) around the perimeter of the outdoor play area.**

### Interior Tenant Improvements

**Walls/Ceilings** - Tenant is responsible for all interior improvements which are expected to be durable and meet the minimum requirements of Arizona Department of Health Services Bureau of Childcare Licensing.

**Floors** – The landlord has NOT installed concrete subfloors Tenant to install underfloor infrastructure and concrete subfloor slab based on the Tenants Design.

The Tenant is responsible to install all flooring to meet the minimum requirements of Arizona Department of Health Services Bureau of Childcare Licensing requirements.

# 3 FINISHES / MATERIALS

## SIGNAGE

### Tenant's Exterior Signage:

Tenants are allowed one (1) sign to identify the Tenant's / Operator's name / brand. The location of the tenant / operator signage is adjacent to the south side public entry as shown in the schematic design building elevations included in the appendix of the TDC.

### **General Requirements:**

1. Tenant's sign location is restricted to the Wall Space adjacent to Front Entry along the South Elevation and has been depicted in the attached 'Sign Zone Exhibit' and must be designed, constructed and executed with quality and professional standards of fabrication.
  - a) The sign area is measured by a box drawn around the tallest vertical element to the lowest and from the farthest elements horizontally.
  - b) The use of a corporate crest, logo or insignia shall be permitted within the sign area, provided such crest, logo or insignia is part of the concept's trade name.
2. No advertisement, notice or lettering other than concept names or approved logos shall be exhibited, inscribed, painted or affixed on any portion of any storefront or have major visibility from the public areas unless specifically approved in writing by the Landlord.
3. Manufacturer labels, underwriter labels, clips, brackets, or any other form of extraneous advertising attachment and/or lighting devices shall be fully concealed from public view.
4. The Tenant/Operator is NOT required to illuminate their sign but if the elect to illuminate is must be internally illuminated.
5. The Tenant is responsible for identifying methods of mounting, and fastening to the existing conditions.
6. The Landlord must receive and approve All signage

### Tenant's Interior Signage:

1. Signage located within the Tenant's space is permitted, but must be smaller in size than the entry signage. Interior signage can be internally or externally illuminated. If exterior lighting is used, glare must be avoided.

# 4 TECHNICAL CRITERIA

GENERAL BUILDING

INFASTRUCTURE

MECHANICAL

PLUMBING

ELECTRICAL + LIGHTING

SPECIAL SYSTEMS

FIRE SPRINKLER

FIRE ALARM





# 4 TECHNICAL CRITERIA

## GENERAL BUILDING

1. The following criteria are outlined for the benefit of the Tenant and the Tenant's architect/engineer(s) in designing the lease space.
2. Applicable Codes and Ordinances. All new construction shall comply with current City of Phoenix Building Construction and Accessibility Codes and Arizona Administrative Code and Arizona Revised Statutes for Child Care Facilities.
3. A professional architect licensed in the State of Arizona shall prepare all drawings and specifications in accordance with the Tenant Design Criteria, Tenant Improvement Handbook, all applicable City of Phoenix Codes, Arizona Administrative Code and Arizona Revised Statutes for Child Care Facilities and recognized architectural practices.
4. A structural engineer licensed in the State of Arizona shall prepare all drawings, calculations, and specifications associated with hanging equipment, metal framed soffits/ceilings, and support of heavy equipment on platforms.
5. The building construction is Type 1. Occupancy Type is Group 1 Assembly. No coring will be allowed through existing steel beams.
6. Tenant must provide portable fire extinguishers as required by the Fire Department.
7. It is the responsibility of the Tenant's architect and engineer to verify all dimensions and field conditions. They shall also thoroughly familiarize themselves with all local building codes, and all city, county, and state ordinances, rules, and regulations.
8. Electronic background files (if available) shall be provided by the Aviation Department upon request, once the contract has been awarded.
9. The Landlord requires the interior be designed with the same care and attention to detail as the common areas. While it is not the intention of these criteria to unduly restrict the interior of Tenant spaces, some materials are unacceptable from a visual and/or maintenance standpoint. All materials, displays, artwork, etc. within the Tenant space are subject to review and approval by the Landlord.
10. All rooftop penetrations must be confirmed with the Childcare Core and Shell Design Team and Facilities & Services Building Maintenance as to not void any rooftop warranties.

## FLOORING DESIGN

1. Tenants shall be responsible for construction of the interior concrete floor slab and floor finishes.
2. Interior floor finishes are to be durable and appropriate for childcare use.
3. Exterior concrete slab and Playground – The Tenant will be responsible to install a 'poured' rubberized or synthetic turf play surface approved for use as resilient material on outdoor activity areas with manufacturing information meeting Arizona Department of Health Services Bureau of Childcare Licensing and ASTM requirements for Impact Attenuation of Surfacing Materials Within the Use Zone of the Playground Equipment area. (Sand, wood chips, etc. which can be tracked out of the play area are NOT permitted)

## PARTITIONS / WALLS

1. Tenant interior partitions must be constructed of non-combustible materials.
2. Walls in wet areas such as restrooms, janitor closets, mop sinks, and food preparation areas must have a cement board or water resistant material and a waterproof membrane under the wall finish. All wall penetrations are to be sealed with the waterproofing

# 4 TECHNICAL CRITERIA

## CEILING DESIGN

1. Tenants shall be responsible for construction of ceiling within their designated lease line. All ceiling materials must be non-combustible and have a class III 76-200 flame spread rating. Tenants shall attach their ceiling wires to structural members only.
2. Acoustical tile shall only be permitted on horizontal surfaces. It is highly recommended to utilize smooth finishes. Any vertical, beveled, or other type of fascia shall be gypsum board, cement plaster or a material subject to approval by the Landlord.
3. Tenants shall attach their ceiling wires to structural members only. Attachment to the roof deck is prohibited.
4. The use of wood or other combustible materials above ceilings or in any other attic space is prohibited. Any required access panels shall be installed at Tenant's expense.

## INFRASTRUCTURE SUMMARY

**Water Line:** 2-1/2" domestic cold water connection

**Waste Line:** - 4" waste main and 3" vent through roof pipes.

**Chilled Water Line:** 2-1/2" Chilled Water Lines to the Tenants Space, rooftop intake hoods for outside air, and roof caps for exhaust. Tenant shall be required to install fan coil units with electric heat and all associated ductwork, diffusers/grilles, chilled water piping, condensate piping, outside air ductwork, controls, etc. Tenant shall be required to install roof mounted exhaust fans and all associated ductwork, grilles, etc.

**Electrical Service:** One (1) disconnect switch mounted in the Tenant space, supplied from a 480Y/277V, 3-phase, 4-wire power source.

**Special Systems:** One 2" conduit, with pull string, from the Landlord's telephone room (MDF or IDF) to the Premises

**Fire Sprinkler Line:** 4" Fire Sprinkler Main

## MECHANICAL

1. The objective of the Mechanical System Design Criteria is to provide the Tenant with specific instructions to meet the Landlord's basic criteria for construction materials, means, and methods. Incomplete drawings, inferior design, or poor construction are unacceptable and will not be permitted.
2. A professional engineer licensed in the State of Arizona shall prepare all calculations, drawings, and specifications in accordance with the Landlord's Mechanical System Design Criteria, all applicable codes, and recognized engineering practices.
3. All HVAC systems must be designed and installed to the following minimum standards:
  - a) Compliance with the current International Building Code (IBC), International Mechanical Code with City of Phoenix Amendments (IMC), ASHRAE 62.1, "Ventilation for Acceptable Indoor Air Quality," and 90.1 "Energy Standard" Codes.
  - b) All new ductwork shall be sheet metal and installed per SMACNA details. Duct board is not allowed.
  - c) Flexible ductwork shall be installed without sags or kinks and no longer than 5' in length.
  - d) HVAC system will need to be balanced prior to construction completion and COP green tags.
4. The Landlord will provide a Chilled Water Line to the Tenants Space, rooftop intake hoods for outside air, and roof caps for exhaust. Tenant shall be required to install fan coil units with electric heat and all associated ductwork, diffusers/grilles, chilled water piping, condensate piping, outside air ductwork, controls, etc. Tenant shall be required to install roof mounted exhaust fans and all associated ductwork, grilles, etc.
  - a) Provide accessibility to all equipment (fan coil units, exhaust fans, valves, electric heating, etc.) per code and Landlord's requirements. A minimum of 3' clearance shall be provided to the operator side of all fan coil units.

# 4 TECHNICAL CRITERIA

- b) Provide a minimum of 2'x2' access doors in all hard lid ceilings at all fan coil units, valves, etc. The Tenant shall maintain a means of accessing the ceiling access panels at the floor level.
- c) Chilled water allocated to the Tenant Space is max 75 GPM at a max 12°F delta T.
- d) Thermostats/sensors shall be installed in locations measuring the average temperature within the premises (avoid exterior walls, confined areas, location near heat producing equipment, etc.). The final location is subject to the Landlord's approval.
- e) All control wiring is to be installed in 1" white colored conduit.
- f) All HVAC Controls is the responsibility of the Tenant and shall be coordinated with Airports BAS System Vendor.

## PLUMBING

1. The objective of the Plumbing System Design Criteria is to provide the Tenant with specific instructions to meet the Landlord's basic criteria for construction materials, means, and methods. Incomplete drawings, inferior design, or poor construction are unacceptable and will not be permitted.
2. A professional engineer licensed in the State of Arizona shall prepare all calculations, drawings, and specifications in accordance with the Landlord's Plumbing System Design Criteria, all applicable codes, and recognized engineering practices.
3. All plumbing systems must be designed and installed to the following minimum standards:
  - a) Compliance with the current International Building Code and Uniform Plumbing Code with City of Phoenix Amendments and Arizona Administrative Code and Arizona Revised Statutes for Child Care Facilities
  - b) Provide minimum code clearances for all equipment.
  - c) No Tenant-provided plumbing piping may be routed within the Landlord's electrical, and IDF/ MDF rooms, no exceptions.
  - d) At a minimum, epoxy coated cast iron pipe with 4-band couplings must be used for waste and vent piping. Type L copper piping must be used for all water services. No plastic pipe is permitted. Stainless steel is required over any sensitive areas.
4. The Landlord will provide a 2-1/2" domestic cold water connection, a 4" waste main, and 3" vent through roof pipes. Tenant shall provide plumbing systems for their premises based on the following criteria:
  - a) The Tenant shall connect to Landlord-provided plumbing utilities (water, waste, vent through roof). Water, waste, and vent distribution piping are not included as part of Landlord infrastructure.
  - c) Domestic fixture units allocated to this space is max 260 and waste fixture units allocated to this space is max 112.
  - d) Tenant shall be required to provide area drains within the open play area.
  - e) Provide accessibility to all equipment and valves. Provide a minimum of 2'x2' access doors in all hard lid ceilings at all equipment, valves, etc. The Tenant shall maintain a means of accessing the ceiling access panels at the floor level.
  - f) Tenants shall install and maintain electric water heaters within the premises. Water heaters are not permitted above or partially within the ceiling.
  - e) Natural gas and propane service is not available. The use of propane is prohibited.
  - f) Plumbing design must be submitted to the Landlord, including fixture calculations, for review and approval.
  - g) Plumbing fixtures, water, waste, and vent piping shall not to be designed and installed above the electrical and special systems data rooms.

## ELECTRICAL + LIGHTING

1. The objective of the Electrical System Design Criteria is to provide the Tenant with specific instructions for meeting the Landlord's basic criteria for construction materials, means, and methods. Incomplete drawings, inferior design, or poor construction are unacceptable and will not be permitted.

# 4 TECHNICAL CRITERIA

2. A professional engineer licensed in the State of Arizona shall prepare all calculations, drawings, and specifications in accordance with the Landlord's Electrical System Design Criteria, all applicable codes, and recognized engineering practices.
3. Complete engineer drawings must be submitted to the Landlord's Project Manager for review and approval. The documents to be submitted for Landlord approval must include the following:
  - a. Complete plans and specifications for all electrical work, including lighting, power, and one-line diagram.
4. Electrical conduit must be color coded per Airport Facilities Standards. All special systems conductors shall be in 3/4" conduit minimum.
5. Drawings must include complete material specifications, including the manufacturer's name and product number and complete schedule of all equipment to be installed. All materials shall be new and of construction grade.
6. Landlord Electrical Distribution Standards. The Landlord will provide reasonable access to "as-built" file documentation for the existing systems. The documents are to be used for reference only. All existing conditions must be verified by construction.
  - a. Electrical installation for these spaces must comply with the latest edition of the National Electrical Code (NEC), the City of Phoenix amendments, International Energy Conservation Code (IECC), and the local Fire Marshal for the fire alarm system.
  - b. The Tenant is responsible for removal, replacing, relocating, and/or adding all electrical equipment and devices (i.e., panels, transformers, lighting, receptacles, wiring, conduit, conductors, equipment disconnects, etc.) serving the Tenant space. The Landlord has provided one disconnect switch mounted in the Tenant space, supplied from a 480Y/277V, 3-phase, 4-wire power source.
  - c. All transformation, power distribution, lighting, conduit, wiring, and devices extending from the Landlord-furnished disconnect switch shall be provided by the Tenant.
  - d. Tenants requiring ampacity in excess of that provided shall pay the entire cost of installing the additional service, including necessary power distribution equipment, metering, etc.
  - e. All equipment shall be labeled by Underwriters' Laboratories, Inc. (UL) for the intended use.
  - f. Any work being performed on the Landlord's electrical equipment shall be coordinated and completed under direct supervision of the Landlord's electrical division.
  - g. Tenant shall provide code required emergency/egress/exit lighting fixtures. Fixtures shall be provided with a battery pack with self-diagnostic provisions. Under no circumstances shall the Tenant connect to a facility Article 700 power circuit for any electrical demands.
  - h. The need to shut down the existing building service is not anticipated and should be avoided. If necessary, this must be coordinated with the Landlord at least 4 weeks in advance.
  - i. Shutdown of switchboards and distribution panels must be coordinated with the Landlord at least 2 weeks in advance, and must be performed between the hours of 12:00 a.m. and 4:00 a.m. These times are subject to change. The Tenant shall verify the current restrictions. All electrical work to complete the system in accommodating the Tenant's plans shall be performed by the Tenant's Electrical Contractor at the Tenant's sole cost and expense.
  - j. No flammable materials are permitted above the ceiling.
  - k. All Tenant wiring (i.e., power, telephone, data, communications, low voltage, controls, etc.) must be installed in 3/4" conduit minimum. Conduit used shall be steel, compression style. Die-cast fittings are not allowed. Any conduit routed in areas that are subject to damage from motorized vehicles, machinery, etc., shall be galvanized rigid steel (GRS).
  - l. Type "MC" Cable may not be used without written approval from the Landlord.
  - m. Tenant panelboards must have hinged covers with door-in-door construction. Overcurrent protective devices must be selectively coordinated with the upstream devices.

# 4 TECHNICAL CRITERIA

- n. Transformers shall be located within the Tenant space in a visible and accessible location. Floor mounted transformers must be mounted on a 4" concrete housekeeping pad. Suspended transformers, up to 45 kVA, are permitted, but are not allowed in the ceiling plenum; supporting methods must be designed by a licensed structural engineer. Connections to transformers are to be liquid-tight flexible conduit. A heavy duty disconnect switch shall be installed on the primary side of the transformer. Transformers shall meet NEMA Premium Efficiency standards.
- o. Normal power is derived from the Landlord's service entrance sections via switchboards dedicated to Tenant use. The service utility is Arizona Public Service. The normal power is not conditioned, filtered, or isolated. There is no emergency/standby power source available.
- p. A connection point to the building grounding system has been provided. This consists of 3/0 AWG to a terminal block in a junction box adjacent to each Landlord disconnect. The Tenant shall make all required connections to the facility grounding electrode system through this interface.

## Lighting

- 1. Energy efficient lighting systems are encouraged. The Tenant should provide a system consisting of lighting fixtures, lamps, and controls. The lighting system shall comply with current energy codes.
  - a. LED lamps/fixtures are required.
  - b. Highly Intensity Discharge (HID) lamps/fixtures shall not be used without express written approval of the Landlord.
  - c. Fluorescent fixtures are not permitted.
- 2. Occupancy or vacancy sensors shall be used to control the lighting in spaces that are not normally as required by code.
- 3. Appropriate switching/controls/sensors shall be provided to reduce energy use when the available daylight/ambient lighting allows as required by code.
- 4. Lighting design within the Tenant space shall include a photometric study to ensure the appropriate illumination levels recommend by the Illumination Engineering Society.
- 5. All existing electrical systems that are not supporting Landlord functions shall be removed. This includes the feeder supplying the Tenant panelboards back to the Landlord's Tenant Switchboard. The Tenant shall coordinate demolition with the Landlord prior to bid/rough-in.
- 6. Exposed conduit, junction boxes, pull boxes, etc. are not to be installed on the face of exterior walls visible to the general public either directly from outside the building, nor through windows from inside the building, Sky Train, or other forms of transportation.

## SPECIAL SYSTEMS

- 1. Telephone cabling from the Tenant's telephone backboard must be provided and installed by the Tenant. Telephone mounting boards are available. One 2" conduit, with pull string, from the Landlord's telephone room (MDF or IDF) to the Premises will be provided by the Landlord. The Tenant is responsible for all costs associated with telephone and data requirements.
- 2. All special systems cabling must be routed in separate conduit and color coded per Aviation standards. Conduits routed outside of the Tenant space for all special systems conductors shall be in 3/4" conduit minimum.
- 3. Contact the Landlord's Technology Development Department for approval and coordination of telecommunication cabling terminations and services to outside vendors (CenturyLink) in the Landlord's spaces.
- 4. Installation of background music systems shall require Landlord's prior written approval, and such music shall not be audible outside the Tenant's Premises.
  - a. Note: As this building has a Mass Notification, Digital Voice Evacuation Annunciation System, any background music system will be required to interface with the fire alarm system to allow deactivation of the background music system in the event of a voice evacuation event. All costs for this interface will be borne by the Tenant.



# 4 TECHNICAL CRITERIA

5. Exposed conduit, junction boxes, pull boxes, etc. are not to be installed on the face of exterior walls visible to the general public either directly from outside the building, aircraft, or other forms of transportation such as trains, buses, and automobiles.
6. Tenant facades and signage must be reviewed to assure they do not obstruct CCTV camera views or interfere with public address components. Tenant provided Wi-Fi must be coordinated not to interfere with Public or City provided Wi-Fi frequencies.
7. Tenants ordering services that require electronics to be placed in City Owned communications closets are to use the designated space in the RF Room and must have space reserved via a TTS agreement with Business and Properties.

## FIRE SPRINKLER

1. The objective of the Fire Sprinkler System Design Criteria is to provide the Tenant with specific instructions to meet the Landlord's basic criteria for construction materials, means, and methods. Incomplete drawings, inferior design, or poor construction are unacceptable and will not be permitted.
2. A professional engineer licensed in the State of Arizona shall prepare all calculations, drawings, and specifications in accordance with the Landlord's Fire Sprinkler System Design Criteria, all applicable codes, and recognized engineering practices.
3. All fire sprinkler systems must be designed and installed to the following minimum standards:
  - a) Arizona Board of Technical Registration Requirements
  - b) City of Phoenix Aviation Design Manual
  - c) The International Building and Fire code as amended by the City of Phoenix
  - d) All materials must be UL-listed or FM-approved. XL rated pipe is not allowed. CPVC and copper pipe is not allowed. All pipes up to 2" shall be schedule 40. Pipe 2" and larger shall be schedule 10. All pipe is to be made in the United States.
4. The Landlord will provide a capped fire sprinkler connection for each Tenant's premises as follows:
  - a) The Landlord will provide a temporary fire sprinkler system for shell spaces.
  - b) The Tenant is required to connect the new fire sprinkler system to the Landlord provided "Fire Sprinkler Zone Valve". Tenant shall be responsible to provide a 'Zonecheck Flow Switch Tester" immediately following the Zone Valve.
5. The Tenant shall provide a fire sprinkler system for their premises based on the following criteria:
  - a) The Tenant is required to connect the new fire sprinkler system to the provided capped connection within the Premises.
  - b) Provide accessibility to all fire protection equipment (sprinkler control valves, fire suppression system control boxes, fire control panels, fire alarm system booster panels, fire extinguishers, etc.) in accordance with NFPA 13 and NFPA 70 as amended and adopted by the City of Phoenix. Provide a minimum of 3' clearance to the operator side of all fire protection equipment located with the premises.
  - c) Provide accessibility to all equipment and valves. Provide a minimum of 2'x2' access doors in all hard lid ceilings at all equipment, valves, etc.
  - d) Recessed sprinkler heads with decorative cover plates are permitted.
  - e) System tie-in and testing shall be coordinated with the City of Phoenix Aviation and Fire Departments and the Landlord's Facilities & Services Division. The system shall not be deemed "acceptable" until approved by the above parties.
  - f) All pipe sizes shall be hydraulically calculated.
6. The Tenant's new fire sprinkler system must comply with applicable sections of the above referenced codes and standards. The Tenant must coordinate with the Landlord not less than two weeks before opening or closing fire sprinkler valves.

# 4 TECHNICAL CRITERIA

7. Fire Sprinkler Zone Valve Sizes (Temporary system and zone check valve behind the control Valve):
  - a) 2 in. 10 sprinklers max
  - h) 2-1/2 in. 30 sprinklers max
  - i) 3 in. 60 sprinklers max
8. Landlord to provide temporary fire sprinklers to shell spaces. It is the Tenant's responsibility to meet code requirements in their designed space.

## FIRE ALARM

1. The objective of the Fire Alarm System Design Criteria is to provide the Tenant with specific instructions to meet the Landlord's basic criteria for construction materials, means, and methods. Incomplete drawings, inferior design, or poor construction are unacceptable and will not be permitted.
2. The Airport has a unique emergency communication system. The system is designed and installed to communicate instruction to Passengers regarding various types of emergencies. The Tenant must provide a complete extension to the emergency communication system within the Tenant space as an extension of the Landlord's building-wide addressable fire alarm system.
3. The Tenant is required to use the Landlord's designated Contractor for installation of the necessary initiation/annunciation devices and connection to the main fire alarm system. Fire alarm audibility, intelligibility, and visibility devices must meet the requirements of the latest edition of NFPA 72 and applicable sections of the International Fire Code as amended by the City of Phoenix.
4. Fire alarm system modifications must be documented and submitted to the local Fire Marshal for approval prior to construction.
5. For coordination, contact Honeywell Automation & Control Solutions at (602) 861-4482. Tenant
6. Tenant's Contractor shall contact Honeywell to determine Fire Alarm restriction for Lease Space 'impairment' and 'programming during construction.
7. All costs for installation/programming/coordination shall be the Tenant's responsibility.

# 5 SUBMITTAL PROCESS

INTRODUCTION

SUBMITTAL PROCESS

CONSTRUCTION DOCUMENTS

REVIEW PROCESSES

FINAL APPROVAL

POST APPROVAL



# 5 SUBMITTAL PROCESS

## INTRODUCTION

1. Refer to the Tenant Improvement Handbook available at [www.phxskyharbor.com](http://www.phxskyharbor.com) for submittal, review, and approval requirements.
2. There are three (3) review and approval phases, which must be followed in sequence before final approval of construction drawings can be issued. They are:
  - a) Schematic Design (30% Design)
  - b) Design Development (60% Construction Documents)
  - c) 100% Construction Documents
3. All Tenants are required to submit complete and accurate construction documents for review by the Tenant Improvement Project Manager and approval by the Landlord before starting construction.

## SUBMITTAL PROCESS

1. The Tenant shall submit a “Conceptual Approval” letter with the proposed project information to Aviation Business & Properties, and receive approval prior to submitting design documents to the designated Tenant Improvement Project Manager.
2. City of Phoenix Annual Facilities Permit (AFP)
  - a) The Annual Facilities Permit (AFP) process includes a review of code compliance and life safety requirements. Procedures and requirements for submittal for construction document review are contained in the Tenant Improvement Handbook available online at [www.phxskyharbor.com](http://www.phxskyharbor.com)
  - b) Tenants are responsible for submitting construction documents to AFP for review and approval.
3. The Tenant shall follow procedures as described in this document and in the latest version of the Tenant Improvement Handbook, which is available at [www.phxskyharbor.com](http://www.phxskyharbor.com)
4. Schematic Design Phase
  - a) The purpose of this submittal is to accelerate the design approval process by acquainting the
  - b) Business and Properties Division (B&P) with the Tenant’s intended design concept. This submittal includes addressing B&P comments and correcting criteria compliance problems before proceeding with the next phase. Design concepts for lighting and signage must be included in this submission.
  - c) Material boards must be submitted to B&P in this phase.
  - d) For schematic design submittals, send one
    - (1) electronic copy in PDF format and one
    - (1) hard copy

## CONSTRUCTION DOCUMENTS

1. 24”x36” drawing sheets are the standard size.
2. Tenants are required to retain the services of a licensed professional to design their spaces and prepare the required drawings. Each design application will be considered on its individual merit, and no design will be approved until all required documents have been received.
3. It is the responsibility of the Tenant’s architect and engineer to verify all dimensions and field conditions. They shall also thoroughly familiarize themselves with all local building codes, and all city, county, and state ordinances, rules, and regulations.
4. Electronic background files shall be provided by the Airport document archive or shell architects upon request, once the contract has been awarded. A signed Media Disclosure Agreement will be required for the release of the CAD files.

# 5 SUBMITTAL PROCESS

5. Tenant Access – The Landlord will provide reasonable access to construction document files to the Tenant. All pertinent building documentation will be provided for purposes of describing or defining locations of lease lines and NEUTRAL construction, including the location and arrangement of walls, columns, and other fixed building features, services, and systems to the extent documented.
6. The Landlord offers no assurances or guarantees that such file documentation will be sufficient to provide all information that may be required by the Tenant. The Tenant shall not rely on the accuracy of field documentation, but shall field verify dimensions, locations, and capacities of all building features, services, and systems prior to submitting an initial concept submittal.
7. 60% construction documents are required. This package must include a 60% CD level of mechanical, plumbing, electrical, and lighting engineered systems.
8. An Annual Facilities Permit (AFP) will not be issued until the Tenant has received all appropriate approvals stated in the Tenant Improvement Handbook.
9. Upon final Aviation approval of the Construction Documents, the Landlord shall forward an approval letter allowing the Tenant to pick up a construction permit from the AFP department.
10. The Tenant’s Contractor shall have one (1) Landlord approved/permitted set at the job site at all times and may not commence work until these plans are physically within the premises.
11. The construction document submission shall include, but not necessarily be limited to, the following:
  - a) Key plan showing location of the demised Premises within the terminal or concourse.
  - b) Floor plans (scale 1/4" = 1'-0") with queuing scheme and furniture/seating layout.
  - c) Sections including structure above and below lease space (scale 1/4" = 1'-0").
  - d) Reflected ceiling plan (scale 1/4" = 1'-0").
  - e) Roof plan and details for spaces with equipment on roof.
  - f) Color and finish schedules.
  - g) Material and finish samples firmly attached to an illustration board and labeled; not to exceed 11" x 17" and weigh more than 12 lbs. per board. Clearly label all materials and reference to plans, elevations, etc.
  - h) All applicable details including enlarged trim and finish details.
  - i) Colored perspective rendering illustrating the design concept storefront and signage design.
  - j) Electrical power and lighting plan prepared by a licensed electrical engineer.
  - k) Electrical details, fixture, and panel schedules; also include a suggested electric load component conforming with technical criteria herein.
  - l) Mechanical/plumbing plans, including fixture schedules.
  - m) Specifications for architectural, plumbing, electrical, mechanical, and signage.
  - n) Shop drawings from the sign fabricator showing dimensions, letter style, face color, material, thickness, type of lighting, brightness, mounting hardware, and location of any power transformers.

## REVIEW PROCESSES

1. The Landlord will review drawings for general compliance with the Tenant Design Criteria. It is the Tenant’s responsibility to ensure that the Tenant’s system will perform satisfactorily and is in compliance with all applicable codes and regulations.
2. The approval of final drawings by the Landlord does not guarantee approval by governing authorities. It shall be the responsibility of the Tenant to meet and comply with all national, state, and local code requirements.
3. Schematic Design Review
  - a) B&P will review and comment on Schematic Design drawings. A period of two to four weeks should be allowed for each submittal review, depending on project complexity.
  - b) B&P will provide review comments in written format and whether the Tenant may “Proceed,”
  - c) “Proceed with Stipulations,” or is required to “Resubmit.” If drawings are returned to the Tenant with comments and not bearing the conditional approval of the B&P, the Tenant shall revise the drawings to satisfy any comments by B&P and shall resubmit for approval as instructed.



# 5 SUBMITTAL PROCESS

- d) The Tenant shall address B&P comments, respond in writing and return a copy of the comment responses with the next submittal.
  - e) B&P approval does not relieve the Tenant of responsibility for compliance with the lease, compliance with all governing codes and regulations, field verification of existing conditions, or proper engineering and safety.
4. Construction Document Review
- a) After receipt of the Landlord’s written approval of the Schematic Design drawings, the Tenant shall submit to the Landlord a 60% construction document submittal for food and beverage spaces and retail spaces with plumbing fixtures. Retail spaces without plumbing fixtures are exempt from a 60% CD submittal unless required by Aviation B&P during the Schematic Design Review. 60% construction document submittal must include mechanical, plumbing, electrical and lighting designs.
  - b) 100% sealed and signed construction documents – the Tenant shall submit within 45 calendar days of Schematic Design approval one (1) full size set and eight (8) sets of half size hard copy drawings. Submit five (5) sets of specifications, equipment, fixture, furniture cut sheets, and finish information for review. Submit 1 digital copy. Flash drive or CD are acceptable.
  - c) The Landlord will review and comment on final Construction Documents package. The Tenant may simultaneously submit Construction Documents to the City of Phoenix Development Services Department for permit review through the Annual Facilities Permit Process, upon notification from AVN DCS.
  - d) B&P and AVN DCS will provide review comments in written format and whether the Tenant may “Proceed,” “Proceed with Stipulations,” or is required to “Resubmit.” If any of the Construction Documents and Specifications are returned to the Tenant with comments and not bearing the unconditional approval of the Landlord, the Tenant shall see that the Drawings and Specifications are revised to satisfy any comments by the Landlord and resubmitted for approval within ten (10) days of receipt by the Tenant.
  - e) The Tenant shall address and respond in writing to comments and return a copy with the next submittal or “Construction Issue” set.

## FINAL APPROVAL

1. The approval of final drawings by the Landlord does not guarantee approval by governing authorities, and it shall be the responsibility of the Tenant to meet and comply with all national, state and local code requirements.
2. Upon final approval of the Construction Documents, the Landlord shall forward an approval letter granting approval to receive a construction permit.
3. The Tenant’s Contractor shall have one (1) Landlord approved/permitted set at the job site at all times and may not commence work until these plans are physically within the Premises.
4. An Annual Facilities Program (AFP) permit will not be issued until the Tenant has received all appropriate approvals stated in the Tenant Improvement Handbook.

## POST APPROVAL

1. Construction Document Revisions:
  - a) During construction there may be a need to update drawings or substitute materials, equipment, etc. All drawing and specification revisions issued to the contractor shall be issued to the Landlord’s B&P representative and AVN DCS Project Manager simultaneously in electronic format.
  - b) The Landlord will review and comment on revisions to confirm compliance with the initial approved design and the TDC.

# 6 CONSTRUCTION REQ.

CONSTRUCTION REQUIREMENTS

PROJECT COORDINATION

CONSTRUCTION PROCEDURES



# 6 CONSTRUCTION REQ.

## CONSTRUCTION REQUIREMENTS

1. Pre-Construction Requirements
  - a) Refer to the Tenant Improvement Handbook available at [www.phxskyharbor.com](http://www.phxskyharbor.com) for complete information on construction procedures.
2. Tenant Contractor Check-In
  - a) Prior to commencing work in the Tenant space, the Tenant's Contractors shall read and comply with the terms defined within the Tenant Improvement Handbook, which may be found online at [www.phxskyharbor.com](http://www.phxskyharbor.com). Provisions described within the online version take precedent over these criteria, unless noted otherwise.
3. The lease agreement between the Tenant and the Landlord must be fully executed.
4. The Tenant's Contractor shall provide evidence of building permits for all trades as required.
5. The Tenant's Contractor shall provide the Landlord with certificates of insurance for the Contractor and subcontractors as specified in the lease agreement. The Contractor shall not commence work under this contract, nor allow any subcontractor to commence work, until all insurance required has been procured and such insurance approved by the Landlord. Insurance as hereinafter provided shall be kept intact and in force throughout the term of this contract.
6. The Tenant's Contractor must give the Landlord a minimum of five working days' notice prior to the start of construction.
7. No construction shall begin until written approval of all plans and details is received from the Landlord and such approval is on file with the Landlord. One copy of the approved plans remains at the job site at all times.
8. Pre-Construction Meeting
9. Each Tenant is required to contact the Tenant Improvement Project Manager to arrange a preconstruction meeting prior to start of construction. Tenants, their Contractor, and the main subcontractors shall attend this meeting. This meeting should establish a project
10. construction schedule with start and end dates, key personnel, emergency numbers list shall also be forwarded to the Aviation Communication Center and Project Coordinator.

## PROJECT COORDINATION

The Tenant's design and construction team are responsible for project coordination during construction. Issues and unforeseen conditions are the Tenant's design and construction team's responsibility to solve. The Landlord may be able to offer assistance, but it is the Tenant's primary responsibility and expense to correct issues in the field.

1. The Tenant's design and engineering team is responsible for periodic inspections, reviews, and construction progress reporting to the Tenant.
2. During construction, it is the Tenant and the Tenant's design team's responsibility to forward any updated drawings or substitute materials, equipment, etc., to the Tenant Improvement AVN DCS Project Manager for review and approval. All drawings and specification revisions issued to the Contractor shall be issued to the AVN DCS Project Manager simultaneously in electronic format.
3. Tenants and their Contractors are required to maintain an "as-built" set of plans on site during construction that reflect changes. This set shall be available for review by inspectors and the AVN DCS Project Manager. These plans are to be used to produce "Record Drawings" as required by the Tenant Improvement Handbook.
4. The AVN DCS Project Manager will perform inspections of the project periodically to ensure compliance with approved plans and specifications. This will not relieve the Tenant's Contractor requirements for building code inspections.
5. All noisy work or dusty work will be performed during night hours as defined by the Landlord. Construction noise and aroma's shall not interfere with the announcements or passenger experience.
6. The Tenant's Contractor shall be responsible for protecting the existing facility systems, and shall repair any damage to existing construction.
7. All construction activities must be accomplished in such a manner as to permit normal operations within the existing facilities and roadway system at all times.

# 6 CONSTRUCTION REQ.

8. All work, including the abandonment or relocation of existing mechanical or electrical utilities, the relocation of existing mechanical or electrical systems or their components, or the connection of new mechanical or electrical systems or their components to the existing facilities, which will cause interruptions to the operations of the existing building and roadway system, must be scheduled for times other than normal working hours.
9. The Tenant's Contractor shall schedule and coordinate the work to minimize any required interruptions, and shall notify the Landlord in writing at least ten (10) working days prior to the shutdown requirement.
10. The Tenant's Contractor shall obtain permission from the Landlord prior to core drilling through floors, walls, or the roof structure. The Tenant's Contractor must notify the Landlord prior to any welding and grinding that creates sparks, or torch cutting.
11. The Tenant's design and engineering team is required to perform punch list activities near the completion of work in a particular lease space to ensure all work is complete. The AVN DCS Project Manager will review punch list reports and do a final walk to ensure work has been completed.

## CONSTRUCTION PROCEDURES

1. The following provisions, with respect to construction procedures, shall be followed by all Tenant Contractors:
  - a) Refer to the Tenant Improvement Handbook at [www.phxskyharbor.com](http://www.phxskyharbor.com) for requirements.
  - b) No Architect or Contractor signs will be allowed on the job site. Signage identifying the Tenant name and opening date must be submitted to the Landlord for review and approval prior to erection. Tenants must comply with Pardon our Dust guidelines.
  - c) No equipment, material, or tools, will be permitted to be stored in the common areas of the Airport without a barricade wall securing the items.
  - d) The Tenant's Contractor must not track dust onto the common area floor, and shall provide a means of cleaning dust from employee's shoes.
  - e) All equipment, material, tools, or merchandise must be brought through the nearest service entrance. Construction traffic is not permitted in the common areas.
  - f) No material shall be delivered to, or transported through any common area without the express approval of the Landlord. Any material transported through public areas or stairways, etc., shall be moved on pneumatic rubber tire trucks, using adequate parking, protective cloths, etc., to safeguard existing floors. Any damage resulting from movement of materials, etc., shall be repaired by the Contractor responsible.
  - g) The Tenant's Contractor shall confine storage of equipment or material to the demised premises or other locations specifically designated by the Landlord. Storage in service corridors, truck docks, vacant lease spaces, or other areas is not permitted at any time. Failure to comply will result in removal all materials, with the Tenant bearing responsibility for the costs incurred.
  - h) Smoking is not permitted anywhere in the building, including stores under construction. Smoking areas have been designated by the Landlord.
  - i) The Tenant Contractor shall take all necessary safety precautions to protect workers, the general public, and private and public property, and shall comply with all requirements of the Occupation Safety and Health Act (OSHA).
2. The Landlord requires certain work activities to take place late night and early morning hours as follows:
  - a) Major service disruptions.
  - b) Jack-hammering, roto-hammering, core-drilling, or other noisy operations.
  - c) Work requiring the blocking of public entrances.
  - d) All other work that would prevent continuous operation of the building.
  - e) Hauling of demolished material.
  - f) Erecting and removing construction partitions.
  - g) Delivery of large materials.

# 6 CONSTRUCTION REQ.

## 3. Asbestos

- a) Asbestos containing materials (ACMs) and presumed asbestos-containing materials (PACMs) may be present in buildings at the Airport. The Tenant must request and will be notified of the presence of presumed presence of ACMs in the TI project area. The Tenant, Tenant's architect/engineer, and all Contractors and subcontractors working on the project, will be required to sign an Aviation form acknowledging that they have been notified of the possible presence of ACMs. The Tenant shall consult all federal regulations previously listed in this section that apply to the handling of ACMs and PACMs.

## 4. Welding or Cutting

- a) All welding or cutting and grinding producing sparks shall be reported to the City of Phoenix Fire Department prior to the start of the job, and upon completion of the project on a daily basis. A fire watch shall be provided by the Contractor, and suitable fire extinguishers shall be on hand within 20' of the work being performed and accessible at all times. Welding or cutting shall cease 1/2 hour before closing the job site for the day and inspected prior to the employees leaving the site for the day. A "Hot Work" permit will be required from the Fire Department.

## 5. Confined Space Entry Regulations

- a) The Contractor shall comply with applicable portions of Federal Regulation 29 CFR S 1910.146 and any state regulations regarding employee entrance into confined spaces on this project.

## 6. Trash Removal

- a) During construction, the Tenant shall provide trash removal service at areas designated by the Landlord. The Tenant Contractor shall provide and pay for trash containers and disposal. It is the responsibility of the Tenant and the Tenant's Contractor to break down and remove all trash and debris from the premises on a daily basis and place in the containers supplied for that purpose. If the Tenant's trash is allowed to accumulate for 24 hours or longer within the Tenant's space or service corridors, the Landlord shall remove the Tenant's or Tenant Contractor's trash at a charge of 1.5 times the Landlord's cost. The removal of construction debris shall be the responsibility of the Tenant and Tenant's Contractor.

## 7. Trash Containers

- a) All trash and garbage products must be transported using sealed containers. Containers without lids are prohibited. All wheeled containers or carts used to move garbage must be installed with polyurethane non-marking wheels. Any black wheels or other marking wheels are strictly prohibited.

## 8. Floor, Wall and Roof Penetrations

- a) Prior to making any floor, wall or roof penetrations, the Tenant Contractor must obtain approval of the proposed locations from the Landlord. All cutting, patching, and core-drilling requires written approval by the Landlord before initiating this work. The Tenant Contractor is responsible for repairing any damage to reinforcing steel, conduit, wiring, piping, etc., resulting from this operation.
- b) Weatherproofing of all roof penetrations must be performed by the Landlord's authorized roofing contractor at the Tenant's expense. Roof warranties must be maintained.
- c) The floor, wall, and roof structures vary. Verify all cutting with existing structural drawings. Floor,
- d) wall, and roof penetrations must be sealed to maintain separation requirements. Provide fire or fire and smoke dampers as required to maintain existing partition ratings.
- e) Core drilling is to occur late night and early morning, and must be coordinated with the Landlord and the operators of the space below.
- f) All floor and wall penetrations and patching shall conform to the structural and fire rating requirements; such work shall be paid for by Tenant directly and must be approved by the Landlord.
- g) All penetrations shall be x-rayed at Tenant
- h) Contractor's expense and approved by the Landlord. Concrete and masonry walls that require cored penetrations must be x-rayed before any hole is cut.

7. The Tenant's Contractor shall perform cutting and patching as required to return finishes to there original condition.

# 6 CONSTRUCTION REQ.

8. Welding and grinding that creates sparks, or torch cutting, shall be supervised per approval of the DCS AVN DCS Project Manager. The Contractor must comply with Fire Department regulations, including obtaining an approved Airport burn permit. The Contractor shall notify the department prior to welding or torch cutting.
9. All Tenant installed property outside the Tenant space is to be clearly labeled per Airport standards so the owner of the item can be identified. This includes, but is not limited to, the following:
  - a) Electrical equipment
  - b) Roof top mechanical equipment
  - c) Satellite dishes
  - d) Plumbing lines
10. After the Tenant notifies the Landlord that the project is completed, the Tenant Improvement Project Manager shall perform a final inspection of the project as required in the approval letter.
11. Tenant shall submit two (2) sets of record drawings to the Landlord. Reference "Tenant Improvement Handbook" which has additional requirements for Closeout Documents:
  - a) GC As-Builts
  - b) Copy Certificate of Occupancy / Completion
  - c) O&M Manuals (if applicable)

# 7 APPENDIX







# 44TH STREET SKYTRAIN CHILDCARE FACILITY

44th STREET  
PHOENIX AZ 850345

LEA PROJECT NO. 211021  
COP PROJECT NO. AV19000034-1



## DESIGN TEAM

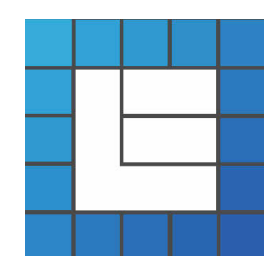
**ARCHITECT**  
LEA - ARCHITECTS, LLC  
1730 E NORTHERN AVE, SUITE 110  
PHOENIX, AZ 85020  
CONTACT: LANCE ENYART  
(602) 943-7511

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SCOTTSDALE, AZ 85254  
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(480) 398-7729

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PHOENIX, ARIZONA 85021  
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(602) 249-1320

**ELECTRICAL**  
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(602) 249-1320

**CIVIL**  
DIBBLE CORP  
7878 N 16TH ST, SUITE 300  
PHOENIX, AZ 85020  
CONTACT: SCOTT ODYA  
(602) 957-1155



**LEA- ARCHITECTS, LLC**

ARCHITECTURE

PLANNING

INTERIORS

PHOENIX, AZ  
CONSTRUCTION MANAGEMENT

### MATERIAL LEGEND

### SYMBOLS



### ZONING, CODE & PROJECT DATA

**OWNER:** PHOENIX AVIATION DEPARTMENT  
**MUNICIPALITY:** CITY OF PHOENIX  
**PROJECT ADDRESS:** 200 S 44TH STREET PHOENIX AZ 85034  
**APN:** 124-06-153 1,622,140 SF 37.24 ACRES  
**ZONING:** A-2 (INDUSTRIAL DISTRICT)

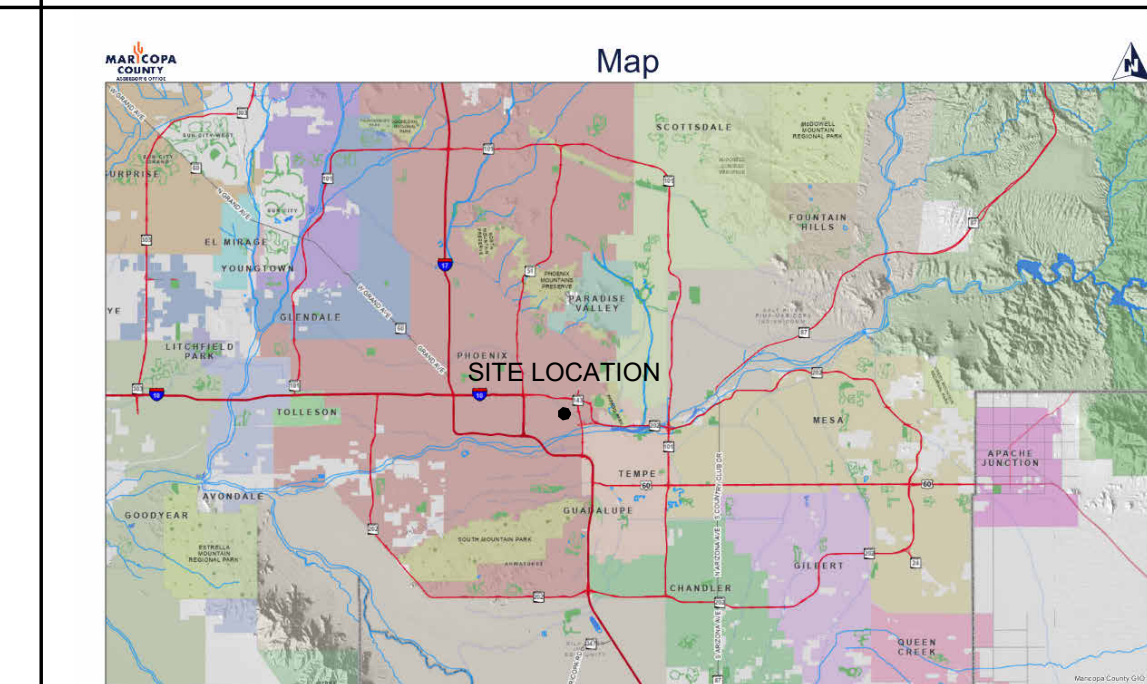
**GOVERNING CODES:** ALL WORK SHALL CONFORM TO ALL APPLICABLE GOVERNING CODES, INCLUDING, BUT NOT LIMITED TO THE LATEST EDITIONS OF THE FOLLOWING:  
**BUILDING:** 2018 I.B.C. (INCLUDING AMENDMENTS)  
**EXISTING:** 2018 I.E.B.C. (INCLUDING AMENDMENTS)  
**ELECTRICAL:** 2017 N.E.C. (INCLUDING AMENDMENTS)  
**MECHANICAL:** 2018 I.M.C. (INCLUDING AMENDMENTS)  
**PLUMBING:** 2018 I.P.C. (INCLUDING AMENDMENTS)  
2018 U.P.C. (INCLUDING AMENDMENTS)  
**FIRE:** 2018 PHOENIX FIRE CODE (INCLUDING AMENDMENTS)  
**FUEL GAS:** 2018 I.F.G.C. (INCLUDING AMENDMENTS)  
**ACCESSIBILITY:** 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN  
**ENERGY:** 2018 I.E.C.C. (INCLUDING AMENDMENTS)  
**EMERGENCY LIGHTING:** YES  
**FIRE SPRINKLERS:** NFPA 13 SPRINKLER SYSTEM REQUIRED  
**FIRE ALARMS:** YES  
**FIRE EXTINGUISHERS:** INSTALLED PER IFC 906 AND NFPA 10

**BUILDING NAME:** PHOENIX AVIATION CHILDCARE FACILITY  
**BUILDING OCCUPANCY:** MIXED-USE OCCUPANCY  
**OCCUPANCY GROUPS:** E, A-3 (EXISTING)  
**CONSTRUCTION TYPE:** TYPE I-B (SPRINKLERED)  
**BUILDING AREA:** 13,356 SQ. FT. TOTAL  
8,546 SQ. FT. FIRST FLOOR  
4,810 SQ. FT. PLAY AREA  
**OCCUPANCY GROUP AREA:** DAYCARE (E) 13,356 SQ. FT.  
**OCCUPANCY LOAD:**  
PER IBC TABLE 1004.1.2  
ACCESSORY AREAS 3,154 SQ. FT. / 0  
ACCESSORY STORAGE 832 SQ. FT. / 300  
BUSINESS 2,466 SQ. FT. / 150  
CLASSROOM AREAS 515 SQ. FT. / 20  
DORMITORIES 1,447 SQ. FT. / 50  
EXERCISE ROOMS 667 SQ. FT. / 50  
PARKING GARAGES 2,194 SQ. FT. / 200  
TOTAL 113  
**EGRESS CALCULATION:** MINIMUM EXITS REQUIRED: 2  
EXITS PROVIDED: 4  
TWO EXISTING EXIT STAIRS PROVIDE 72" MINIMUM EGRESS WIDTH

### REVISIONS

PRELIMINARY  
NOT FOR  
CONSTRUCTION,  
BIDDING, OR PERMITTING

### VICINITY MAP

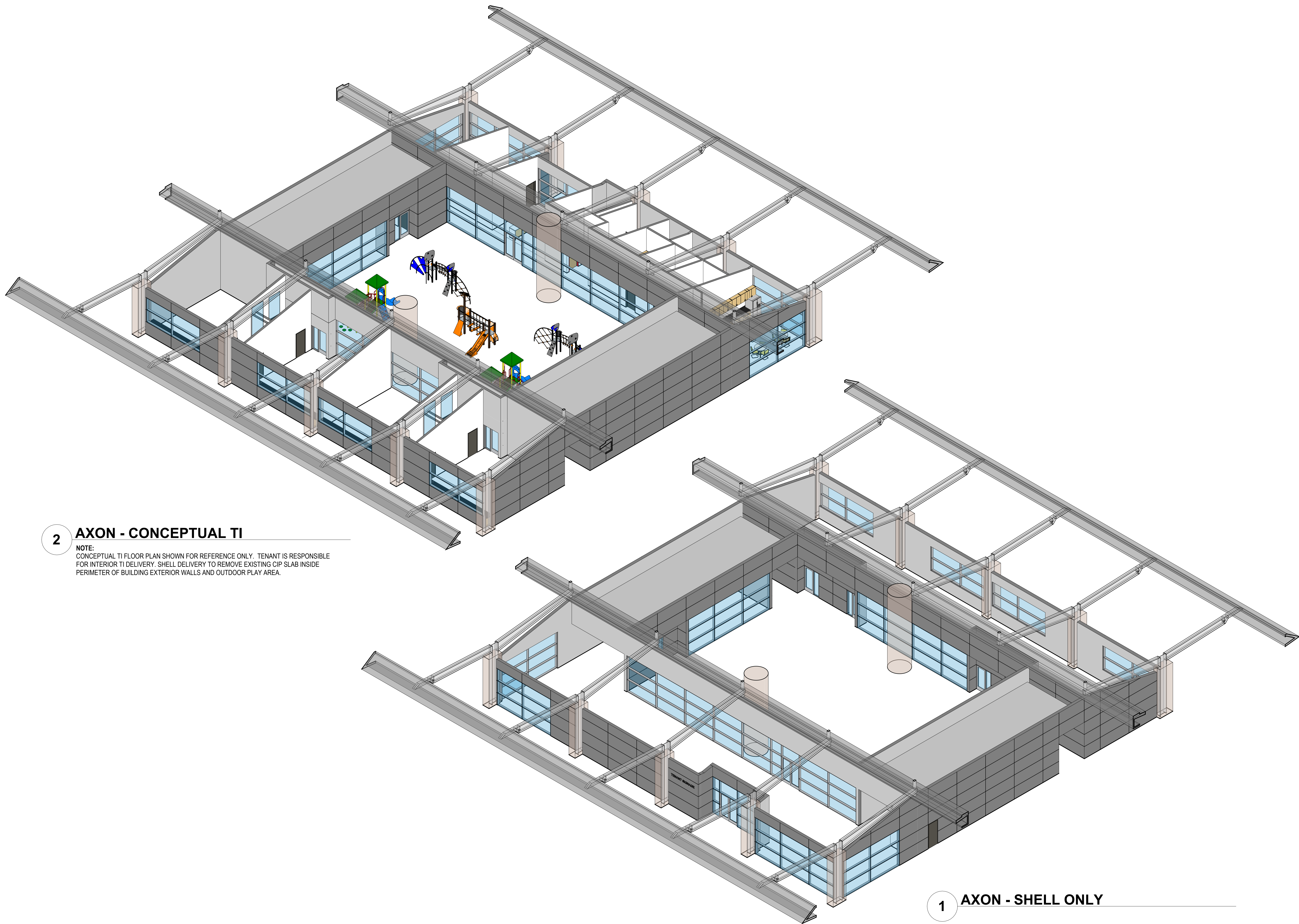


### LOCATION MAP

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**2 AXON - CONCEPTUAL TI**

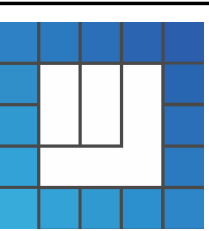
NOTE:  
 CONCEPTUAL TI FLOOR PLAN SHOWN FOR REFERENCE ONLY. TENANT IS RESPONSIBLE FOR INTERIOR TI DELIVERY. SHELL DELIVERY TO REMOVE EXISTING CIP SLAB INSIDE PERIMETER OF BUILDING EXTERIOR WALLS AND OUTDOOR PLAY AREA.

**1 AXON - SHELL ONLY**

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**44TH STREET SKYTRAIN  
 CHILDCARE FACILITY**  
 44TH STREET  
 PHOENIX, AZ 85034



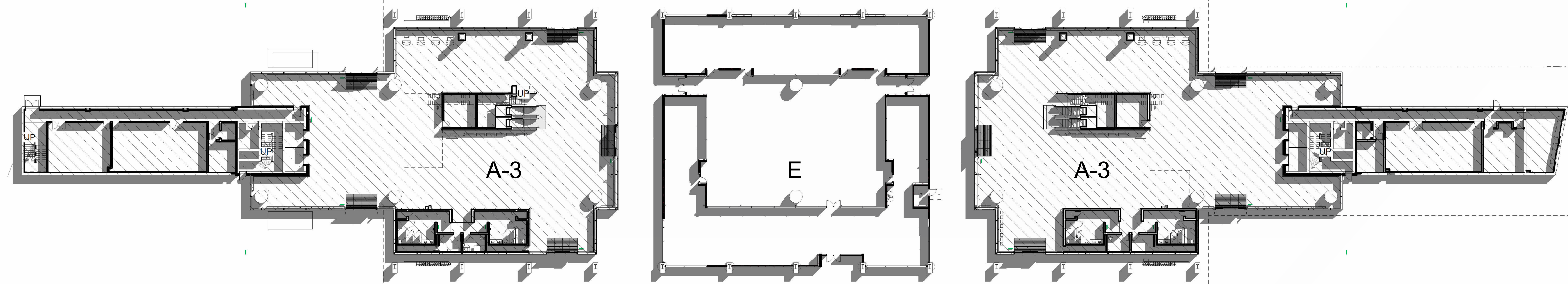
**LEA - ARCHITECTS, LLC**  
 1730 EAST NORTHERN AVENUE  
 PHOENIX, AZ  
 ARCHITECTURE PLANNING INTERIORS CONSTRUCTION MANAGEMENT

date	drawn by	checked	job no.	REVISIONS	
				NO.	ISSUE
04/03/23	FM	AP	211021		
SHEET TITLE				NO.	DATE
AXONS				ISSUE	

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**G0.11**





**2 OVERALL FLOOR PLAN**  
1" = 30'-0"

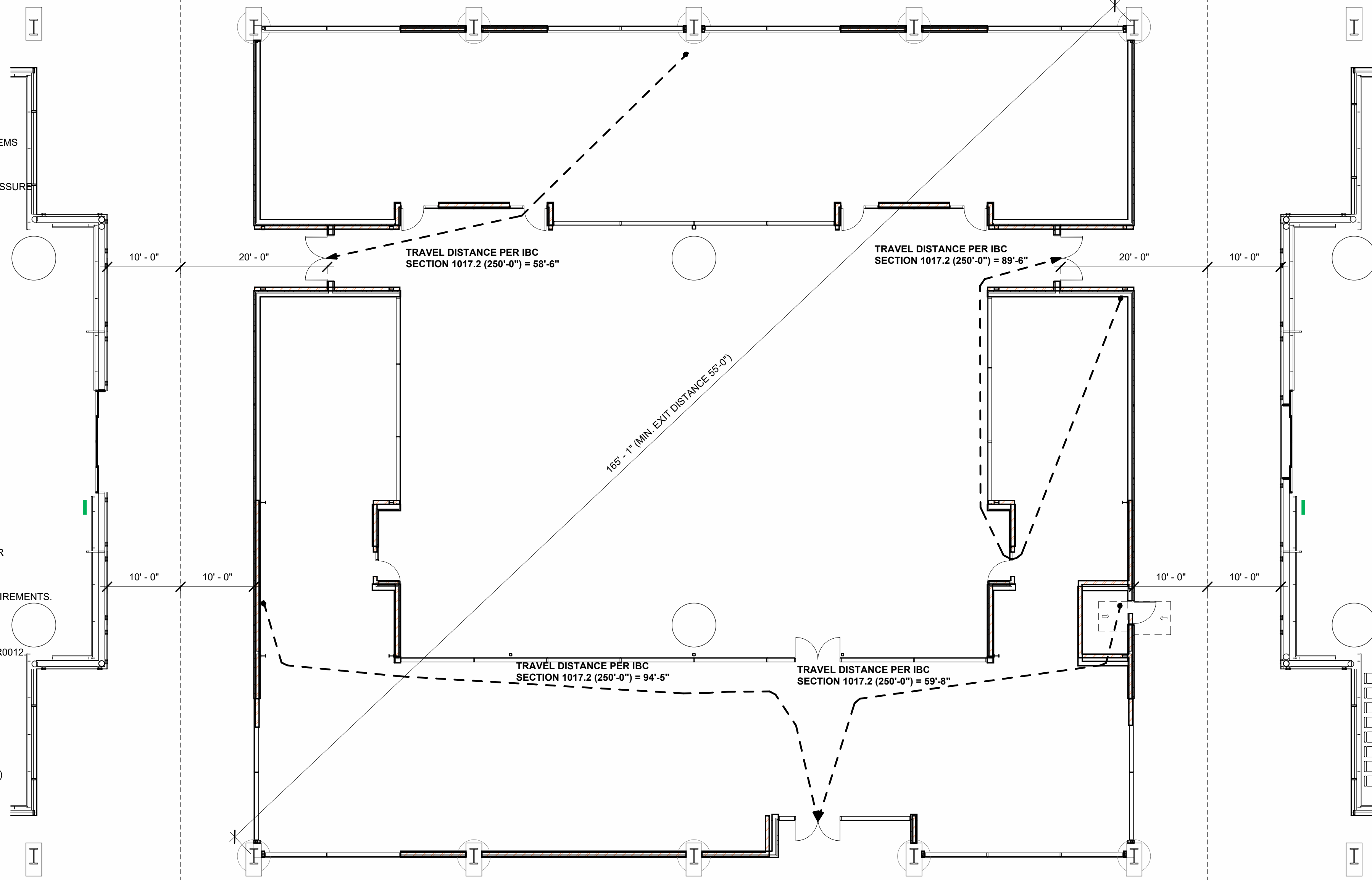
**EXISTING BUILDING CODE SUMMARY**

- OWNER: CITY OF PHOENIX - AVIATION DEPARTMENT  
3800 E. SKY HARBOR BLVD  
PHOENIX, AZ 85034
- APPLICABLE CODES, ORDINANCES & STANDARDS:
  - 2006 INTERNATIONAL BUILDING CODE W/ CITY OF PHOENIX AMENDMENTS (PBC)
  - 2006 INTERNATIONAL FIRE CODE W/ CITY OF PHOENIX AMENDMENTS (PBC)
  - 2006 INTERNATIONAL MECHANICAL CODE
  - 2006 UNIFORM PLUMBING CODE
  - 2006 INTERNATIONAL ELECTRICAL CODE
  - 2007 EDITION OF NFPA 130 - STANDARD FOR FIXED GUIDEWAY TRANSIT AND PASSENGER RAIL SYSTEMS
  - 2007 EDITION OF NFPA 13 - STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS
  - 2007 EDITION OF NFPA 14 - STANDARD FOR THE INSTALLATION OF STANDPIPES AND HOSE SYSTEMS
  - 2007 EDITION OF NFPA 72 - NATIONAL FIRE ALARM CODE
  - 2007 EDITION OF NFPA 92A - STANDARD FOR SMOKE CONTROL SYSTEMS UTILIZING BARRIERS & PRESSURE DIFFERENCES
  - ADAAG 1996 EDITION - AMERICAN DISABILITY ACT ACCESSIBILITY GUIDELINES, ANSI A 117.1 - 2003
  - 2006 INTERNATIONAL ENERGY CONSERVATION CODE
  - ARIZONA PLUMBING CODE (WITH CURRENT SUPPLEMENT)
  - ASME A17.1 - 2004 w/ ADDENDA SAFETY CODE FOR ELEVATORS & ESCALATORS
  - ASME A17.15 - 2005 SUPPLEMENT TO ASME A17.1 - 2004
  - CITY OF PHOENIX BUILDING STANDARDS & REVIEW PROCESS
- GENERAL BUILDING INFORMATION:
  - A. CONSTRUCTION TYPE: 1-B
  - B. HIGHEST OCCUPIED LEVEL: THIRD LEVEL, IDENTIFIED ON THE DRAWINGS AS LEVEL 3
  - C. GROSS ENCLOSED FLOOR AREA: 81,382 SF
- FIRE RESISTIVE CONSTRUCTION REQUIREMENTS:
  - A. EXTERIOR BEARING WALLS: 2 HRS, U.L. #906
  - B. INTERIOR BEARING WALLS: 2 HRS (a), U.L. #906
  - C. COLUMNS, BEAMS, GIRDERS, TRUSSES: 2 HRS (a) - U.L. #: X678, Y710, Y724, X772
  - D. FLOOR CONSTRUCTION: 2 HRS - U.L. #: D925, N782
  - E. ROOF CONSTRUCTION: 1 HRS (b), U.L. #: P701
  - F. INTERIOR NON-BEARING WALLS: NON-RATED
  - G. EXTERIOR NON-BEARING WALLS: NON-RATED (c)

(a). REDUCED TO ONE HOUR WHERE IN SUPPORT OF ROOF ONLY  
(b). NON-RATED WHERE EVERY PART OF ROOF CONSTRUCTION IS 20'-0" OR MORE ABOVE ANY FLOOR IMMEDIATELY BELOW.  
(c). PER TABLE 602

REFER TO SHEETS C-20 ESAR0010, ESAR0011, ESAR0012 FOR U.L. LISTING OF FIRE PROOFING REQUIREMENTS. UNRESTRAINED CONDITION APPLIES FOR THE STRUCTURAL ELEMENTS.  
REFER TO SHEETS ESAR0004 THROUGH ESAR0008 FOR FIRE PROTECTION DIAGRAMS.  
FOR FIRE RATED JOINTS AS NOTED ON THE DRAWINGS REFER TO U.L. LISTINGS ON SHEET C22-ESAR0012.
- PROJECT STATISTICS: BUILDING HEIGHT  
ALLOWABLE NUMBER OF STORIES: 11  
ALLOWABLE BUILDING HEIGHT: UNLIMITED
- REQUIREMENTS:  
EXIT WIDTH CALCULATION: REFER TO FIRE LIFE SAFETY DRAWINGS
- ENERGY DESIGN CRITERIA:
 

A. ROOF	RIGID INSULATION:	R-30 (MINIMUM OVER OCCUPIED SPACE)
B. WALL	UNFACED BLANKET INSULATION:	R-19 (UNO)
	RIGID INSULATION:	R-19
C. CONCRETE SLABS	FACED BLANKET INSULATION:	R-19
	SPRAYED THERMAL INSULATION:	R-19
D. GLAZING	SHGC:	0.39
	U-VALUE: WINTER	0.29
	SUMMER	0.31



**1 FLOOR PLAN**  
1" = 10'-0"

OWNER: PHOENIX AVIATION DEPARTMENT  
MUNICIPALITY: CITY OF PHOENIX  
PROJECT ADDRESS: 200 S 44TH STREET  
PHOENIX AZ 85034  
APN: 124-06-153 1,622,140 SF 37.24 ACRES  
ZONING: A-2 (INDUSTRIAL DISTRICT)

BUILDING NAME: PHOENIX AVIATION CHILDCARE FACILITY  
BUILDING OCCUPANCY: MIXED-USE OCCUPANCY  
OCCUPANCY GROUPS: E, A-3 (EXISTING)  
CONSTRUCTION TYPE: TYPE 1-B (SPRINKLERED)  
BUILDING AREA: 13,356 SQ. FT. TOTAL  
8,546 SQ. FT. FIRST FLOOR  
4,810 SQ. FT. PLAY AREA

OCCUPANCY GROUP AREA: DAYCARE (E) 13,356 SQ. FT.

OCCUPANCY LOAD: PER IBC TABLE 1004.1.2

ACCESSORY AREAS	3,154 SQ. FT. / 0	0
ACCESSORY STORAGE	832 SQ. FT. / 300	10
BUSINESS	2,466 SQ. FT. / 150	20
CLASSROOM AREAS	515 SQ. FT. / 20	26
DORMITORIES	1,447 SQ. FT. / 50	32
EXERCISE ROOMS	667 SQ. FT. / 50	14
PARKING GARAGES	2,194 SQ. FT. / 200	11
TOTAL		113

EGRESS CALCULATION: MINIMUM EXITS REQUIRED: 2  
EXITS PROVIDED: 4  
TWO EXISTING EXIT STAIRS PROVIDE 72" MINIMUM EGRESS WIDTH

GOVERNING CODES: ALL WORK SHALL CONFORM TO ALL APPLICABLE GOVERNING CODES, INCLUDING, BUT NOT LIMITED TO THE LATEST EDITIONS OF THE FOLLOWING:

- BUILDING: 2018 I.B.C. (INCLUDING AMENDMENTS)
- EXISTING: 2018 I.E.B.C. (INCLUDING AMENDMENTS)
- ELECTRICAL: 2017 N.E.C. (INCLUDING AMENDMENTS)
- MECHANICAL: 2018 I.M.C. (INCLUDING AMENDMENTS)
- PLUMBING: 2018 I.P.C. (INCLUDING AMENDMENTS)  
2018 U.P.C. (INCLUDING AMENDMENTS)
- FIRE: 2018 PHOENIX FIRE CODE (INCLUDING AMENDMENTS)
- FUEL GAS: 2018 I.F.G.C. (INCLUDING AMENDMENTS)
- ACCESSIBILITY: 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- ENERGY: 2018 I.E.C.C. (INCLUDING AMENDMENTS)
- EMERGENCY LIGHTING: YES
- FIRE SPRINKLERS: NFPA 13 SPRINKLER SYSTEM REQUIRED
- FIRE ALARMS: YES
- FIRE EXTINGUISHERS: INSTALLED PER IFC 906 AND NFPA 10

- FIRE RESISTIVE CONSTRUCTION REQUIREMENTS:
- A. EXTERIOR BEARING WALLS: 2 HRS, U.L. #906
  - B. INTERIOR BEARING WALLS: 2 HRS (a), U.L. #906
  - C. COLUMNS, BEAMS, GIRDERS, TRUSSES: 2 HRS (a) - U.L. #: X678, Y710, Y724, X772
  - D. FLOOR CONSTRUCTION: 2 HRS - U.L. #: D925, N782
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  - F. INTERIOR NON-BEARING WALLS: NON-RATED
  - G. EXTERIOR NON-BEARING WALLS: NON-RATED (c)
- (a). REDUCED TO ONE HOUR WHERE IN SUPPORT OF ROOF ONLY  
(b). NON-RATED WHERE EVERY PART OF ROOF CONSTRUCTION IS 20'-0" OR MORE ABOVE ANY FLOOR IMMEDIATELY BELOW.  
(c). PER TABLE 602

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44TH STREET SKYTRAIN  
CHILDCARE FACILITY  
44TH STREET  
PHOENIX AZ 85034

LEA - ARCHITECTS, LLC  
1730 EAST NORTHERN AVENUE  
PHOENIX, AZ

ARCHITECTURE PLANNING INTERIORS CONSTRUCTION MANAGEMENT

DATE	REVISIONS	DATE
NO.	ISSUE	

job no. 211021  
checked by [Signature]  
drawn by FM  
date 07/2022

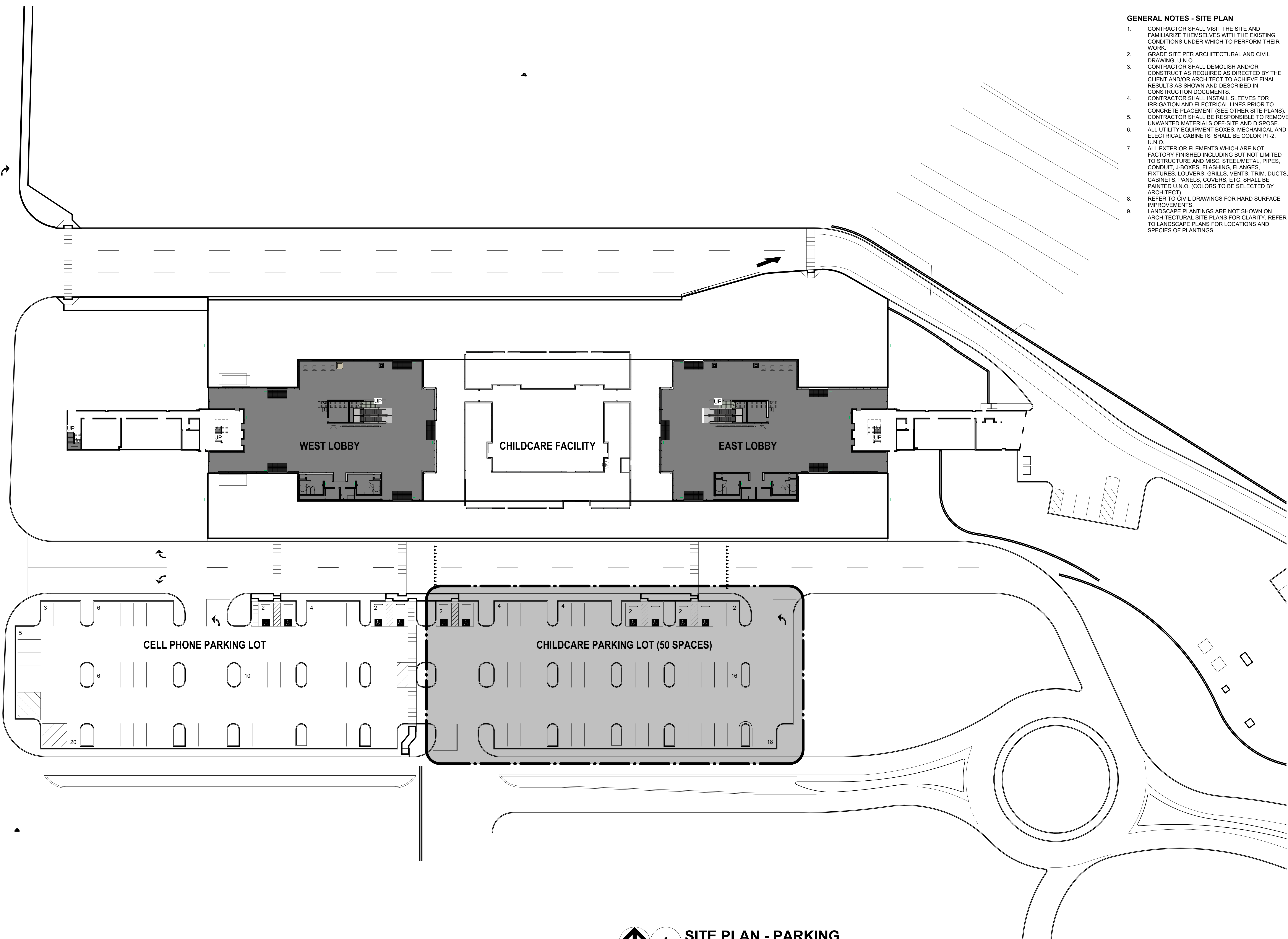
SHEET TITLE  
CODE PLAN

SCHEMATIC DESIGN

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**G1.01**





- GENERAL NOTES - SITE PLAN**
1. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS UNDER WHICH TO PERFORM THEIR WORK.
  2. GRADE SITE PER ARCHITECTURAL AND CIVIL DRAWING, U.N.O.
  3. CONTRACTOR SHALL DEMOLISH AND/OR CONSTRUCT AS REQUIRED AS DIRECTED BY THE CLIENT AND/OR ARCHITECT TO ACHIEVE FINAL RESULTS AS SHOWN AND DESCRIBED IN CONSTRUCTION DOCUMENTS.
  4. CONTRACTOR SHALL INSTALL SLEEVES FOR IRRIGATION AND ELECTRICAL LINES PRIOR TO CONCRETE PLACEMENT (SEE OTHER SITE PLANS). CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE UNWANTED MATERIALS OFF-SITE AND DISPOSE.
  5. ALL UTILITY EQUIPMENT BOXES, MECHANICAL AND ELECTRICAL CABINETS SHALL BE COLOR PT-2, U.N.O.
  6. ALL EXTERIOR ELEMENTS WHICH ARE NOT FACTORY FINISHED INCLUDING BUT NOT LIMITED TO STRUCTURE AND MISC. STEEL/METAL, PIPES, CONDUIT, J-BOXES, FLASHING, FLANGES, FIXTURES, LOUVERS, GRILLS, VENTS, TRIM, DUCTS, CABINETS, PANELS, COVERS, ETC. SHALL BE PAINTED U.N.O. (COLORS TO BE SELECTED BY ARCHITECT).
  7. REFER TO CIVIL DRAWINGS FOR HARD SURFACE IMPROVEMENTS.
  8. LANDSCAPE PLANTINGS ARE NOT SHOWN ON ARCHITECTURAL SITE PLANS FOR CLARITY. REFER TO LANDSCAPE PLANS FOR LOCATIONS AND SPECIES OF PLANTINGS.

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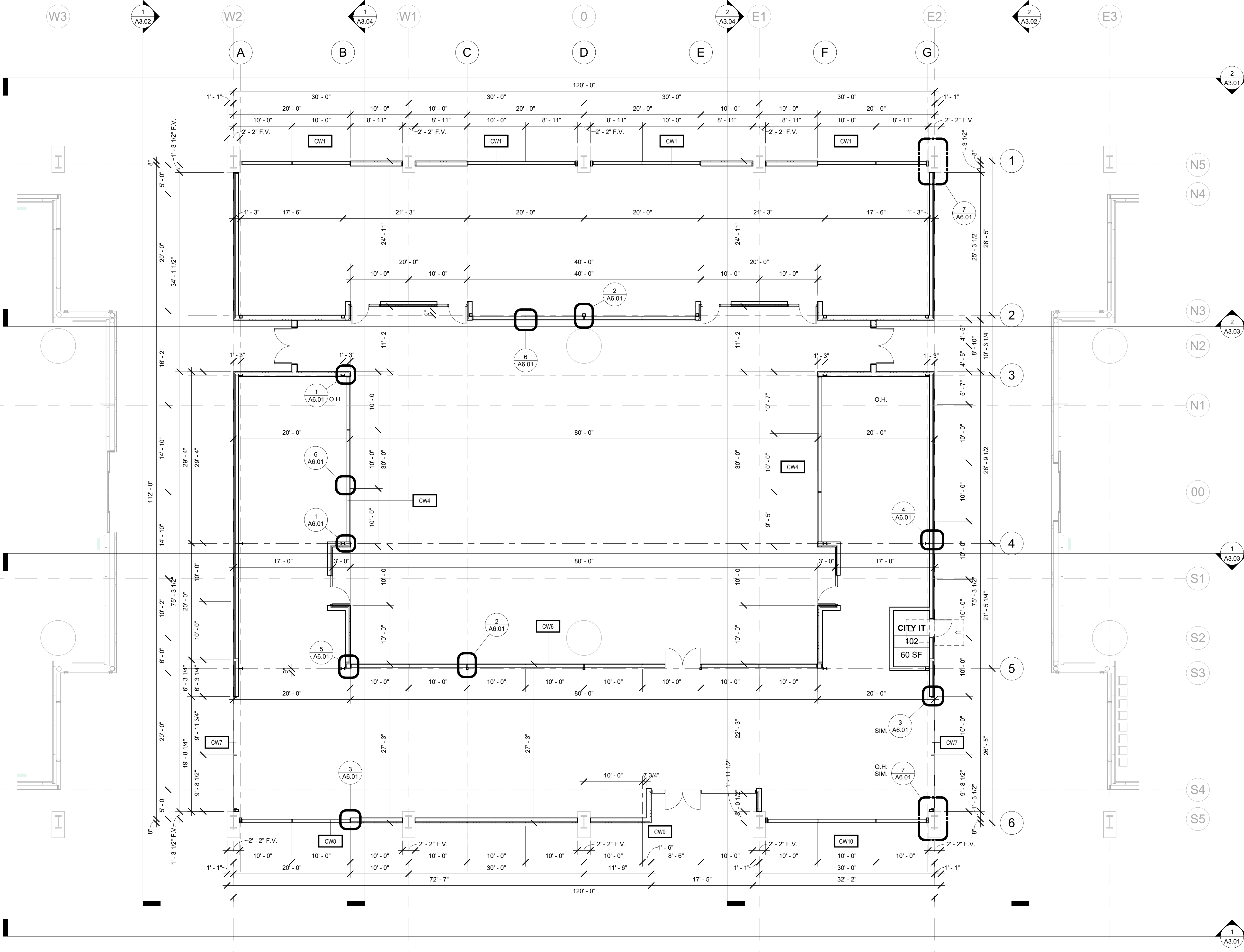
**44TH STREET SKYTRAIN  
CHILDCARE FACILITY**  
44TH STREET  
PHOENIX, AZ 85034

**LEA - ARCHITECTS, LLC**  
1730 EAST NORTHERN AVENUE  
PHOENIX, AZ  
ARCHITECTURE PLANNING INTERIORS CONSTRUCTION MANAGEMENT

date	drawn by	checked	job no.	REVISIONS	DATE
06/08/23	FM	LEA/J	211021	NO. ISSUE	
SHEET TITLE					
SITE PLAN - PARKING					
SCHEMATIC DESIGN					
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1 SITE PLAN - PARKING  
1" = 30'-0"

**A1.01**



1 FLOOR PLAN - SHELL  
1/8" = 1'-0"

- GENERAL NOTES - FLOOR PLAN**
- REFER TO "G" SERIES FOR GENERAL PROJECT INFORMATION THAT APPLIES TO THESE SHEETS, INCLUDING PROJECT GENERAL NOTES, ARCHITECTURAL FINISH FLOOR REFERENCE INFORMATION, SHEET INDEX, ARCHITECTURAL SYMBOLS THAT ARE USED THROUGHOUT, CODE AND EXITING INFORMATION, CODE RELATED CONSTRUCTION INFORMATION AND REQUIREMENTS, AND ANY OTHER PROJECT GENERAL INFORMATION ELEMENTS.
  - PROVIDE INTERIOR PARTITIONS WITH MOISTURE RESISTANT GWB AT ALL WET AREA LOCATIONS, AS MAY OCCUR; PROVIDE 5/8" CEMENTITIOUS BACKER BOARD AT ALL GWB LOCATIONS WITH CERAMIC TILE WALL FINISH.
  - PROVIDE FIREBLOCKING WHERE REQUIRED AT ALL FIRE RATED WALL FRAMING INTERSECTIONS OF SOFFITS, SUSPENDED CEILINGS, AROUND PIPE/DUCT PENETRATIONS, OR ANY OTHER SIMILAR LOCATIONS IN WALL/CEILING CONSTRUCTION WHERE FIRE COULD PASS.
  - CONTRACTOR TO INSURE CONTINUITY OF RATED CONSTRUCTION CONDITIONS AS SHOWN IN THESE PLANS AND COORDINATED WITH "G" SERIES DRAWINGS FOR ALL REQUIRED CONDITIONS AS OCCUR, INCLUDING ANY RELATED STRUCTURAL WALLS, PARTITIONS SEALED TO STRUCTURAL DECK, CORRIDORS, CEILINGS, SHAFTS, ENCLOSURES, ETC.
  - REFER TO BUILDING ELEVATIONS FOR DIMENSIONS (HORIZONTAL AND VERTICAL) AND DETAIL REFERENCES FOR ANY MISCELLANEOUS PUNCHED OPENINGS IN EXTERIOR WALLS THAT ARE NOT SHOWN ON THESE PLANS.
  - DEPTH OF FOOTINGS AND/OR PENETRATIONS THROUGH STEMS FOR INSTALLATION OF ANY SUBGRADE UTILITIES AND THE LIKE SHALL BE COORDINATED WITH STRUCTURAL PRIOR TO ANY PLACEMENT.
  - ALL INTERIOR AND EXTERIOR STEEL ELEMENTS SHALL BE PAINTED AS SCHEDULED.
  - DIMENSIONS ARE FROM COLUMN CENTERLINE, EDGE OF CONCRETE, METAL STUD CENTERLINE, U.N.O.
  - CONTRACTOR TO PROVIDE METAL BLOCKING AS NECESSARY FOR ANY WALL MOUNTED ITEMS OR ACCESSORIES.
  - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND PLAN DIMENSIONS PRIOR TO BEGINNING ANY CONSTRUCTION OR FABRICATION, AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES.
  - ALL DOORS TO BE 12" (30" AT DORMS) FROM CENTERLINE OF WALL, U.N.O. IF A DIMENSION IS SHOWN, THIS WILL NOT INDICATE DISTANCE FROM FACE OF GYPSUM BOARD TO EDGE.
  - CONTRACTOR SHALL VERIFY ALL DIMENSIONS TO ENSURE PROPER FIT PRIOR TO MANUFACTURING ANY MILLWORK OR ORDERING ANY SPECIALTY ITEMS OR EQUIPMENT.
  - REFER TO AMERICAN DISABILITIES ACT (A.D.A.) FOR ALL MOUNTING HEIGHTS, DOOR CLEARANCES, ETC.
  - PROVIDE FIRE RATED EXTINGUISHER CABINET WHEN LOCATED IN RATED PARTITION.
  - PROVIDE 3/4" FIRERATED PLYWOOD ON WALLS IN ALL IDF AND MDF ROOMS. COORDINATE WITH ARCHITECT AND OWNER LOCATION AND EXTENT OF INSTALLATION.

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**44TH STREET SKYTRAIN  
CHILDCARE FACILITY**  
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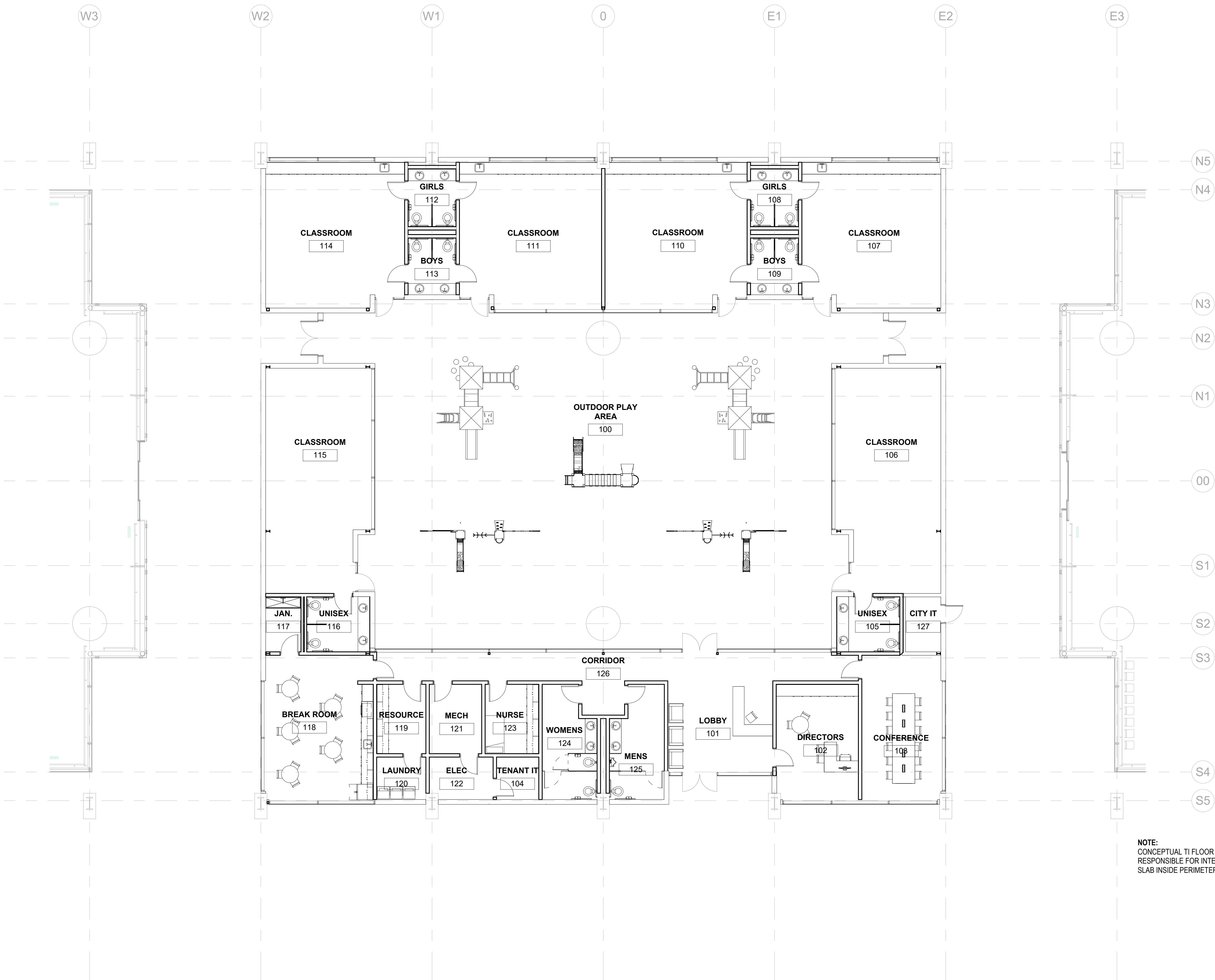
**LEA - ARCHITECTS, LLC**  
1730 EAST NORTHERN AVENUE  
PHOENIX, AZ

ARCHITECTURE INTERIORS CONSTRUCTION MANAGEMENT

date	drawn by	checked	job no.	REVISIONS	NO.	ISSUE	DATE
06/02/23	FM	LEB/J	211021				
SHEET TITLE FLOOR PLAN - SHELL							
SHEMATIC DESIGN							
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**A2.01**





NOTE:  
 CONCEPTUAL TI FLOOR PLAN SHOWN FOR REFERENCE ONLY. TENANT IS RESPONSIBLE FOR INTERIOR TI DELIVERY. SHELL DELIVERY TO REMOVE EXISTING CIP SLAB INSIDE PERIMETER OF BUILDING EXTERIOR WALLS AND OUTDOOR PLAY AREA.

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**44TH STREET SKYTRAIN  
 CHILDCARE FACILITY**  
 44TH STREET  
 PHOENIX, AZ 85034

**LEA - ARCHITECTS, LLC**  
 1730 EAST NORTHERN AVENUE  
 PHOENIX, AZ

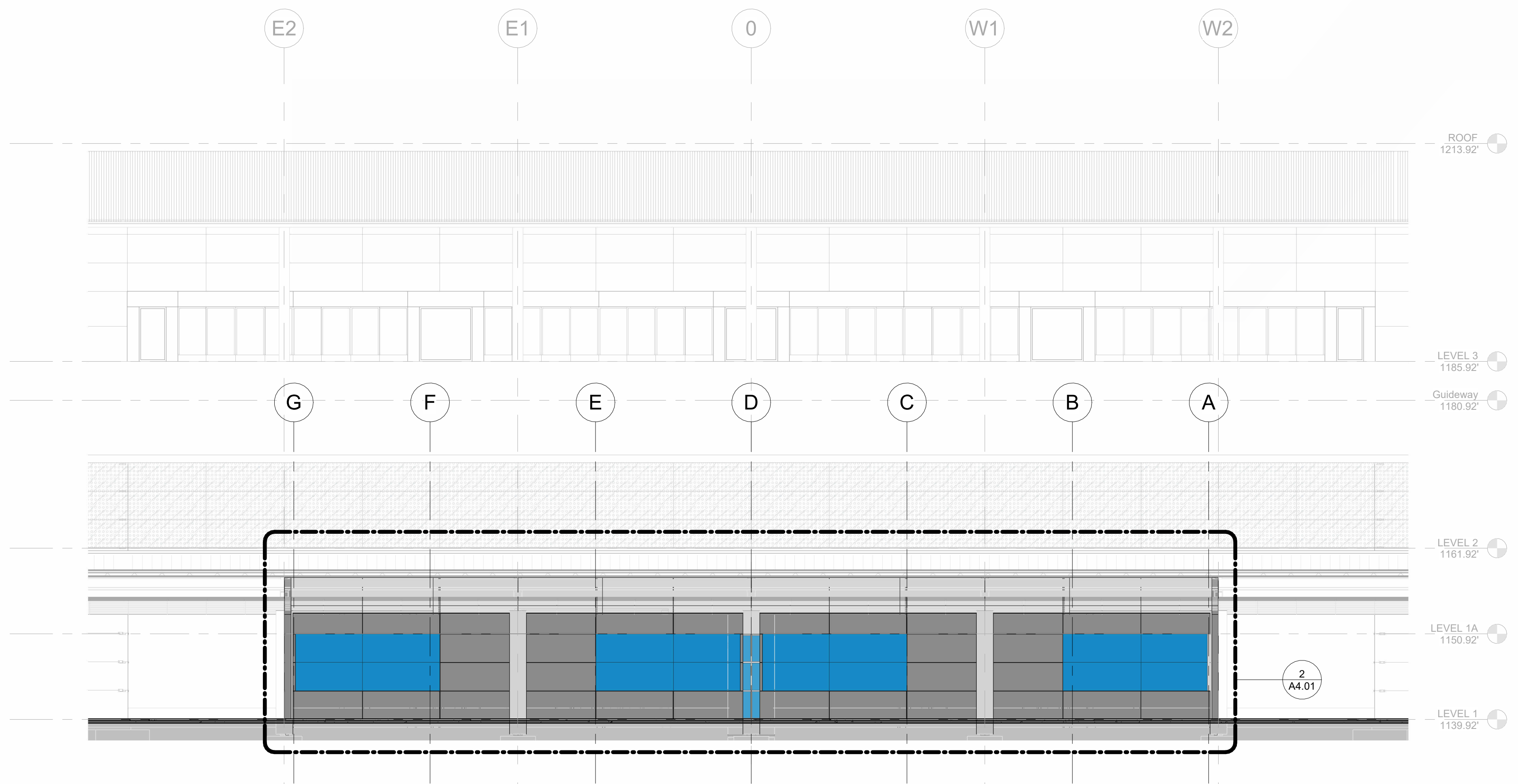
ARCHITECTURE PLANNING INTERIORS CONSTRUCTION MANAGEMENT

date	drawn by	checked	job no.	REVISIONS	DATE
06/02/23	FM	LEA/J	211021	NO. ISSUE	
SHEET TITLE					
FLOOR PLAN - TI					
SCHEMATIC DESIGN					
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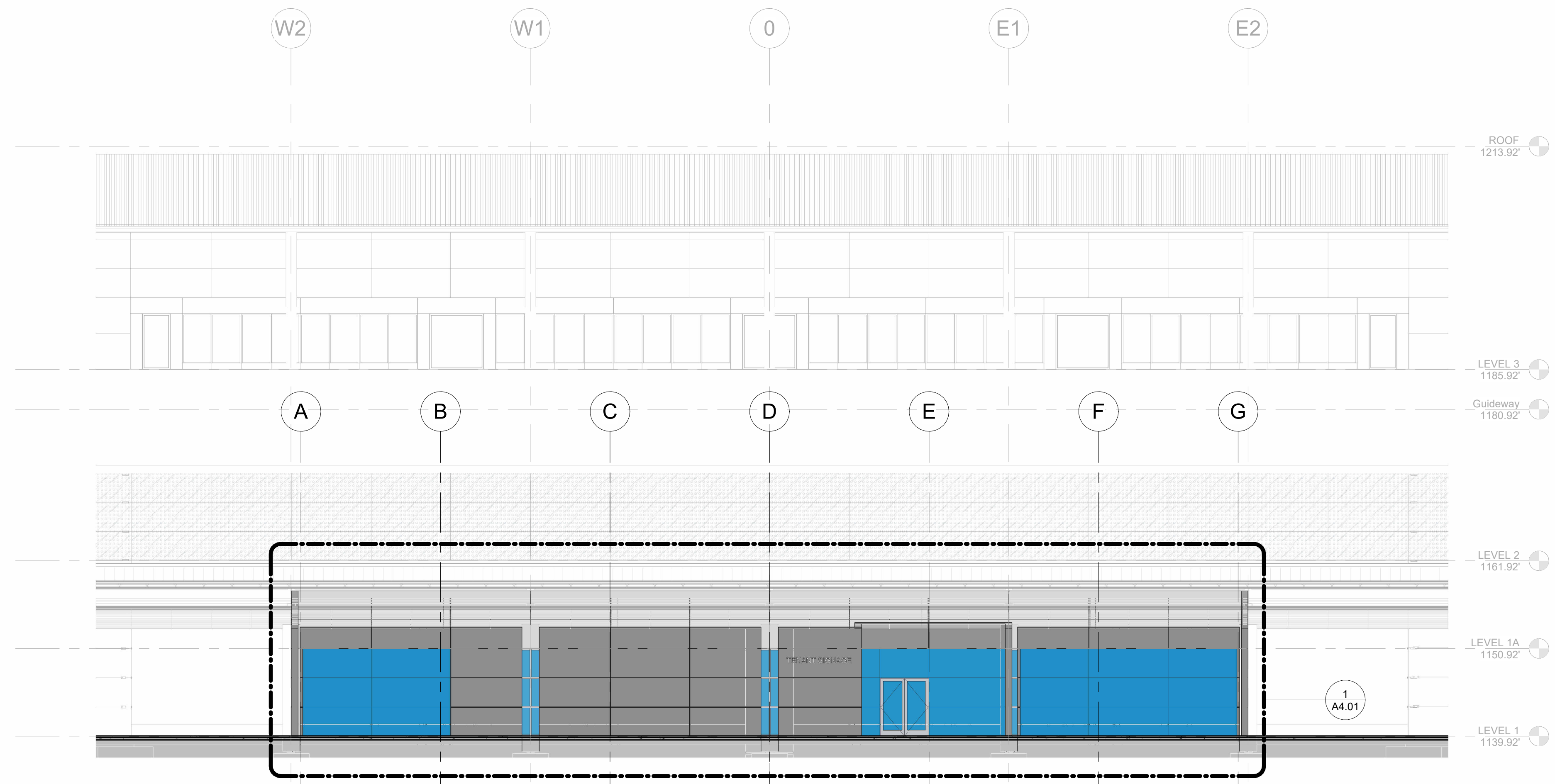
**1 FLOOR PLAN - CONCEPTUAL TI**  
 1/8" = 1'-0"

**A2.02**





**2 BUILDING SECTION**  
1" = 10'-0"



**1 BUILDING SECTION**  
1" = 10'-0"

- MATERIALS LEGEND - EXTERIOR**
- ACM MATCH EXISTING  
Kovach KRS-225 with Kynar 500 Finish (3 Coat: PPGHUC70092FXL)
  - GLAZING MATCH EXISTING  
Solarban 70 (2) Optigray + Clear

SCHEMATIC DESIGN  
PRELIMINARY  
NOT FOR  
CONSTRUCTION,  
BIDDING, OR PERMITTING



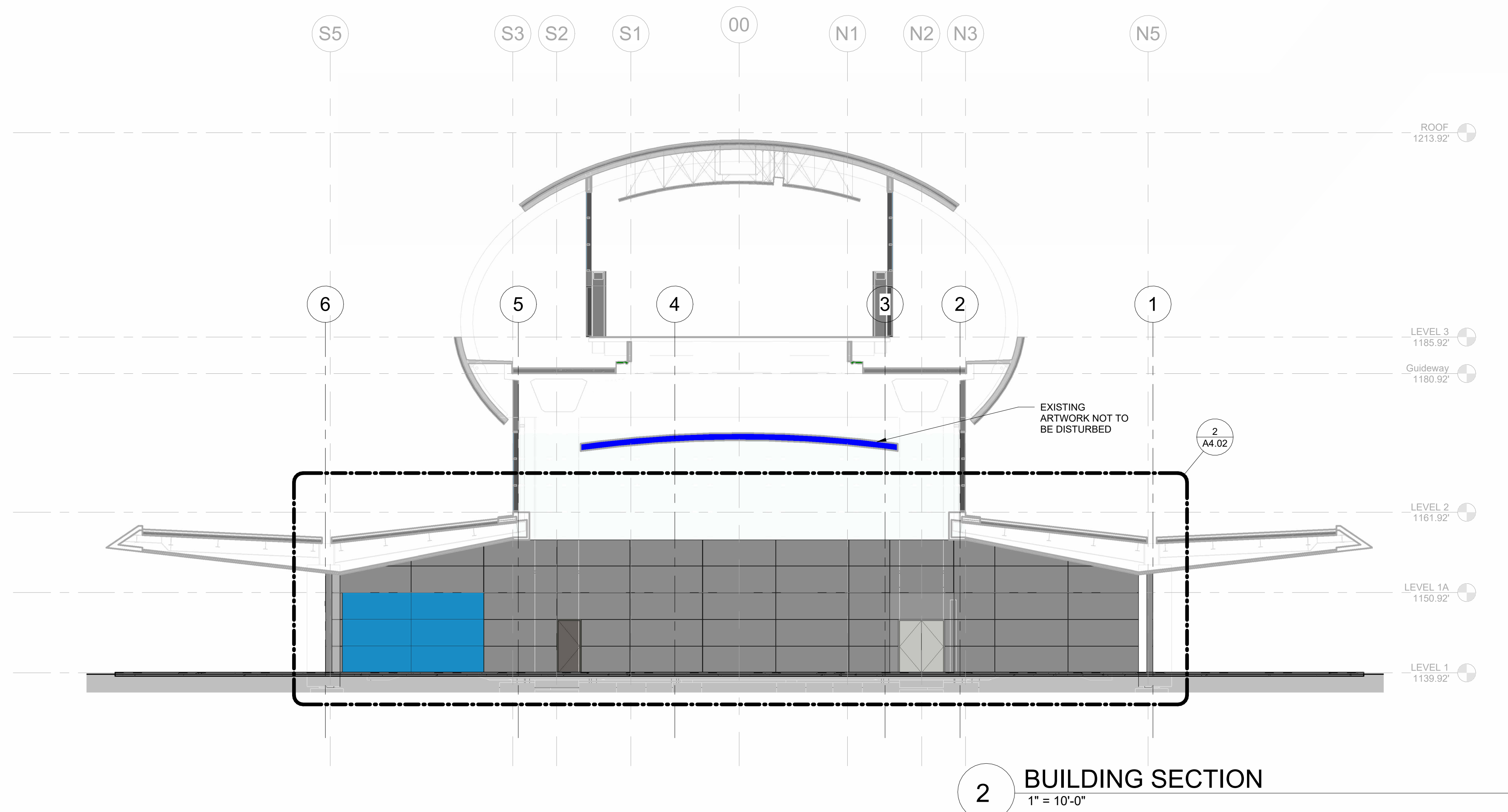
**44TH STREET SKYTRAIN  
CHILDCARE FACILITY**  
44TH STREET  
PHOENIX AZ 850345

ARCHITECTURE PLANNING INTERIORS CONSTRUCTION MANAGEMENT

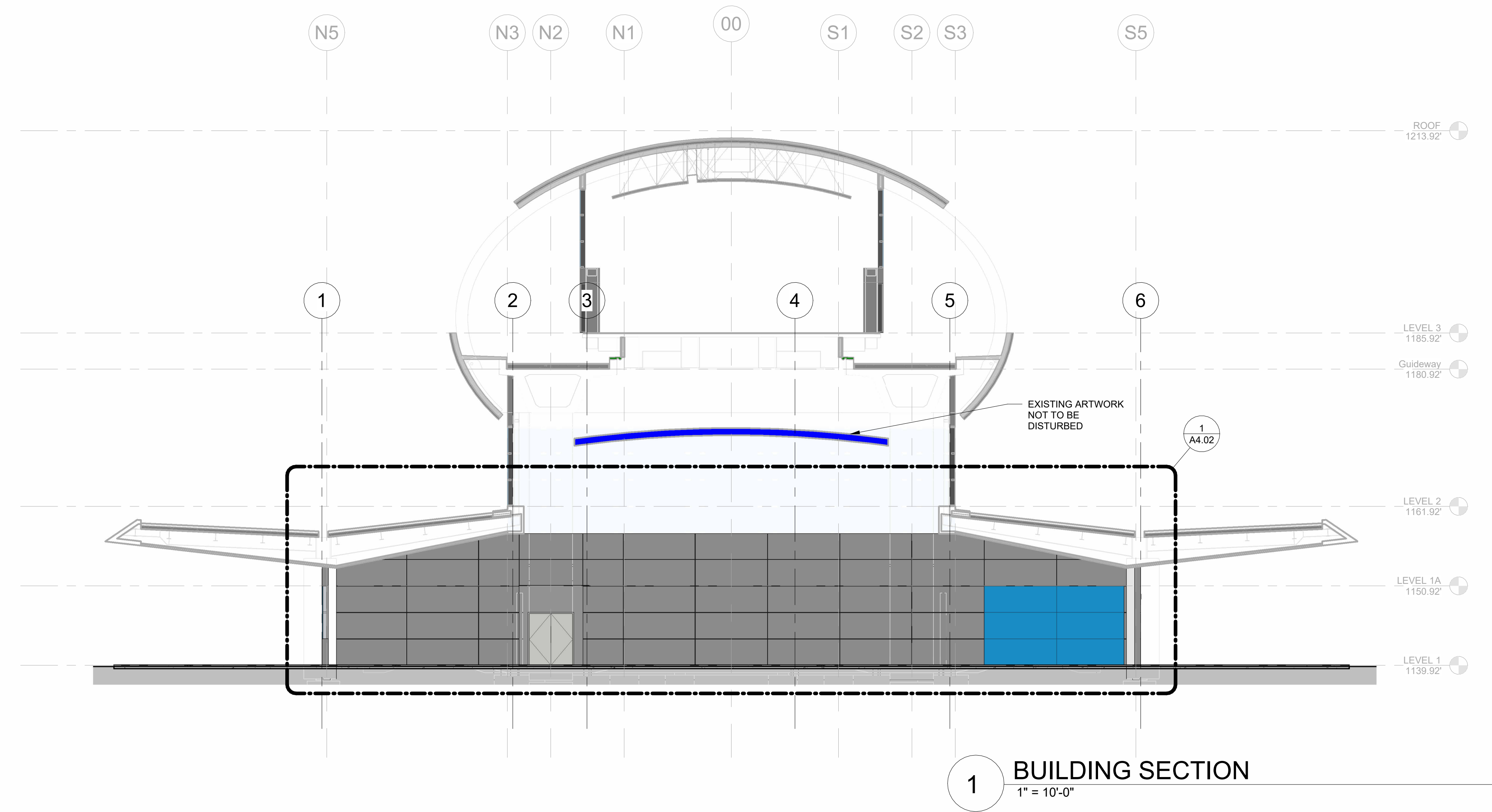
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06/02/23	FM	LEA/J	211021		
SHEET TITLE				DATE	
BUILDING SECTIONS					
SCHEMATIC DESIGN					
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**A3.01**





**2 BUILDING SECTION**  
1" = 10'-0"



**1 BUILDING SECTION**  
1" = 10'-0"

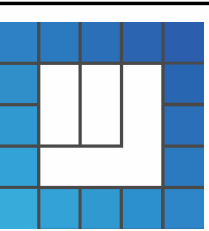
**MATERIALS LEGEND - EXTERIOR**

- ACM**  
MATCH EXISTING  
Kovach KRS-225 with Kynar 500 Finish (3 Coat: PPG#UC70092FXL)
- GLAZING**  
MATCH EXISTING  
Solarban 70 (2) Optigray + Clear

SCHEMATIC DESIGN  
  
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CONSTRUCTION,  
BIDDING, OR PERMITTING



**44TH STREET SKYTRAIN  
CHILDCARE FACILITY**  
44TH STREET  
PHOENIX, AZ 85034

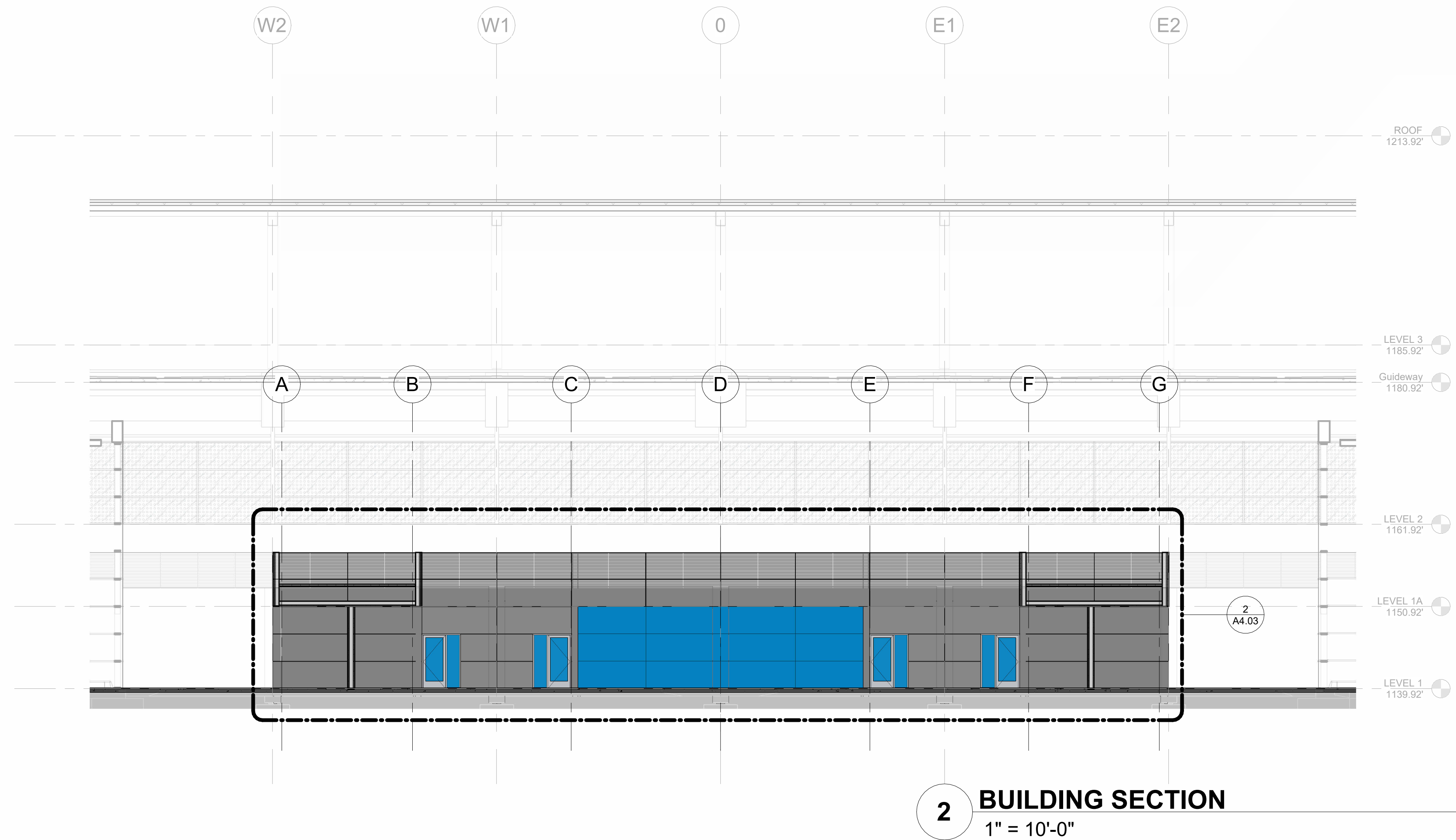


**LEA - ARCHITECTS, LLC**  
1730 EAST NORTHERN AVENUE  
PHOENIX, AZ  
ARCHITECTURE PLANNING INTERIORS CONSTRUCTION MANAGEMENT

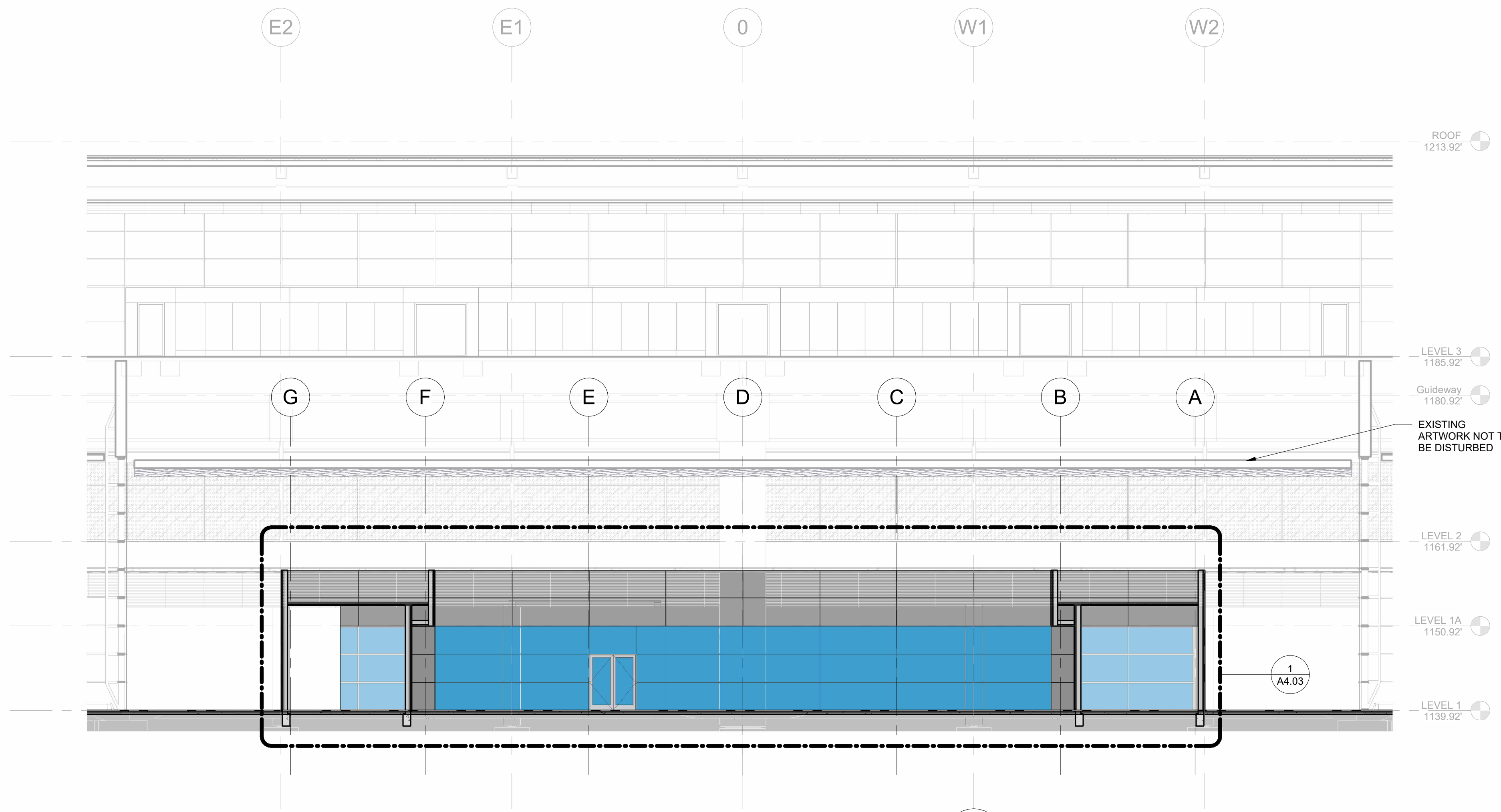
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				NO.	ISSUE
06/02/23	FM	LEA/J	211021		
SHEET TITLE				DATE	
BUILDING SECTIONS					
SCHEMATIC DESIGN					
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**A3.02**





**2 BUILDING SECTION**  
1" = 10'-0"



**1 BUILDING SECTION**  
1" = 10'-0"

**MATERIALS LEGEND - EXTERIOR**

- ACM**  
MATCH EXISTING  
Kovach KRS-225 with Kynar 500 Finish (3 Coat: PPG#UC70092FXL)
- GLAZING**  
MATCH EXISTING  
Solarban 70 (2) Optigray + Clear

SCHEMATIC DESIGN  
  
PRELIMINARY  
NOT FOR  
CONSTRUCTION,  
BIDDING, OR PERMITTING

**44TH STREET SKYTRAIN  
CHILDCARE FACILITY**  
44TH STREET  
PHOENIX, AZ 85034

**LEA - ARCHITECTS, LLC**  
1730 EAST NORTHERN AVENUE  
PHOENIX, AZ

PHOENIX SKY HARBOR  
INTERNATIONAL AIRPORT

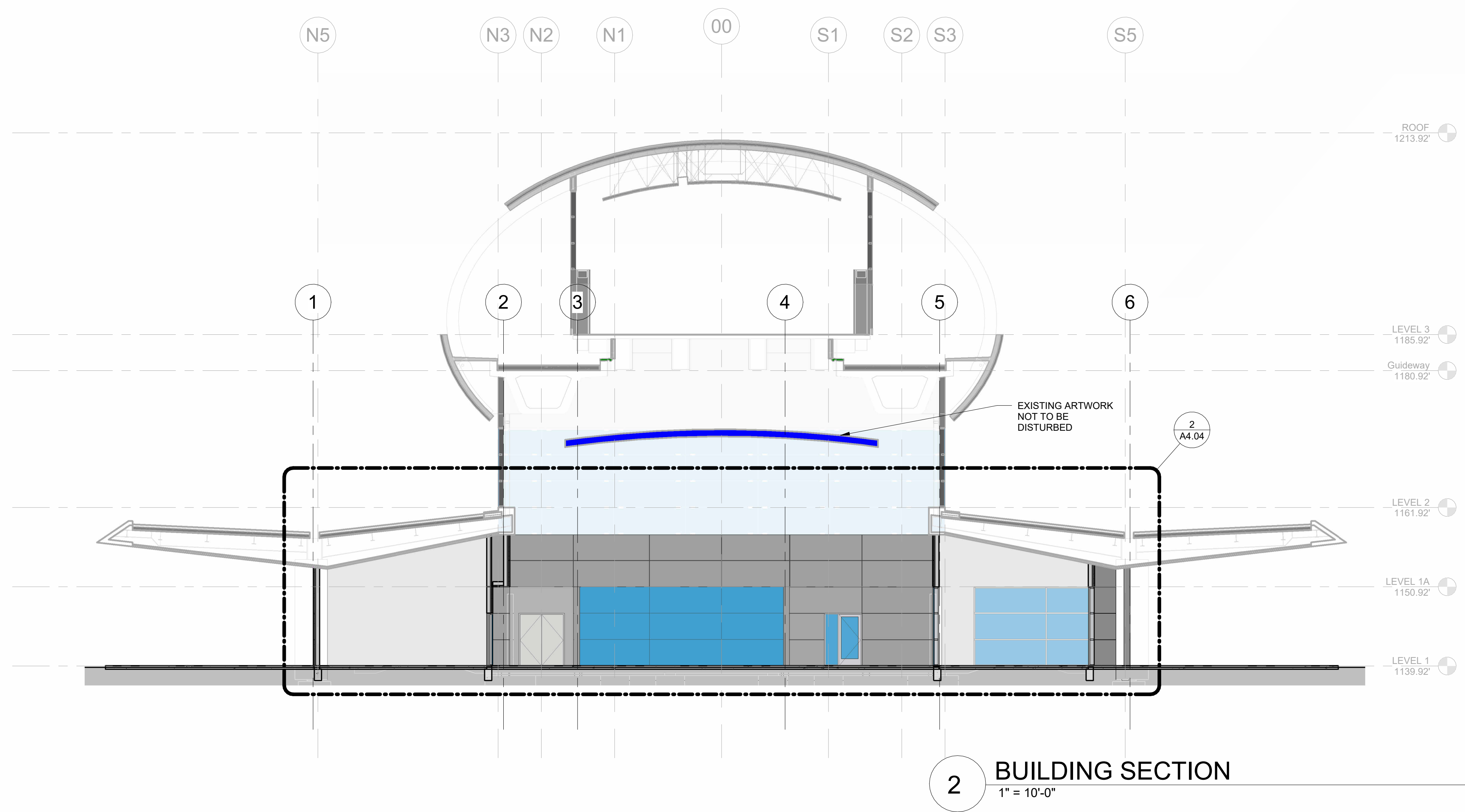
CONSTRUCTION MANAGEMENT

ARCHITECTURE    PLANNING    INTERIORS

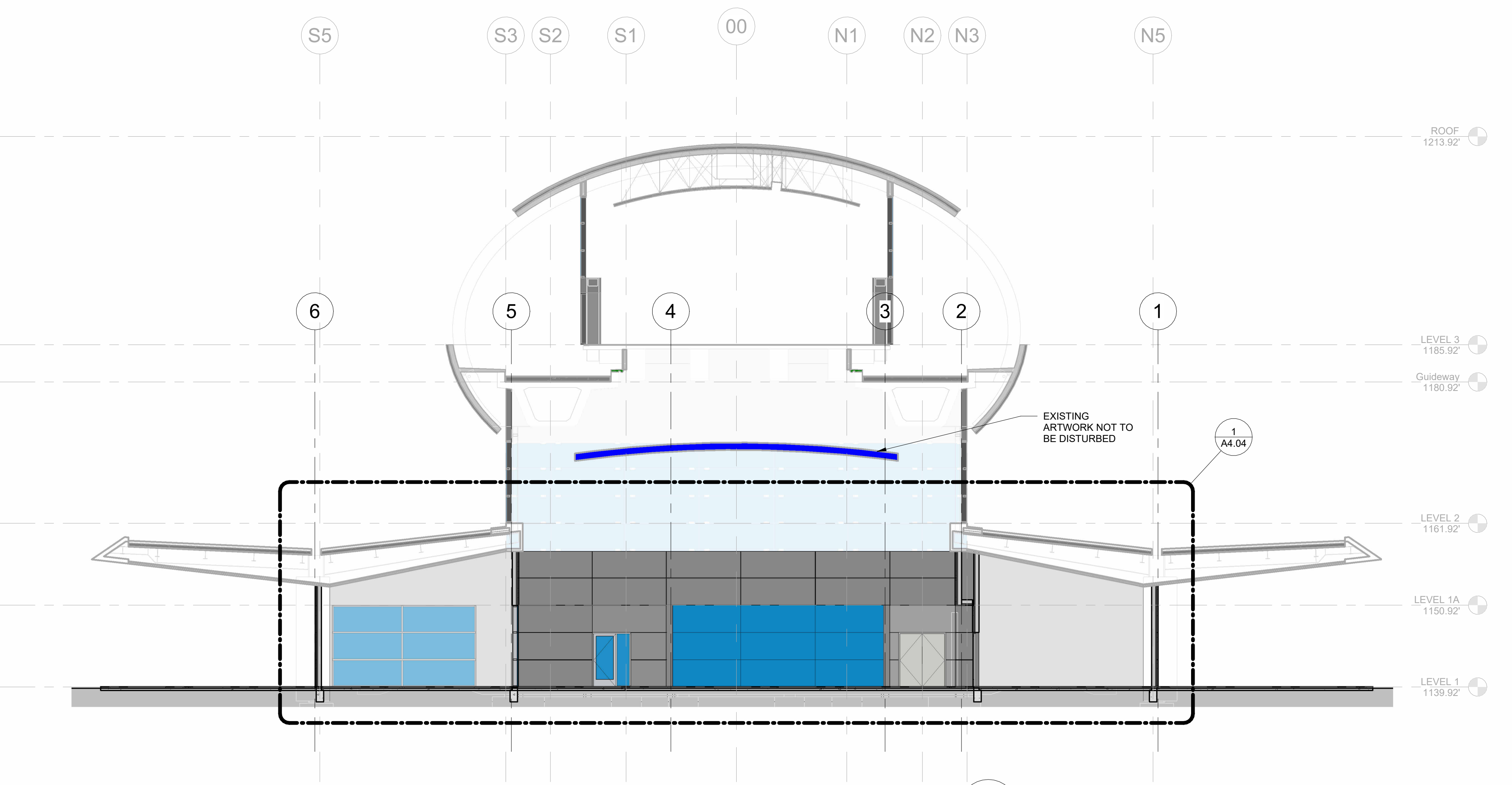
date	drawn by	checked	job no.	REVISIONS	
				NO.	DATE
06/08/23	FM	LEA/J	211021		
SHEET TITLE BUILDING SECTIONS					
SCHEMATIC DESIGN					
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A3.03





**2 BUILDING SECTION**  
1" = 10'-0"



**1 BUILDING SECTION**  
1" = 10'-0"

**MATERIALS LEGEND - EXTERIOR**

	<b>ACM</b> MATCH EXISTING Kovach KRS-225 with Kynar 500 Finish (3 Coat: PPG#UC70092FXL)
	<b>GLAZING</b> MATCH EXISTING Solarban 70 (2) Optigray + Clear

**SCHEMATIC DESIGN**

PRELIMINARY  
NOT FOR  
CONSTRUCTION,  
BIDDING, OR PERMITTING

**PHX**  
PHOENIX SKY HARBOR  
INTERNATIONAL AIRPORT

**44TH STREET SKYTRAIN  
CHILDCARE FACILITY**  
44th STREET  
PHOENIX, AZ 85034

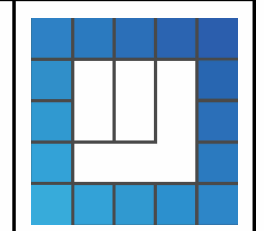
**LEA - ARCHITECTS, LLC**  
1730 EAST NORTHERN AVENUE  
PHOENIX, AZ

ARCHITECTURE PLANNING INTERIORS CONSTRUCTION MANAGEMENT

date	drawn by	checked	job no.	REVISIONS	
				NO.	ISSUE
06/02/23	FM	LEA/J	211021		
SHEET TITLE				DATE	
BUILDING SECTIONS					
SCHEMATIC DESIGN					
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**A3.04**





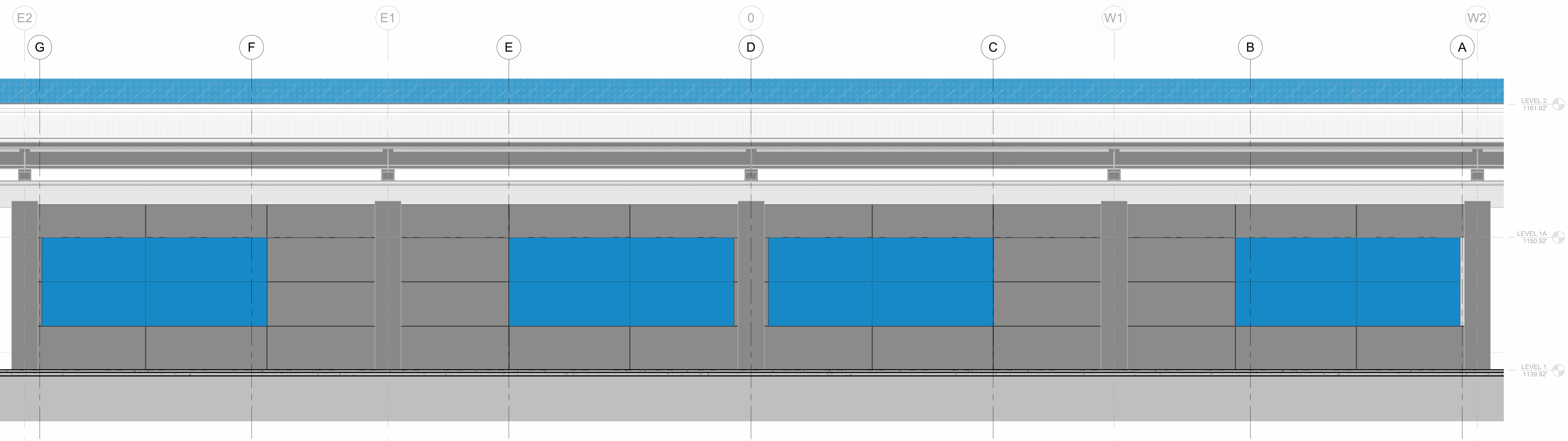
**44TH STREET SKYTRAIN  
CHILDCARE FACILITY**  
44TH STREET  
PHOENIX, AZ 85034

**LEA - ARCHITECTS, LLC**  
1730 EAST NORTHERN AVENUE  
PHOENIX, AZ  
ARCHITECTURE PLANNING INTERIORS CONSTRUCTION MANAGEMENT

DATE	REVISIONS		JOB NO. 211021
	NO.	ISSUE	

date: 06/02/23  
 drawn by: FM  
 checked by: LBRJ  
 SHEET TITLE: EXTERIOR ELEVATIONS  
 SCHEMATIC DESIGN  
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**A4.01**

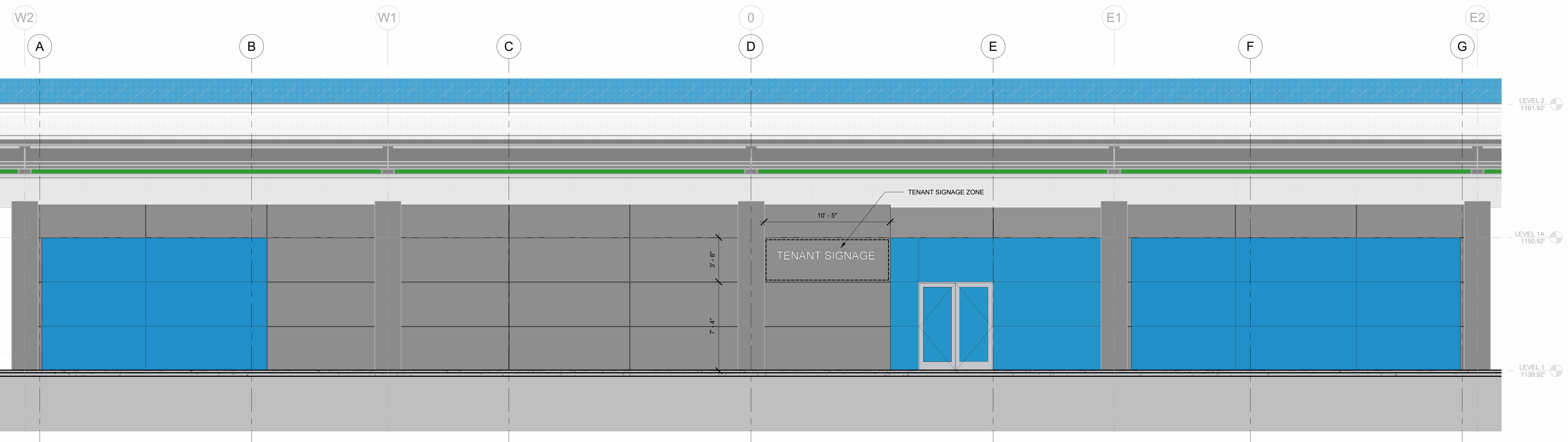


**2 NORTH EXTERIOR ELEVATION**  
1/4" = 1'-0"

**MATERIALS LEGEND - EXTERIOR**

**ACM**  
MATCH EXISTING  
Kovach KRS-225 with Kynar 500 Finish (3 Coat: PPG#UC70092FXL)

**GLAZING**  
MATCH EXISTING  
Solarban 70 (2) Optigray + Clear



**1 SOUTH EXTERIOR ELEVATION**  
1/4" = 1'-0"

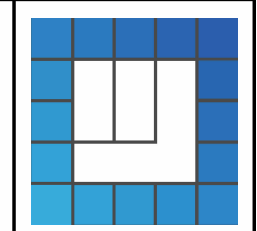


SCHEMATIC DESIGN

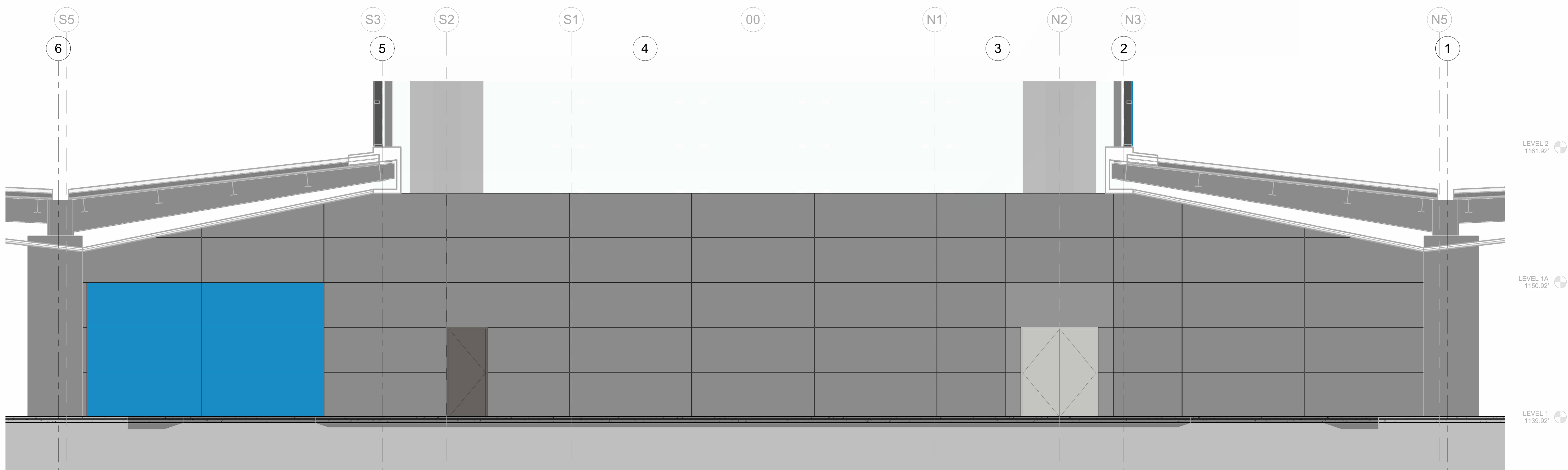
PRELIMINARY  
NOT FOR  
CONSTRUCTION,  
BIDDING, OR PERMITTING



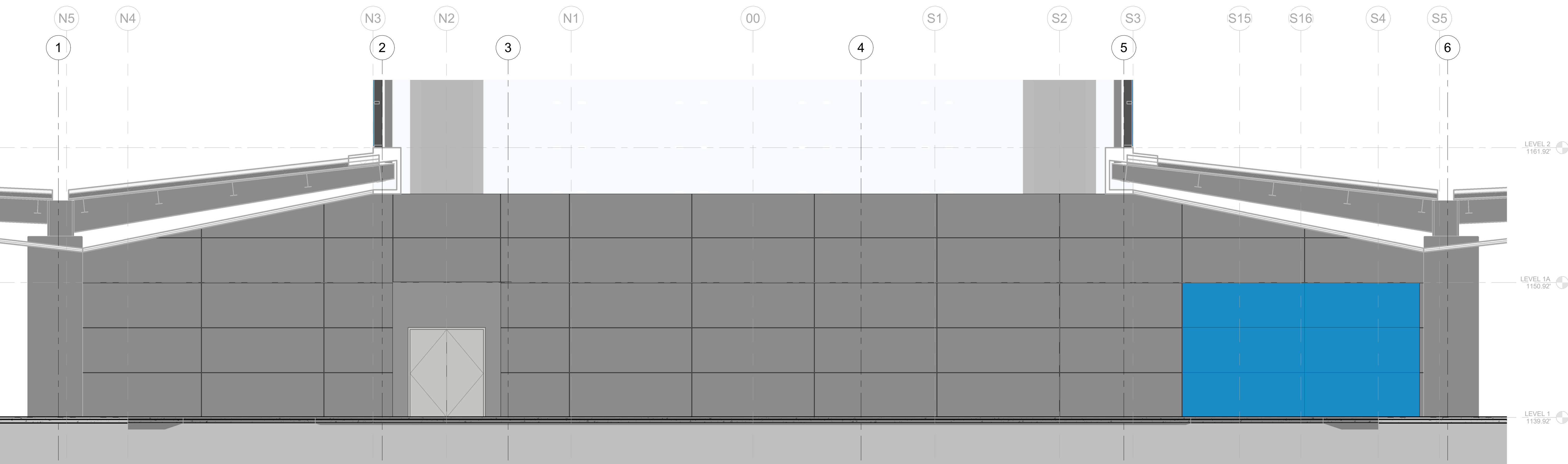
**44TH STREET SKYTRAIN  
CHILDCARE FACILITY**  
44TH STREET  
PHOENIX, AZ 85034



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1730 EAST NORTHERN AVENUE  
PHOENIX, AZ  
ARCHITECTURE PLANNING INTERIORS CONSTRUCTION MANAGEMENT



**2 EAST EXTERIOR ELEVATION**  
1/4" = 1'-0"



**1 WEST EXTERIOR ELEVATION**  
1/4" = 1'-0"

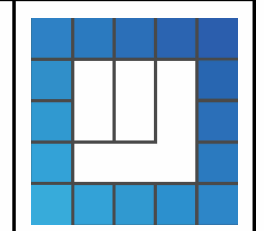
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SHEET TITLE				DATE	
EXTERIOR ELEVATIONS					
SCHEMATIC DESIGN					
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**A4.02**



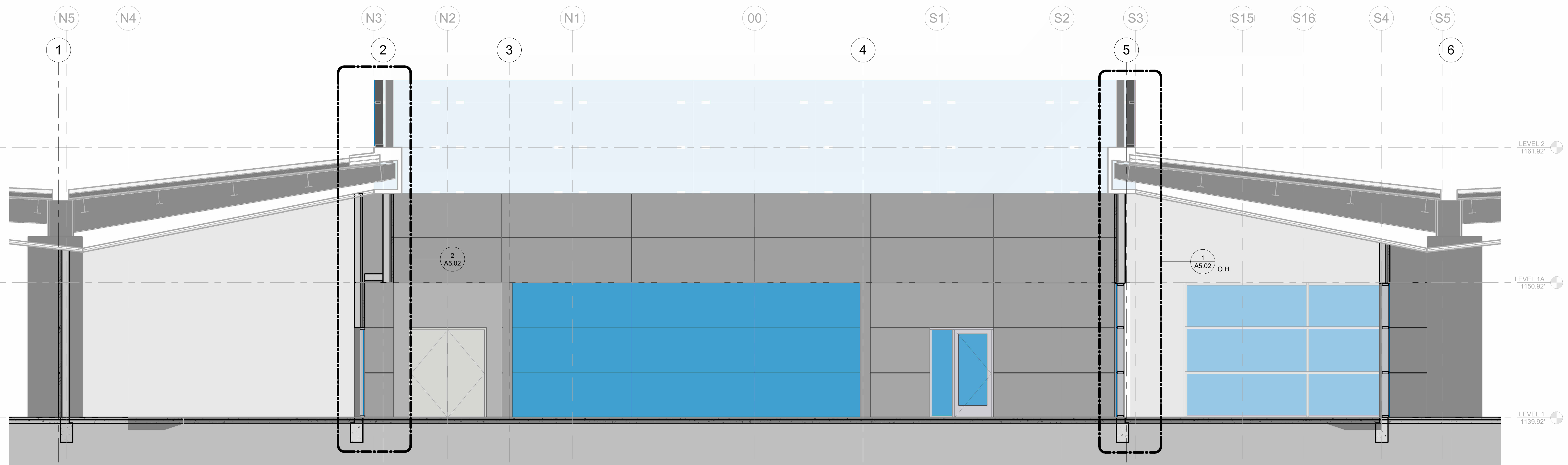






**44TH STREET SKYTRAIN  
CHILDCARE FACILITY**  
44TH STREET  
PHOENIX, AZ 85034

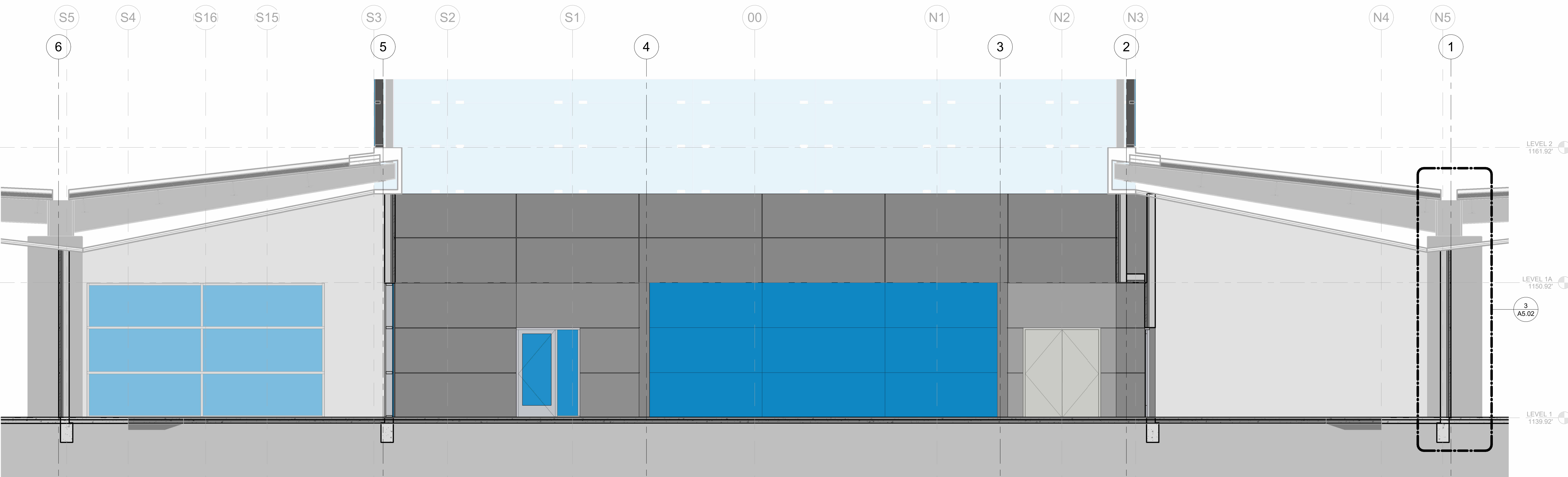
**LEA - ARCHITECTS, LLC**  
1730 EAST NORTHERN AVENUE  
PHOENIX, AZ  
ARCHITECTURE PLANNING INTERIORS CONSTRUCTION MANAGEMENT



**MATERIALS LEGEND - EXTERIOR**

- ACM**  
MATCH EXISTING  
Kovach KRS-Z25 with Kynar 500 Finish (3 Coat:  
PPG#UC70092FXL)
- GLAZING**  
MATCH EXISTING  
Solarban 70 (2) Optigray + Clear

**2 EAST COURTYARD ELEVATION**  
1/4" = 1'-0"



**1 WEST COURTYARD ELEVATION**  
1/4" = 1'-0"

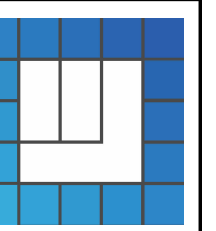
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06/02/23	FM	LEA/J	211021	NO. ISSUE	
SHEET TITLE EXTERIOR ELEVATIONS					
SCHEMATIC DESIGN					
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**A4.04**

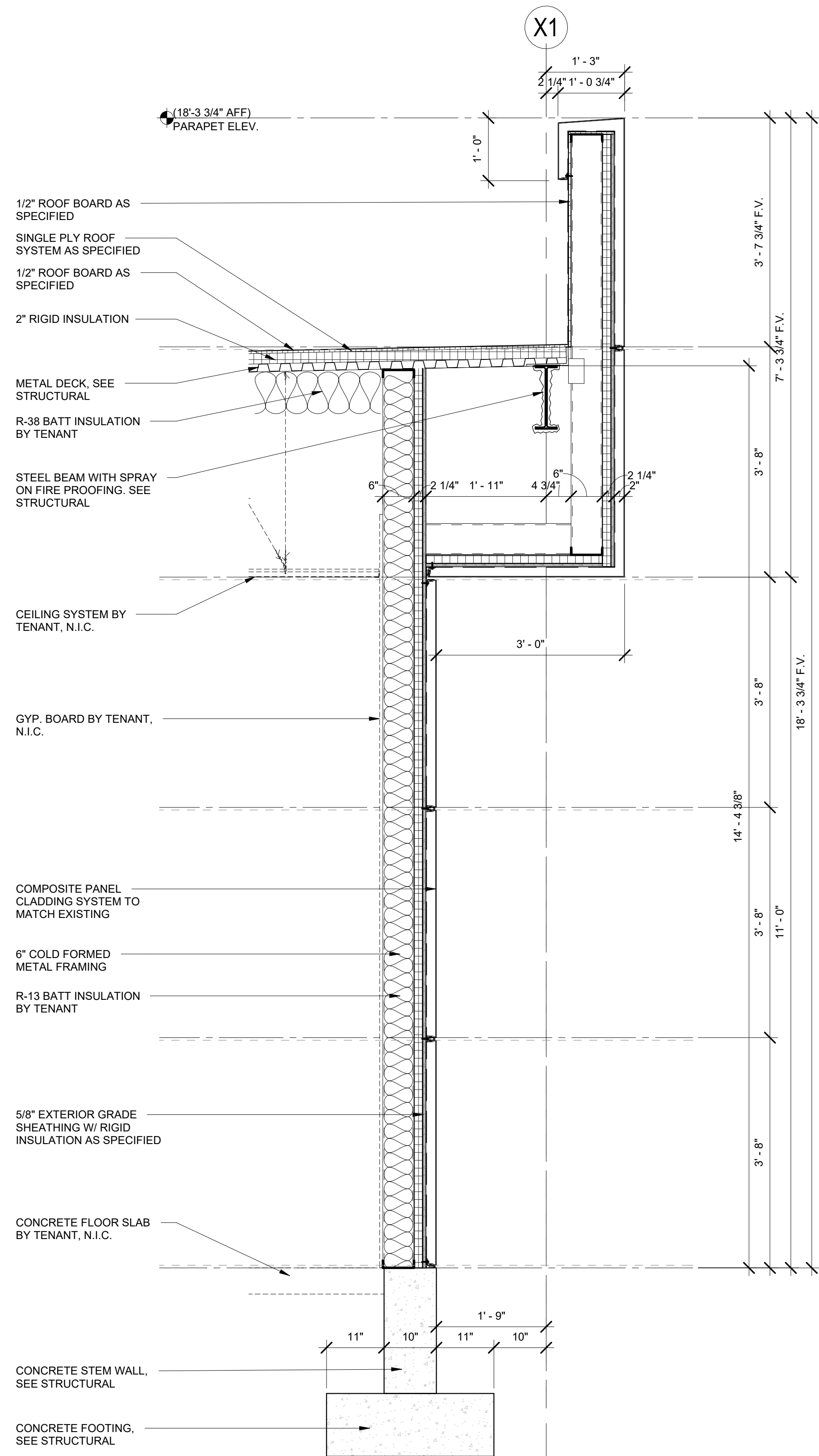




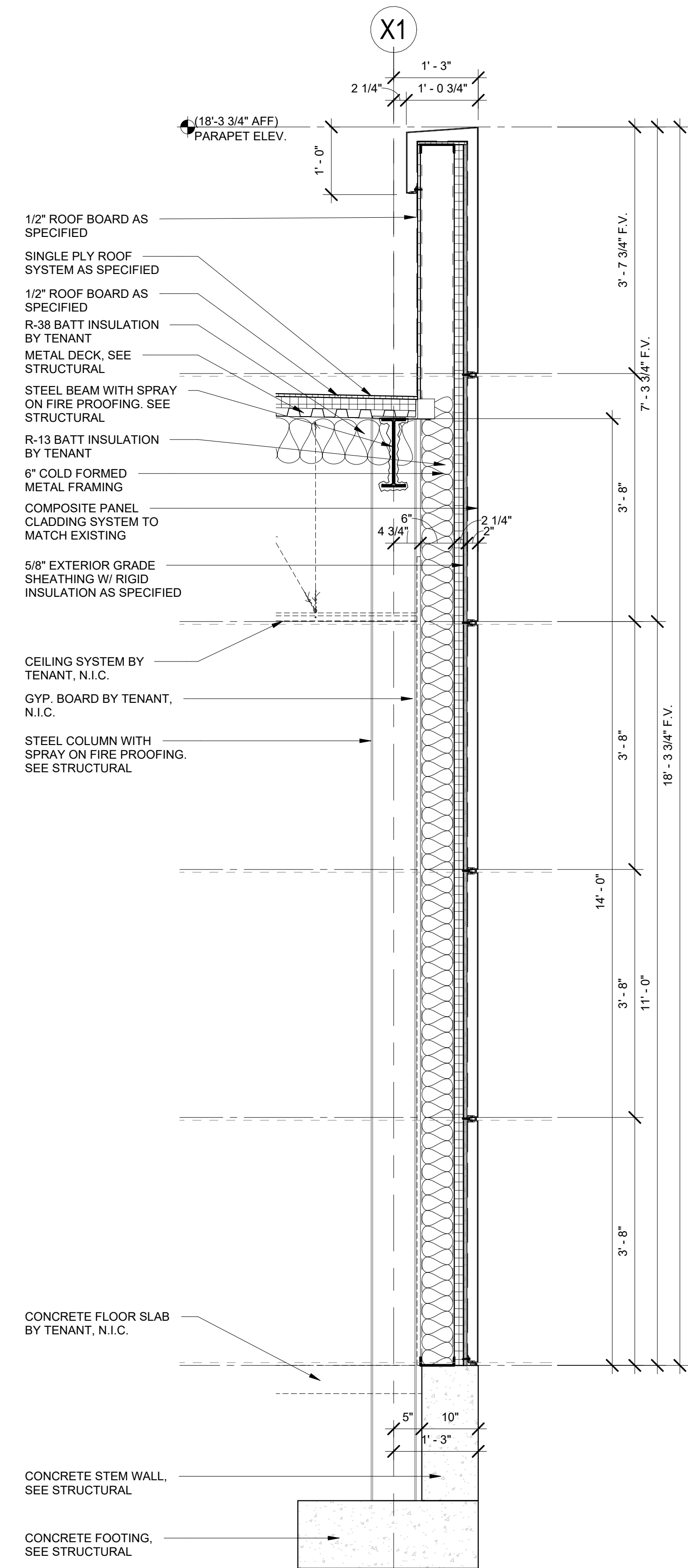
**44TH STREET SKYTRAIN  
CHILDCARE FACILITY**  
44TH STREET  
PHOENIX AZ 85034S



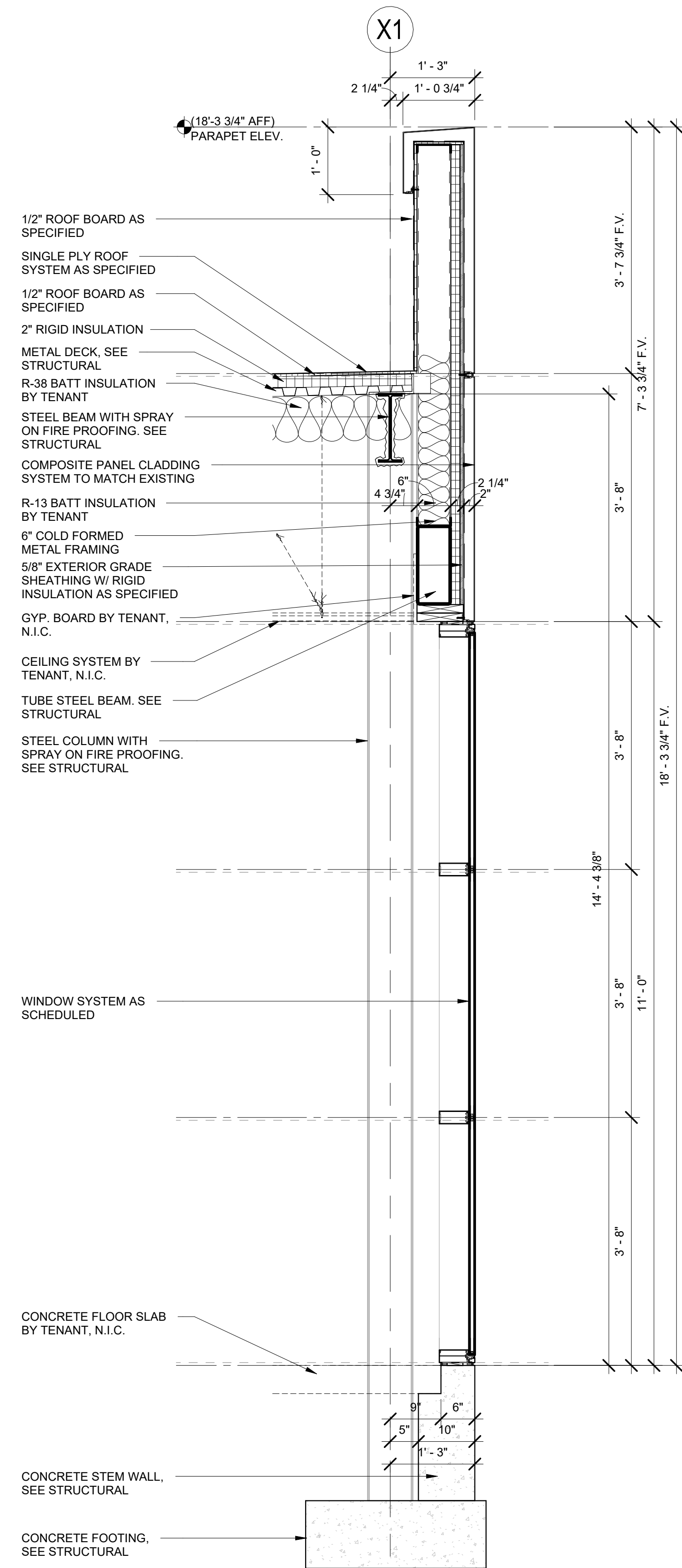
**LEA - ARCHITECTS, LLC**  
1730 EAST NORTHERN AVENUE  
PHOENIX, AZ  
ARCHITECTURE PLANNING INTERIORS CONSTRUCTION MANAGEMENT



**3 WALL SECTION**  
3/4" = 1'-0"



**2 WALL SECTION**  
3/4" = 1'-0"



**1 WALL SECTION**  
3/4" = 1'-0"

date	drawn by	checked	job no.	REVISIONS	
				NO.	ISSUE
06/02/23	FM	LEB/J	211021		
SHEET TITLE				DATE	
WALL SECTIONS					
SCHEMATIC DESIGN					
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**A5.01**

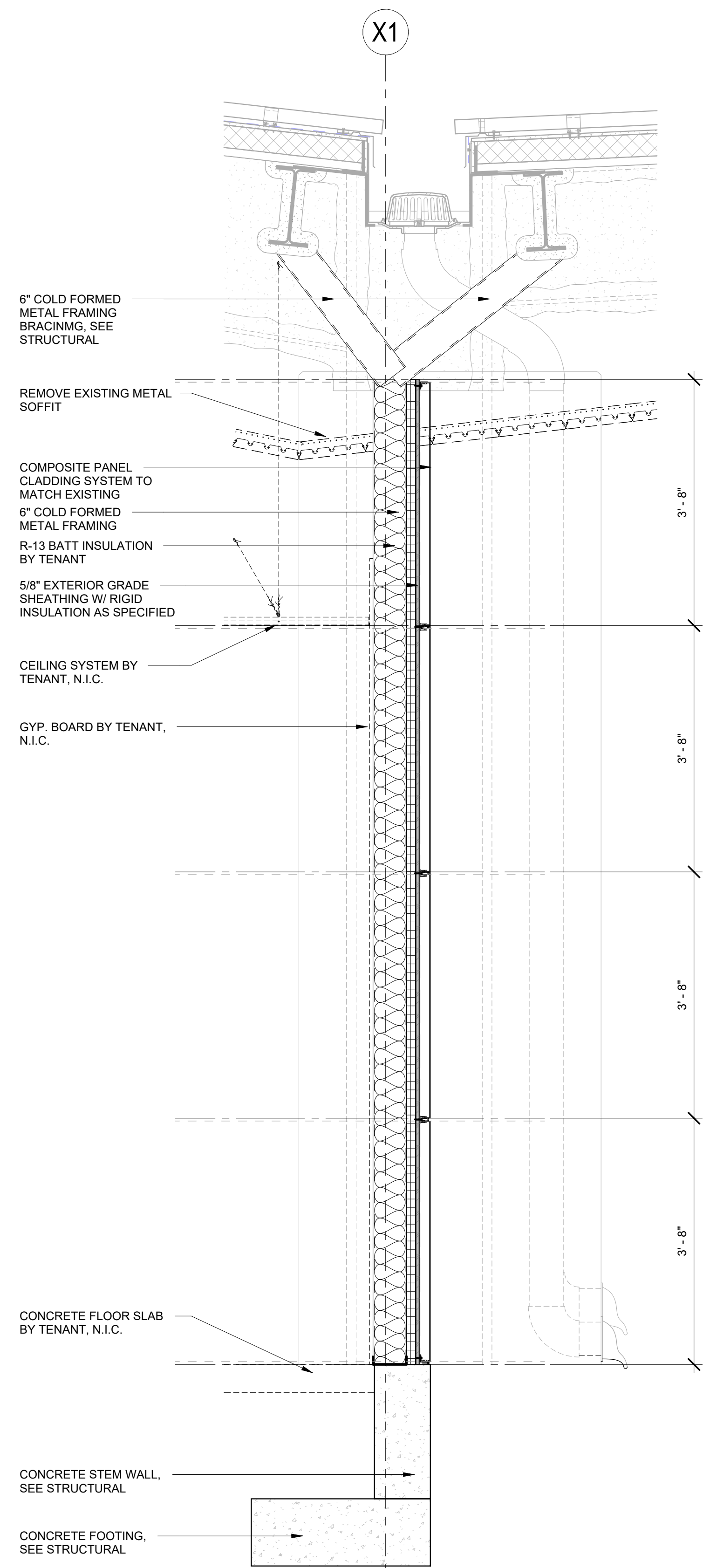


**44TH STREET SKYTRAIN  
CHILDCARE FACILITY**  
44th STREET  
PHOENIX AZ 85034

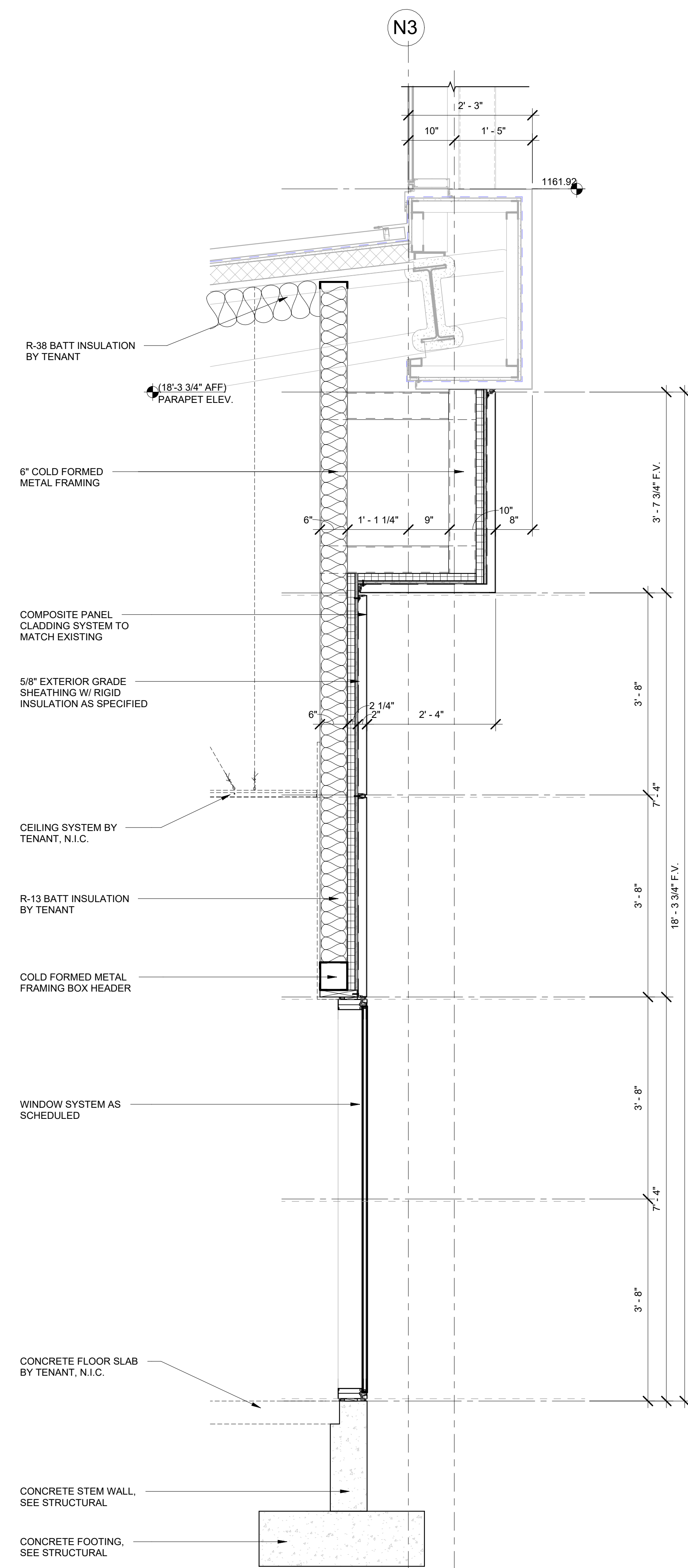
**LEA - ARCHITECTS, LLC**  
1730 EAST NORTHERN AVENUE  
PHOENIX, AZ

ARCHITECTURE PLANNING INTERIORS CONSTRUCTION MANAGEMENT

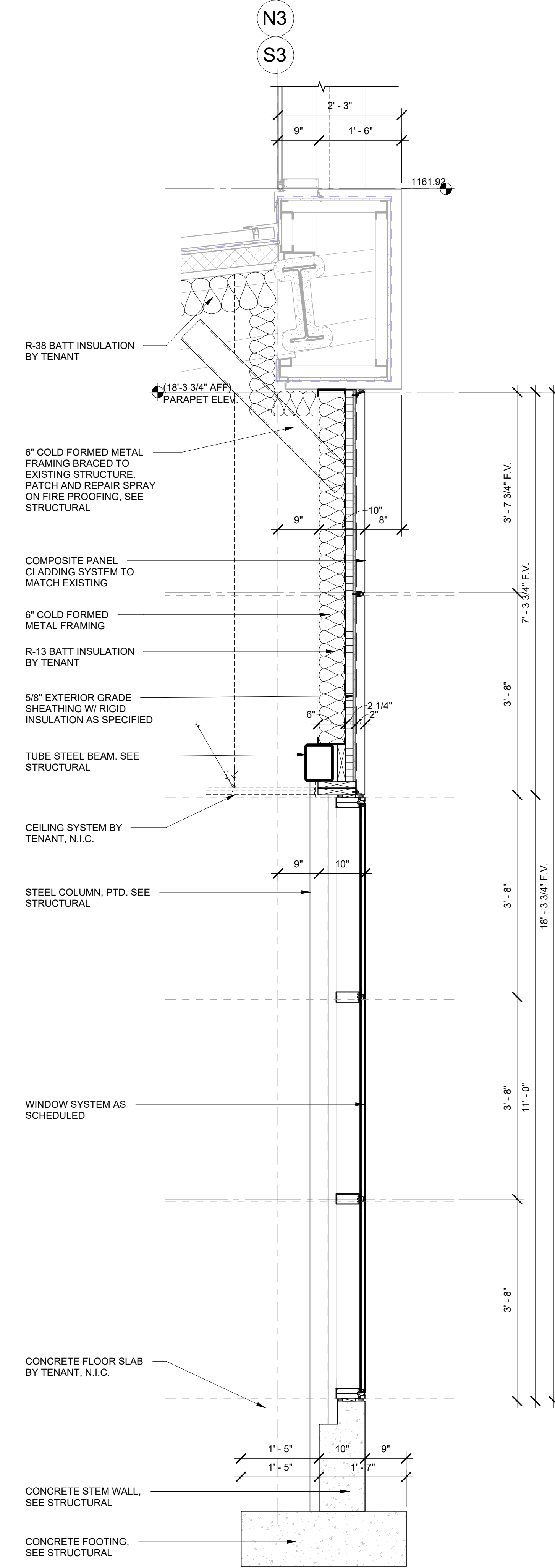
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06/02/23	FM	LEA/J	211021		
SHEET TITLE				DATE	
WALL SECTIONS					
SCHEMATIC DESIGN					
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**3** WALL SECTION  
3/4" = 1'-0"



**2** WALL SECTION  
3/4" = 1'-0"



**1** WALL SECTION  
3/4" = 1'-0"



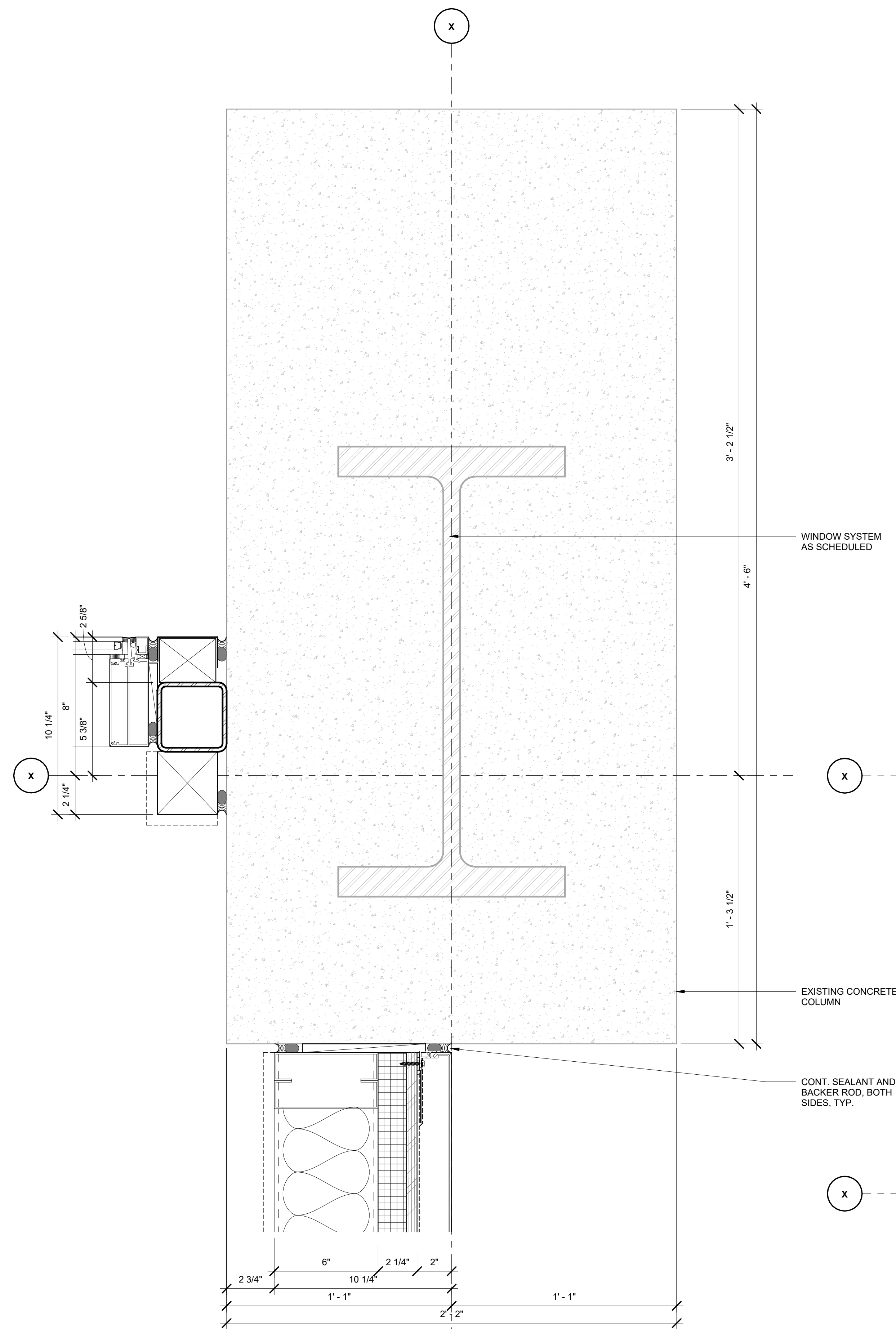
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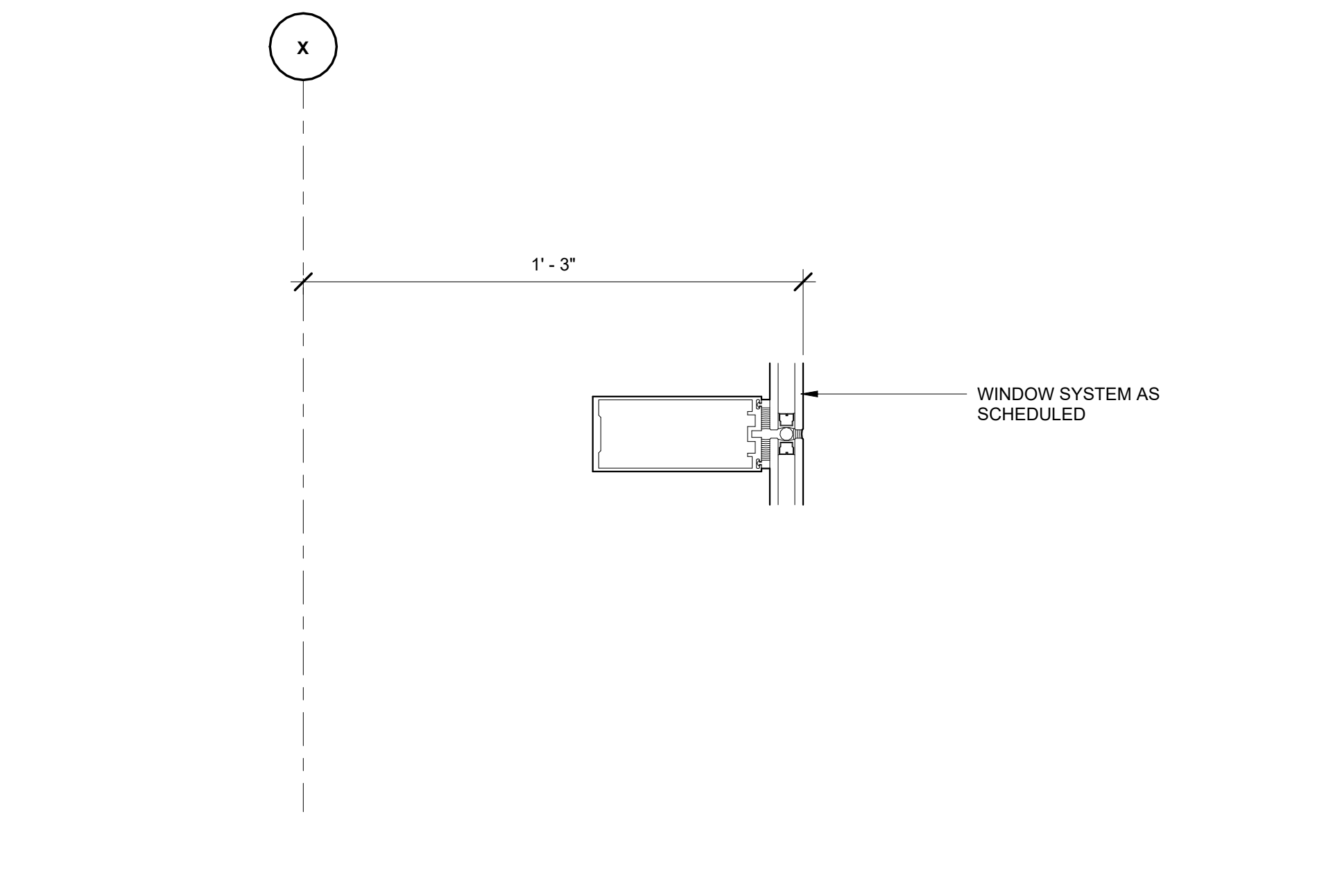
**44TH STREET SKYTRAIN  
 CHILDCARE FACILITY**  
 44TH STREET  
 PHOENIX, AZ 85034

**LEA - ARCHITECTS, LLC**  
 1730 EAST NORTHERN AVENUE  
 PHOENIX, AZ

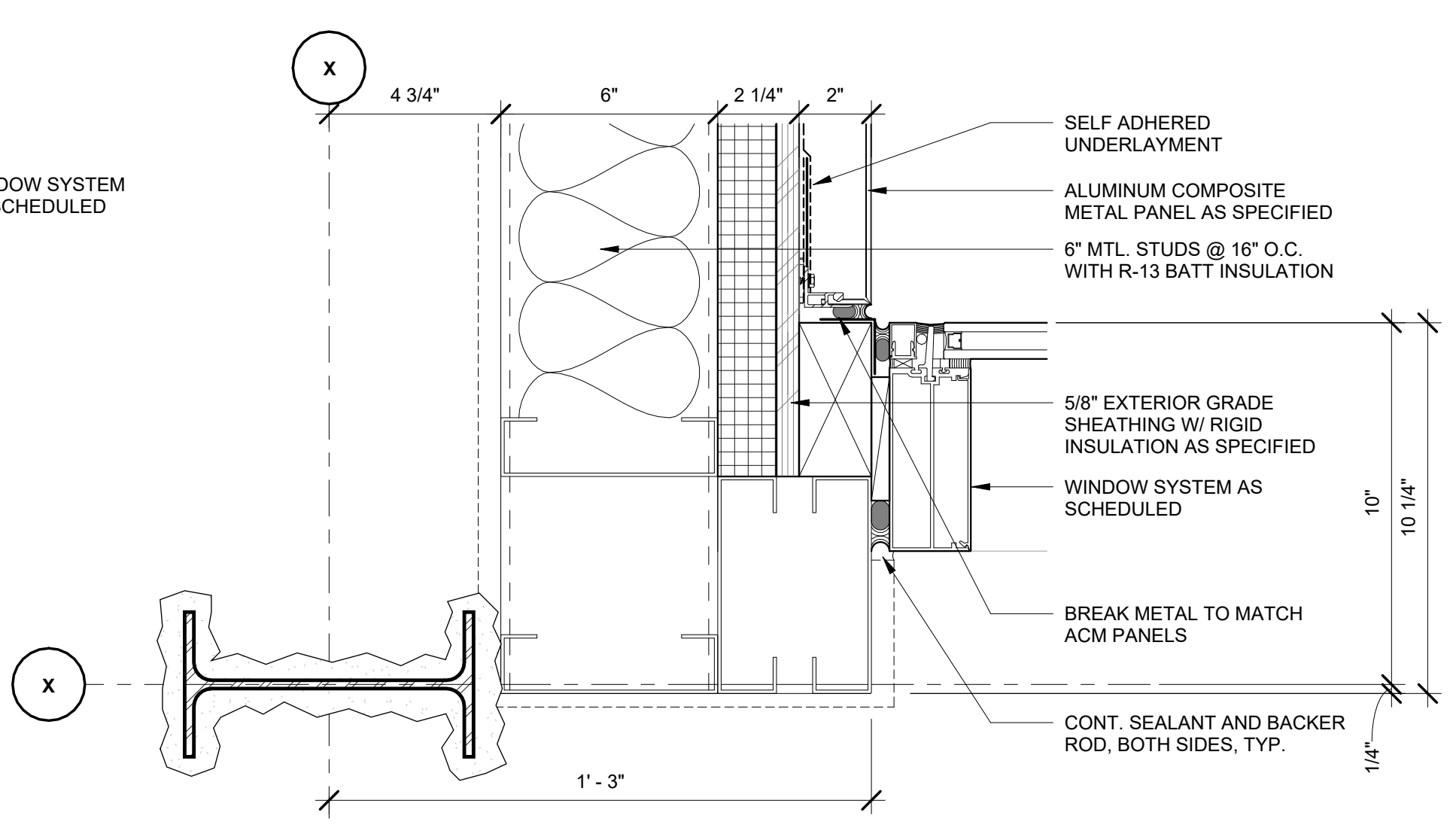
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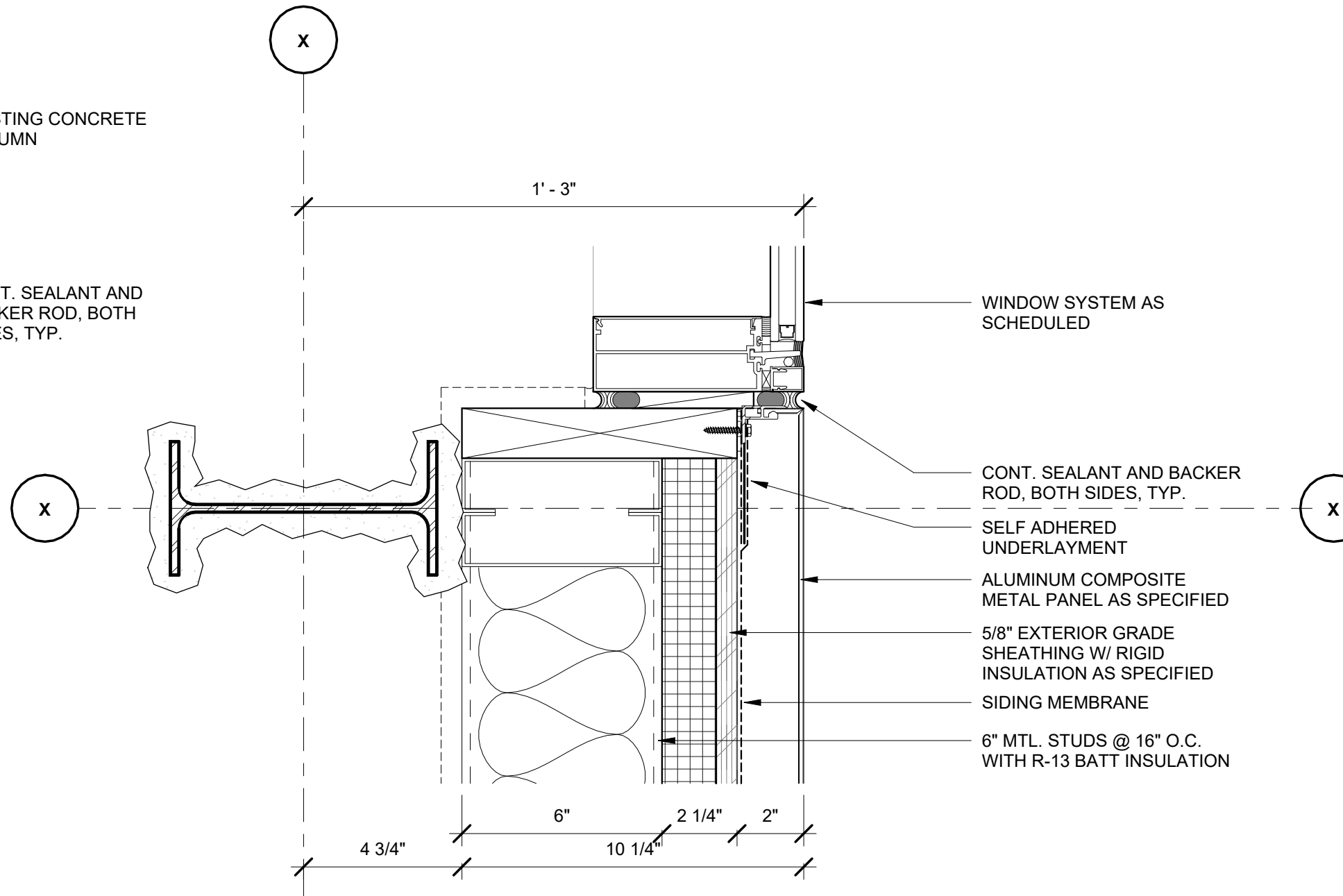
**7 WINDOW DETAILS**  
 3" = 1'-0"



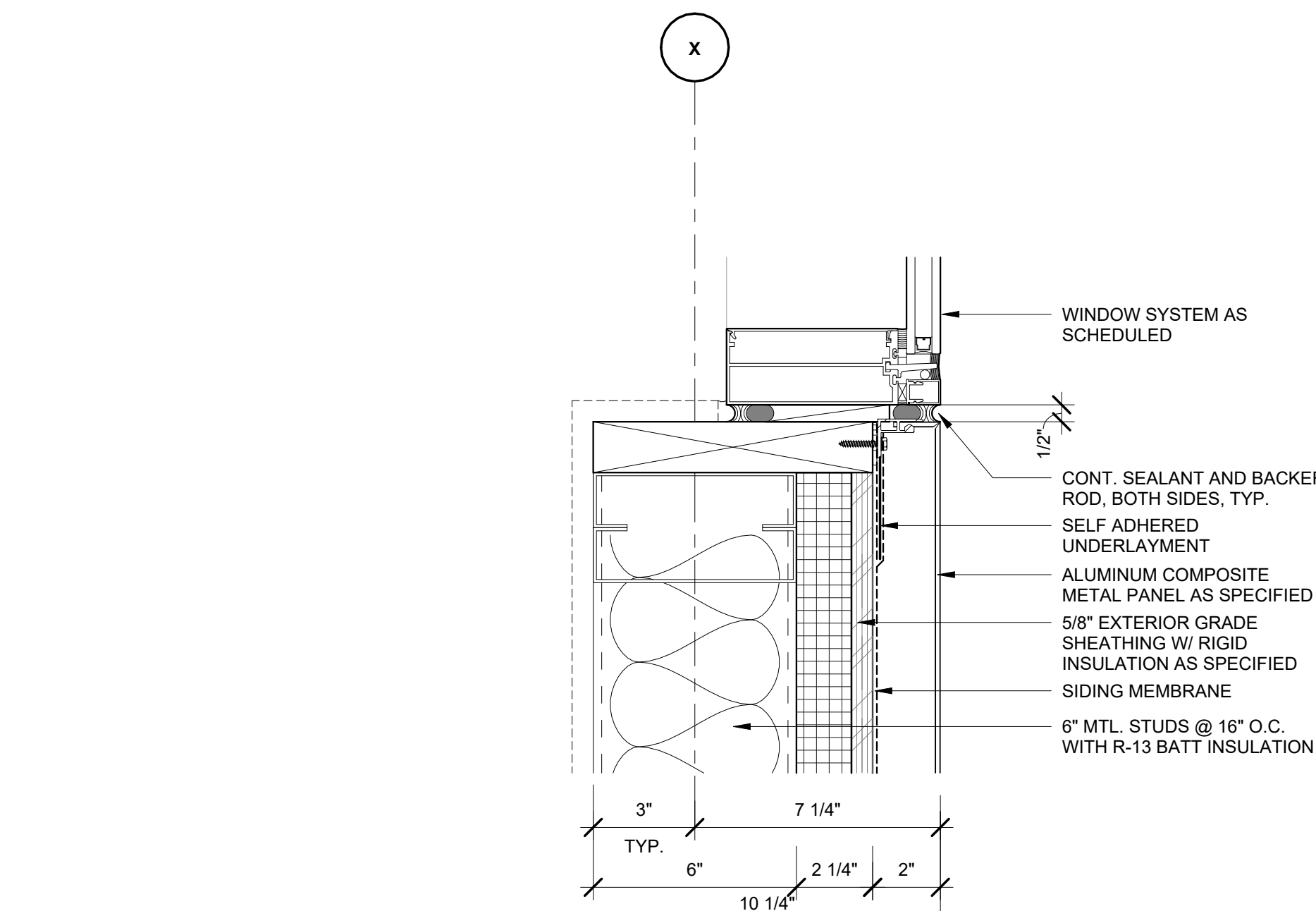
**6 WINDOW DETAILS**  
 3" = 1'-0"



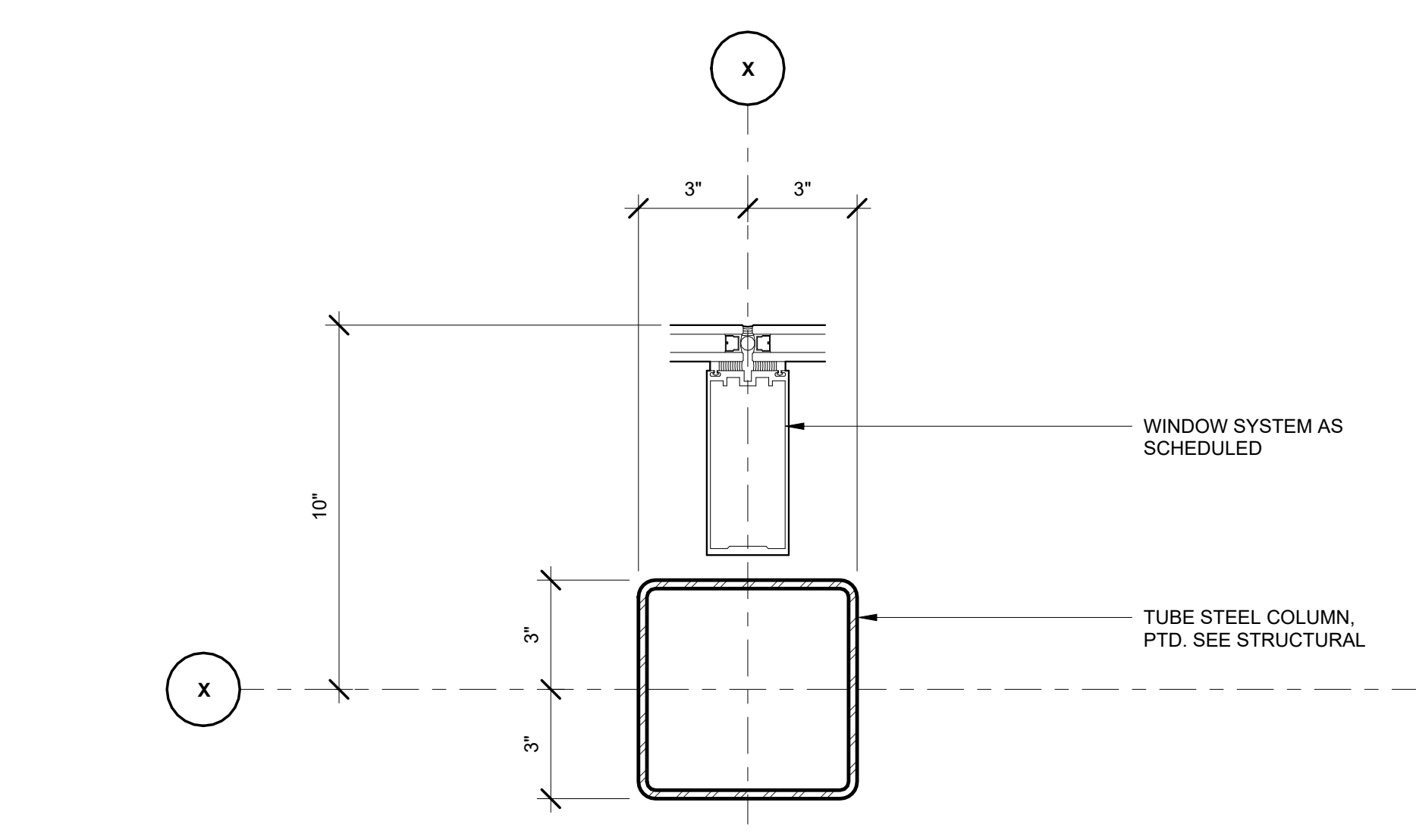
**5 WINDOW DETAILS**  
 3" = 1'-0"



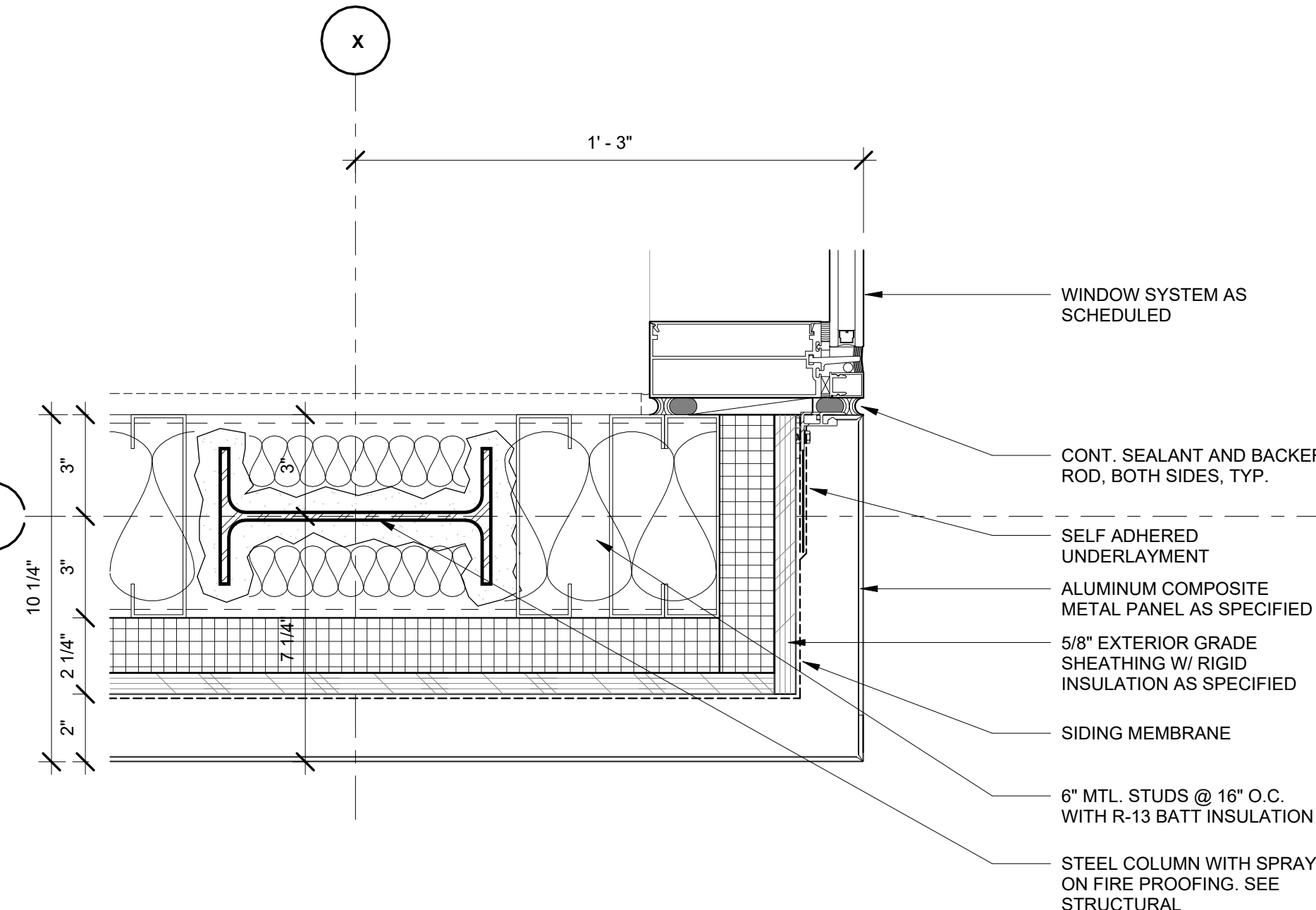
**4 WINDOW DETAILS**  
 3" = 1'-0"



**3 WINDOW DETAILS**  
 3" = 1'-0"



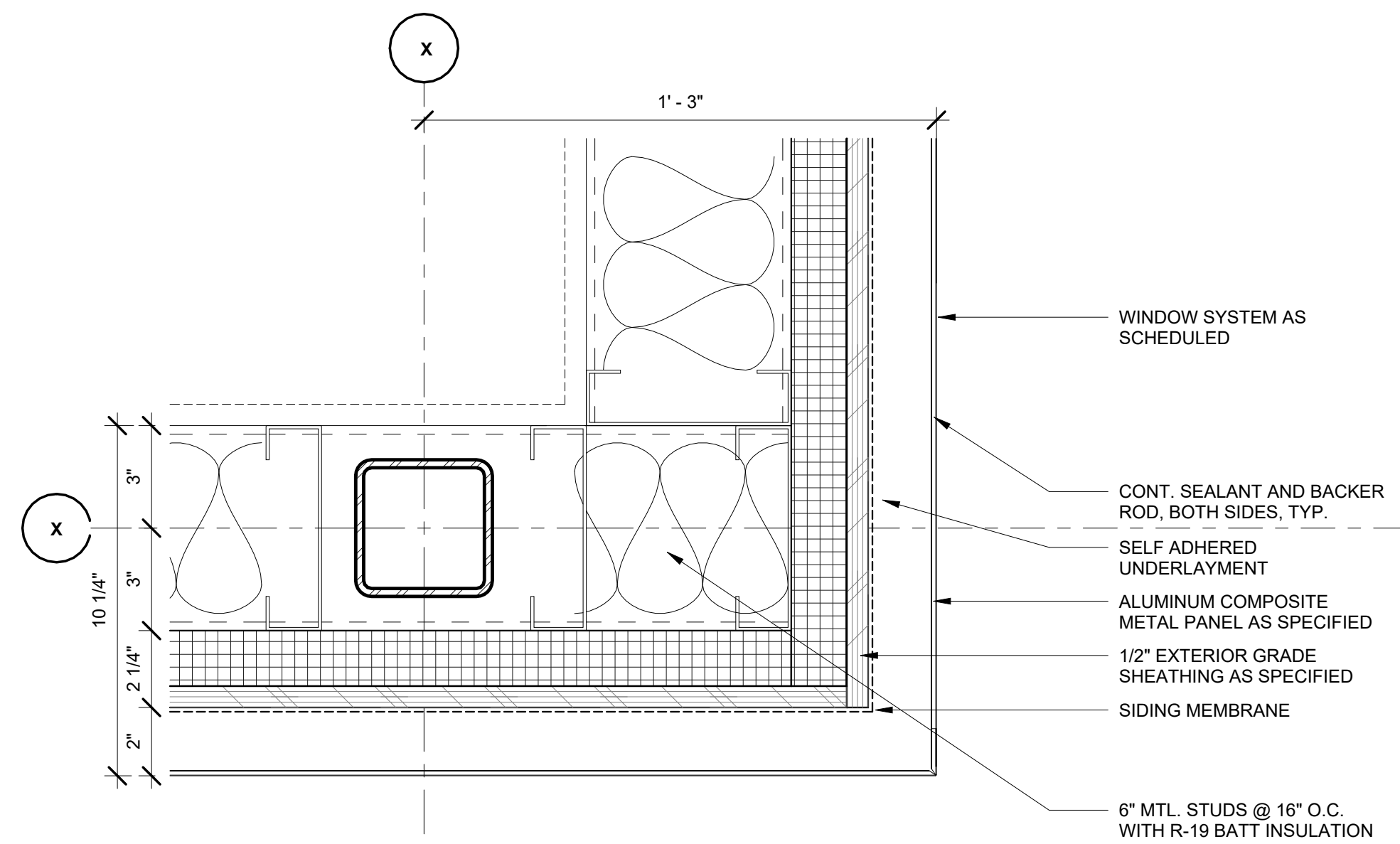
**2 WINDOW DETAILS**  
 3" = 1'-0"



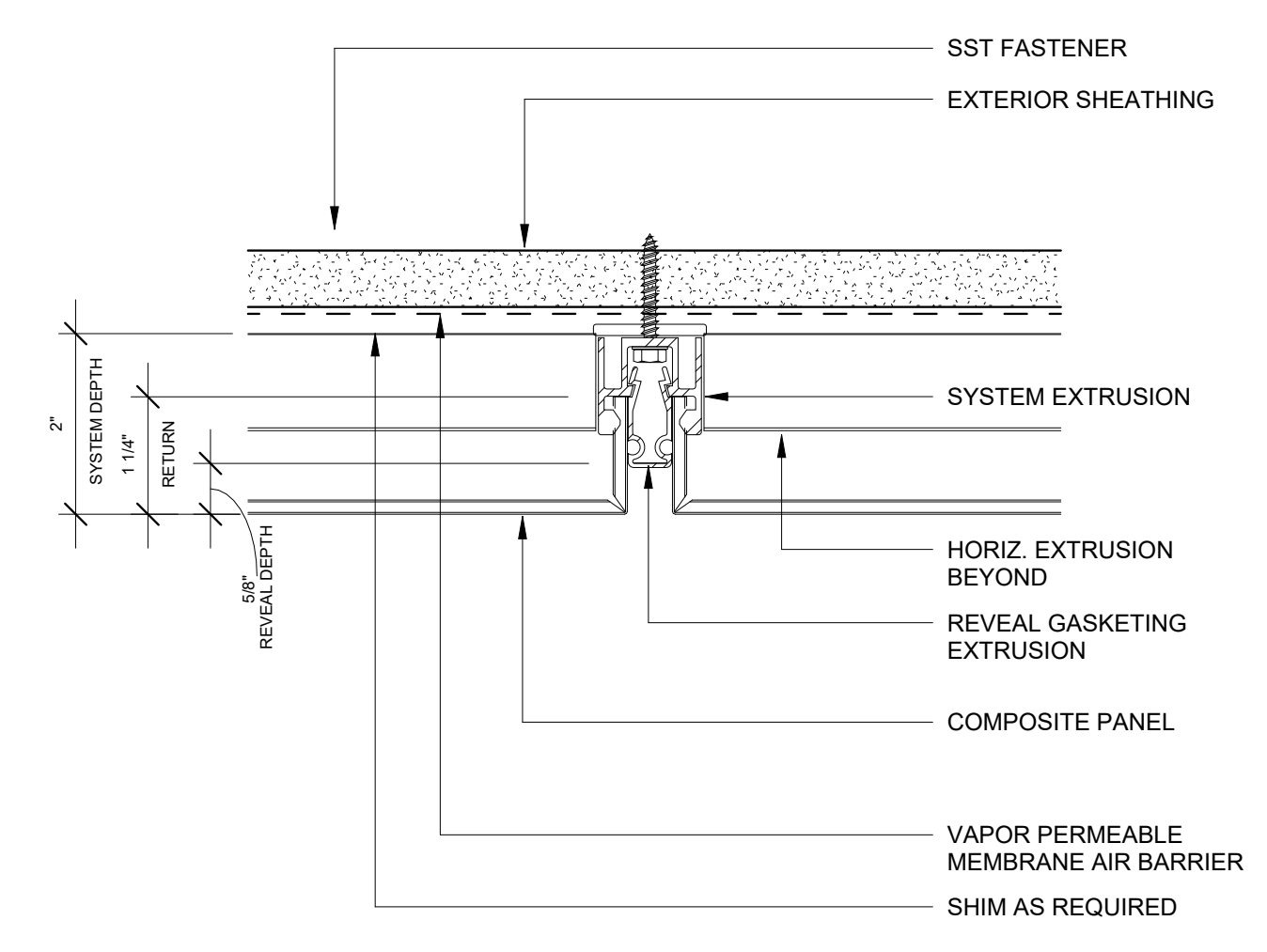
**1 WINDOW DETAILS**  
 3" = 1'-0"

date	drawn by	checked	job no.	REVISIONS	
				NO.	ISSUE
06/02/23	FM	LEB/J	211021		
SHEET TITLE				DATE	
DOOR AND WINDOW DETAILS					

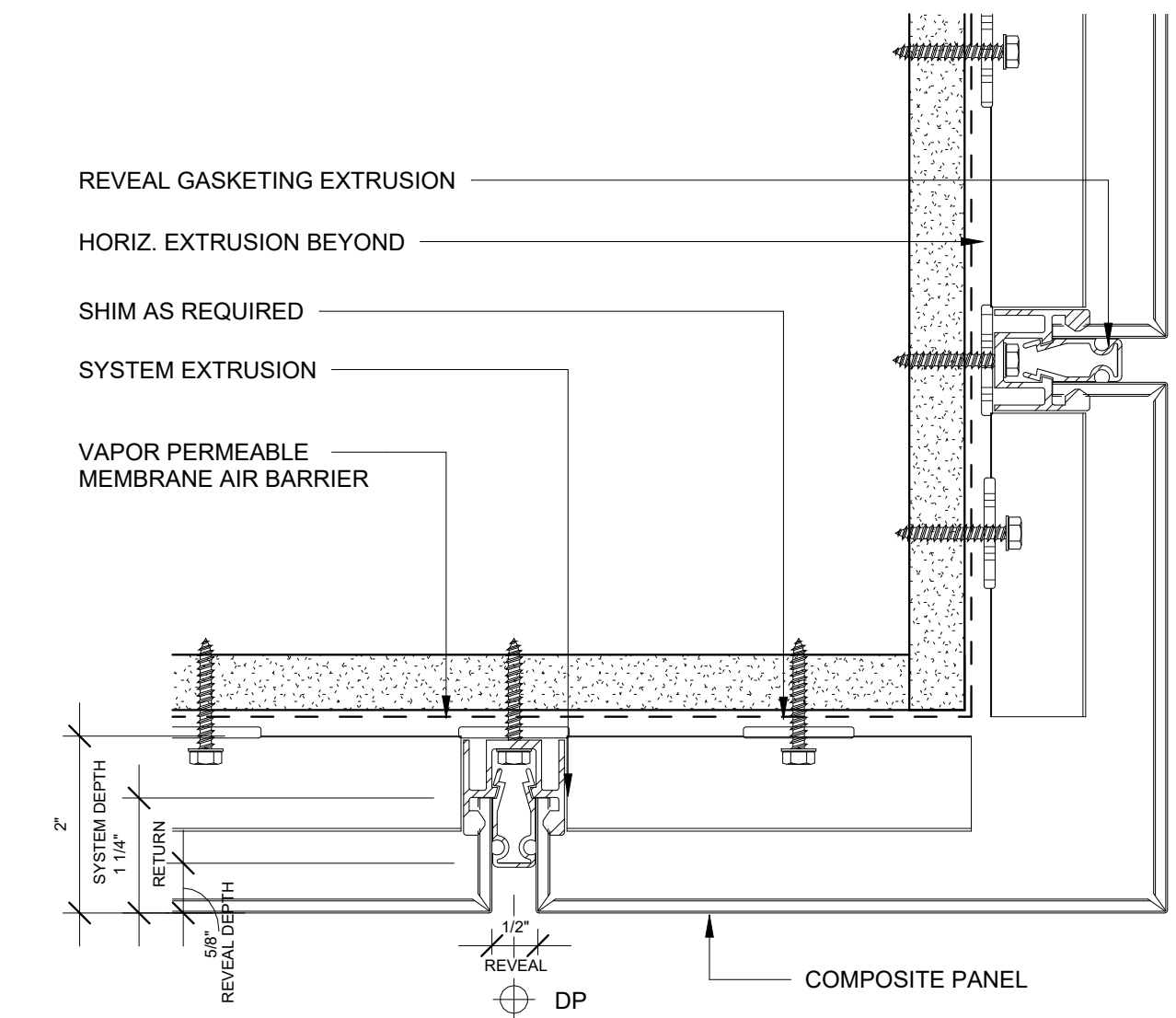
**A6.01**



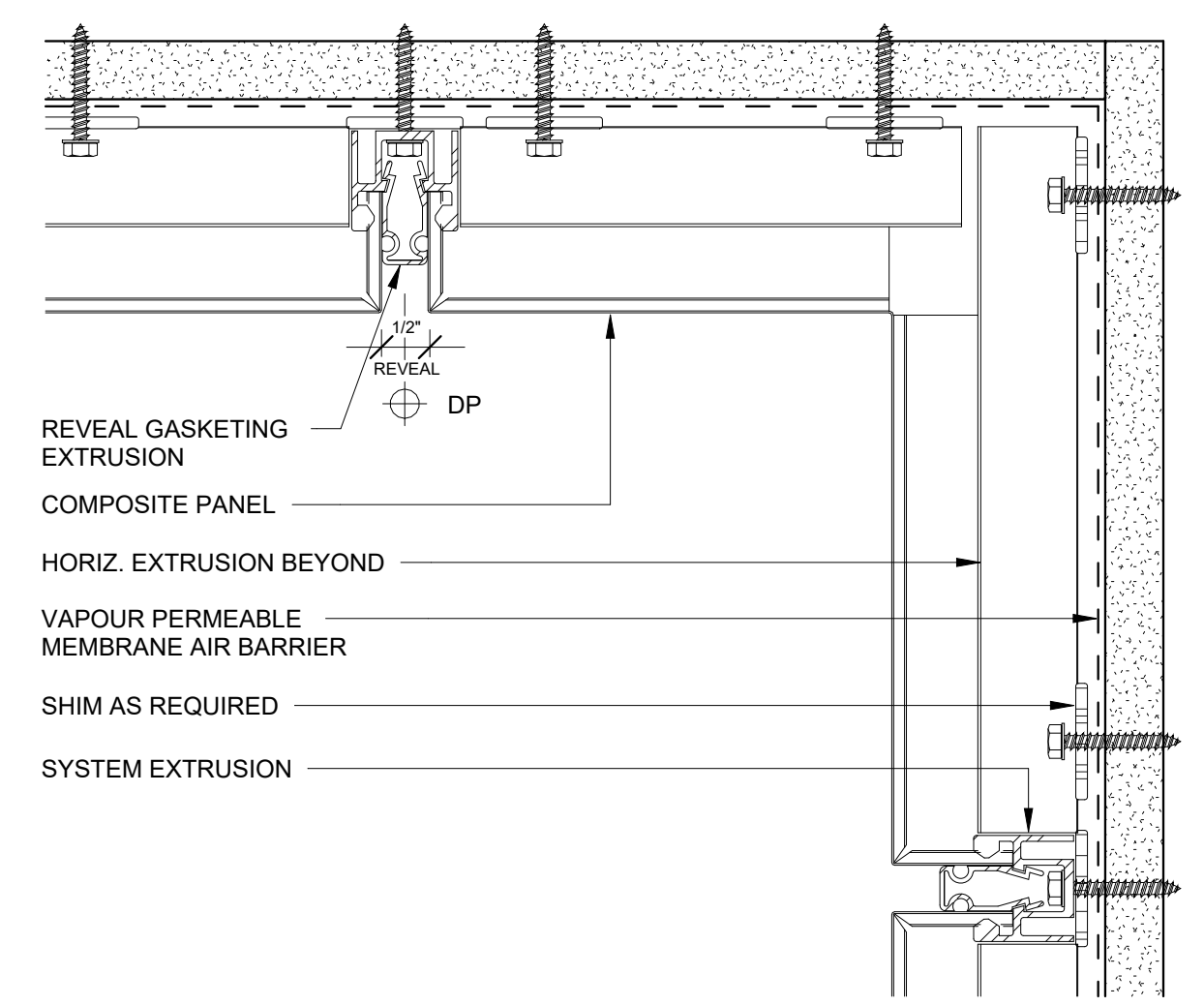
**5 WINDOW DETAILS**  
3" = 1'-0"



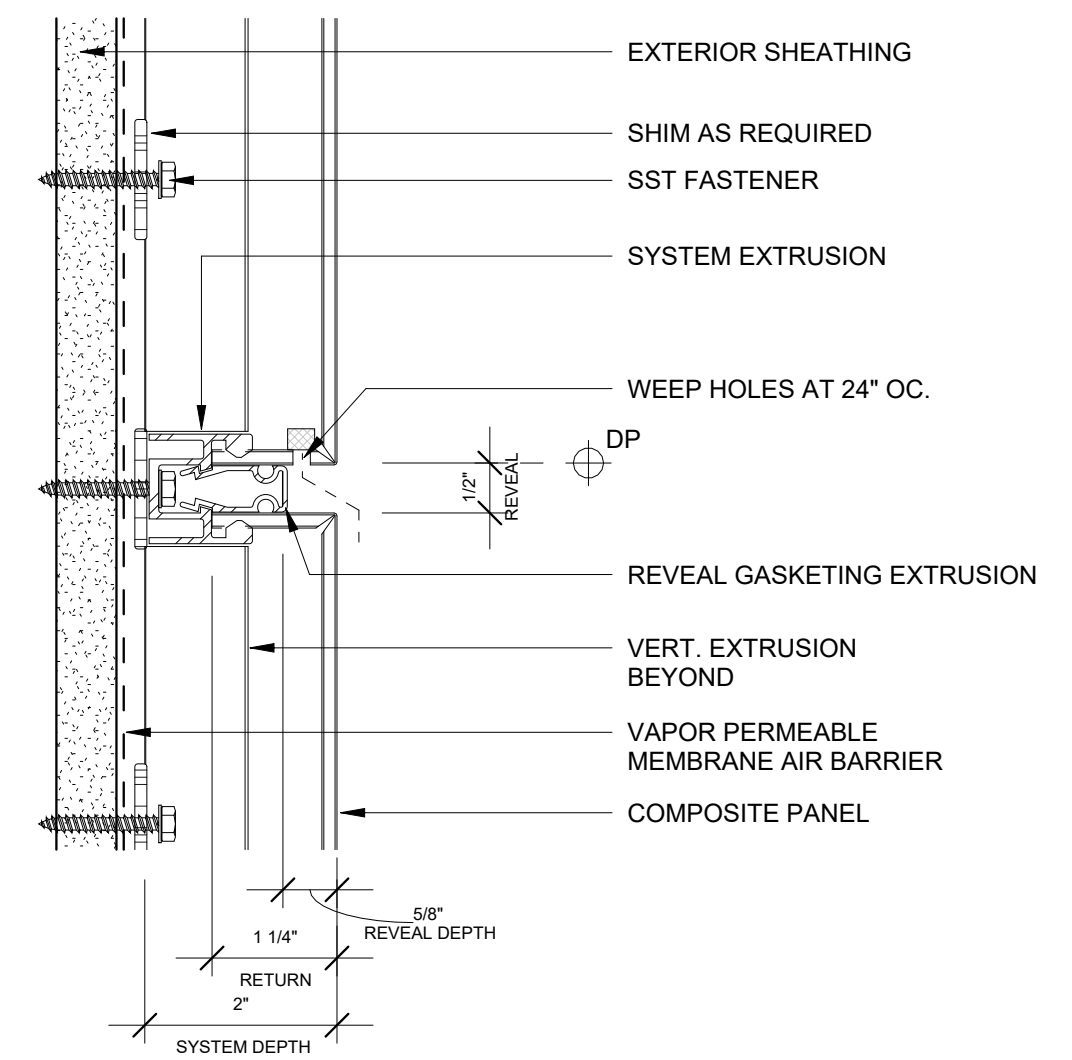
**4 COMPOSITE METAL PANEL VERT REVEAL**  
6" = 1'-0"



**3 COMPOSITE METAL PANEL OUTSIDE CORNER**  
6" = 1'-0"



**2 COMPOSITE METAL PANEL INSIDE CORNER**  
6" = 1'-0"

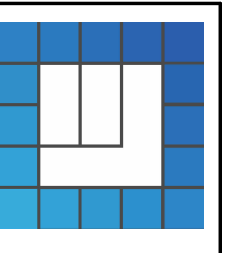


**1 COMPOSITE METAL PANEL HORIZ REVEAL**  
6" = 1'-0"

SCHEMATIC DESIGN  
PRELIMINARY NOT FOR CONSTRUCTION, BIDDING, OR PERMITTING



**44TH STREET SKYTRAIN  
CHILDCARE FACILITY**  
44TH STREET  
PHOENIX, AZ 85034

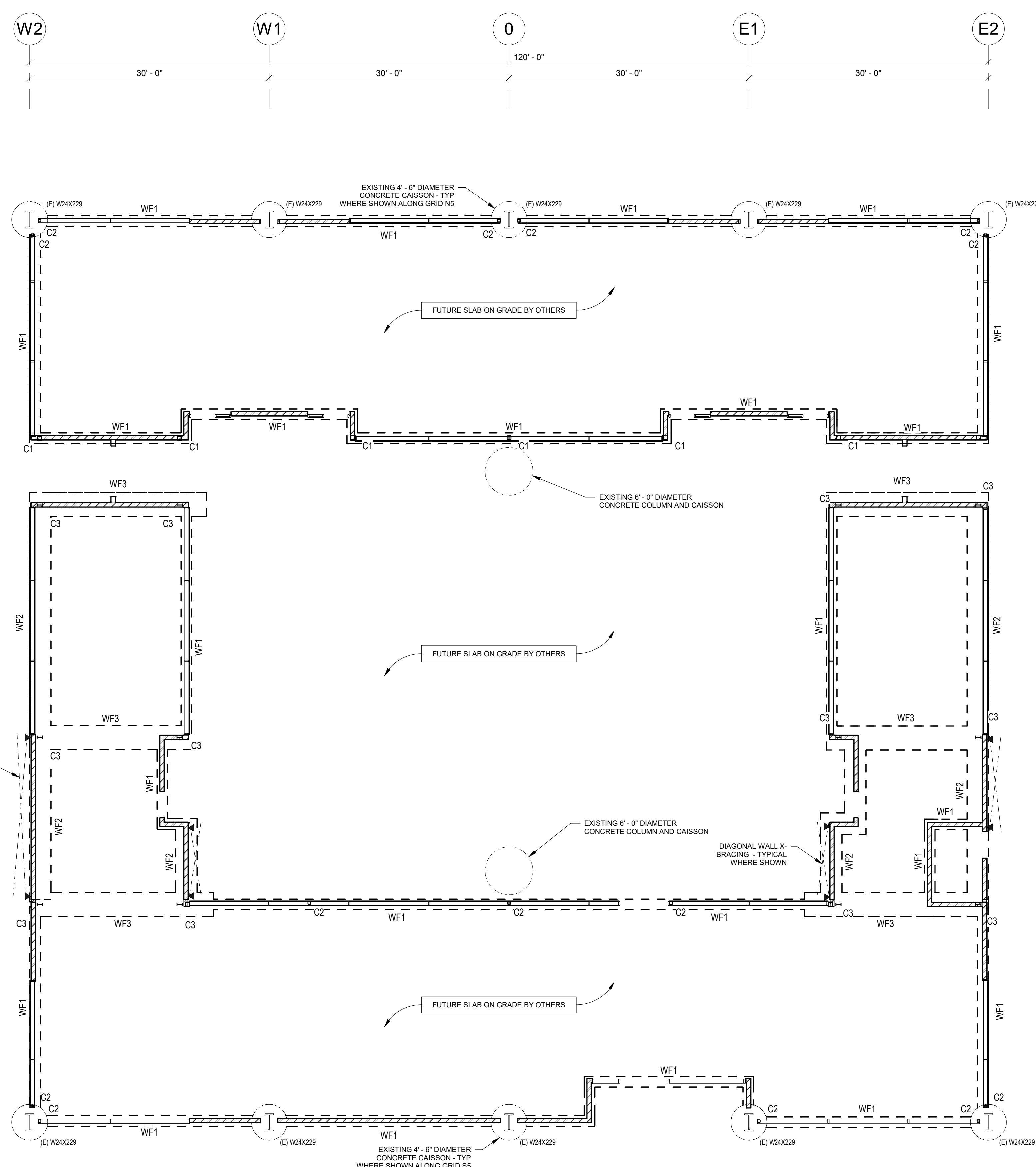


**LEA - ARCHITECTS, LLC**  
1730 EAST NORTHERN AVENUE  
PHOENIX, AZ  
ARCHITECTURE PLANNING INTERIORS CONSTRUCTION MANAGEMENT

date	drawn by	checked	job no.	REVISIONS	
				NO.	ISSUE
06/02/23	FM	LEB/J	211021		
SHEET TITLE ACM DETAILS				DATE	
SCHEMATIC DESIGN					
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**A6.11**





**PARTIAL FOUNDATION PLAN**  
1/8" = 1'-0"

- FOUNDATION NOTES - TYP U.N.O.:**
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS. BUILDING DIMENSIONS AND ELEVATIONS, WHERE SHOWN, WERE PROVIDED BY THE ARCHITECT AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND COORDINATE ALL DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK. ANY DISCREPANCIES SHALL BE RESOLVED THROUGH THE ARCHITECT.
  - SCHEDULED MARK DESIGNATIONS ARE TYPICAL TO THE PROJECT AND MAY NOT NECESSARILY BE FOUND ON THIS PLAN.
  - WF1, WF2, ETC. - AS SHOWN ON PLAN INDICATES CONTINUOUS WALL FOOTING. SEE SCHEDULE THIS SHEET.
  - F1, F2, ETC. - AS SHOWN ON PLAN INDICATES ISOLATED FOOTING. SEE SCHEDULE THIS SHEET.
  - UNLESS NOTED OTHERWISE ON PLANS AND/OR DETAILS, DEPTH OF FOOTING DIMENSIONS INDICATED IN THE G.S.N. ARE MINIMUMS. FOUNDATION CONTRACTOR SHALL COORDINATE WITH SOIL REPORT AND ALL TRADES TO INSURE THAT THESE MINIMUMS ARE SUFFICIENT FOR THE WORK. SEE TYPICAL DETAILS FOR ADDITIONAL REQUIREMENTS.
  - C1, C2, ETC. - AS SHOWN ON PLAN INDICATES STEEL COLUMN, SEE SCHEDULE THIS SHEET.
  - THE EXISTING CONDITIONS DEPICTED ON THESE DRAWINGS ARE BASED ON THE BEST AVAILABLE INFORMATION AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER IMMEDIATELY.

**WALL TYPE AND CALL OUT LEGEND**

- AS SHOWN ON PLAN INDICATES 800S162-54 STEEL STUD WALL. SEE PLAN FOR SIZES. STEEL STUDS SHALL BE SPACED AT 16" O.C. FOR LINTELS IN STEEL STUD WALLS. SEE DETAIL --- TYPICAL U.N.O. SEE G.S.N., TYPICAL DETAILS, PLANS AND OTHER DETAILS FOR ADDITIONAL INFORMATION. WALLS ONLY SHOW HATCHING WHEN CONTINUOUS TO LEVEL ABOVE.
- AS SHOWN ON PLAN INDICATES STEEL STUD SHEAR WALL. SEE STEEL STUD SHEAR WALL SCHEDULE THIS SHEET. WALLS ONLY SHOW HATCHING WHEN CONTINUOUS TO LEVEL ABOVE.
- AS SHOWN ON PLAN INDICATES NON-STRUCTURAL ARCHITECTURAL WALL. FOR ADDITIONAL INFORMATION, SEE ARCHITECTURAL DRAWINGS, G.S.N. AND TYPICAL DETAILS, OR AS NOTED ON PLANS AND DETAILS.
- AS SHOWN ON PLAN INDICATES STRUCTURAL BEARING AND/OR SHEAR WALL BELOW.
- WHERE SHOWN ON PLAN INDICATES SHEAR WALL HOLDDOWN. SEE SCHEDULE THIS SHEET.

**COLUMN ( C ) SCHEDULE**

NOTE: FOR ANCHOR BOLT PATTERN, SEE TYPICAL DETAIL XXX.

MARK	SIZE	BASE CONNECTION	BOLT PATTERN AND/OR REMARKS
C1	HSS 6"x6"x1/4"	3/4" x 12" x 12" STEEL PLATE WITH (4) 3/4" DIA. ANCHOR BOLTS	---
C2	HSS 4"x4"x1/4"	3/4" x 12" x 12" STEEL PLATE WITH (4) 3/4" DIA. ANCHOR BOLTS	---
C3	W8x	3" x 12" x 12" STEEL PLATE WITH (4) 3/4" DIA. ANCHOR BOLTS	---

**CONTINUOUS FOOTING (WF) SCHEDULE**

NOTE:  
1. FOR DEPTH OF FOOTING, SEE G.S.N. - U.N.O.  
2. CENTER FOOTING ON CONSTRUCTION ABOVE U.N.O.  
3. EXTEND FOOTINGS 12" BEYOND JAMBS U.N.O.

MARK	DIMENSIONS		FOOTING REINFORCING		REMARKS
	HEIGHT	WIDTH	LONGITUDINAL	TRANSVERSE	
WF1	12"	1'-4"	2 #5	---	---
WF2	12"	2'-8"	3 #5	#5 AT 16" O.C.	---
WF3	18"	3'-0"	3 #5 TOP AND BOTTOM	#5 AT 16" O.C. TOP AND BOTTOM	---

**LOCATION OF DETAILS**

DETAILS	SHEET	DESCRIPTION
---	S1.01	GENERAL STRUCTURAL NOTES
01-19	S1.02	TYPICAL DETAILS
101-119	S3.01	FOUNDATION DETAILS
201-219	S4.01	FLOOR FRAMING DETAILS
301-319	S5.01	ROOF FRAMING DETAILS

FOR ADDITIONAL INFORMATION SHOWN BUT NOT NOTED, SEE GENERAL STRUCTURAL NOTES ON SHEETS S1.01 AND TYPICAL DETAIL SHEETS.  
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PROJECT NUMBER: 23-0479 PROJECT MANAGER: RAD  
PROJECT ENGINEER: BFK PROJECT DRAFTER: NCR

**CARUSO • TURLEY • SCOTT • INC**  
consulting structural engineers  
1215 West Rio Salado Parkway, Suite 200  
Tempe, Arizona 85281 (480) 774-1700 (774-1701 FAX)

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44th STREET  
PHOENIX, AZ 85044

**LEA - ARCHITECTS, LLC**  
1730 EAST NORTHERN AVENUE  
PHOENIX, AZ

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		23021				

**SHEET TITLE**  
FOUNDATION PLAN

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**S2.01**



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**ROOF FRAMING NOTES - TYP U.N.O.:**

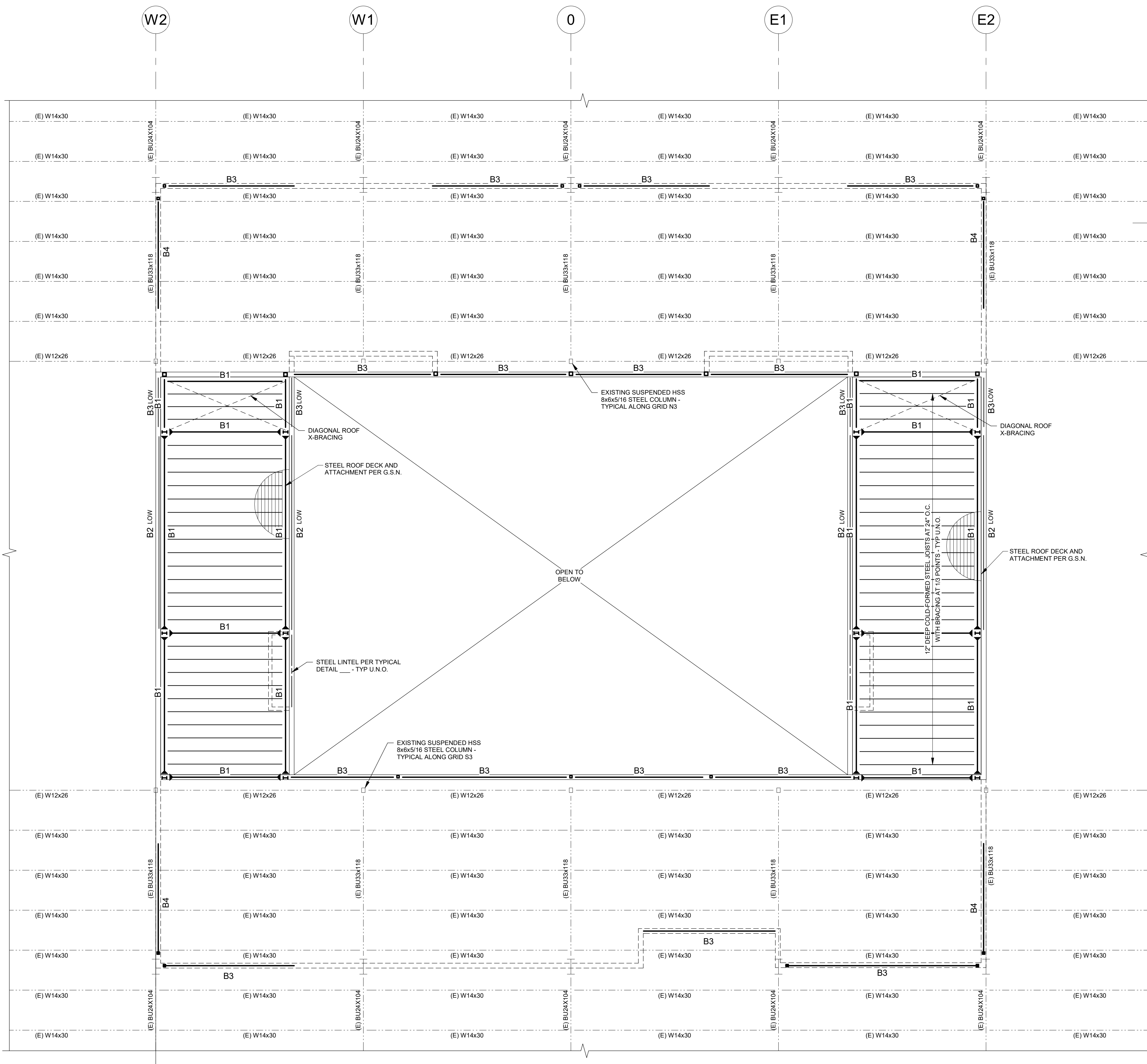
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- SCHEDULED MARK DESIGNATIONS ARE TYPICAL TO THE PROJECT AND MAY NOT NECESSARILY BE FOUND ON THIS PLAN.
- B1, B2, ETC.** - AS SHOWN ON PLAN INDICATES STEEL BEAM. SEE SCHEDULE THIS SHEET.
- FOR CLARITY, DETAILS MAY SHOW ONLY ONE SIDE OF FRAMING CONDITIONS. ALL OPENINGS MAY NOT BE SHOWN ON THIS PLAN. FOR EXACT SIZE, NUMBER AND LOCATION OF OPENINGS, SEE ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, SPRINKLER AND THEIR RELATED DRAWINGS. FOR FRAMING AT OPENINGS, SEE TYPICAL DETAILS.
- VERIFY EXACT SIZE, WEIGHT AND LOCATION OF EQUIPMENT AND SUPPORTS INDICATED ON PLAN WITH ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, SPRINKLER AND THEIR RELATED DRAWINGS. EQUIPMENT INDICATES ARE ONLY THOSE THAT EXCEED LOADS SPECIFIED IN THE G.S.N. FOR SUPPORT OF EQUIPMENT, SEE TYPICAL DETAILS AND OTHER TRADES.
- THE EXISTING CONDITIONS DEPICTED ON THESE DRAWINGS ARE BASED ON THE BEST AVAILABLE INFORMATION AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER IMMEDIATELY.

**WALL TYPE AND CALL OUT LEGEND**

- AS SHOWN ON PLAN INDICATES 80S162-S4 STEEL STUD WALL. SEE PLAN FOR SIZES. STEEL STUDS SHALL BE SPACED AT 16" O.C. FOR LINTELS IN STEEL STUD WALLS. SEE DETAIL --- TYPICAL U.N.O. SEE G.S.N., TYPICAL DETAILS, PLANS AND OTHER DETAILS FOR ADDITIONAL INFORMATION. WALLS ONLY SHOW HATCHING WHEN CONTINUOUS TO LEVEL ABOVE.
- AS SHOWN ON PLAN INDICATES STEEL STUD SHEAR WALL. SEE STEEL STUD SHEAR WALL SCHEDULE THIS SHEET. WALLS ONLY SHOW HATCHING WHEN CONTINUOUS TO LEVEL ABOVE.
- AS SHOWN ON PLAN INDICATES NON-STRUCTURAL ARCHITECTURAL WALL. FOR ADDITIONAL INFORMATION, SEE ARCHITECTURAL DRAWINGS, G.S.N. AND TYPICAL DETAILS, OR AS NOTED ON PLANS AND DETAILS.
- AS SHOWN ON PLAN INDICATES STRUCTURAL BEARING AND/OR SHEAR WALL BELOW.
- ▲ - WHERE SHOWN ON PLAN INDICATES SHEAR WALL HOLDDOWN. SEE SCHEDULE THIS SHEET.

**BEAM ( B ) SCHEDULE**

MARK	SIZE	CAMBER	REMARKS
B1	W 12x	---	---
B2	HSS 14" x 6"	---	---
B3	HSS 8" x 6"	---	---
B4	HSS 10" x 4"	---	---



**PARTIAL ROOF FRAMING PLAN**  
1/8" = 1'-0"

**LOCATION OF DETAILS**

DETAILS	SHEET	DESCRIPTION
---	S1.01	GENERAL STRUCTURAL NOTES
01-19	S1.02	TYPICAL DETAILS
101-119	S3.01	FOUNDATION DETAILS
201-219	S4.01	FLOOR FRAMING DETAILS
301-319	S5.01	ROOF FRAMING DETAILS

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PROJECT NUMBER: 23-0479 PROJECT MANAGER: RAD  
PROJECT ENGINEER: BFK PROJECT DRAFTER: NCR

**CARUSO - TURLEY - SCOTT - INC**  
consulting structural engineers  
1215 West Rio Salado Parkway, Suite 200  
Tempe, Arizona 85281 (480) 774-1700 (774-1701 FAX)

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**SHEET TITLE**  
ROOF FRAMING PLAN

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**S2.02**

**KEYED NOTES (7)**

1. OSA HOOD MOUNTED ON ROOF.
2. 2-TON INDOOR SPLIT SYSTEM HEAT PUMP UNIT MOUNTED ON WALL.
3. 2-TON OUTDOOR SPLIT SYSTEM HEAT PUMP UNIT MOUNTED ON ROOF.
4. CAPPED CURB ON ROOF FOR EXHAUST FAN.

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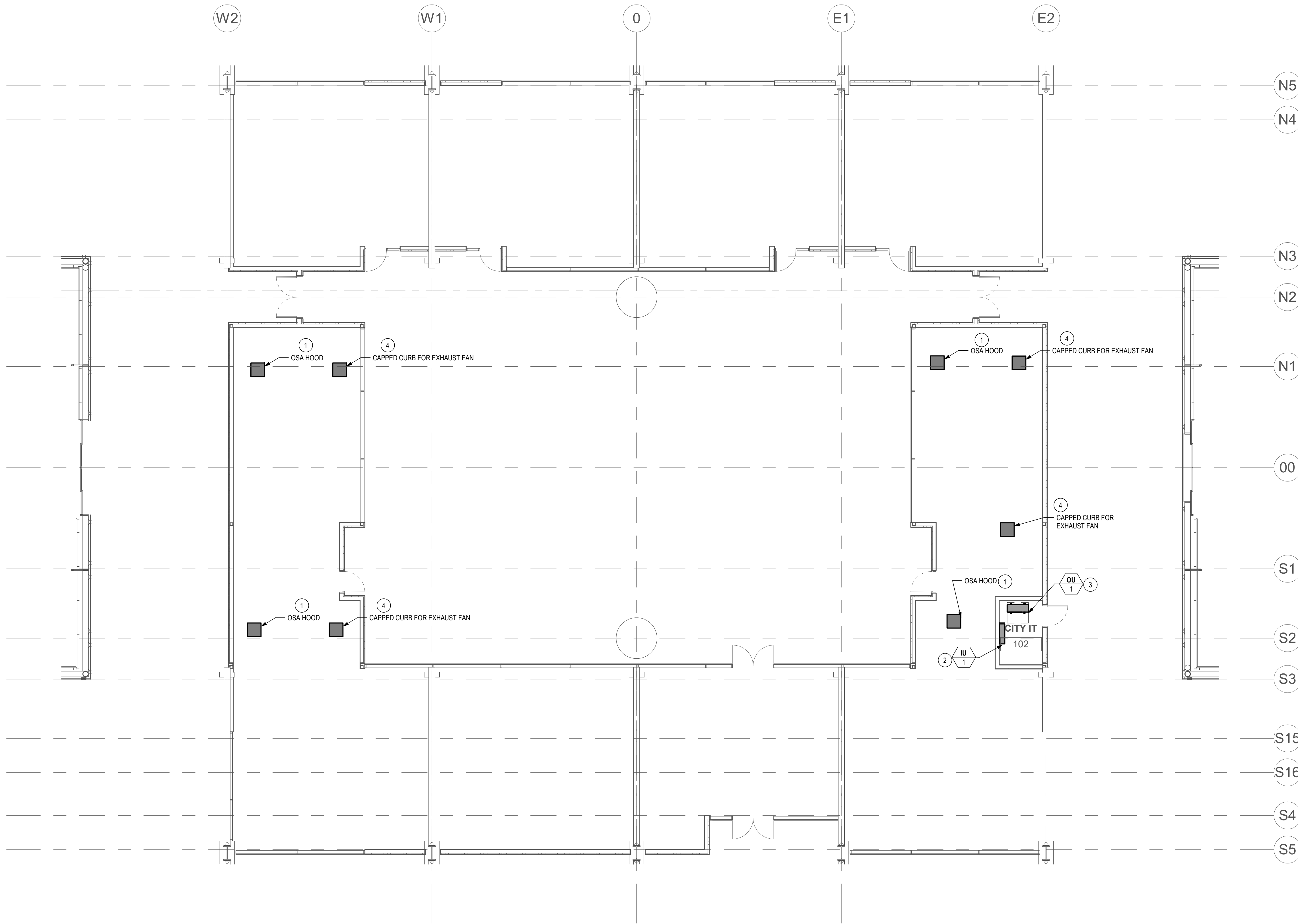
INTERIORS

PLANNING

ARCHITECTURE

date	drawn by	checked	job no.	REVISIONS	DATE
04/23/23	LSW	LSW	PHX01	NO. ISSUE	
SHEET TITLE					
MECHANICAL HVAC PLAN					
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**M2.1**



**MECHANICAL HVAC PLAN**  
NORTH 1/8" = 1'-0"  
0' 8' 16'



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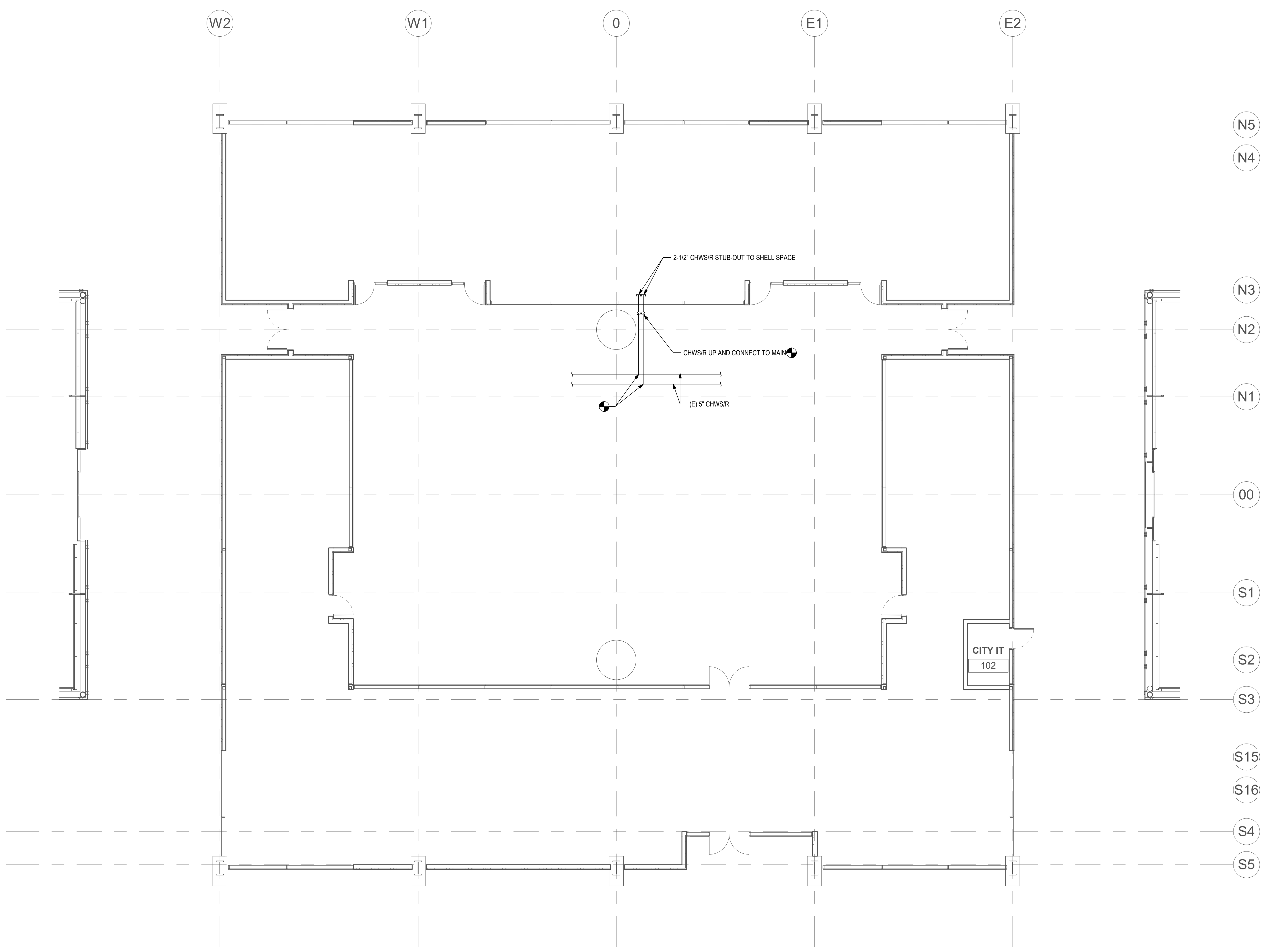
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**M3.1**

**LSWEngineers**  
 LSW Engineers Arizona, Inc.  
 2333 W. Northern Ave., Ste. 9, Phoenix, AZ 85021  
 Office: 602.249.1320    www.lswengineers.com  
 Project No. 2023-049.000

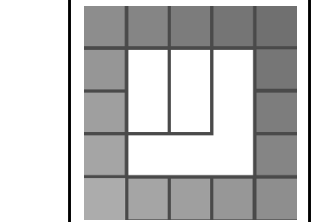


**MECHANICAL PIPING PLAN**  
 NORTH 1/8" = 1'-0"  
 0' 8' 16'

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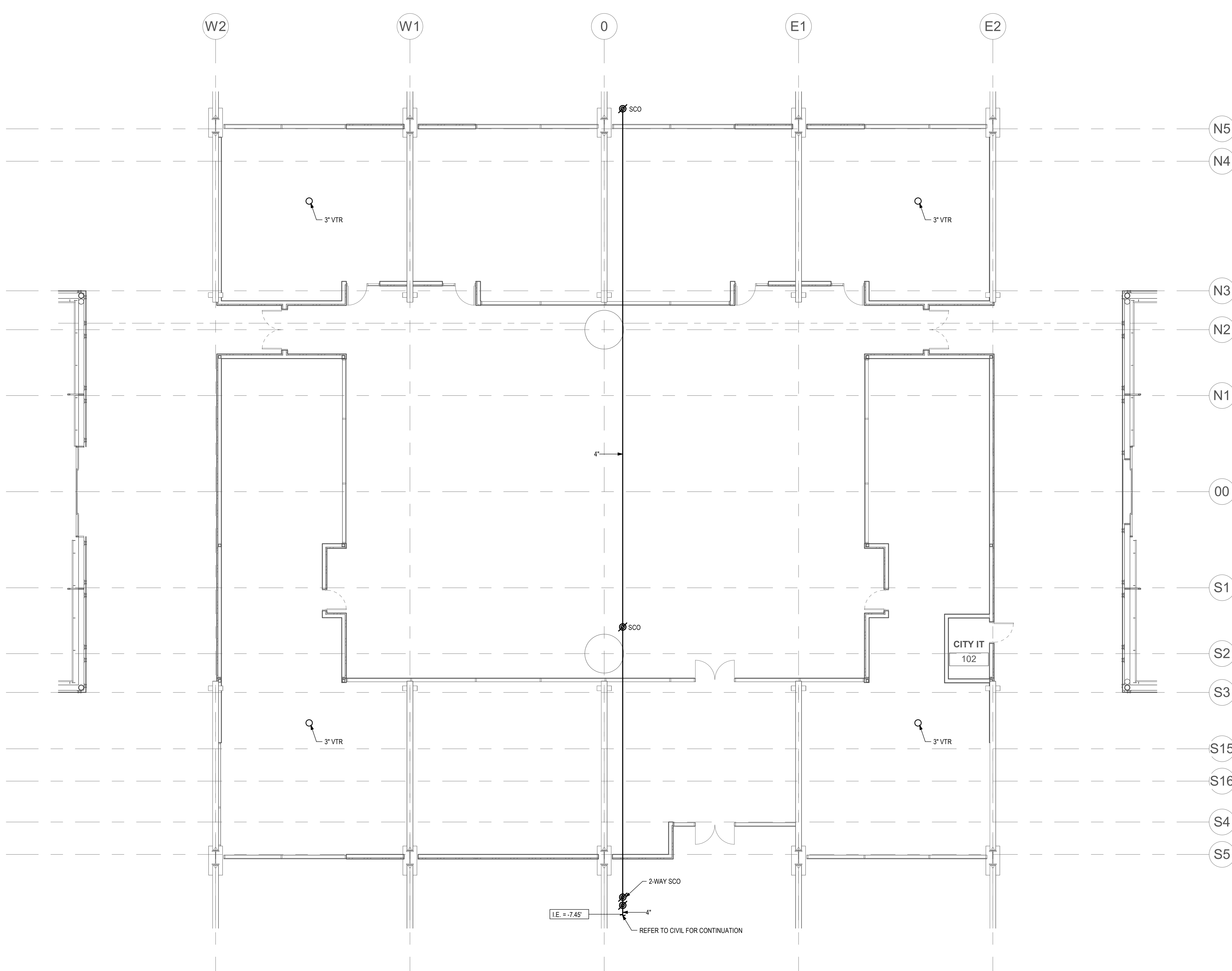
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SHEET TITLE				DATE	
PLUMBING DRAINAGE PLAN - FIRST FLOOR					
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**P2.1**

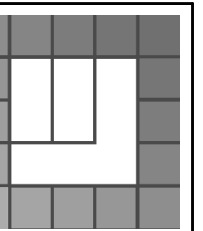


**PLUMBING DRAINAGE PLAN**  
 NORTH 1/8" = 1'-0"  
 0' 8' 16'

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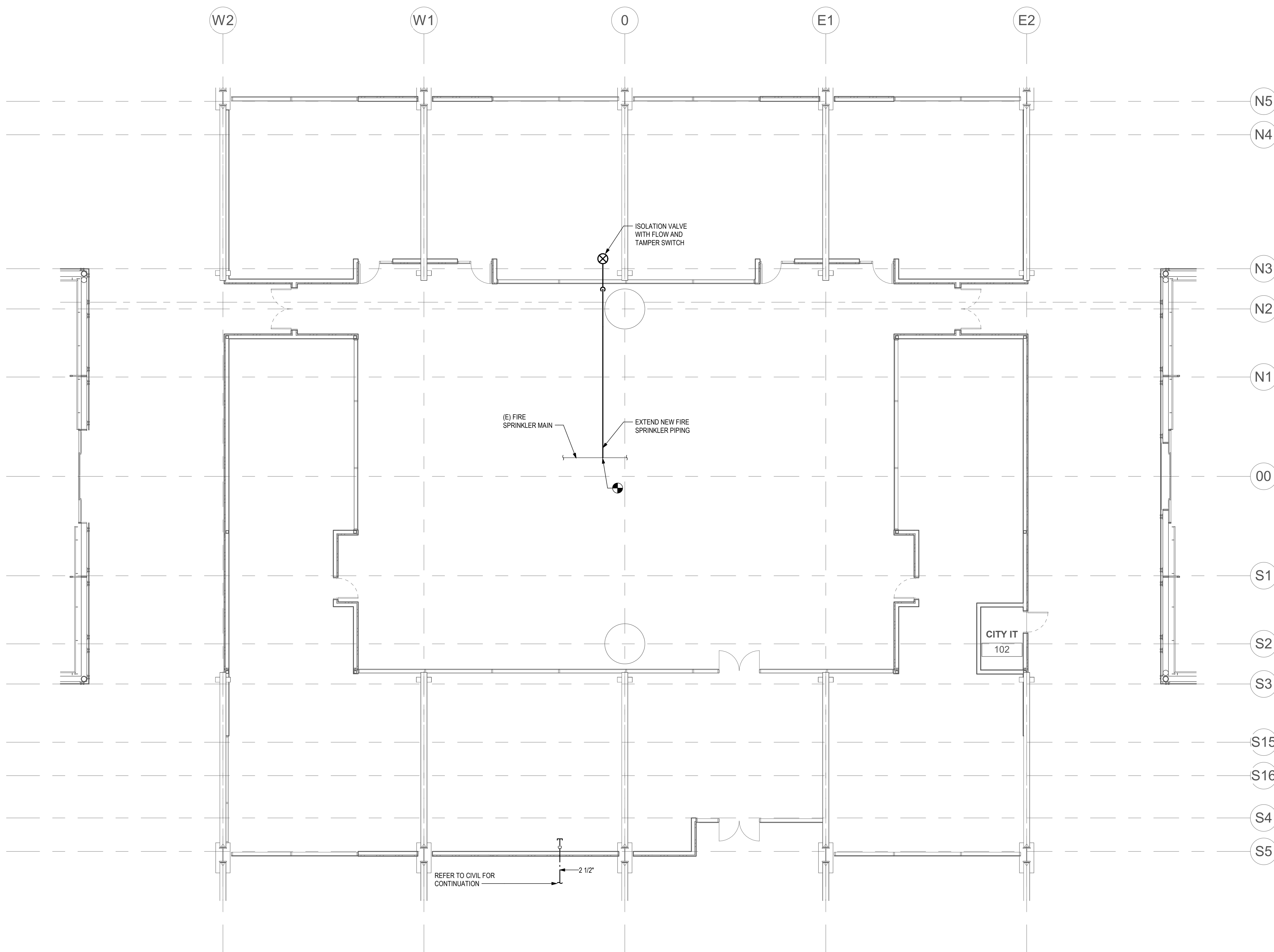
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PLUMBING WATER PLAN - FIRST FLOOR					
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**P3.1**



**PLUMBING WATER PLAN**  
 NORTH 1/8" = 1'-0"  
 0' 8' 16'

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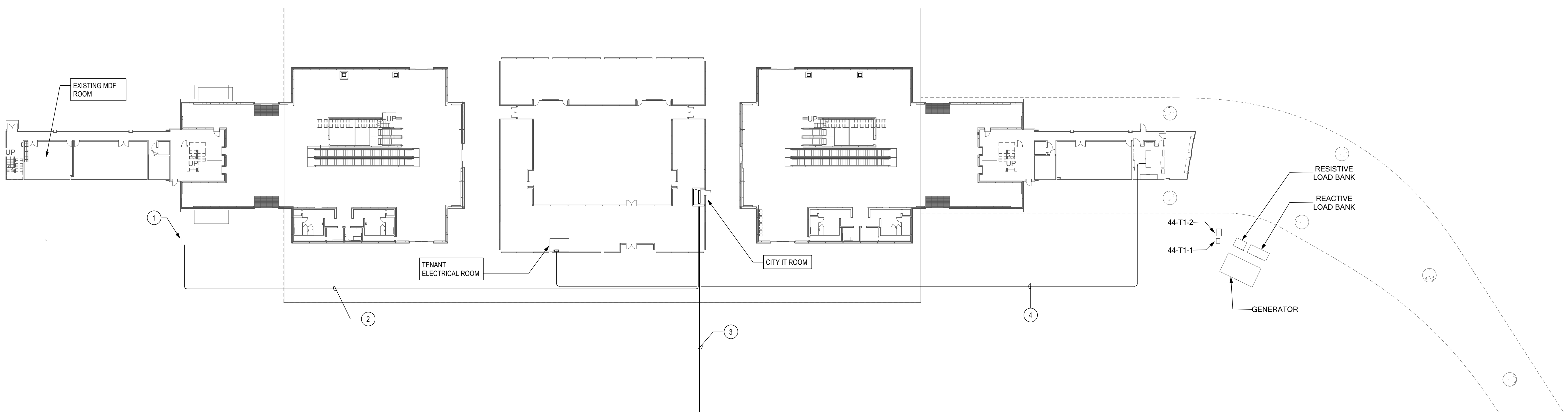
### KEYED NOTES (4)

- APPROXIMATE LOCATION OF EXISTING MANHOLE.
- PROVIDE (2) 4" CONDUITS UNDERGROUND FOR CITY OF PHOENIX IT.
- PROVIDE (1) 4" CONDUIT TO PROPERTY LINE FOR TENANT CABLE TV SERVICES.
- PROVIDE (2) 2-1/2" CONDUIT FROM SWITCHBOARD '44-SDH1-1'

**PHX SKYTRAIN CHILDCARE FACILITY**  
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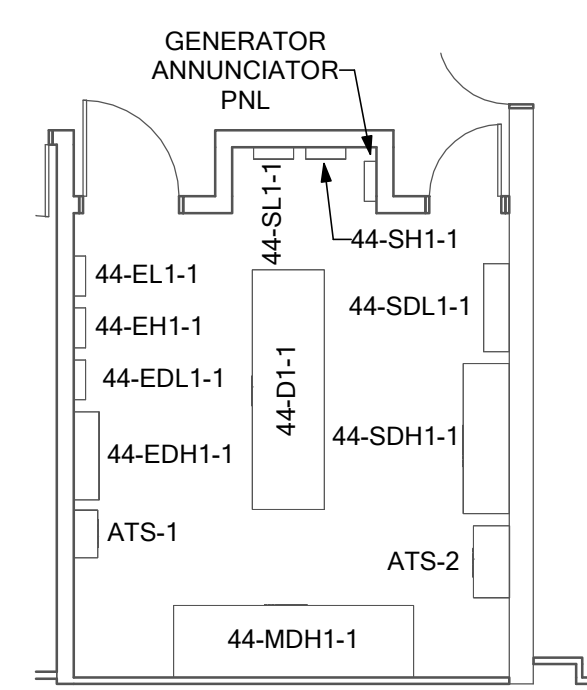
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## ELECTRICAL SITE PLAN

NORTH 1/32" = 1'-0"



## 2 ENLARGED ELEC ROOM

1/8" = 1'-0"

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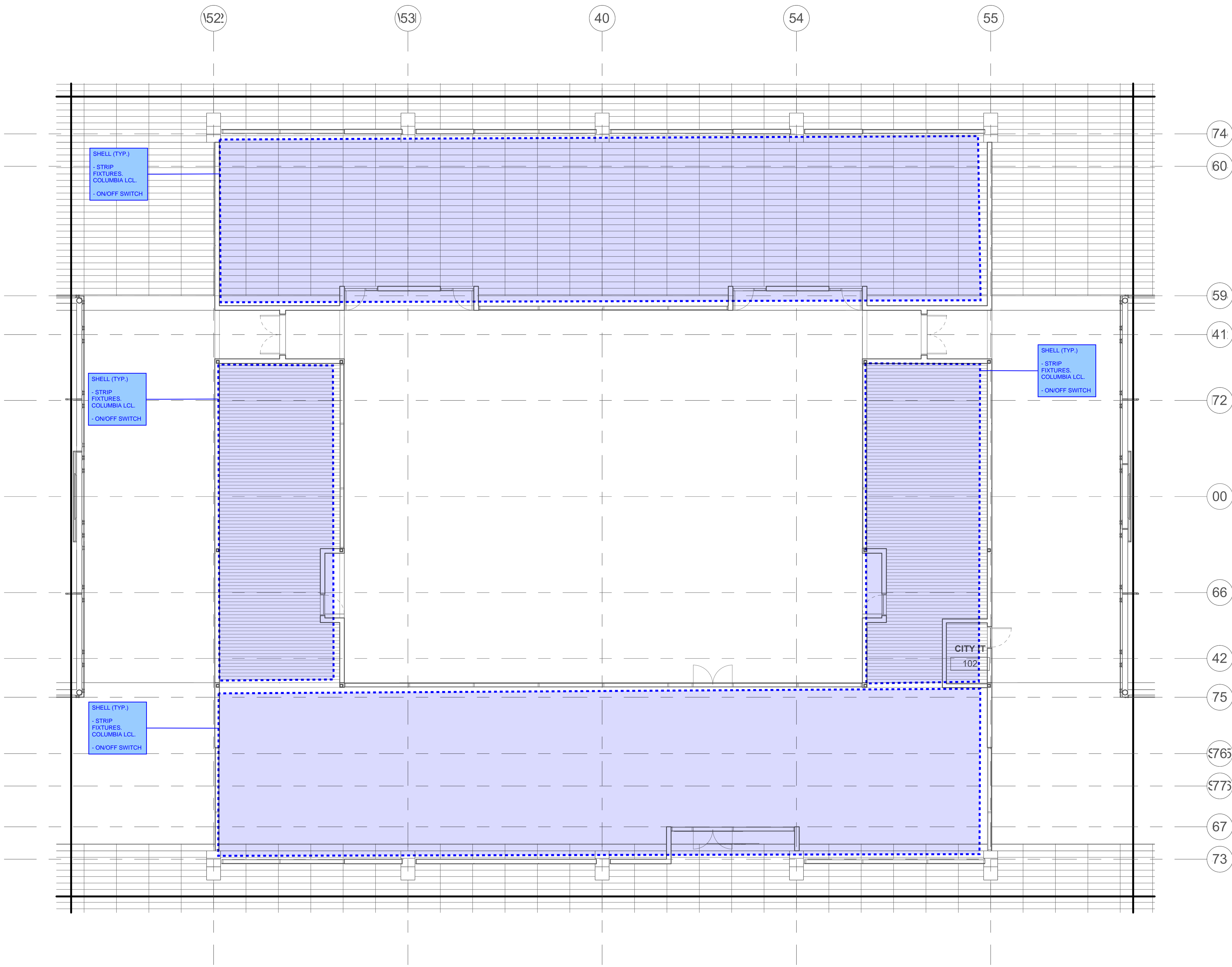
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**ELECTRICAL LIGHTING PLAN**  
 NORTH 1/8" = 1'-0"

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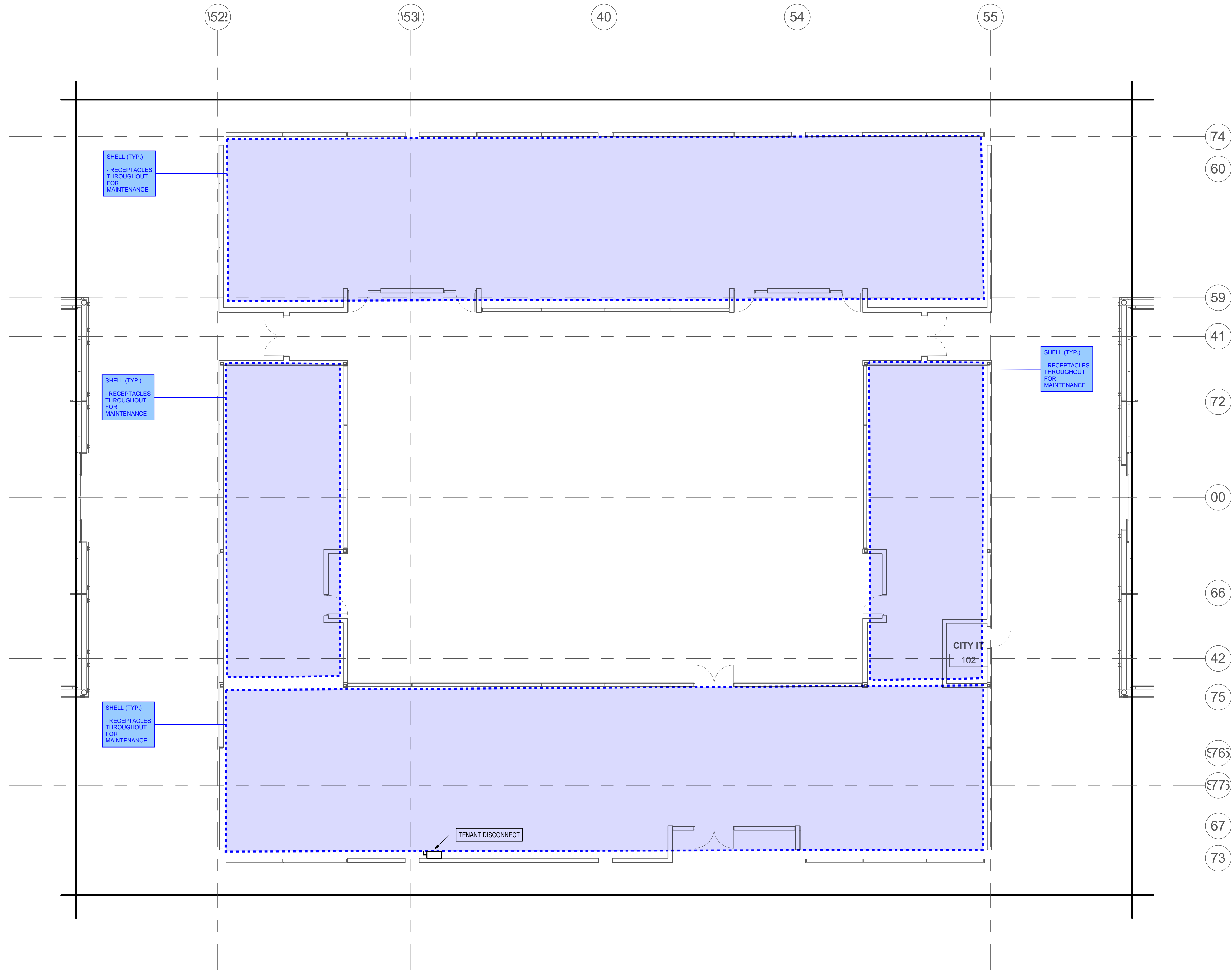
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**SHEET TITLE**  
 ELECTRICAL LIGHTING PLAN

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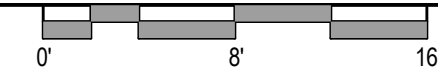
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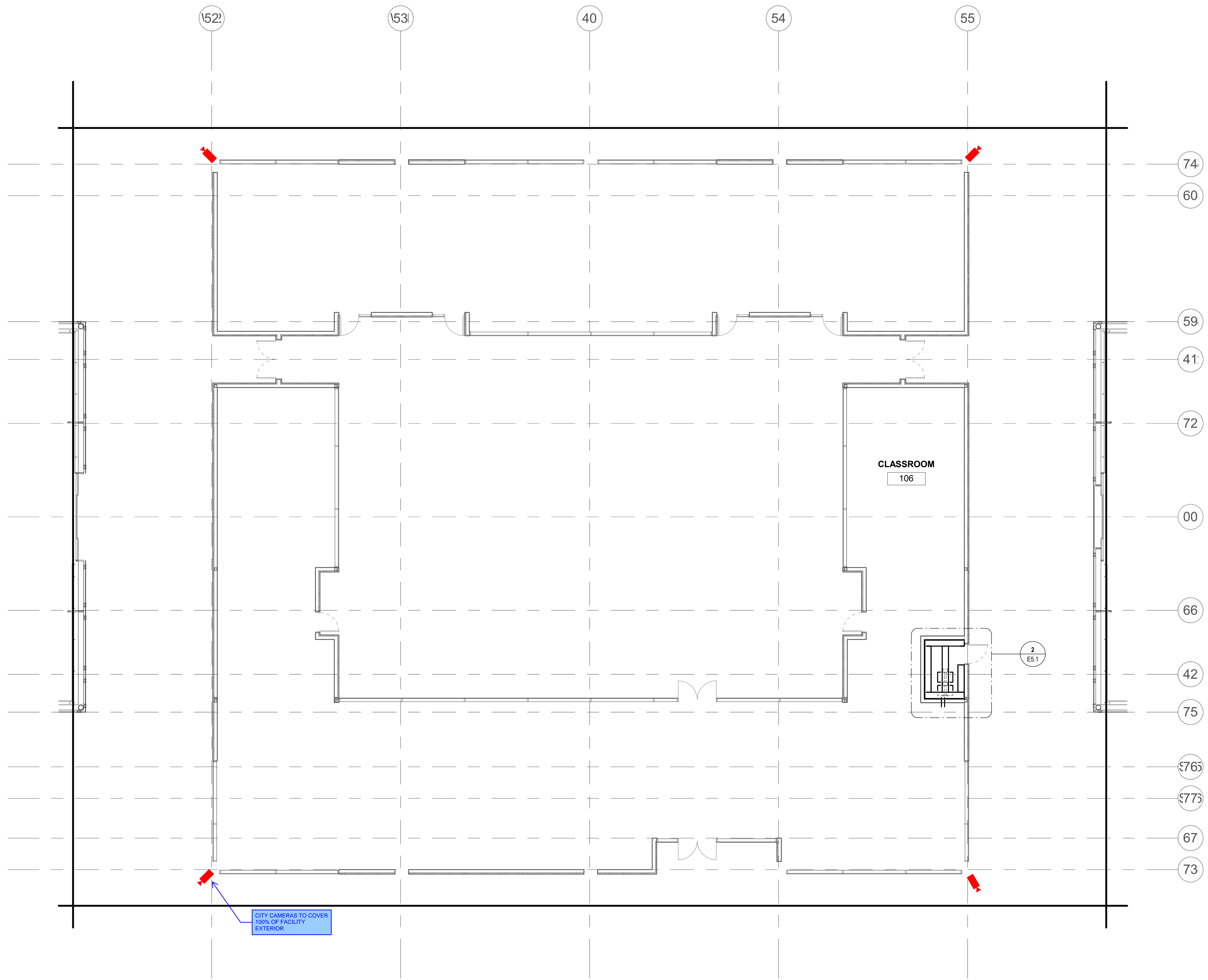
**ELECTRICAL POWER PLAN**  
 NORTH 1/8" = 1'-0"



**LSWEngineers**  
 LSW Engineers Arizona, Inc.  
 2333 W. Northern Ave., Ste. 9, Phoenix, AZ 85021  
 Office: 602.249.1320 www.lswengineers.com  
 Project No. 2023-049.000

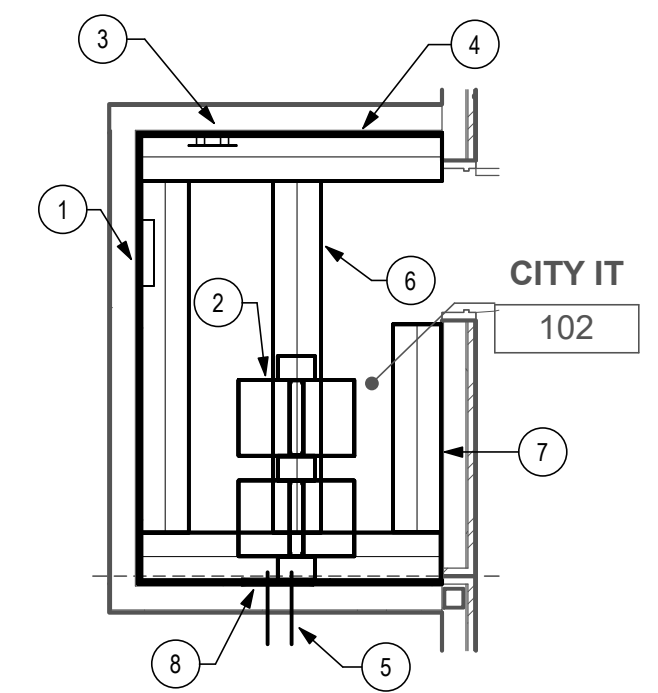
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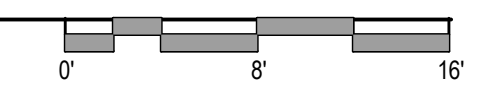
**KEYED NOTES (8)**

1. ACCESS CONTROL PANEL LOCATION.
2. PROVIDE 2 POST DATA RACK WITH 6" VERTICAL ORGANIZERS.
3. PROVIDE 12"x4"x1/4" TELECOMMUNICATIONS COPPER GROUND BUS BAR, MOUNTED ON WALL AT 7'-0".
4. PROVIDE 3/4" FIRE RATED PLYWOOD, PLYWOOD TO BE MOUNTED FROM 0'-6" TO 8'-6" SUCH THAT 8'-0" DIMENSION IS VERTICAL.
5. PROVIDE (2) 4" CONDUIT SLEEVES.
6. PROVIDE 18"x2" CABLE RUNWAY MOUNTED 6" ABOVE RACK VIA ELEVATION KIT.
7. PROVIDE 18"x2" CABLE RUNWAY MOUNTED 7'-6" AFF.
8. PROVIDE 18"x2" CABLE RUNWAY MOUNTED VERTICALLY TO WALL FROM 6" ABOVE OVERHEAD CABLE RUNWAY IN ROOM TO 6" BELOW CONDUITS.



**2 ENLARGED IT ROOM**  
 1/4" = 1'-0"

**TECHNOLOGY & FIRE ALARM PLAN**  
 NORTH 1/8" = 1'-0"



**PHX SKYTRAIN CHILDCARE FACILITY**  
 44th STREET  
 PHOENIX, AZ 85034S

**LEA - ARCHITECTS, LLC**  
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TECHNOLOGY AND FIRE ALARM PLAN					
CONCEPT DESIGN					
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**E5.1**