



City of Phoenix

PHOENIX SKY HARBOR INTERNATIONAL AIRPORT
TERMINAL 4 - RETAIL
TENANT DESIGN CRITERIA

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1.1 Forward

The **Retail Tenant Design Criteria** contains both minimum design standards and aspirational examples to assist you (the tenant) and your architect with the development of your proposal and the construction process for space in the Terminal 4 passenger level and concourses at Phoenix Sky Harbor International Airport (PSHIA).

Each Tenant's design is critical to the overall program. As such, Tenants are encouraged to be innovative and creative in developing design concepts that accentuate the dominant theme of their retail concept and support the overall quality of the program. These design concepts should be reflected in the signage, merchandising displays, and lighting systems as well. Your design concept and high-quality execution in combination with the City's terminal architecture must work together to create a sophisticated, contemporary and regionally relevant experience that continues the airport's reputation at the forefront of the airport concession industry.

Although the Design Criteria is prescriptive in many regards, creativity is encouraged. If a design concept proposal diverges from the letter of the criteria but can be persuasively demonstrated to the Airport to meaningfully advance its overarching goals of passenger service and excellence – the Tenant is encouraged to request consideration (the Airport is not obligated to approve exceptions to the design standards).

1.2 Purpose of Document

The Design Criteria are intended to ensure an aesthetically coordinated approach to storefront and sign design in keeping with the design objectives of the Airport, and to ensure that standards for storefronts, interior finishes and signage requirements are understood by Tenants, their contractors and designers.

The latest edition of these Design Criteria, together with all Lease and Lease Drawing documentation required by the Landlord comprise the **Tenant Package**. Tenants are strongly encouraged to become familiar with the intent and details of these documents prior to the commencement of work, and to become aware of the special characteristics of the concession areas of Terminal 4 and how its architectural elements, finishes, and materials will affect individual concession design solutions. Tenants must comply with the requirements and conditions set forth in the Tenant Package. Should there be any discrepancies between the Design Criteria for Tenant improvements and the Lease, the latter shall govern.

The Landlord (City of Phoenix Aviation Department, COP), or Landlord's Representative shall have absolute right of review and approval over all aspects of Concession Tenant improvements, as well as the discretion to waive any of the Design Criteria so long as the concept, quality and character of the project are not significantly affected.

1.3 Use of Criteria Handbook

Each Tenant must be familiar with the intent, scope and detailed requirements of this handbook **before** the design process begins. It is the Tenant's responsibility to visit the site and verify existing conditions. Each Tenant's design must be approved and permitted by the Landlord before any construction is allowed to begin. Submittal and approval procedures are outlined in Section 9 of this handbook.

1.4 Retail Design Intent

The redevelopment of the Terminal 4 retail program is intended to further the industry-leading legacy of PSHIA's program through high quality design and innovation that represents the best of both on and off-airport retail.

Design merchandising solutions should encourage store identity and product recognition through the emphasis of storefront transparency, creative concession identity graphics, vibrant merchandise display and strong overall retail identity. At the same time, individual store graphics and accompanying displays should suggest the independent character of each retailer and the quality of services and types of merchandise or services they provide. Retailers must enhance the customer experience through a commitment to an entrepreneurial pride of ownership, superior merchandising skills, excellence in customer service, and the creation of a very special retail environment.

1.5 Common Area Environment

The existing base building common area environment reflects an upscale contemporary southwest environment that greets arriving visitors with a "sense of place" that represents Arizona, and in turn, reinforces memories of their stay as they depart. This has been accomplished through natural materials such as stone, metal, tile and glass reflect the colors and textures seen across the state.

Augmenting this contemporary southwest environment, several projects throughout Terminal 4 have introduced a more streamlined, less thematic aesthetic (skytrain station corridors and art installations for example). **Your design concepts should harmonize with this backdrop, yet reflect the nature of your merchandise or service in a vibrant and stimulating manner that projects a sophisticated contemporary feel.**

1.6 Neutral Piers and Storefront Enclosure

In the public areas, existing columns and neutral piers between storefronts are enclosed in a banded sandstone facing to create a rectangular battered pier. These piers are to be maintained and visible as part of the overall environment. Storefront enclosure and entries are to be tenant provided (or existing salvaged) glass as described later in this document. With these two primary storefront elements pre-defined, your primary means of retail expression will reside in effective and creative store interiors and impactful signage.

1.7 Retail Design Criteria Definitions

The following definitions are used throughout the Design Criteria and shall be interpreted as follows:

- a. **ADA** refers to the Americans with Disabilities Act
- b. **Common Area** is the space used by the general public that is designed and maintained by the Landlord.
- c. **Concourses** are the public circulation zones that lead from the Main Terminal to all airlines gates.
- d. **Demising Walls** are common walls that mark the lease lines between independent Concession Tenant-leased areas or other separately designed spaces, including public spaces, service corridors, etc. It extends back from the neutral pier.
- e. **Landlord (owner)** is the City of Phoenix Aviation Department (COP) and any of its representatives and is the entity with right of review and approval of Concession Tenant improvements. Code Review, Enforcement, and Permitting is administered through the City of Phoenix's Planning and Development Department.
- f. **Leaselines** (except where noted in plan exhibits) extend from the centerline of the storefront's exterior columns into the rear of the Concession Tenant's leased premises and from the centerline of the side demising walls.
- g. **Main Terminal** is the central airport building for Terminal 4 and the hub of concourses N1, N2, N3, N4, S2, S3 and S4.
- h. **Neutral Pier** is an architectural element separating two adjacent storefronts or a storefront and a service corridor or public space. Neutral piers are provided and installed by the Landlord.
- i. **Sign Shelf** is the cantilevered horizontal blade above the storefront opening that provides a platform to support the retail tenant's primary signage and laterally support the glass storefront enclosure.
- j. **Storefronts** shall be defined as the architectural enclosures of any Tenant-leased premise perimeter adjacent to public circulation areas of the terminals, including doorways. The storefront will be physically defined by Base-Building elements provided by the Landlord which surround and frame the Concession Tenant Storefront; those elements include neutral piers, the upper fascia/bulkhead, and the floor surface at the lease line.

1. Introduction

- k. **TDC** refers to this document, the retail Tenant Design Criteria
- l. **Tenant** is the lessee, including all food and retail concessionaires in the Airport.
- m. **Display Area** is the 5'0" deep zone directly behind the storefront lease line that has special requirements for merchandise display, lighting systems and finishes.
- n. **L.O.D.** are the Lease Outline Drawings that graphically illustrate the extent of the Tenant-Leased Premises.
- o. **CFM** cubic feet per minutes
- p. **KVA** Kilo/Volt Ampere

1.8 Landlord Work/ Tenant Work

The following is an overview of responsibilities assumed by the Landlord for construction and improvements to the Concession Tenant Leased Premises. Specific Tenant work is described, as it applies to the Leased Premises, in the various sections of the **TDC**. The Landlord will be responsible for the construction of common areas, concession Tenant-Leased Premise shell, and all pedestrian circulation areas. The Tenant's design construction materials will be at the sole

discretion of the Landlord, and will be subject to change in accordance with the Landlord's determination.

- a. **Common Areas.** Landlord will construct common area patron walkways, including illumination, ceiling air conditioning, heating, sprinkler protection; flooring and walls, as designed by Landlord's architect and approved by Landlord.
- b. **Leased Premise Interiors.** All previously occupied Tenant spaces will be available in their "as is" condition. It shall be the tenant's responsibility to submit demolition drawings for approval and remove any existing installations within their demised spaces to facilitate new construction. All new Tenant spaces shall be a "vanilla shell" with exposed stud walls, exposed overhead structure, bare concrete floors, and a storefront opening framed by the Landlord neutral piers each side and overhead gypsum board canopy or fascia. (Tenant shall demolish existing demising wall at N1-R14)
- c. **Mechanical and Electrical.** Refer to Chapter 8 for requirements.

2. General Design Criteria

2.1 Storefront Design

Paramount to the success of this program is the incorporation of new Tenant interiors and sign identification as outlined in this criteria, which will provide the main focus of excitement and creativity within the terminal.

All tenants, including those with established regional or national storefront Design Criteria will be expected to follow this Design Criteria to assure compatibility with neighboring tenants and the overall image of the Terminal.

Tenants should be creative and original in their merchandising efforts, incorporating quality materials and fixtures with creative signage to project their image through the storefront for clear identity from public areas.

- a. In a majority of locations glass storefront currently already exist. In these locations Tenants may either restore to like new condition (removal of film, replacement of noticeably blemished finishes, thorough cleaning, replace operable parts such as locks and wheels / casters, etc.) and reuse the existing glass storefront assembly or install new glass storefront. In those locations in which glass storefront does not currently exist (some spaces on concourses) the Tenant must install new glass storefront and closure systems.
- b. The Tenant's glass storefront construction shall extend from the floor slab to the sign shelf soffit above and shall about the vertical demising piers at both sides of the demised Concession Tenants premises.
- c. Depending on the specific location, neutral piers and sign shelf fascia exist – or – will be built by the Landlord, with Landlord finishes extending into the Tenant's demised space to create a three-sided pier.
- d. The Tenant's glass storefront and closure systems shall be designed, fabricated and installed by the tenant at the tenant's expense. All closure systems will be ½" clear frameless glass fixed and sliding door panels approved by the Landlord. No other storefront enclosures will be permitted except as noted on the individual tenant storefront plans. Multiple glass door panels must slide within the lease line on a recessed track and stack behind one another parallel to the lease line.
- e. At concourse locations the Landlord shall provide a dropped bulkhead across the entire width of the storefront at the lease line to separate the Concourse ceiling from the Tenant provided concourse ceiling and to create a back lighted sign shelf to support the Tenant's signage. The bottom of the bulkhead shall be verified with drawings above the finished floor and shall extend to the structure above. The bottom of the bulkhead shall receive the tenant's sliding glass head track to provide lateral support.
- f. Sliding panels shall be nominally 4' 0" wide x 9' x 0" height, panels shall stack exposed to view on parallel floor tracks and shall not be pocketed or enclosed.
- g. Glazing system for the storefront must conform to the Landlord's specific storefront criteria and approved manufacturer – see 2.4 a.

2. General Design Criteria

- h. All glass storefront construction shall be supported from the floor and be laterally braced directly to the overhead structure forming the storefront opening. Submit structural details for review.
- i. The level of the finished floor within the tenant space must align flush with the airport finish floor at the storefront. No recessed or raised floors will be permitted. The floor track for the sliding door panels shall be installed flush with the Landlord and tenant floor finishes.
- j. Storefront construction shall not extend beyond the lease line. No display fixture or temporary signage shall protrude beyond the lease line or tenant opening.
- k. Aside from special environmental graphics approved by the Landlord (see signage and graphics section) pressure sensitive graphic logos shall be applied to the interior face or sliding glass doors and glass panels adjacent to doors. Graphics shall be an approved translucent crystal color applied as a film at 42-inch height above finish floor. The purpose of the graphic logos is to warn pedestrians of the presence of the glass surface. The logo size shall be a maximum 4" vertical x 6" horizontal dimension repeated horizontally at 8' – 12" on center. The design shall reflect the store identity in graphic form without the use of text.

Approved film manufacturer and color:

3M Scotchcal Graphic Film 7725SE - 314 Dusted Crystal

- l. No element of the storefront may extend beyond the Concession Tenant's lease line with the exception of specified storefront blade signs (on concourses) and primary signage where permitted by the specific criteria.
- m. Seasonal decorations must be approved by the Landlord.

2.2 Storefront Entries

- a. Storefront openings are formed by stacking the sliding glass panels on either side or both sides of the storefront width behind a fixed panel.
- b. Storefront openings shall be as wide as possible within the limits of storefront width available.
- c. If new glass panels are being provided by the Tenant, Tenants are permitted the option of stacking opened panels on the left hand side, right hand side or both sides of an operable section of storefront to suit the needs of the interior design.
- d. Tenants are encouraged to have multiple open entryways, provided each is separated by an intervening pier or column within the storefront width.
- e. Glass storefront setbacks from the storefront lease line will be prohibited and must follow the lease line.

2. General Design Criteria

- f. The Landlord shall provide common area floor finishes to the face of the tenant provided sliding door track. Common area flooring finishes vary depending on the location in the airport and may be terrazzo, carpet, or tile.
- g. Electronic surveillance or other shoplifting detection devices and security systems shall be integrated within the Tenant's interior space so as to be recessed within other store elements (ceiling, displays) and be non-obtrusive. Suspended boxes, suspended rails or other exposed equipment or decals are not permitted.

2.3 Display Areas

- a. In terminal locations the Display Area is a 5'- 0" deep zone running the width of the storefront and extending from the lease line inside the store.
- b. The creative use of Display Areas is strongly encouraged. Innovative merchandising, quality materials and appropriate lighting system should be used to convey the Tenant's merchandise identity and generate activity and excitement.
- c. Floor finishes shall be limited to durable materials such as terrazzo, stone, ceramic tile, and wood. Unless specifically approved as a special design element, no carpet is allowed.

- d. All Display Areas shall be adequately lighted and ventilated. This area shall be illuminated with low voltage track lights, recessed lighting, or approved specialty lighting. The use of LED lamp sources is strongly encouraged, while the use of incandescent lamps is discouraged unless specifically approved Landlord.
- e. Lighting systems in this area shall be *controlled via* a dimmer *switch* and *time switch system* allowing after hours illumination of displays and merchandise. Glare visible to the common area will not be permitted.
- f. No linear lamp (2', 3' or 4' as examples) fluorescent lighting or acoustical tile ceiling will be permitted in Display Areas.
- g. The Landlord shall provide concealed metal stud framing and horizontal steel tube framing forming an overhead soffit above the Display Area for installation of Tenant gypsum board ceiling finishes and for lateral support of the glass storefront head track.
- h. All fixtures shall be professional and industry standard for display windows. No pegboard of any kind is permitted. No metal shelving of any kind is permitted unless it is integral to the Tenant's design concept and approved by the Landlord.
- i. No signs shall be taped or fastened to the windows or hung from the soffit.

2. General Design Criteria

- j. No checkout counters, temporary sale racks or mass merchandising systems (slatwall) are allowed in the Display Area.
- k. Tenants are permitted to provide backdrops at display areas to create “show windows” for special displays. Backdrops may be suspended or floor supported at least 3’ 0” from the glass storefront. The total combined areas of backdrops may not exceed 25% of the storefront vertical area.

2.4 Glass Storefront Materials

- a. All retail storefront enclosures shall be frameless clear glazing of tempered ½” glass with polished exposed edges. No other materials are permitted.

Approved manufacturer:

Dams Incorporated, Doralco, Bottom Sliding System,
<http://damsinc.com/bottom-sliding-door-system>

- b. Alternate manufactures may be submitted for approval provided they are equal in system appearance, function and performance.
- c. Fixed and sliding glass panels shall be floor supported with a full-length top and bottom door rails. Door rails shall be clad in stainless steel.
- d. Door rails shall fit into an overhead aluminum head receptor capable of accommodating 1” minimum deflection.

- e. Sliding glass panels shall be locked by means of a cylinder lock in the bottom rail that engages a drop bolt into a slot in the floor track. At least one panel at each storefront shall be equipped with an interior thumb turn on the cylinder lock to allow emergency egress exiting.

2.5 Neutral Piers

- a. Vertical neutral piers separating Tenant storefront spaces are provided by the Landlord. In some cases vertical neutral piers occur within the Tenant’s storefront width and separate it into multiple openings.
- b. Except as noted specifically in the criteria no Tenant finishes, displays or other items may be mounted on or directly obstruct (occur within 1’ 0” in front of neutral pier Landlord finishes in the Tenant’s demised space.
- c. The typical neutral pier construction encloses a structural building column with metal stud framing, 5/8” tile backer board and 1” ± ¼” sandstone veneer facing full height. The store veneer extends into the Tenant space to enclose the column. The tenant’s glass storefront abuts the stone veneer with a 1” gap.

3. Store Interior Design

3.1 General

- a. The store interior design as viewed through the glass storefront must convey the unique character and sense of identity for each tenant. Tenants should creatively employ visible walls, ceilings and floors to act as a dramatic backdrop in their merchandising efforts. The use of special features, props and displays is encouraged to project their image through the storefront and attract customers into the space.
- b. A majority of locations are previously existing retail spaces and the Tenant is responsible for receiving the space as is and providing all demolition and restoration of surfaces sufficient to allow for the Tenant's build-out. In locations that are conversions from space that is not currently retail space the Landlord will provide a basic shell space with previous finishes already demolished.
- c. All Tenants will be expected to take a fresh and innovative look at how their store can best be designed to present world-class sophistication in a casual yet stylish manner.
- d. Creative adaptations of standard store designs are strongly encouraged within the requirements of the criteria.

- e. A total store image coordinates storefront and interior design with the store's merchandising plan. Tenants must consider creative adaptations to their interior design and planning to achieve a store that is compatible yet different from the common area theme of the retail level.
- f. Materials and finishes must not be toxic (asbestos, lead etc.).

3.2 Demising Partitions

- a. Demising walls between Tenants shall be centered on the lease line dividing tenant spaces and extend to the structure above. In most locations these demising walls currently exist and should be repaired and reused by the Tenant. In locations where they do not exist the Landlord will provide 6" metal studs at 16" o.c. for these partitions and the Tenant shall provide sufficient above ceiling openings for air return in the plenum.
- b. In most locations along Landlord services demising walls extend from floor to structure above and should be repaired and reused by the Tenant. In locations where they do not exist and where constructed of metal studs, the Landlord will provide 5/8" gypsum board on the Landlord side only. The Tenant shall provide 5/8" gypsum board finishes on the tenant side.
- c. The Tenant must seal around all structural shapes, ducts, pipes and other penetrations through the demising walls in an airtight manner, since the space above the finished ceiling is used as an air plenum.

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- d. Tenant interior walls that extend to the underside of the slab above shall have a head track designed to accommodate deflection.
- e. Additional wall reinforcement or independent support is required by the tenant for demising walls used to support shelf standards or other heavy attachments.
- f. Tenants in spaces with existing service doors to service corridors may relocate them as required and shall be responsible for infilling the former door location with matching wall construction and finishes on the service corridor side. In locations where existing service doors do not exist and a Tenant's space abuts a service corridor, the Tenant shall furnish and install a standard door connecting to it. Tenants shall coordinate the location of the service door with the Landlord in new shell spaces. The Landlord shall provide lockable door hardware with temporary construction cores. The Tenant shall provide the permanent cores. All interior doors used to access fire exit corridors shall be appropriately labeled fire door assemblies, complying with local codes.
- g. In some locations, Concourse retail tenant spaces have an exterior glass curtain wall window. Tenants are encouraged to take advantage of this and incorporate the windows into the design of the sales area or public space. If, however, the Tenant requires all or part of the window wall for display, an interior partition may be built. This partition shall be a minimum of 6" from the window wall with access provided to the space behind the partition for maintenance. Air vents shall be provided at the

base and the top of the wall to allow for air circulation. Pressure sensitive adhesive translucent film shall be applied to the inside surface of any existing exterior glass concourse window that is covered over with tenant's interior partitions.

- h. At storerooms, offices and similar spaces Tenants shall apply pressure sensitive adhesive translucent film to the inside surface of any existing exterior glass concourse windows. No stacking of goods against windows is permitted, a distance of at least 6" from windows must be maintained.

3.3 Wall Finishes

- a. All wall surfaces in the sales area visible to the public must be finished in an acceptable manner. Finishes considered to be suitable are painted gypsum board or plaster, commercial grade wall coverings, wood moldings or panel treatments, decorative metal, or natural stone.
- b. The use of the following materials will not be allowed as a wall material in areas visible to the public:
 - i. Extensive use of mirrors or common slatwall
 - ii. Wood grained or simulated pattern plastic laminates
 - iii. Pegboard or corkboard
 - iv. Plywood
 - v. Carpeting on walls

3. Store Interior Design

- vi. Any other material as determined by the Landlord. The Landlord reserves the right to approve all materials and finishes used within the tenant space, including display fixtures.
- c. Wall treatments should be finished at the floor with a durable base material such as wood, stone, ceramic tile, or stainless steel. Vinyl or rubber base will not be permitted in areas visible to the public.
- d. Surface mounted shelf standards will not be accepted.

3.4 Floor Finishes

- a. A suitable floor finish must be provided by the Tenant at all public areas of the Tenant's premises. The elevation of the finish floor must match the adjacent common area floor and sliding glass panel track. Bull-nosed tile, reducer strips of any kind, or carpet edge guards will not be permitted.
- b. Flooring transitions shall have no elevation changes.
- c. Floor treatments should be designed to reinforce the character of the store concept and image.
- d. A hard surface floor material is required in the "Display Area" at the storefront lease line and must extend at least five feet into the store. Acceptable hard surface treatments include natural stone, hardwood

floors, non-glazed porcelain tile or terrazzo. Refer to Specific Design Criteria for exceptions.

- e. Floor finish materials that are not permitted in sales areas or areas visible by the public are quarry tile, rubber/vinyl flooring or vinyl composition tile.
- f. The Tenant shall prepare the interior slab as required to provide a smooth, sound substrate to receive tenant finishes.
- g. If an expansion joint occurs within the tenant space, it shall be the Tenant's responsibility to install the finish floor material to meet this joint in a flush alignment. The Landlord will not be responsible for finished floor material installed over expansion joints.

3.5 Ceiling Finishes

- a. The minimum clear height for ceilings provided by the Landlord is 10'-0". Tenants should inspect spaces to determine opportunities for higher ceiling areas and potential conflicts with existing obstructions.
- b. The Tenant is required to provide a ceiling throughout the sales area. Exposed structure visible through non-opaque ceiling systems shall be painted. Provide expansion joints consistent with industry standards.

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- i. Approved ceiling systems for the sales area or any area visible to the public include the following: Painted gypsum board or plaster
 - ii. Commercial quality acoustical ceiling systems
 - iii. Special or custom designed ceiling trellis, panels or open grids.
- c. Ceiling suspension systems may not be fastened to the underside of the piping or ductwork above. All fastening devices must be secured to the structure above.
- d. The structural slab above tenant spaces in the Main Terminal building is a post-tensioned concrete slab with parking above. The slab is subject to vibration from moving vehicles. In addition, the slab is insulated with exposed batt insulation from below. The Tenant shall be responsible for determining the locations of existing steel tendons in the slab above their space to avoid installing ceiling fasteners and anchors at the tendons. Fastener type should not be prone to “back out” with vibration over time. Existing insulation removed to facilitate tenant construction shall be reinstalled or replaced.
- e. Combustible materials of any type are not permitted above the finished ceiling.

- f. Certain locations within the tenant area need to be accessible ceiling or the tenant must provide access panels to allow the airport to access existing equipment valves or controls above the tenant ceiling area. Any required access panels shall be installed at tenant’s expense. The Landlord reserves the right to specify locations of access panels during the design review phase.
- g. Acoustical tile shall only be permitted on horizontal surfaces. Any vertical, beveled or other type of fascia shall be drywall or plaster.

3.6 Store Layout, Fixtures, Displays, and Millwork

- a. Tenants shall give careful consideration to the use of colors and materials on all floor, wall, and ceiling surfaces, complementing the aesthetic and quality established in the main public areas.
- b. Layouts should react to passengers’ limited time with displays arranged to encourage impulse purchase, ease of browsing and speed of transaction.
- c. Displays should be attractive and call attention to the products featured, but must not interfere with the egress or access to the store.

3. Store Interior Design

- d. Aisle widths shall be adequate for passengers with baggage or luggage carts and also accommodate disabled persons particularly those in wheelchairs.
- e. Counter surfaces must be durable and not mar or scratch under normal use. Glass is not acceptable as a transaction surface at p.

3.7 Lighting System Criteria

a. Display Area Lighting

Display Area lighting fixtures shall utilize LED or low-brightness compact fluorescent lamps. In general, light sources (including lamps) shall not be visible from the terminals' public corridors.

b. Spotlights

Spotlights may be recessed LED or compact fluorescent lamps in adjustable angle fixtures or track-mounted adjustable spotlights. All adjustable units must be focused so that the illumination source is not visible from public area walkways, with the exception of small diameter LED spotlights.

c. Interior General Lighting

- i. General lighting fixtures for the store interior shall be of a glare-free type.

- ii. Incandescent lamps should be avoided unless special circumstances dictate usage. If incandescent lamps are used, they shall be of a low-brightness type. Colored incandescent lamps are not permitted. No lighting source shall be visible at or below the ceiling line. Lighting fixtures may be exposed or shielded, pendant - or surface-mounted on walls or ceilings.
- iii. If fluorescent lighting is used, it shall be of a low-brightness type. Shielding shall be either metal parabolic or acrylic paracube or parawedge-type louvers. Acceptable alternative lighting fixtures which utilize direct/indirect distribution will also be considered. No acrylic lens, "egg crates" or bare fluorescent lamps shall be used for general lighting in tenant areas visible to the public. Acceptable kelvin color temperature of all lamps are 4100K only.
- iv. Provide a minimum of an 82 Color Rendering Index (CRI) for all lamps.
- v. Surface or pendant-mounted track and track lighting fixtures installed for accent lighting may be used.
- vi. The track and fixtures shall be painted to match the ceiling color of Tenant's store. If the track and track fixtures are a part of the interior

3. Store Interior Design

- decor and other paint finishes are required, they must be approved in advance in writing by the Landlord.
- vii. Lighting that provides focus on merchandise displays and general “sparkle” to the space is encouraged.
 - viii. Decorative type lighting, i.e., LED or fluorescent pendant units, chandeliers, or wall brackets, may be used only if Tenant has established an identity based on this design theme, and must be approved in advance of build-out by Landlord. No strobe, spinner or chase-type lighting shall be used. Luminous ceilings shall be uniformly lit, accessible, and maintained so as not to allow dirt or debris to be visible.
 - ix. All lighting system installations must be approved by the Landlord.
 - x. No Tenant lighting system components shall be installed in the common area ceiling.
 - xi. All self-illuminated showcases and display cases must be adequately illuminated and ventilated. Direct visual exposure of LED and/or fluorescent lamps is prohibited.
 - xii. A seven-day, calendar type, 24-hour timing control device shall be provided by the Tenant for lighting of Tenant’s storefront Display Areas during required hours which will be designated by the Landlord.
 - xiii. Interior emergency lighting shall be installed as required by applicable codes and be ceiling recessed where possible. Wall mounted emergency egress lighting fixture locations shall be approved by the Landlord. Night lighting shall be provided in Tenant Space to allow safe travel to and from switch locations to egress doors.
 - xiv. The interior lighting system shall be designed to comply with applicable local Energy Code. Currently, this is the 2012 IECC recognized by the City of Phoenix. The Tenant is responsible to provide the associated design calculations, design documents, etc. to indicate compliance to the applicable portions of the code.

4. Signage and Graphics

4.1 General

- a. Sky Harbor International Airport encourages signage that is three dimensional and expressive of your brand image, merchandise or service while contrasting with adjacent tenants signs to provide differentiation.
- b. Tenants are required to design, fabricate, install and maintain storefront signs that exhibit imagination, high fabrication quality, and draw attention to your concept and brand without negatively impacting the overall environment (glare, lighting with color that creates an interference with common area finishes). Signage verbiage shall be limited to trading name and logo only, as approved by the Lease. Tenant is required to submit design team approved signage and graphics shop drawings to Landlord prior to construction. DCS (The City of Phoenix Aviation Department's Design and Construction Services Division) and AFP (Annual Facilities permit Program) permit approval process information is listed in the Tenant Improvement Handbook available online at: <https://skyharbor.com/pdf/TI-Handbook.pdf>. The Landlord has final approval on all Tenants' signage.
- c. **Although this Design Criteria includes minimum requirements and restrictions, equally important is the Airport's expectation for creative signage that exceeds traditional expectations. Signage should be treated with as much design creativity and focus by the Tenant as the rest of the store design concept and represent**

industry-leading, state –of-the-art creativity and impact. Signage and Graphics proposals that, in the Landlord's judgment, do not accomplish these goals will be rejected.

- d. **Reference Signage Examples: To provide design inspiration and assist Tenants with visualizing the range of creative signage the Airport deems as meeting their goals, several examples from both airport and non-airport environments is included in this section. As the examples are from different types of facilities, not all of them meet the specific technical requirements of this Criteria, but they represent the creativity, level of expression, and general quality the Airport expects. These examples are provided for reference only and are not to be directly copied or emulated.**



4. Signage and Graphics

Reference Signage Examples, continued



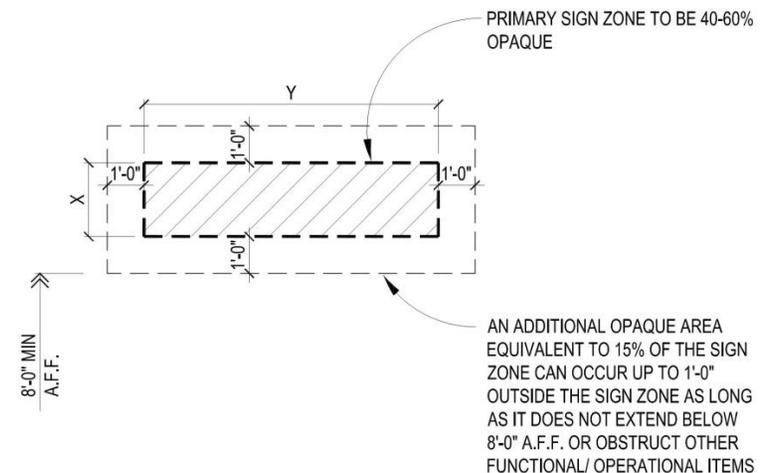
4. Signage and Graphics

4.2 Storefront Signage

- a. In most locations a cantilevered “sign shelf” above the glass storefront exists or will be provided to support a dimensional sign which can be externally illuminated from the common area ceiling with directional spotlights or under special consideration, internal or integrated illumination. Installation and power for internal or integrated illumination is the responsibility of the Tenant. Landlord power may not be used. Tenant must submit drawings detailing method of power supply and installation for approval. The signage shall be bottom supported from the horizontal shelf, be 3- dimensional in character and provide sufficient contrast for signage text.
- b. Environmental graphics or signage that is not “sign shelf” mounted may be submitted for consideration by the Landlord if it is particularly impactful and professional in design and execution. These special environmental graphics may be approved by the Landlord if deemed exceptional in both overall aesthetics and contribution to the effectiveness of the concept. As the Landlord wishes for signs to be creatively integrated with base building architectural elements to form a successful composition, a specific vertical sign band has not been provided. No Landlord vertical surface is available to mount sign elements except where specifically indicated by the Design Criteria.
- c. All primary store identity signs shall be dimensional with sculptural objects and fabricated of multiple spaced layers of materials to create a three

dimensional appearance. It is desired that the multiple layers are sufficiently offset to create shadow-lines when externally illuminated.

- d. Letters or Text shall be fabricated as dimensional forms, individually cut or formed.
- e. All text shall have sufficient contrast and visibility to be legible from 50 feet by either providing its own background behind text or other illumination or color strategy. Signage submittals must describe this legibility strategy and include photographic exhibits illustrating successful previous use of the proposed technique.
- f. Sign Zones - Backgrounds, text and other opaque graphic sign components shall occupy a minimum of 40% and a maximum of 60% of



4. Signage and Graphics

the indicated relevant sign zone. If transparent or semi-transparent materials are used for graphic sign components (colored glass, mesh, or perforated metal for example) consideration may, at the Landlord's discretion, be given for exceeding the indicated 60% maximum, however signs that simply fill in the allowable sign area will not be approved. The profile of backgrounds should be creative and distinctive in shape to express the character of the store concept. The width of Sign Zones shall be 70% of storefront width at locations within the Terminal, unless otherwise indicated.

- g. An additional area equivalent to 15% of the sign zone may contain backgrounds, text and other opaque graphic sign components can occur up to 1'-0" outside the sign zone as long as it does not extend below 8'-0" above the finished floor or obstruct other functional/operational items.
- h. Acceptable materials include metal, acrylic, wood, glass or other approved materials with painted, specially treated or exposed finishes.
- i. No formed plastic or injection molded signs, or vacuum formed letter signs are permitted.
- j. Signs shall be either externally illuminated from ceiling mounted incandescent directional fixtures provided by the Landlord. Internally illuminated signs including neon may be permitted dependent upon special approval. Submittals for approval must illustrate the quality level

of fabrication including photographic exhibits illustrating successful previous use of the proposed technique.

- k. Tenant signs may employ small accent light sources as a design feature or employ concealed supplemental lighting when approved by the Landlord, however installation and power for the light sources are the responsibility of the Tenant. Landlord power may not be used. Tenant must submit drawings detailing method of power supply and installation for approval Landlord shall be responsible for the maintenance of lamps in signage light fixtures.
- l. Tenants may suggest other types of signs for consideration, but the Landlord must give approval prior to final design and fabrication.
 - i. All Tenants should refer to the Storefront Design Criteria exhibits in Chapters 6 and 7 for applicable sign locations, sizes and limitations. In general, the following applies: Aside from the size and location identified as the "sign zone" illustrated on the relevant Exhibit, there is no specific position for storefront signs unless specified in the Specific Design Criteria.
 - ii. Tenants will be allowed to install one sign at the storefront as a primary business identity; this sign will be limited to trade name and logo only.

4. Signage and Graphics

- iii. In the case of a space with two sides of exposure, additional identification signs are permitted for frontages in excess of 20 feet in width.
- iv. All Tenant sign lighting shall be illuminated 24 hours/day
- m. Storefront signs should reflect the following:
 - i. Signs should incorporate graphic symbolism of shop name or merchandise rather than written advertising.
 - ii. Signs should be an art form.
 - iii. Variety and individuality should be emphasized.
 - iv. No sign advertisement, notice or lettering other than store names or approved logos shall be exhibited, inscribed, painted or affixed on any portion of any storefront or have major visibility from the public areas unless specifically approved in writing by the Landlord.
 - v. No corporate brand names, product names or phrases may be used on storefront signs or in any area visible to public areas without written Landlord approval.

- vi. All signs containing electrical components must be Underwriter Laboratory-approved.
- vii. Raceways/conduit, ballasts, transformers, sign company names, underwriter labels, clips, brackets, or any other form of extraneous advertising, attachment and/or lighting devices shall be fully concealed from public view.

4.3 Sign Restrictions Inside Store

The following guidelines and restrictions apply to the fabrication and installation of storefront signage and signage within the Tenant's premises.

- a. Tenants are prohibited from affixing permanent or temporary signing, decals, credit card signs or symbols, artwork, or other signage indicating product line.
- b. Permanent or temporary interior signage specifying products and prices must be designed, constructed and executed with quality and professional standards of fabrication.
- c. Commercially produced graphics for nationally produced and merchandised products are generally unacceptable. Listing of merchandise shall not be permitted within the first five feet measured inward from the lease line.

4. Signage and Graphics

- d. Animated component signs and signs employing moving or flashing lights are not permitted under any circumstances.
- e. Surface-mounted box or cabinet-type signs are not permitted.
- f. Formed plastic or injection molded signs, or vacuum-formed letter signs are not permitted.
- g. Signs fabricated from simulated materials such as wall coverings, stone or wood-grained plastic laminates are not permitted.
- h. Freestanding floor signs within the within the first five feet of the store and outside the leaseline are not permitted.
- i. Signs may not employ exposed raceways, ballast boxes, transformers, crossovers, or conduits.

4.4 Lobby Blade Signs

Not Used

4.5 Concourse Blade Signs

- a. Retail tenants located in "in-line" spaces on the gate concourses will be entitled to have one two-sided blade sign typically located on one side of

the Tenant storefront. There are two types of blade sign armatures, wall mounted or ceiling mounted depending on specific locations.

- b. The blade sign support armature, light fixtures and power shall be furnished and installed by the Landlord. The sign panel and connections to armature shall be designed, furnished and installed by the Tenant. The blade sign light fixtures shall be maintained (revamped) by the Tenant.
- c. The sign face graphics must be consistent with the graphics of the Tenant's space and may feature a corporate logo as well as the store name. Three-dimensional treatment as described for the primary store identity sign under Section 4.2.c. is required.
- d. The maximum blade sign weight at the concourses is 30 lbs.
- e. Refer to the Concourse Blade Sign Exhibit on page - - for dimensions and appearance.
- f. All blade signs are externally illuminated with lighting provided by directional ceiling-mounted light fixtures. No other lighting systems are allowed.
- g. The sign panel may be of any shape, but must not exceed the dimensions shown on the blade sign exhibits.

5. Non-Standard Spaces

5.1 Lobby “Specialty Retail” Location

Not Used

5.2 Concourse “Massage / Nail Bar / Spa” Location

- a. The Concourse “Nail Bar / Spa” Location is in an area in which openness, sightlines through to other areas (gate hold, etc.) and shared daylight is important. The store is also exposed to public space on a majority of its perimeter. As a result the store concept should be fundamentally open allowing maximum sightlines through the concept.
- b. Material, finish, signage and construction quality requirements of chapters 1 – 4 apply to this concept with the following exceptions:
 - i. Where store components are attached to floor structure, method of attachment must be minimal in nature and Tenant is responsible for restoration of finishes to existing condition at end of term.
 - ii. Where there is a conflict, this section and associated diagrams take precedence over Chapters 1-4.
- c. Reference exhibits 7.7 and 7.8 for allowable buildout areas, dimensions and requirements that can be generally summarized as:
 - i. Landlord will provide new soffit at perimeter of space. Tenant is responsible for providing the soffit finish subject to Landlord approval. Finish should further the store concept's brand and

- harmonize with Landlord finishes. Tenant is responsible for installing new ceiling and lighting systems within the space.
- ii. Up to 15% of storefront glazing may include approved graphics (trading name, logo or decorative pattern only, as approved by the Landlord – no advertising, slogans, or contact information)
- iii. The west face of the concept is the primary storefront and is fronted by a public ramp and glass rail. Primary access to the concept will be at the bottom of the ramp. The tenant may maintain the existing ramp glass rail or provide full-height butt-glazed storefront as described in Chapter 2.
- iv. The south face of the concept is fronted by a partial height wall, millwork and information booth. The east face is open to gate hold area. The tenant may leave the south and east faces open or provide full-height butt-glazed storefront as described in Chapter 2.
- v. The north face comprised by a glass enclosed stairwell with opaque film and a Landlord provided full height wall. Tenant is responsible for providing the wall finish on both the public and store interior side of the wall subject to Landlord approval.
- vi. 5' wide perimeter storefront display area on the west and east sides of the concept may not contain items exceeding 4' above the adjacent floor or ramp floor height.
- vii. The partial height storage display area may not exceed height of the existing partial height wall on the south side of the concept.
- viii. The Enclosure Zone which fronts the glass enclosed stairwell may include full height walls (treatment rooms). Protect opaque film and glass stair enclosure. Water supply and drain line will be brought to this zone by the Landlord. Tenant is responsible for

5. Non-Standard Spaces

distribution, and final connections and remaining above floor plumbing. Plumbing, aside from approved fixtures must be concealed from public view. Tenant must submit drawings detailing method of distribution and installation for approval including desired stub out location.

- ix. A ceiling feature may extend to within 8' of the floor in the 10' diameter Ceiling Feature Zone.
- x. In the event full height glazing and closure is not used, non-business hours securing of product and equipment must be within the concept's displays and cabinets without the use of rolling grills, chains, canvas or other elements that detract from the aesthetic of the concept.
- xi. Tenant is responsible for installing new ceiling and lighting systems within the space.

- d. **Reference Concept Examples:** To provide design inspiration and assist Tenants with visualizing a compliant design, a conceptual design has been developed. This example is provided for reference only and is not to be directly copied or emulated.



5. Non-Standard Spaces

5.3 Concourse “Wall Specialty Retail” Locations

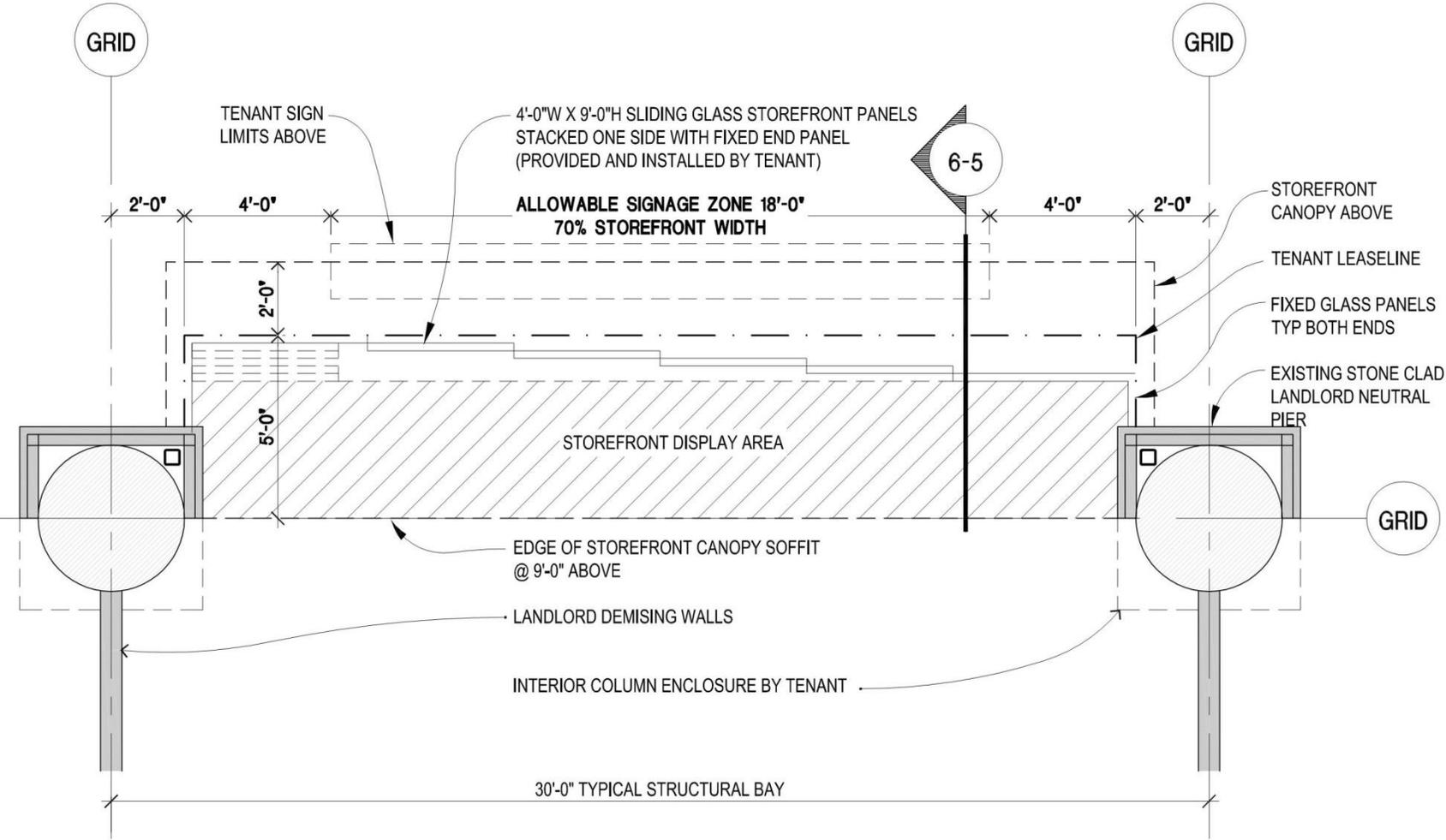
- a. Wall Specialty Retail is located off of circulation areas on the concourses and occupy continuous wall space in a shallow depth linear configuration.
- b. The existing cabinetry configuration includes a full height vertical merchandise display system with integral storage drawers or cabinetry below. Tenants may either keep and refurbish the existing cabinetry or replace it with new millwork representative of the concept’s brand subject to Landlord approval, in which case the level base and soffit above between which the existing cabinetry is positioned must remain in place (patch and repair as necessary).
- c. Lighting shall be provided by the Landlord. The Tenant shall maintain and revamp all Wall Specialty Retail lighting systems.
- d. Material, finish, signage and construction quality requirements of chapters 1 – 4 apply to this concept with the following exceptions:
 - i. Where store components are attached to floor structure, Tenant is solely responsible for structural engineering and installation. Method of attachment must be minimal in nature.
 - ii. Where there is a conflict, this section and associated diagrams take precedence over Chapters 1-4.
- e. Reference exhibits 7.9 - and 7.10 for allowable buildout areas, dimensions and requirements that can be generally summarized as:
 - i. The existing floors vary in slope from location to location (field verify).
 - ii. In addition to re-used existing wall cabinetry, tenant may install a maximum 5'-0" long cash wrap no greater than 40" in height, and a maximum 7'-0" long display cabinet no greater than 40" in height, both located at the perimeter of lease line / floor pattern.
 - iii. Any other free-standing displays must be less than 40" in height, must maintain a minimum 3' from all other displays or cabinets, a minimum 2' set-back from the lease line / floor pattern, be customized to be plumb on the ramp of the space and must be Landlord approved.
 - iv. New wall recessed cabinetry shall not protrude beyond the existing adjacent wall spaces All merchandise shall be secured during non-business hours by means of roll down tambour doors within the wall cabinetry or within the freestanding displays.
 - v. All merchandise shall be secured during non-business hours by means of roll down tambour doors within the wall cabinetry or within the freestanding displays.
 - vi. Landlord shall supply a curved signage support armature above the store. Tenant shall install storefront sign in Sign Zone A in a manner that does not permanently mark or otherwise damage the armature.

5. Non-Standard Spaces

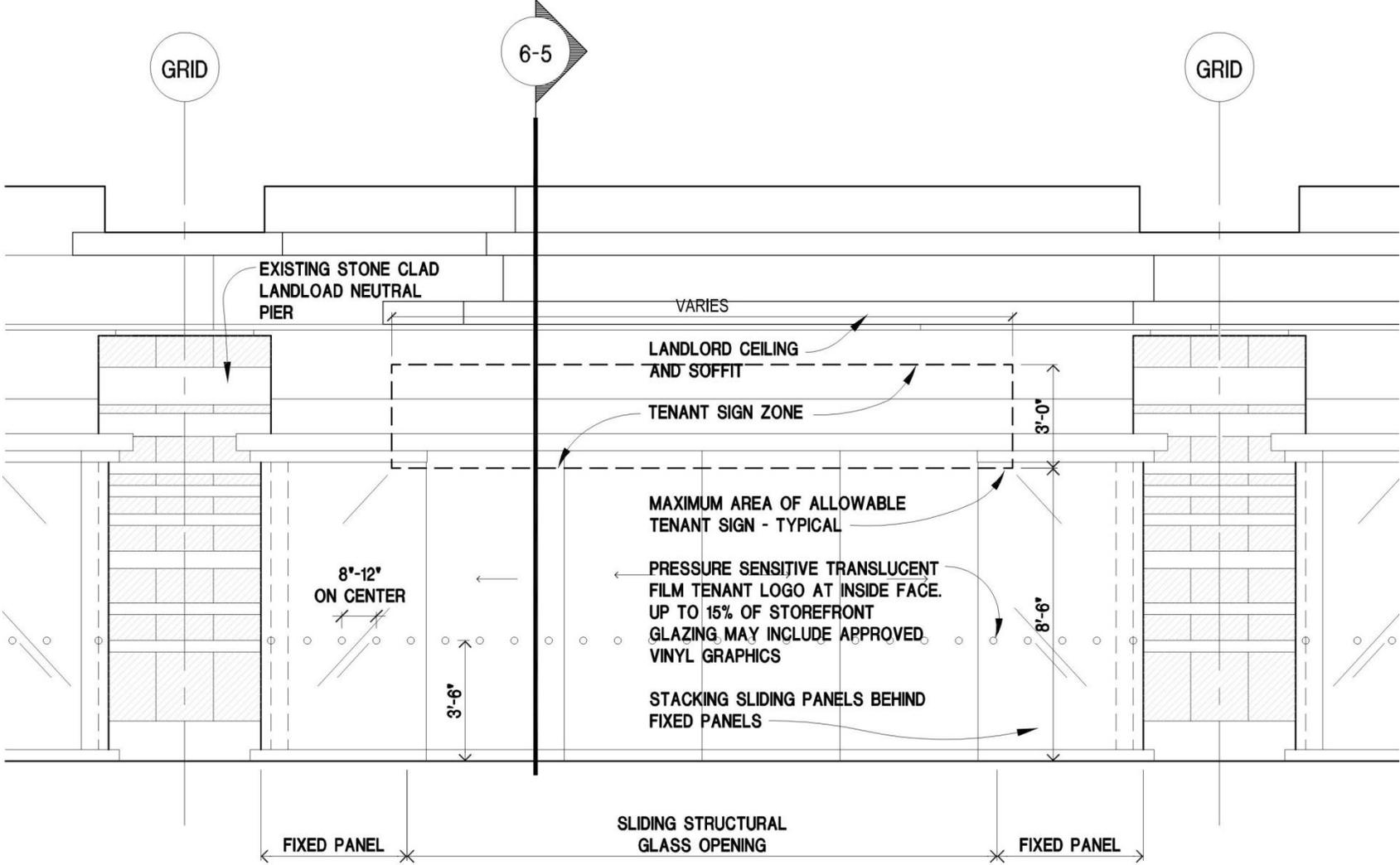
- vii. Landlord shall supply a cable sign support system at adjacent Neutral Pier. Tenant shall install supplemental sign in Sign Zone B in a manner that does touch the Neutral Pier.
- f. **Reference Concept Example: To provide design inspiration and assist Tenants with visualizing a compliant design, a conceptual design has been developed. This example is provided for reference only and is not to be directly copied or emulated.**



6. Main Terminal Exhibits



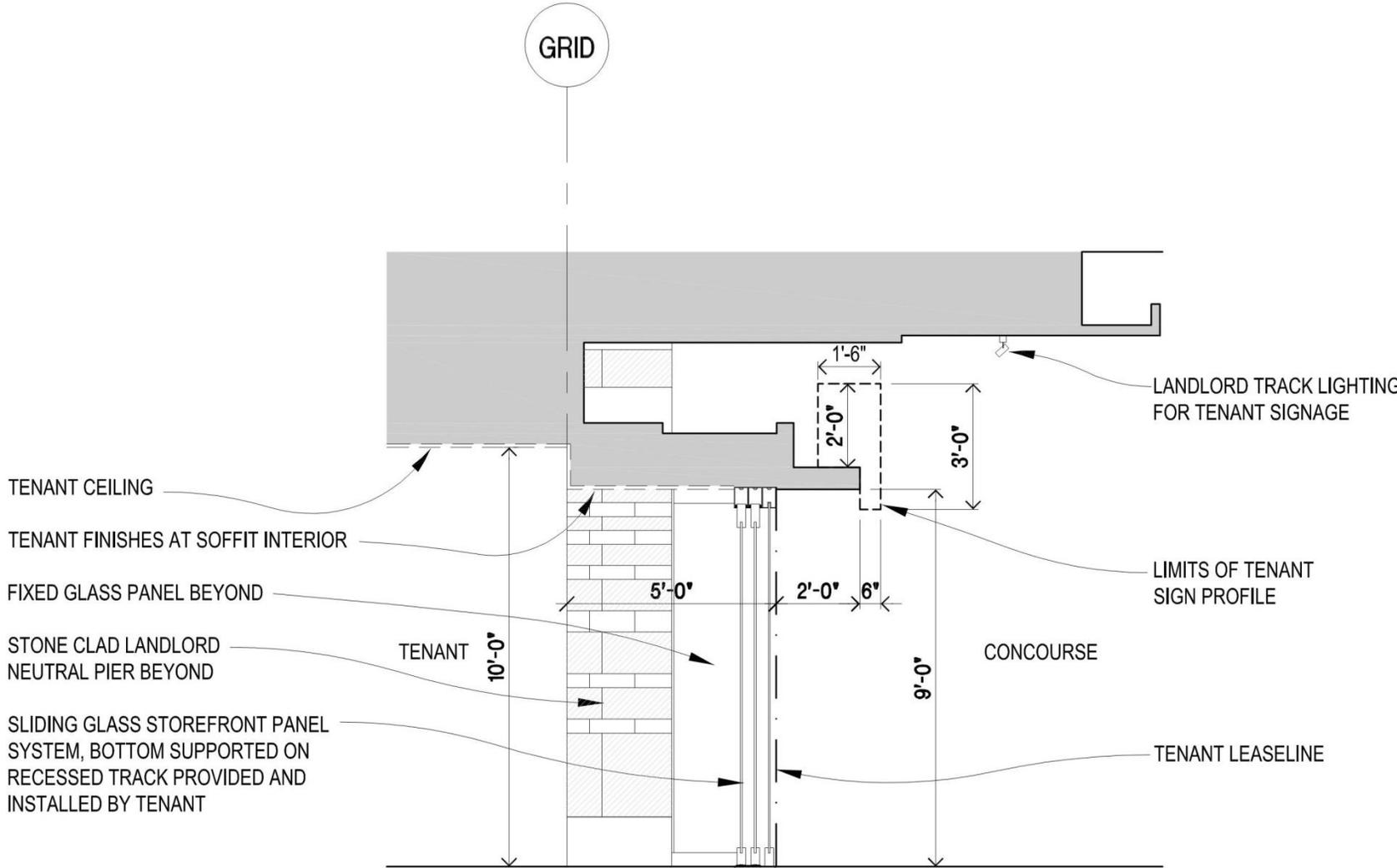
6.3 Typical Main Terminal Storefront Canopy – Side Opening Doors
 NOT TO SCALE



6.4 Typical Storefront Elevation

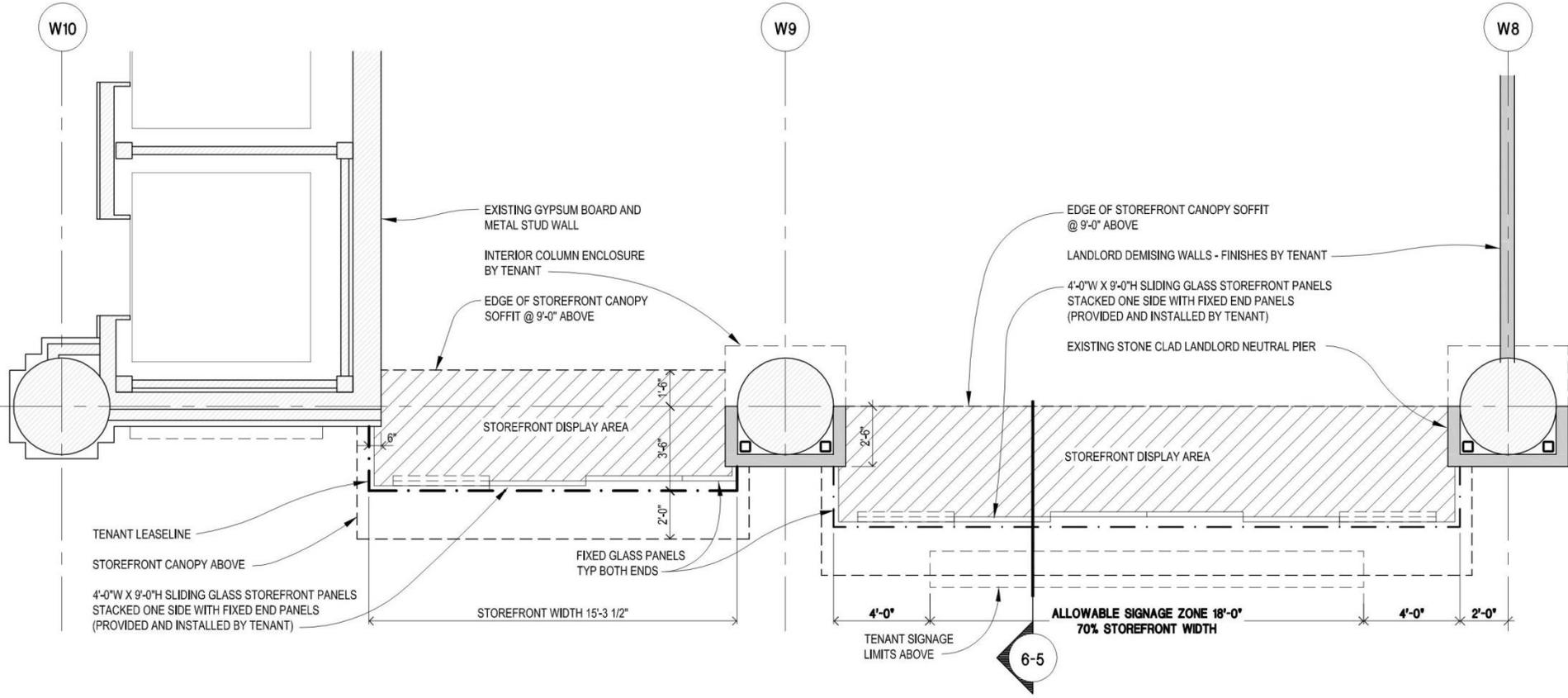
NOT TO SCALE

6. Main Terminal Exhibits



6.5 Typical Storefront Section
NOT TO SCALE

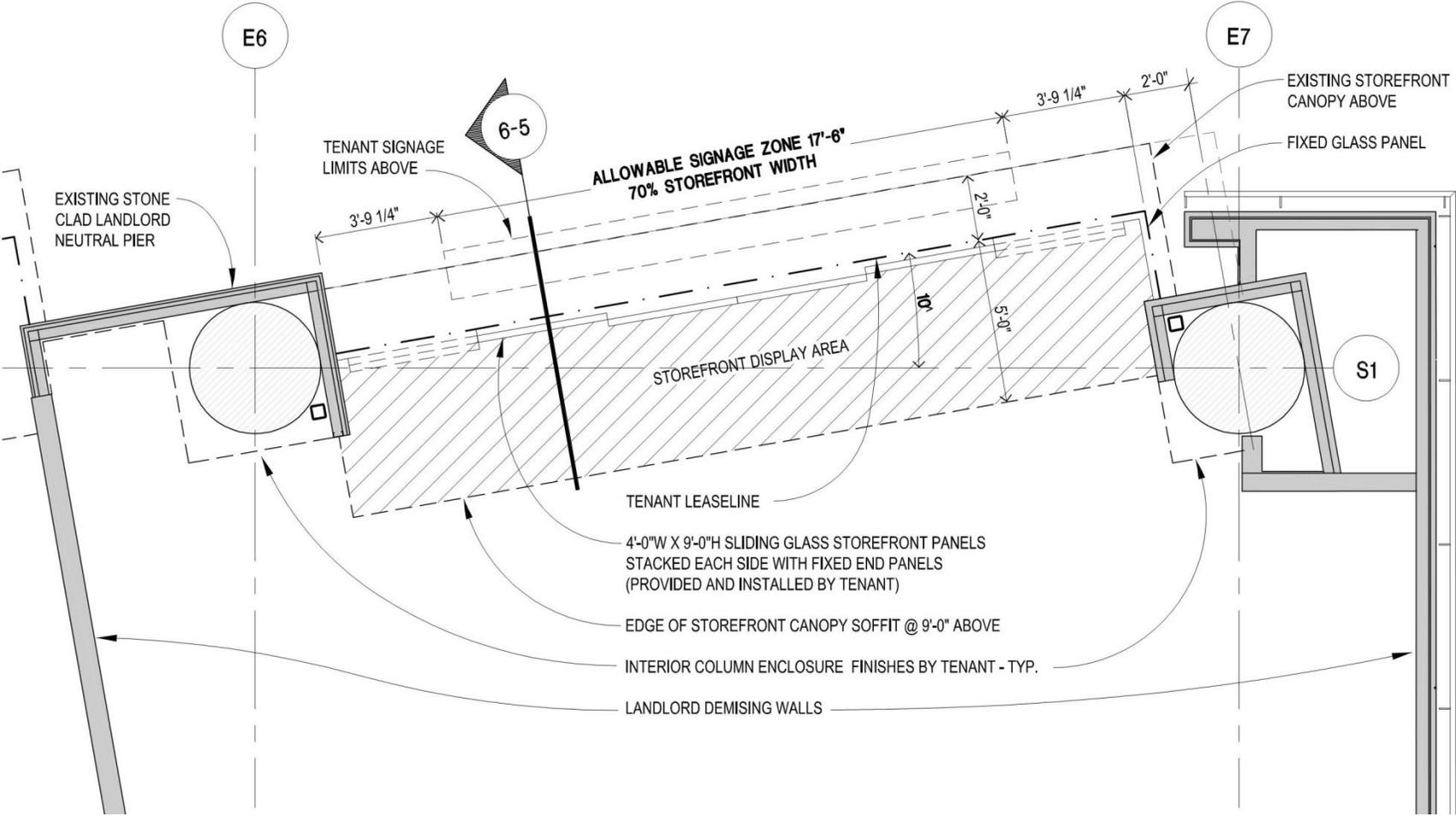
6. Main Terminal Exhibits



6.7 Storefront – Tenant L-R1 – Center Opening Doors

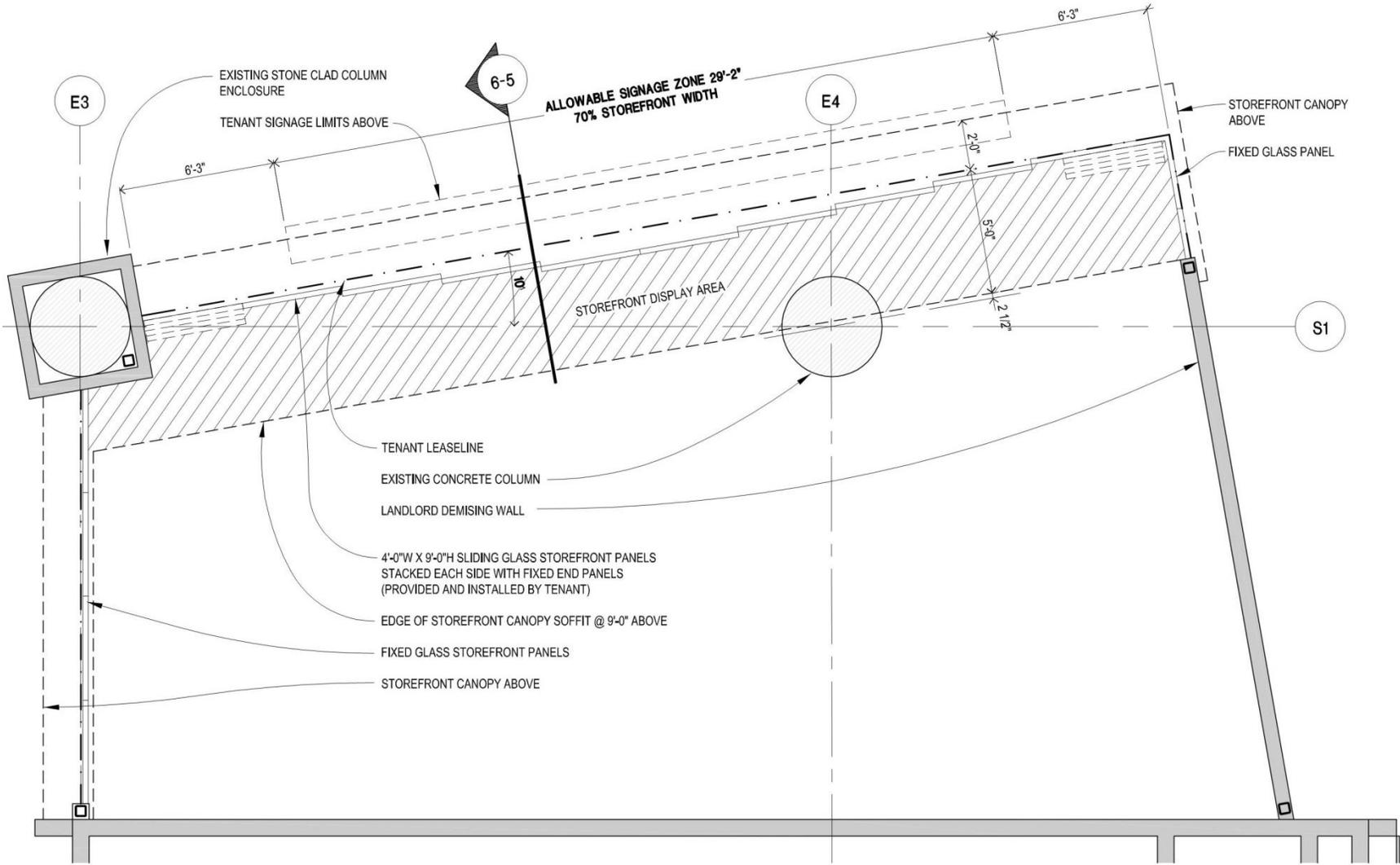
NOT TO SCALE

6. Main Terminal Exhibits



6.9 Storefront – Tenant L-R12 – Center Opening Doors
 NOT TO SCALE

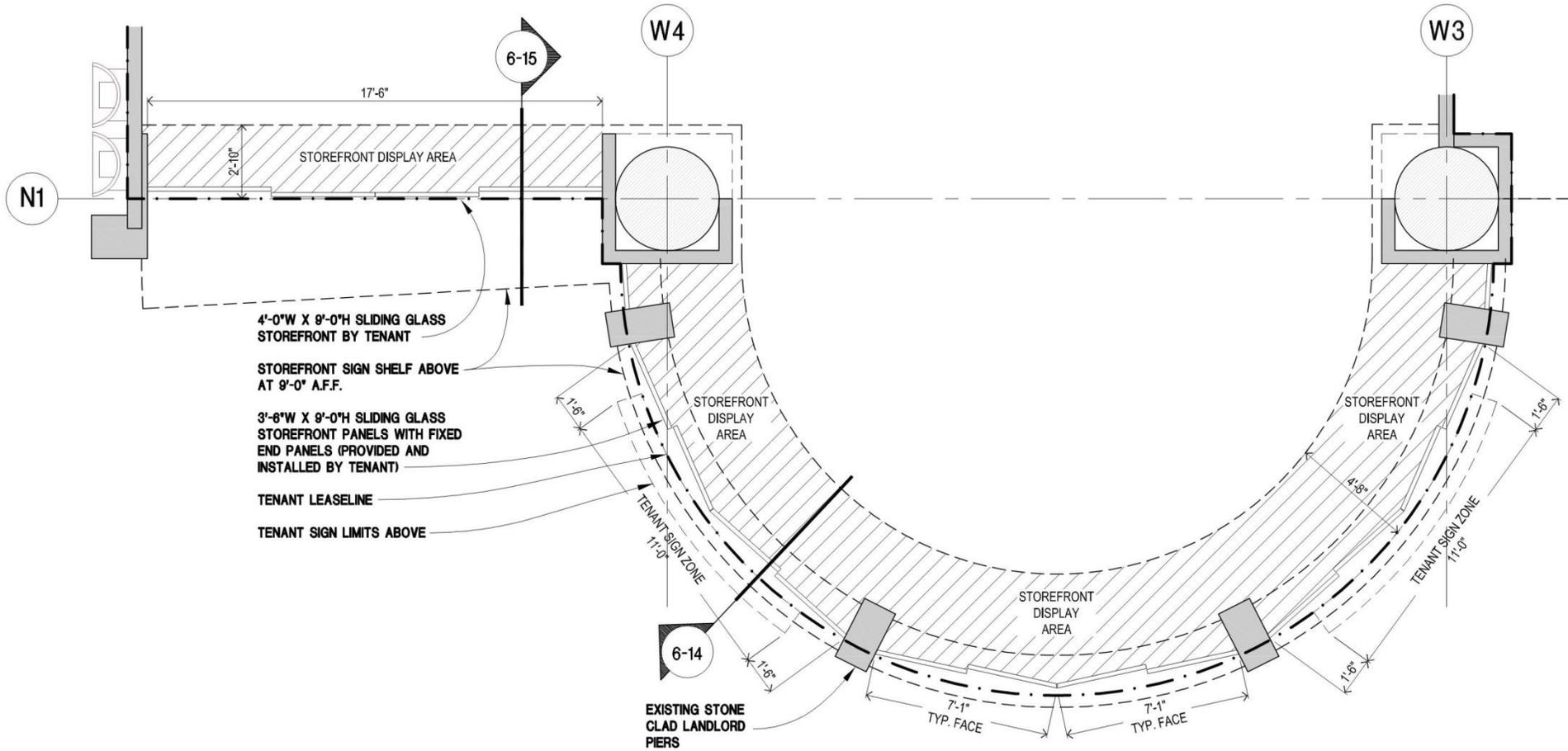
6. Main Terminal Exhibits



6.10 Storefront – Tenant L-R13 – Center Opening Doors

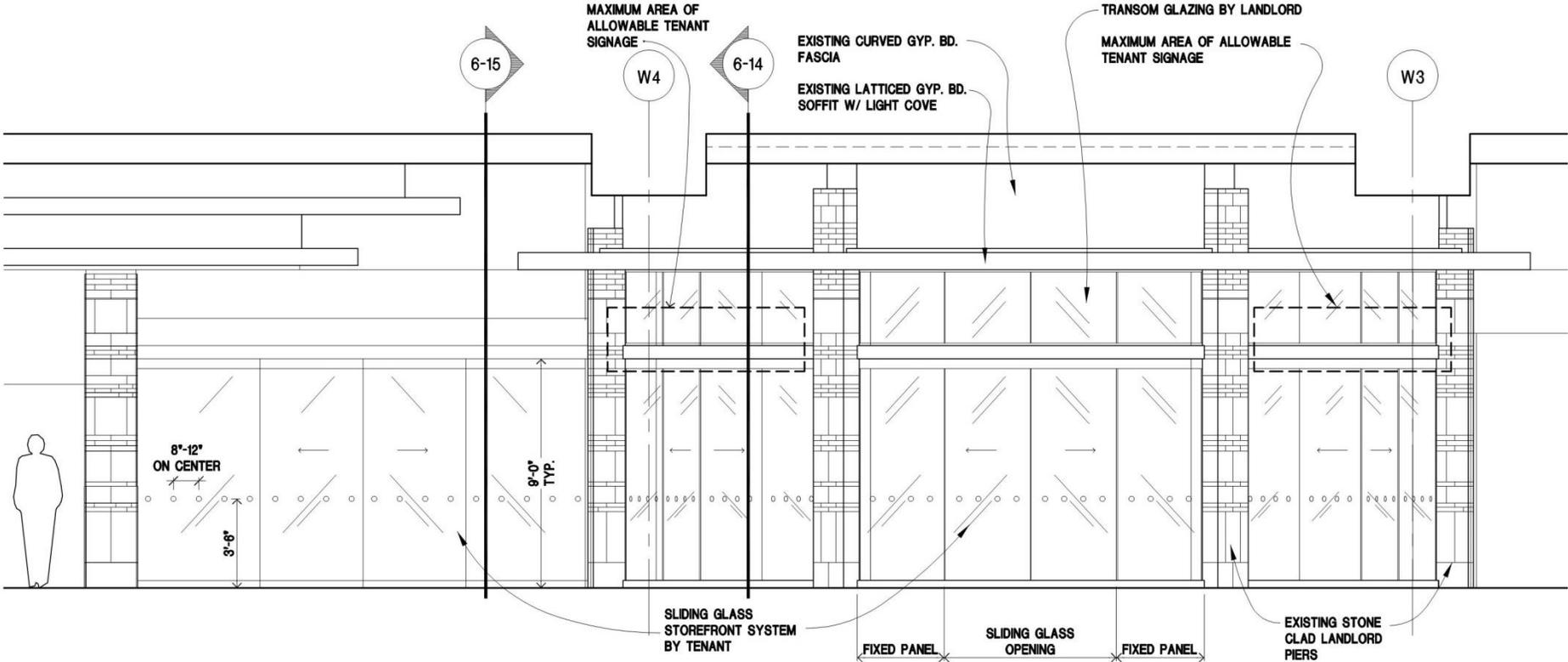
NOT TO SCALE

6. Main Terminal Exhibits



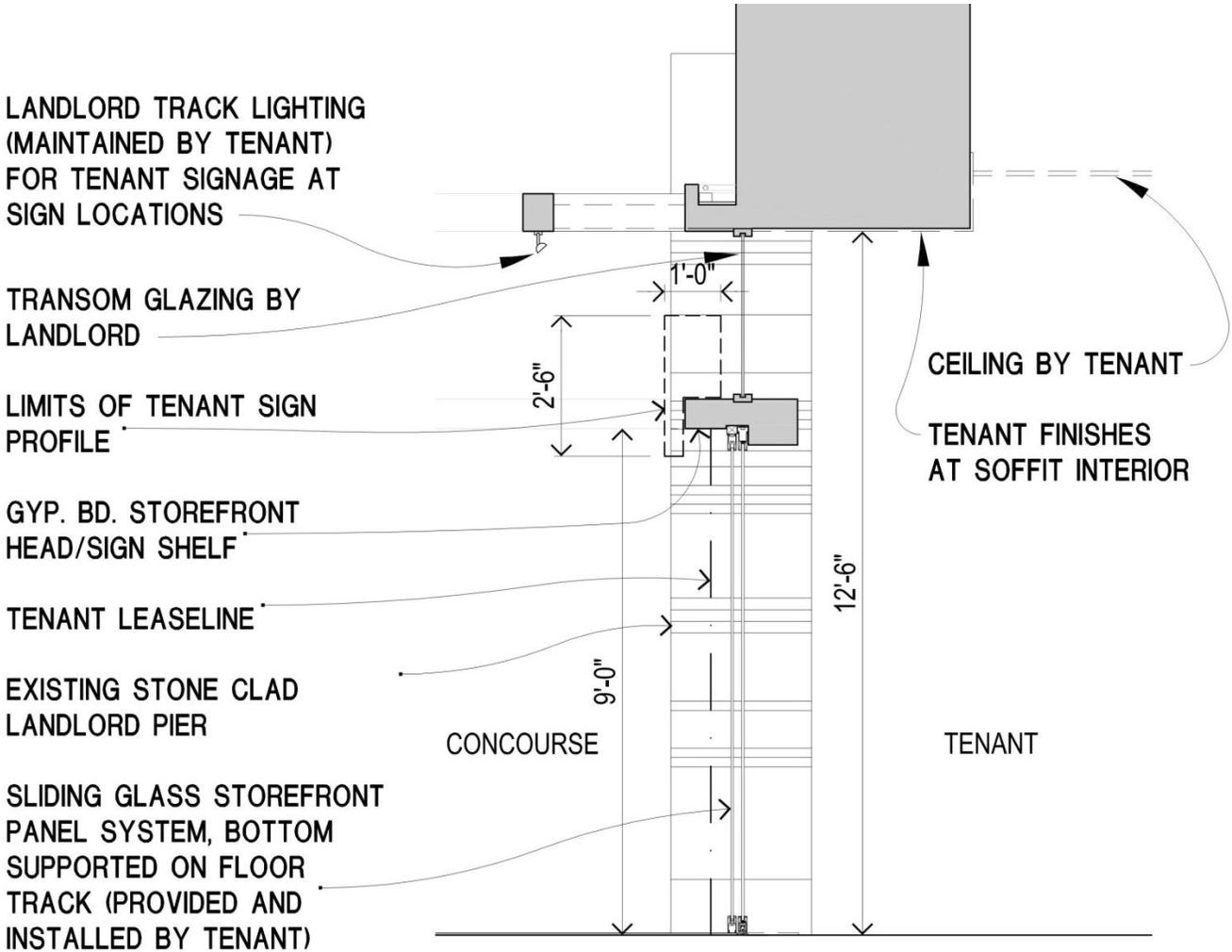
6.11 Storefront – Tenant L-R5 – Center Opening Doors
 NOT TO SCALE

6. Main Terminal Exhibits



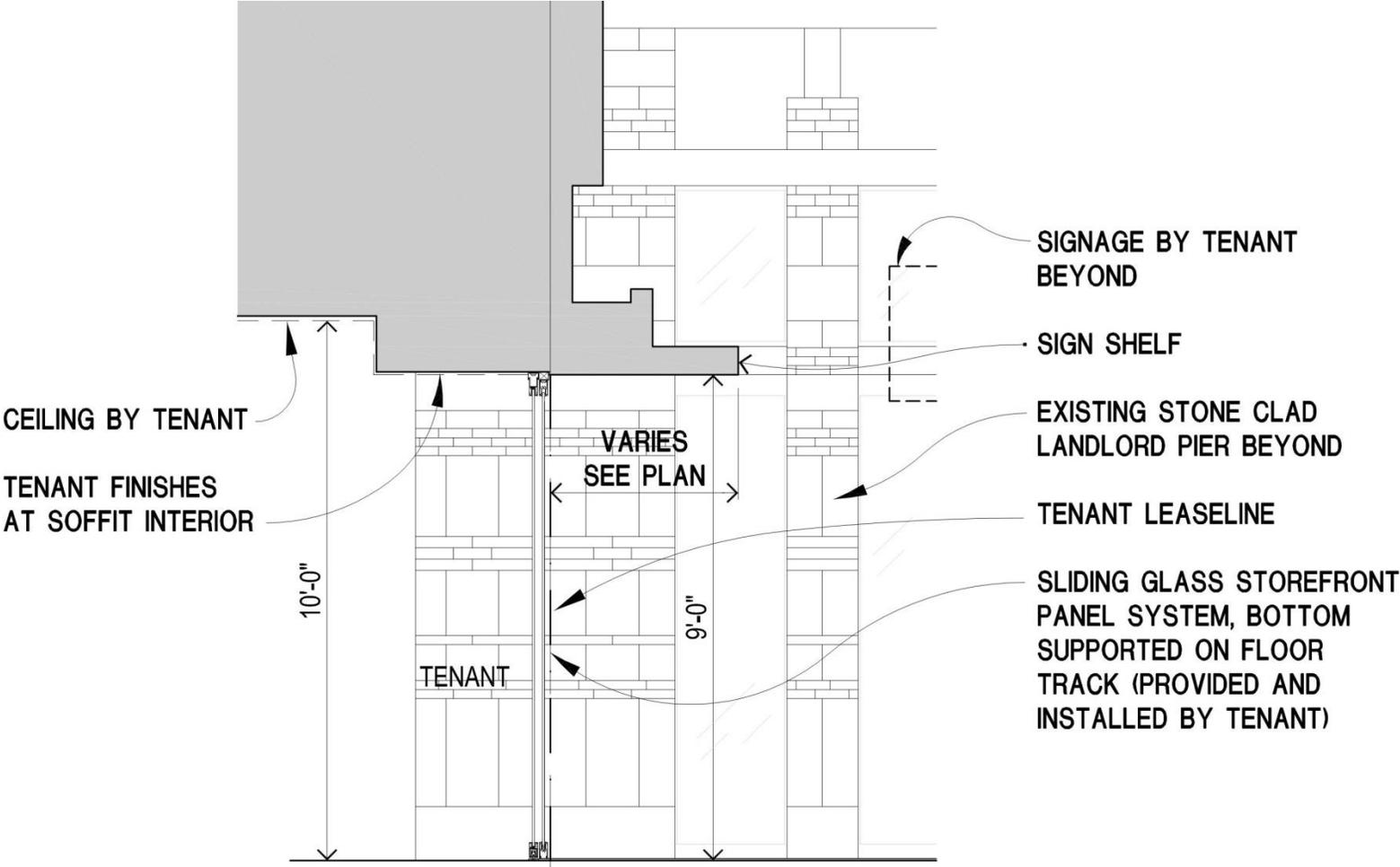
6.12 Tenant LR-5 Storefront Elevation
 NOT TO SCALE

6. Main Terminal Exhibits



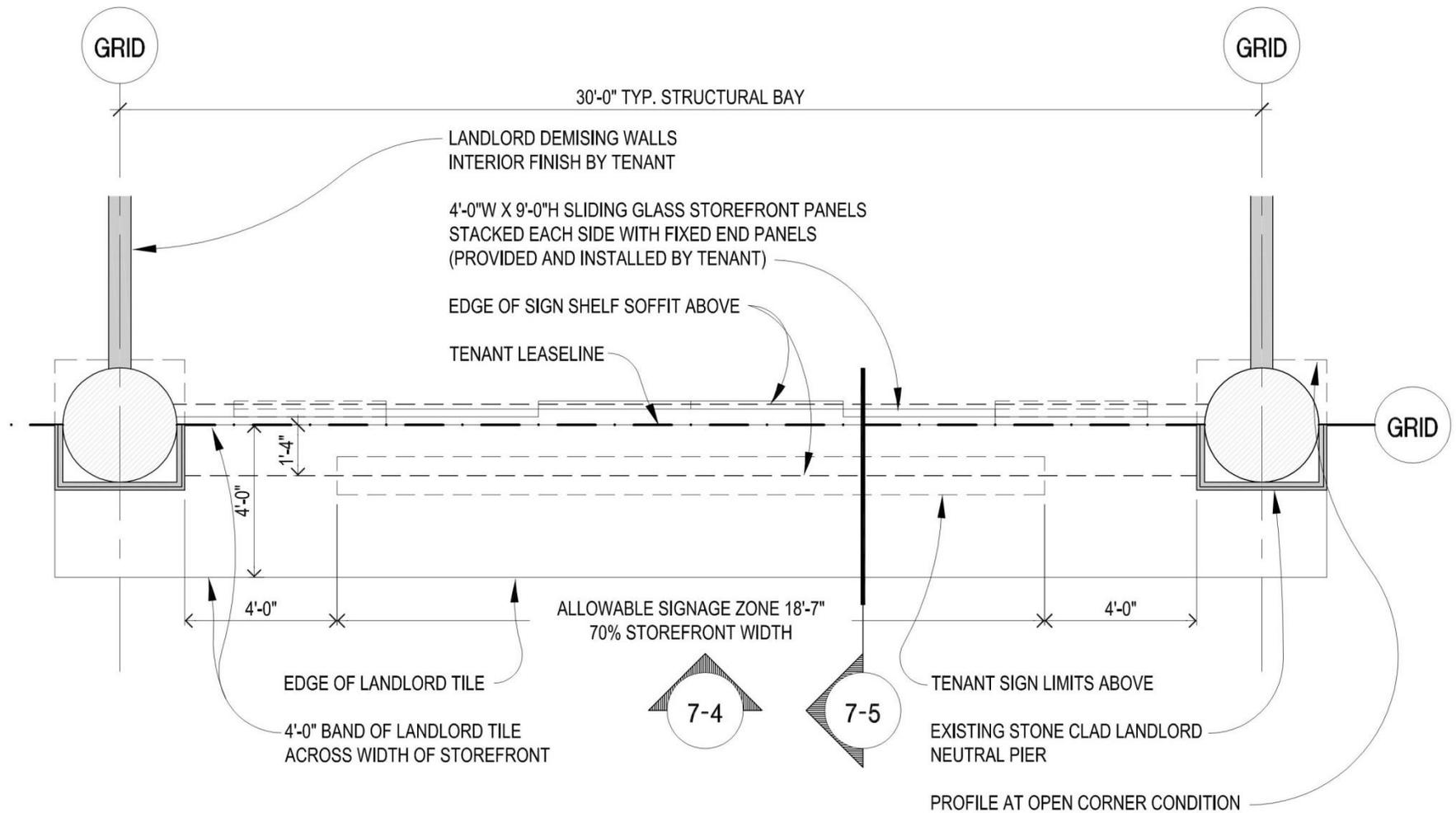
6.13 Tenant LR-5 Typical Storefront Section
NOT TO SCALE

6. Main Terminal Exhibits



6.14 Tenant L-R5 Storefront Section BTWN Grids W4 and W5
NOT TO SCALE

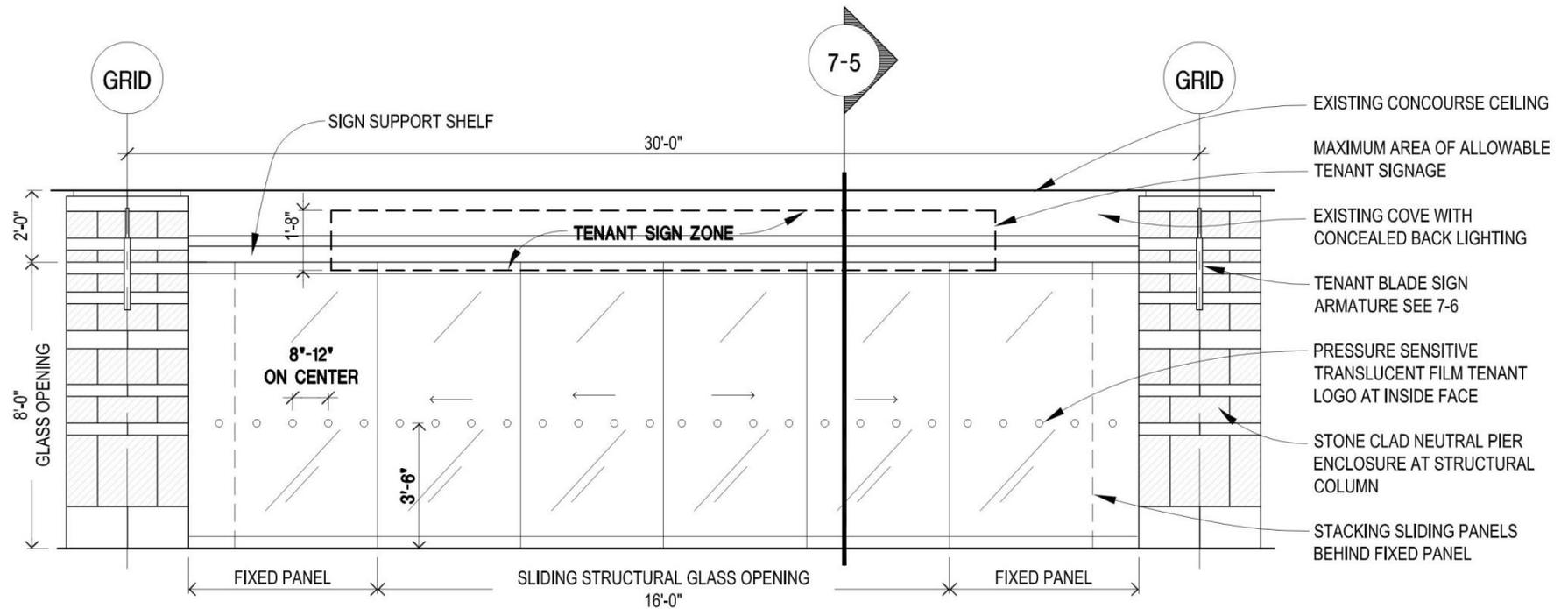
7. Concourse Exhibits



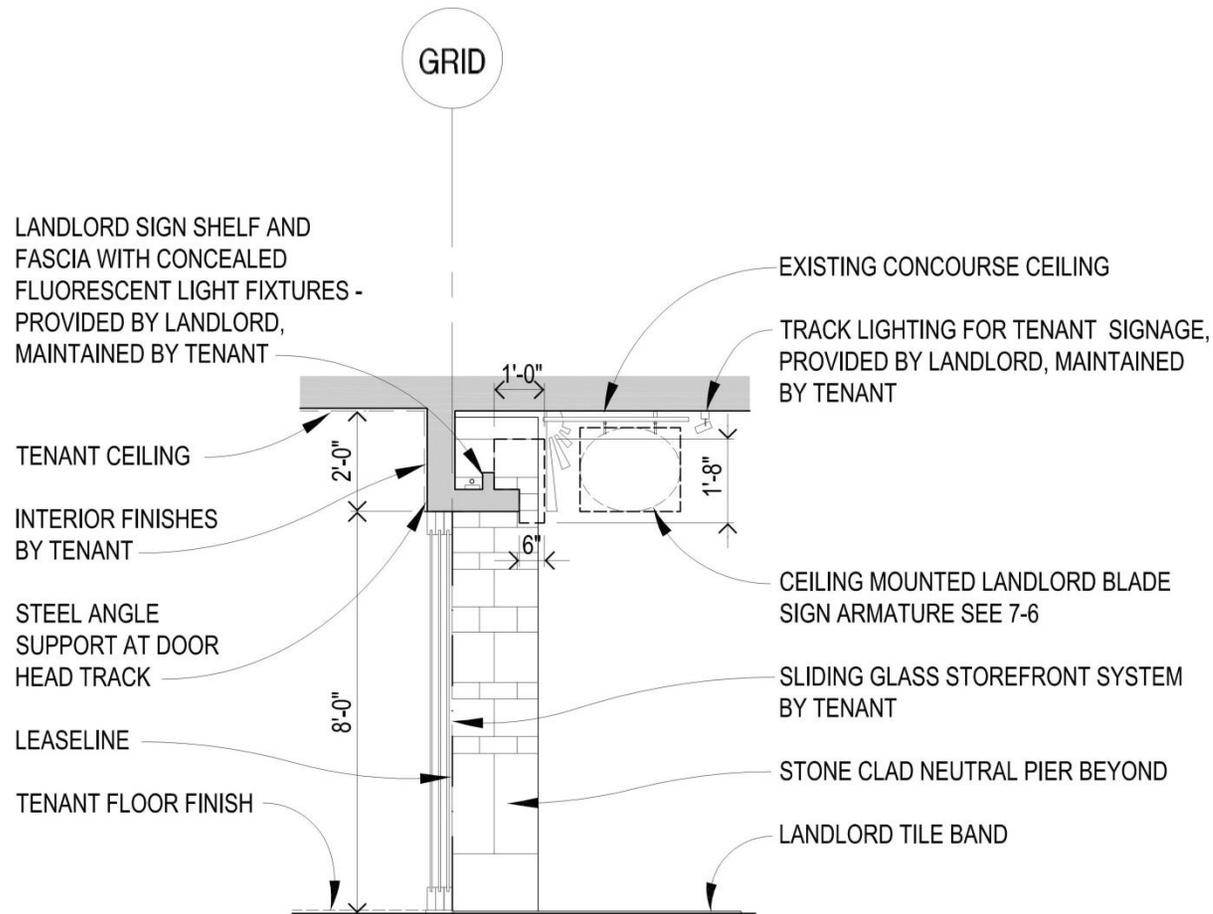
7.1 Typical Concourse Retail Storefront – Center Opening Doors

NOT TO SCALE

7. Concourse Exhibits



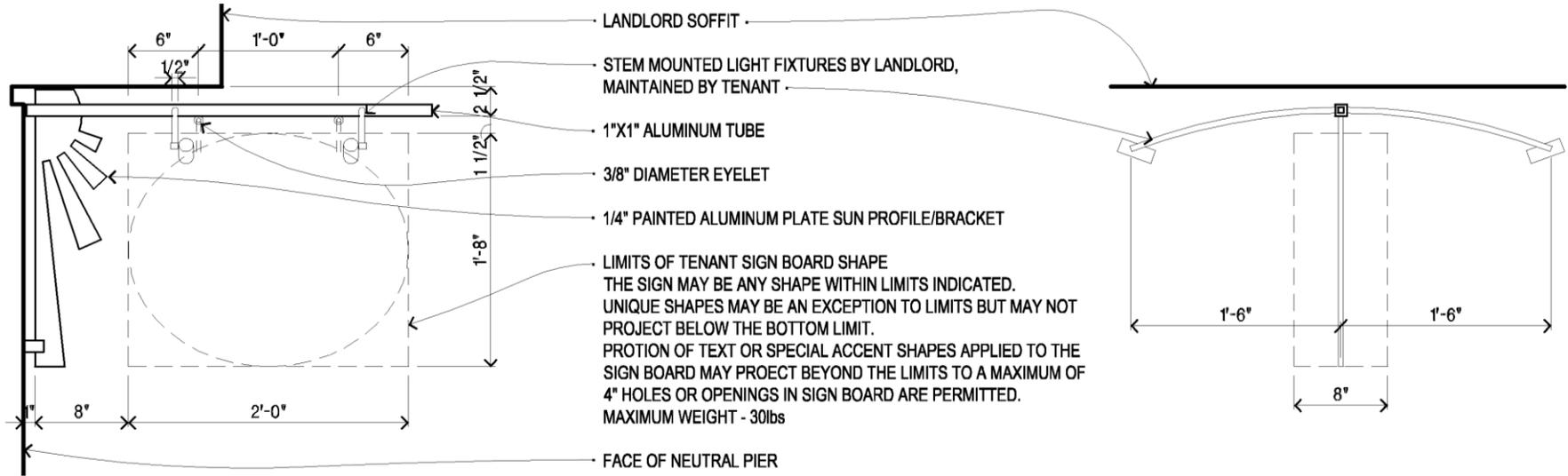
7.2 Typical Concourse Retail Storefront Elevation
NOT TO SCALE



7.3 Typical Section at Concourse Retail Storefront

NOT TO SCALE

7. Concourse Exhibits



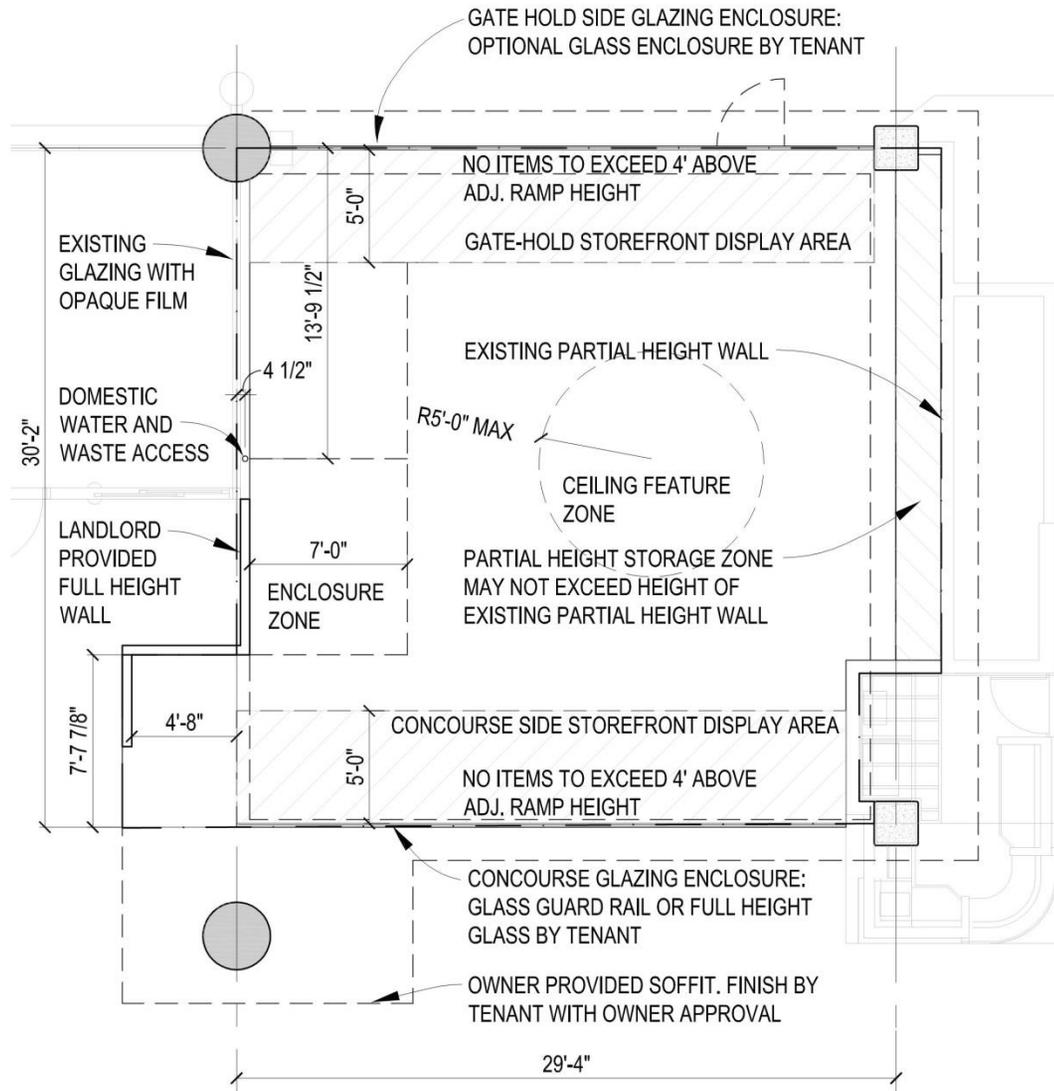
Concourse Blade Sign – Pier Mounted



Concourse Blade Sign – Ceiling Mounted

7.4 Concourse Blade Sign

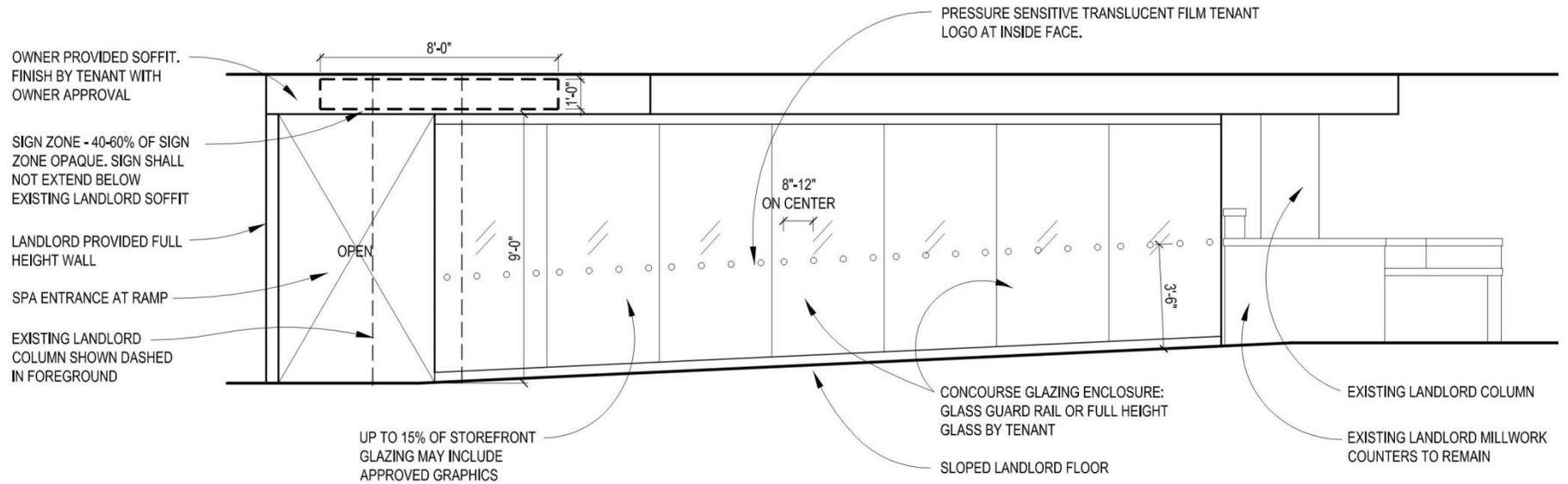
NOT TO SCALE



7.5 Concourse “Massage / Nail Bar / Spa” Zones Plan

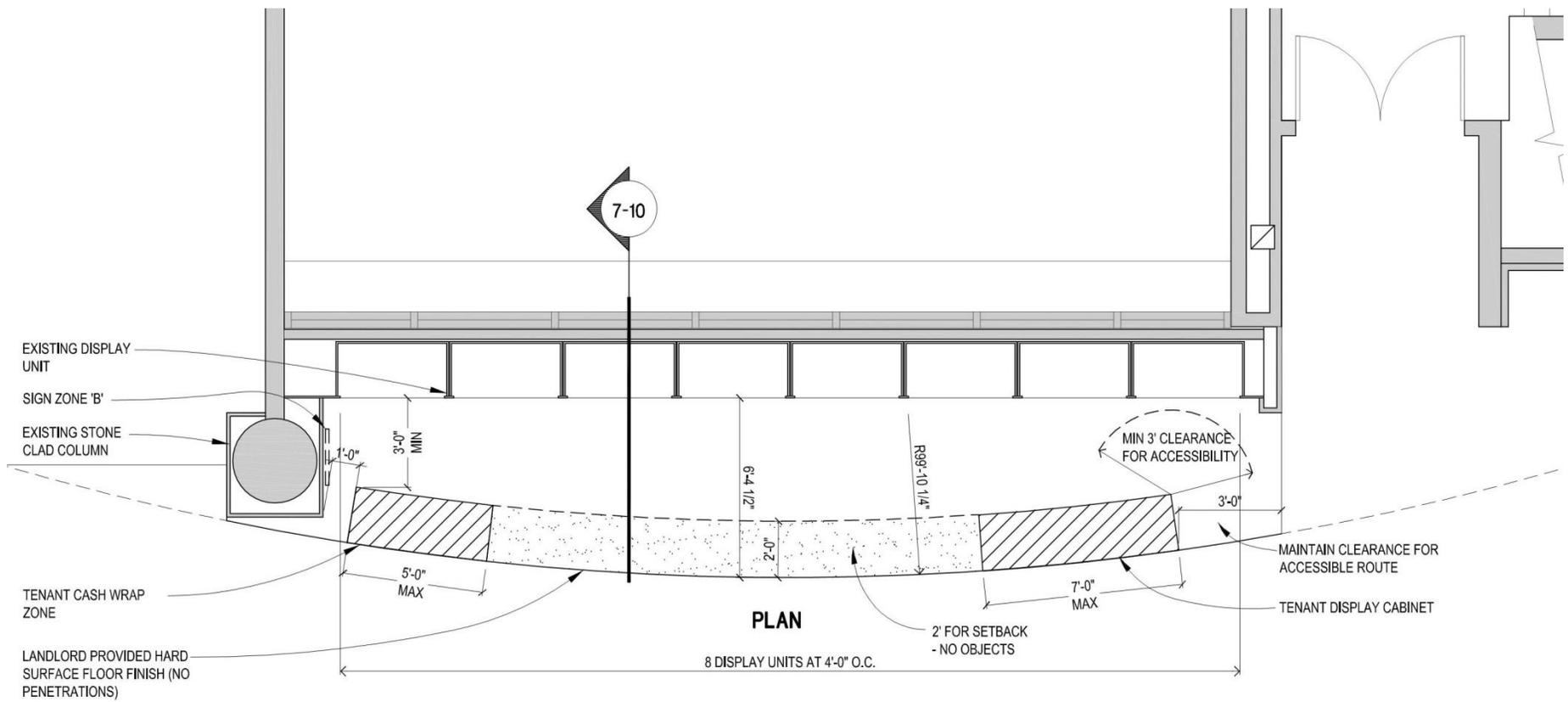
NOT TO SCALE

7. Concourse Exhibits



7.6 Concourse "Massage / Nail Bar / Spa" Zones Elevation
 NOT TO SCALE

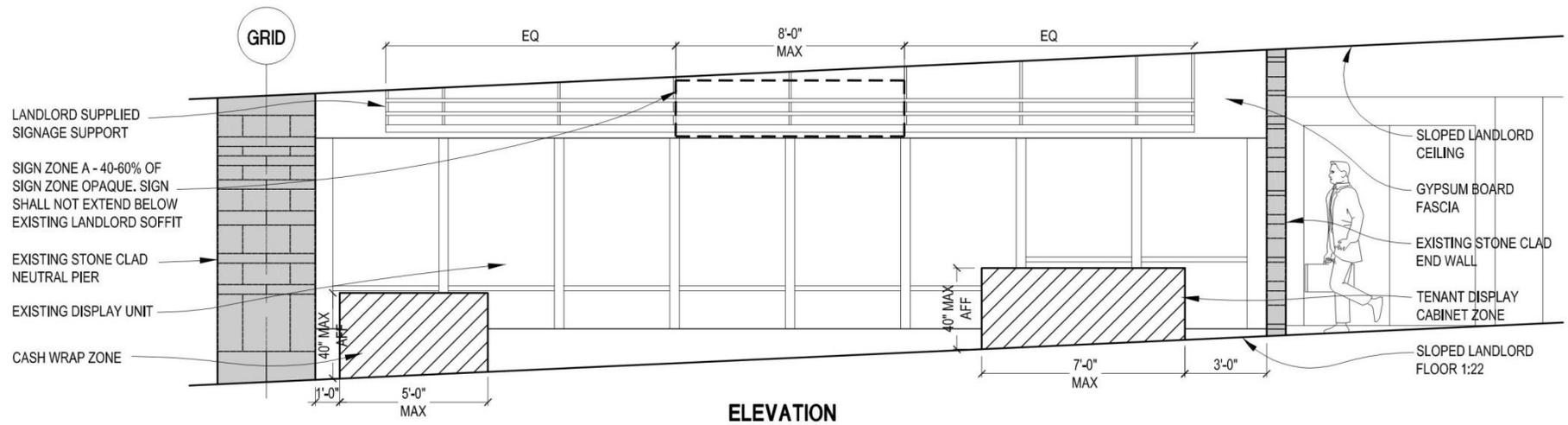
7. Concourse Exhibits



7.7 Concourse Wall Specialty Retail Zones Plan

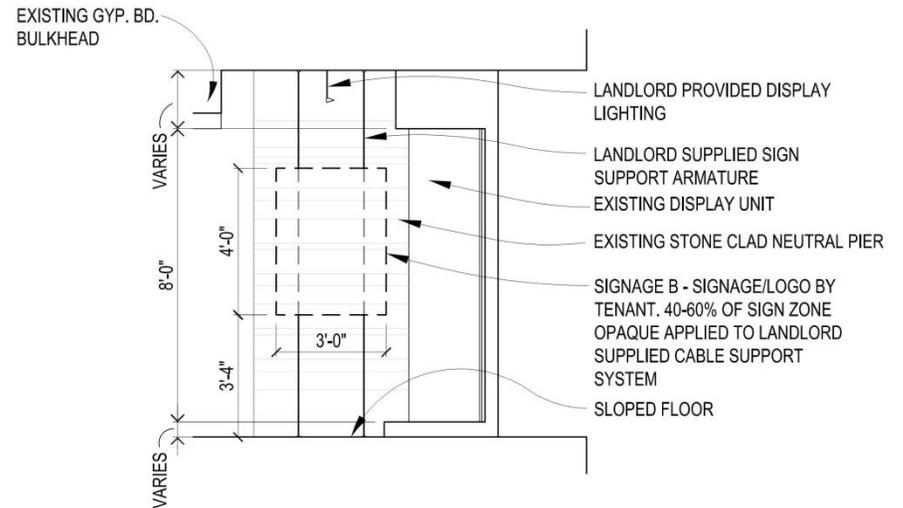
NOT TO SCALE

7. Concourse Exhibits



7.10 Concourse Wall Retail Merchandising Unit Zones Elevation
NOT TO SCALE

7.8 Concourse Wall Retail Merchandising Unit Section
NOT TO SCALE



8. Technical Criteria

8.1 General Building

- a. The following requirements are for the benefit of the Tenants in designing the Premises. Tenants should pay careful attention to the assignment of responsibility for each item listed below and reference Chapter 9 as appropriate.
- b. The following requirements provide specific instructions to meet the Landlord's basic standards for construction materials, means and methods. The Landlord will require and maintain the same standards for all tenants.
- c. **All criteria and procedures of the most current City of Phoenix, Aviation Department "Design Manual" as available by the Design and Construction Services Division and "T4 Interior Design Standards" available at https://skyharbor.com/pdf/T4_InteriorDesignStandards.pdf shall be adhered to. If conflicts or apparent conflicts exist between the language of the Manual, Standards, and/or this Criteria, the Tenant shall bring the issue to the attention of the Landlord and request clarification of intent and approval prior to proceeding with design, submittals, or construction. Tenant is solely responsible for costs or impacts incurred by failure to follow the above.**
- d. A professional architect or engineer licensed in the State of Arizona shall prepare all calculations, drawings and specifications in accordance with the **TDC**, all current codes and recognized architectural or engineering practices. The construction is Type 1 and occupancy type is Group 1 Assembly. No coring is allowed through existing cast in place beams. Floors must be x-rayed and all coring locations must be approved by Landlord's designated structural engineer.
- e. The level of the finished floor within the Premises must precisely (0" inches) meet the finished floor at the storefront or lease line. No recessed or raised floors are permitted. Note: This requirement exceeds ADA requirements.
- f. Partitions.
 - i. Tenants adjacent to one-hour or higher rated fire exits or service corridors are required to maintain the one-hour or higher rating and the gypsum board must extend from finish floor to underside of the structure above and sealed airtight. Tenants shall identify existing rated walls on construction documents.
 - ii. Tenant interior partitions must be constructed of non-combustible materials. All walls and exposed surfaces in the sales area must be covered with a permanent wall finish.
 - iii. Landlord may require Tenants with equipment with excessive noise output to provide sound insulation on the ceiling and/or demising walls to protect neighboring tenants from unacceptable noise levels.
- g. Ceilings must be either acoustical T-bar with 24" x 24" tile having 3/8" revealed edge, drywall or plaster construction. Acoustical T-bar ceilings with standard modules are allowed with perforated corrugated metal. All ceiling materials must be non-combustible and have a Class III, 76-200 flame spread rating. Acoustical tile is only permitted on horizontal surfaces. Any vertical, beveled, or other type fascia shall be drywall, cement plaster, or material subject to the Landlord's approval.

8. Technical Criteria

- h. Tenants shall attach ceiling wires to structural members only. Attachment to the deck is prohibited.
- i. The Landlord will review drawings for compliance with the TDC. Tenant shall ensure its systems will perform satisfactorily and in compliance with all applicable codes and regulations.
- j. As-built drawings shall be provided and maintained by the Tenant's Mechanical Contractor and Electrical Contractor and submitted to the Landlord. Tenant shall record exact pipe, duct, and equipment routing and location along with all equipment information for the Mechanical System Design.
- k. The Landlord will provide reasonable access to file documentation for existing structural, plumbing, mechanical and electrical systems. These documents are for reference only; all existing conditions must be field verified.
- l. Tenant shall provide portable fire extinguishers as required by City code.
- m. All tenant-installed equipment outside designated lease line limits (roof tops, etc.) must be labeled.
- n. All tenant-installed roof top mounted equipment above existing parapets must be screened.
- o. All roof penetrations must comply with Landlord's roof warranty.
- p. A registered structural engineer must complete and submit analysis and provide signed documents and coring location plan for all wall and roof core drilling.
- q. All floor penetrations must be x-rayed before any hole is cut. All floor penetrations are to be provided with an Underwriters' Laboratories, Inc. (UL) fire seal. Core drilling is to occur between the hours of 2:00 AM and

6:00 AM and must be coordinated with the Landlord and operators of the space below.

- r. Incomplete drawings, inferior design and poor construction are unacceptable and are not permitted.
- s. Chapter 9 provides standard construction criteria.
- t. Electronic CAD background files shall be provided by the Aviation Department upon request.

8.2 Mechanical

- a. All HVAC systems must be designed and installed to the following minimum standards:
 - i. Compliance with International Building Code (IBC), International Mechanical Code with City of Phoenix Amendments (IMC), ASHRAE 62.1-2010, "Ventilation for Acceptable Indoor Air Quality" and 90.1-2010 "Energy Standard" Codes.
 - ii. All new ductwork shall be sheet metal and installed per SMACNA details. Duct board is not allowed.
 - iii. Flexible ductwork shall be installed without sags or kinks and no longer than 5' in length.
 - iv. Provide accessibility to all equipment (VAV boxes, valves, heating equipment, etc.) per code and Landlord's requirements, and at a minimum, 3' clearance to the operator side of all VAV boxes.
 - v. All electrical conduits shall be installed within lease space unless approved by Landlord.

8. Technical Criteria

- vi. Electrical disconnect switches shall remain in current location and are not to be relocated by Tenant.
 - vii. Provide a minimum of 2' x 2' access doors in all hard lid ceilings at all VAV boxes, valves, etc. The Tenant shall maintain means of accessing the ceiling access panels at the floor level.
 - viii. Thermostats/sensors shall be installed in locations measuring the average temperature within the Premises (avoid exterior walls, confined areas, location near heat producing equipment, etc.). The final location is subject to Landlord's approval. New wiring is required when the new sensor location exceeds the current wiring length (splicing of wiring is not allowed). Wiring is to match existing and be connected to the associated VAV box and sensor per the original termination installation. All control wiring is to be installed in white colored conduit.
 - ix. Tenant's refrigeration equipment must use remote compressors to be located on the roof above the Premises, with the exception of residential refrigeration equipment which does not have the option for remote compressors. Final location is subject to Landlord's approval.
 - x. The Tenant of nail and hair salon spaces is to provide an exhaust system per IMC Ventilation requirements including a complete general exhaust system for the space. Nail salon spaces are to include an additional "source capture system" capable of not less than 50 cfm per station.
- b. The Landlord will provide a heating and cooling system for each space as follows:
 - i. The Landlord will provide the number of VAV box(es) and sensor(s) listed in Appendix A.
 - ii. Each VAV box stubbed by the Landlord for Tenant's use is sized to provide a maximum of 2 cfm per sq. ft., based on the Tenant floor area.
 - iii. Additional cooling, if required by the Tenant, is the responsibility of the Tenant. Additional cooling must be direct expansion (DX) type cooling. Connection to the Landlord's chilled water or air duct mains is not permitted.
 - iv. HVAC design is subject to Landlord's approval.
 - c. The Tenant shall provide all distribution ductwork and diffusers/grilles downstream of the VAV terminal. The ceiling space is a return air plenum and all materials must conform to flame/smoke spread requirements.
 - d. HVAC Demolition
 - i. All existing ductwork and diffusers within the Premises shall be removed to the Landlord's VAV terminal. Existing thermostats/sensors shall be relocated to fit the new layout.
 - ii. General exhaust systems (exhaust fans, ductwork, grilles, etc.), if existing in the Premises, shall be removed in its entirety. Wall, roof, floor, etc. penetrations are to be closed up to match existing.

8. Technical Criteria

8.3 Plumbing

- a. All plumbing systems must be designed and installed to the following minimum standards
 - i. Compliance with the IBC and Uniform Plumbing Code with City of Phoenix Amendments.
 - ii. Provide accessibility to all equipment and valves. Provide min. 2' x 2' access doors in all hard lid ceilings at all equipment, valves, etc. The Tenant shall maintain means of accessing the ceiling access panels at the floor level.
 - iii. At a minimum, cast iron pipe with 4-band coupling must be used for waste and vent piping. Type L copper piping must be used for all water services. No plastic pipe is permitted.
 - iv. Provide minimum code clearances for all equipment.
 - v. All tenant plumbing fixtures that are piped to a floor sink or drain must be piped to a floor sink or drain within the tenant's space. At no time will it be acceptable to pipe a Tenant plumbing fixture into a Landlord floor drain or floor sink.
 - vi. The Tenant is responsible for all plumbing systems serving the Premises. Plumbing fixtures, water heaters, interceptors, etc., and all piping beyond mains provided by the Landlord, are the responsibility of the Tenant. New plumbing equipment (fixtures, water heaters, interceptors, soda dispensing systems and associated piping encased in conduit, etc.) must be located within the Premises.
 - vii. The Landlord will provide waste, and water piping mains, and vent piping to the Premises as described in Appendix A. The Tenant is responsible for the vent piping for spaces located directly below the roof. The Tenant shall connect to Landlord-provided plumbing utilities.
 - viii. No hot water service is provided by the Landlord. Tenants shall install and maintain water heaters within the Premises. Water heaters are not permitted above or partially within the ceiling. Water heaters must be installed near a floor sink and elevated off the floor.
 - ix. Water, waste and vent services beyond these specifications are the Tenant's responsibility. Complete design must be submitted to the Landlord, including fixture calculations, for review and approval.
 - x. No Tenant-provided plumbing piping may be routed within the Landlord's electrical or IDF/MDF room.
- b. The Tenant is responsible for biannual maintenance of sewer piping. The limits of this responsibility are for the waste sewer piping from the Premises to the main. Biannual maintenance requirements, at a minimum, include a snaking of the piping followed by pressure wash. Tenant shall coordinate the biannual maintenance and annual compliance information with the Landlord's Facilities and Services Division. The Landlord may require the Tenant to increase the frequency of these cleanings if found necessary by the Landlord.

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- c. Plumbing Demolition - For all demolition, wall, roof, floor, etc. penetration are to be closed to match existing. The following are to be removed:
 - i. All domestic water piping and hot water systems serving the Premises to the existing main (cap pipe at main).
 - ii. All plumbing fixtures within the Premises, including floor drains/sinks.
 - iii. All sanitary waste piping serving the Premises to the existing main (cap pipe at main).

8.4 Fire Sprinkler

- a. All Fire Sprinkler systems must be designed and installed to the following minimum standards:
 - i. Compliance with IBC, NFPA and the local fire marshal (FM)
 - ii. Provide accessibility to all fire protection equipment (sprinkler control valves, fire suppression system control boxes, fire control panels, fire alarm system booster panels, fire extinguishers, etc.) per local code. Provide min. 3' clearance to the operator side of all fire protection equipment located within the Premises.
 - iii. Provide accessibility to all equipment and valves. Provide min. 2' x 2' access doors in all hard lid ceilings at all equipment, valves, etc. The Tenant is responsible to maintain means of accessing the ceiling access panels at the floor level.

- iv. All materials must be FM-approved. XL rated pipe is not allowed. All pipes up to 2" shall be schedule 40. Pipe larger than 2" may be schedule 10. All pipe is to be American made.
- v. Recessed sprinkler heads with decorative cover plates are prohibited.
- vi. System tie-in and testing shall be coordinated with the FM and the Landlord's Facilities & Services Division. System shall not be deemed "acceptable" until approved by the above parties.
- vii. All pipe to be sized per the following (hydraulic calculations are not approved):

Steel Pipe	
1 in.	2 sprinklers max
1-1/4 in.	3 sprinklers max
1-1/2 in.	5 sprinklers max
2 in.	10 sprinklers max
2-1/2 in.	30 sprinklers max
3 in.	60 sprinklers max

- b. The Landlord will provide fire sprinkler zone valves and zonecheck flow switch tester with key switch stubbed to the ceiling of the Premises as shown in Appendix A. The Tenant is required to connect to the provided fire sprinkler zonecheck valve(s) to provide the new fire sprinkler system for the Premises.
- c. The Tenant's new fire sprinkler system must comply with applicable codes. The Tenant must coordinate with the Landlord not less than two weeks before opening or closing fire sprinkler zone valves. All fire sprinkler work must be performed by the Tenant's fire sprinkler contractor

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at the Tenant's expense. The Tenant's fire sprinkler contractor shall obtain the required permits, certificates of fitness, and business certificates from the Phoenix Fire Department prior to performing any work on the fire sprinkler system. Prior to installation, sprinkler shop drawings shall be submitted for the FM's approval.

- d. Fire Sprinkler Demolition - A fire sprinkler system exists within each of the Premises. The Tenant shall remove the existing system either to the fire sprinkler zone valves or the main (cap and seal the main water tight). Any existing fire sprinkler piping passing through the Tenant's space shall be routed around the Tenant's space and be reconnected to the Landlord's fire sprinkler system, at the Tenant's expense. Wall, roof, floor, etc. penetrations are to be closed up to match existing. Demolition work or any disruption to the existing building sprinkler system must be coordinated with the Landlord not less than two weeks in advance, and must be performed between the hours of 11:00 p.m. and 5:00 a.m.

8.5 Electrical

- a. Complete drawings must be submitted for the Landlord's approval. The documents to be submitted must include the following:
 - i. Complete plans and specifications for all electrical work, including lighting, power and one-line riser diagram. Riser diagram shall show all upstream panels and distribution equipment that will be effected by this Project.
 - ii. Drawings must include panel schedules, load calculations (electrical demand at each piece of upstream distribution equipment effected by this installation, lighting power density calculations per IECC and lighting photometric drawings indicating foot-candle levels, utilizing a 2'x2' spacing) and meter information.
 - iii. Structural drawings and calculations must be submitted by a registered professional in the State of Arizona for all equipment that will be suspended from the steel structure.
 - iv. Drawings must include complete material specifications, including manufacturer's name and product number and complete schedules of all equipment and fixtures to be installed.
 - v. All material and equipment must be new and of a commercial grade.
 - vi. Electrical installation for these spaces must comply with the latest edition of the National Electrical Code (NEC), the City of Phoenix amendments, International Energy Conservation Code (IECC) and the FM for the fire alarm system.
 - vii. The Tenant is responsible for removing, replacing, relocating and/or adding all electrical equipment and devices (i.e., panels, transformers, lighting systems, receptacles, wiring, conduit, conductors, fusing, etc.) serving the Premises. All abandoned or unused conduit, wiring, lighting systems, panels, etc., in the Premises must be removed prior to new installation. The Landlord has provided a feeder circuit comprised of code-sized

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- conduit, conductors and a heavy duty disconnect switch mounted in the Premises from a 480 volt, 3-phase power source.
- viii. All transformers, power distribution, lighting systems, conduits, wiring and devices extending from the Landlord-furnished disconnect switch shall be provided by the Tenant, including temporary or standby power sources where required. All devices for this installation shall be located inside of Tenant space, including all transformer(s). Transformer shall not be installed in plenum space, nor shall any equipment other than conduit containing conductors.
- ix. Electrical disconnects must remain in current location and may not be relocated by Tenant.
- x. Disconnect switch is the property of the Landlord. Splicing of disconnect conductors not acceptable.
- xi. All electrical equipment shall include UL labels for the intended use.
- xii. Tenant shall provide code-required emergency exit lighting fixtures. The lighting fixtures shall be provided with battery pack(s) including self-diagnostic provisions with a minimum of 90 minutes of operation. Under no circumstances shall Tenant connect to Landlord's Life Safety power circuit for any electrical demands.
- xiii. Shutdown of the existing building service or any main electrical distribution must be coordinated with the Landlord not less than two weeks in advance, and must be performed between the hours of 11:00 pm and 5:00 am. These times are subject to change, Tenant to verify current time restrictions. All electrical work required to complete the system to accommodate the Tenant's plans shall be performed by the Tenant's Electrical Contractor at the Tenant's sole expense.
- xiv. All electrical distribution equipment and conduits shall be within the lease space unless approved by the Landlord.
- xv. Exposed power, data or other conduit is not permitted.**
- xvi. No flammable materials are permitted above the ceiling (ceiling space is to be considered a return air plenum).
- xvii. All Tenant power wiring (i.e. power, low voltage, controls, etc.) must be in minimum of 3/4" conduit (Owner's cable tray may be used by the Tenant where available). All Tenant communications wiring (i.e. telephone, data, communications, etc.) must be in minimum of 1" conduit. Conduit used shall be EMT in interior spaces, all fittings shall be steel, compression style; die-cast fittings are not allowable. Any conduit routed in areas that are subject to damage from motorized vehicles, machinery, etc. shall be RGS.
- xviii. Type 'MC' cable may not be used without written approval from the Landlord.

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- xix. New panel boards must have hinged covers with door-in-door construction. evacuation event. The Tenant is responsible for all costs for this interface.
- xx. Transformers shall be mounted within the Premises in a visible and accessible location adjacent to the appropriate electrical panel. Floor mounted transformers must be mounted on a 4" concrete housekeeping pad. Connections to transformers must be via liquid-tight flexible conduit. A heavy duty disconnect switch must be utilized on the primary side of transformer or a main circuit breaker in downstream panelboard.
- xxi. Normal power is derived from Terminal Building service entrance section(s). The service utility is Arizona Public Service. There is no standby/emergency power source available. The normal power is not conditioned, filtered, isolated, and does not have "transient voltage suppression" equipment.
- xxii. Dedicated/isolated equipment grounds are not readily available. The Terminal Building is a poured concrete structure such that building steel is not readily available for grounding points.
- xxiii. Conduit is to include a sleeve at the floor penetration.
- xxiv. Installation of background music systems shall require Landlord's prior written approval and such music shall not be audible outside the Premises. Note: As T4 has a Digital Voice Evacuation Annunciation System, any background music system must interface with the Landlord's Fire Alarm system to de-activate the background music system during a voice
 - b. Telephone cabling from the Tenant's telephone backboard must be provided and installed by the Tenant. Telephone mounting boards are available throughout the Terminal. One 2" conduit, with pull string, from the Landlord's telephone room (MDF or IDF) to the Premises will be provided by the Landlord. The Tenant is responsible for all costs associated with telephone and data requirements.
 - i. All special systems conductors must be routed in separate conduit, color coded per Landlord's standards. All special systems conductors shall be in 1" conduit minimum.
 - ii. Contact the Landlord's Technology Division for approval and coordination of telephone cabling terminations in the Landlord's spaces.
 - c. Television cable/satellite, if required, must be provided and installed by the Tenant. The location of satellite dish (max. of 24" diameter) is to be submitted for the Landlord's approval. All costs associated with television cable/satellite are the sole responsibility of the Tenant.
 - d. Tenant must provide a complete Fire Alarm Detection and Annunciation System within the Premises as an extension of the Landlord's building wide addressable fire alarm system.

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- e. Tenant is required to use Landlord's designated Contractor for installation of the necessary initiation/annunciation devices and connection to the main fire alarm system. Fire alarm audibility, intelligibility and visibility devices must meet the requirements of the latest edition of NFPA 72 and FM requirements.
- f. Fire Alarm system modifications must be documented and submitted for FM's approval prior to construction.
- g. Contact Honeywell Automation & Control Solutions (602) 861-4482 for coordination.
- h. All costs for installation/programming/coordination shall be borne by Tenant.
- i. Electrical Demolition - All existing electrical systems within the Premises shall be removed. This includes the feeder supplying these panels back to the Landlord's electrical service entrance section and/or distribution section. Coordinate demolition with the Landlord prior to bid/rough-in.

9. Submittal Processes

9.1 Introduction

- a. There are three submittal processes that must be followed in sequence before final approval for construction drawings can be issued. They are Request for Proposals (RFP), Schematic Design, and Construction Documents.
- b. Tenants are required to submit complete and accurate construction documents for review by the Landlord's TI Coordinator, the shell architects, and MPE consultants and approval by the Landlord before starting construction.
- c. **All criteria and procedures of the most current City of Phoenix, Aviation Department "Design Manual" as available by the Design and Construction Services Division shall be adhered to. If conflicts or apparent conflicts exist between the language of the "Design Manual" and this Criteria, Tenant shall bring the issue to the attention of the Landlord and request clarification of intent and approval prior to proceeding with design, submittals, or construction. Tenant is solely responsible for costs or impacts incurred by failure to follow the above.**

<http://phxskyharbor.com/pdf/TI-Handbook.pdf>.

9.2 Submittal Processes

- a. RFP Phase
 - i. The proposer submits conceptual design drawings, sketches, material boards and written design narratives as part of the proposal. Proposal requirements are outlined in the RFP and are submitted as part of the RFP process
- b. Schematic Design Phase
 - i. The purpose of this submittal is to accelerate the design approval process by acquainting B&P with the Tenant's intended design concept and correcting any criteria compliance problems before proceeding with the final working drawing phase. Design concepts for lighting systems and signage must be included in this submission.
 - ii. Typical schematic design package will include further development of proposed design including floor and ceiling plans, interior elevations, signage and graphic designs and furniture plans.
 - iii. Any construction documents received in this phase will be rejected.
 - iv. The submittal should address all comments from the RFP and include a written response as to how each comment was solved or corrected. (Include the original comment.) If the design has changed from the RFP, provide itemization of each change and written reasons for the change.
 - v. Lighting Design: Include information in the plans, rcp, elevations and sections. Provide cut sheets and show actual lighting in the renderings.

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- vi. Signage Design: Locate all signage in the plans. Show design in the elevation, sections and renderings.
- vii. Updated material boards not to exceed 10" X 16" and not weigh more than 7 lbs. per board. Materials should be labeled indicating what they are and proposed location/use. Include images of furniture, lighting and other important decorative items.
- viii. Submittal materials shall include at a minimum:
 - ix. For schematic design submittals, send (1) one electronic copy in PDF format those entities listed in 9.1 - b.
- c. The schematic design submission shall include, but not necessarily be limited to, the following:
 - i. Overall Floor plan of each space. This plan should show all concepts together with in context of the surrounding common area (columns, walls, existing elements, airline areas, retail spaces, etc.). Provide overall dimensions and square footage. Ensure these numbers match the tenant criteria by performing field investigations.
 - ii. Enlarged Floor plan of each concept. Provide table layouts, queue diagram, guard/queue rails, condiment and trash locations, POS, counters, basic kitchen equipment, decorative elements, transformers, electrical panels and distribution, major HVAC systems, water heaters and storage. Describe or show how the spaces will be secured at night.
 - iii. Ceiling plans showing lighting, materials, decorative elements and existing conditions (such as large ductwork). Show surrounding common area ceiling for context and transition.
 - iv. Elevations of overall space and each concept. Show signage, lighting, menu boards, guard/queue rails, condiment and trash locations, POS, counters, basic kitchen equipment, decorative elements.
 - v. Sections showing the basic understanding of the space (structure, major systems, HVAC ductwork, etc.). Show transitions to the common areas.
 - vi. Signage and graphic design can be included in the plans, elevations and renderings provided they are represented clearly. Show/describe how the signs are lighted.
 - vii. Furniture may be shown in the overall and enlarged plans and the renderings provided they are represented clearly. Furniture plans may be separate.
 - viii. Finish floor plans may or may not be separate, provided the design is represented clearly.
 - ix. Renderings. Provide sufficient number of views to represent the design, particularly how an entire space will appear, including transitions from concept to concept. Renderings should be fairly realistic with true representation of colors and materials.
- d. Construction Documents

9. Submittal Processes

- i. Each design will be considered on its individual merit and no design will be approved until all required documents have been received.
 - ii. It is the responsibility of the Tenant's architect and engineer to verify all dimensions and field conditions.
 - iii. Electronic background files will be provided by the Landlord upon request, once the lease has been awarded. A signed Media Disclosure Agreement will be required for the release of the CAD files.
 - iv. The Landlord will provide Tenants reasonable access to construction document files. All pertinent building documentation will be provided for purposes of describing or defining locations of lease lines and demising construction, including the location and arrangement of walls, columns, and other fixed building features, services, and systems to the extent documented.
 - v. The Landlord offers no assurances or guarantees that such file documentation will be sufficient to provide all information that Tenants may require and Tenants shall not rely on the accuracy of file documentation, but shall field-verify dimensions, locations, and capacities of all building features, services and systems.
- e. The construction document submission shall include, but not necessarily be limited to, the following:
- i. Key plan showing location of the Premises.
 - ii. Floor plans (scale 1/4" = 1'0").
 - iii. Sections (scale 1/4" = 1'0").
 - iv. Storefront elevation and section, including signage (scale 1/2" = 1'0").
 - v. Reflected Ceiling Plan (scale 1/4" = 1'-0")
 - vi. Color and finish schedules;
 - vii. All applicable details;
 - viii. Electrical plan prepared by a licensed electrical engineer;
 - ix. Electrical details and fixture and panel schedules, also include a suggested electric load component conforming with technical criteria herein;
 - x. Mechanical/Plumbing plan;
 - xi. Fire protection plan must be prepared by a licensed engineer;
 - xii. Samples of all flooring materials;
 - xiii. Architectural, electrical, mechanical, and signage specifications.
 - xiv. Shop drawings from sign fabricator showing dimensions, letter style, face color, material, thickness, type of lighting source, brightness, mounting hardware and location of transformer.
 - xv. Colored perspective sketches illustrating the design concept or photographs of existing storefronts if related to this application.
 - xvi. Materials and finishes samples firmly attached to illustration board and labeled, not to exceed 10" X 16" and not weigh more

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- than 7 lbs. per board. Clearly label all materials and reference to plans, elevations, etc.
- xvii. Design and construction schedule.
 - xviii. The following "Standard Construction Notes" are to be a part of every tenant improvement set of construction drawings:
 1. No flammable or combustible materials are permitted above the ceiling (the entire ceiling space is to be considered a return air plenum). The ceiling, all components that make-up the ceiling and all materials above the ceiling must be rated for installation within a ceiling return air plenum.
 2. The existing Landlord mechanical system uses a return air plenum throughout T4. The Tenant is responsible to maintain the ceiling plenum within their space to allow unobstructed air flow.
 3. All tenant construction requiring shutdown of other portions of the mechanical, plumbing, sprinkler, electrical or fire alarm systems shall be done late at night and early in the morning. Notify the Landlord two weeks prior to the shutdown requirement.
 4. Obtain permission from the Landlord prior to core drilling through floors, walls or the roof structure. A registered structural engineer must complete analysis and provide signed documents and coring location plan for Landlord review.
 5. All floor penetrations must be x-rayed before any hole is cut. All floor penetrations are to be provided with Underwriters' Laboratories, Inc. (UL) fire seal. Core drilling is to occur late night and early and must be coordinated with the Landlord and the operators of the space below.
 6. Cutting and patching to be performed as required to return finishes to their original condition.
 7. Floor, wall and roof penetrations must be sealed to maintain separation requirements. Provide fire or fire and smoke dampers as required to maintain existing partition ratings.
 8. The contractor must notify the FM prior to welding and grinding that creates sparks or torch cutting.
 9. Welding and grinding that creates sparks or torch cutting under direct supervision and with the Landlord's approval.

9.3 Review Processes

a. Schematic Design Review

- i. B&P will review and comment on Schematic Design drawings. If drawings are returned to the Tenant with comments and not bearing the conditional approval of B&P, the Tenant shall revise the drawings to satisfy any comments by B&P and resubmit for approval as instructed.

9. Submittal Processes

- ii. A period of two to four weeks should be allowed for each submittal review, depending on project complexity. B&P will then provide a written response with review comments and approval status. B&P approval does not relieve the Tenant of responsibility for compliance with the lease and all governing codes and regulations, field verification of existing conditions, or proper engineering and safety.

b. Construction Document Review:

- i. After receipt of Landlord's written approval of the Schematic Design drawings, Tenant shall submit to Landlord within 45 calendar days one (1) full size set and eight (8) sets of half size hard copy drawings and one electronic copy. Submit five (5) sets of Specifications that shall adhere to the approved Schematic Design drawings.
- ii. The Landlord will review and comment on final Construction Documents. Tenant may simultaneously submit Construction Documents to the City of Phoenix Development Services Department for permit review through the Annual Facilities Permit Process.
- iii. If any of the Construction Documents and Specifications are returned to the Tenant with comments and not bearing the unconditional approval of the Landlord, Tenant shall see that the Drawings and Specifications are revised to satisfy any

comments by the Landlord, and resubmitted for Approval within ten (10) days of receipt by Tenant.

9.4 Building Code and Permits

a. City of Phoenix Annual Facilities Permit:

- i. Upon approval of schematic design drawings, Tenants may prepare and submit Construction Documents for approval by other Landlord Divisions and the City department managing the Annual Facilities Permit (AFP) program.
- ii. The AFP process includes review of code compliance and life safety requirements. Procedures and requirements for submittal for construction document review are contained in the TI Handbook.
- iii. Tenants are required to comply with ADA and shall provide sufficient circulation to allow for wheelchair access, luggage carts and passengers with carry-on luggage. Plan check, building permits, and other City, County and state fees in connection with all of Tenant's construction shall be at Tenant's expense. All construction shall be done in accordance with the TI Handbook and all City, County and State ordinances, rules

9. Submittal Processes

and regulations.

- iv. The approval of final drawings by the Landlord does not guarantee approval by governing authorities, and it shall be the responsibility of the Tenant to meet and comply with all national, state and local code requirements.

9.5 Final Approval

- a. Upon final approval of the Construction Documents, the Landlord shall forward a letter granting approval to receive a permit.
- b. Tenant's contractor shall have one (1) Landlord approved/permitted set at the job site at all times and may not commence work until these plans are physically within the Premises.

10. Construction Requirements

10.1 General Procedures

- a. **All criteria and procedures of the most current City of Phoenix, Aviation Department “Design Manual” as available by the Design and Construction Services Division shall be adhered to. If conflicts or apparent conflicts exist between the language of the “Design Manual” and this Criteria, Tenant shall bring the issue to the attention of the Landlord and request clarification of intent and approval prior to proceeding with design, submittals, or construction. Tenant is solely responsible for costs or impacts incurred by failure to follow the above.** The following is provided for overview purposes only:
 - i. The contractor shall not commence work nor allow any subcontractor to commence work until all insurance required has been submitted and approved by the Landlord. Construction insurance shall be maintained throughout the construction process.
- b. Prior to commencing any work, the Tenant’s contractor shall comply with the following:
 - i. Read and comply with terms defined within the TI Handbook, Provisions described within the on-line version take precedent over the TDC, unless noted otherwise.
 - ii. No construction shall begin until Landlord’s written approval is granted. One copy of the approved plans must remain at the jobsite at all times during the construction process.

- iii. Removal of construction garbage shall be the responsibility of the Tenant and Tenant’s contractor.
- iv. Connection to temporary power including all temporary power lines, transformers and electrical distribution is the Tenant’s responsibility.
- v. All garbage must be transported using sealed containers. Containers without lids are prohibited. All wheeled containers must be installed with polyurethane non-marking wheels. Black wheels or other marking wheels are strictly prohibited.
- vi. The Tenant’s Contractor must give the Landlord a minimum of five working days’ notice prior to the start of construction.
- vii. Each Tenant must contact the TI Coordinator to arrange a pre-construction meeting prior to start of construction on each concession block of space. Tenants, their contractor and main subcontractors shall attend this meeting. This meeting should establish a project construction schedule with start and end dates, key personnel, emergency numbers and include a discussion of safety and security issues.
- viii. A copy of the key personnel emergency numbers list shall also be forwarded to the Landlord’s Communication Center and Project Coordinator.
- ix. Temporary Construction Signs. No architect or contractor signs will be allowed on the job site. Signage identifying concept name, and opening date must be submitted for the Landlord approval in advance. Tenants must comply with Pardon our Dust guidelines available at: <http://pardonourdust.com/>.

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- x. Barricade walls are not to be taken down prior to completion of construction and as approved by the TI Coordinator. Walls may be taken down over night for fire inspection and replaced the same night.

10.2 Airport Security

- a. It is essential that during the performance of this lease, Airport security be maintained. Security of existing facilities must be maintained at all times. When entrance into secure areas is required at any time by workers, it must be coordinated in advance with the Landlord and strict limitations will be set and enforced as to what areas contractor personnel can access. Any violations of these limits will subject the violator to immediate discharge from this project at the Landlord's request.
- b. All construction personnel must adhere to the security policies and regulations described at:
<http://phxskyharbor.com/about/securitybadging.htm>
- c. When beginning a project, contractors need to contact the Landlord's TI Coordinator to attain project access.

10.3 Project Coordination

- a. Tenant's contractor shall be responsible for protecting the existing facility. Tenant contractor shall repair any damage caused to the existing facility.
- b. All noisy, dusty or work that will cause interruption to T4 operations must be performed during late night and early morning hours subject to the

Landlord's approval. Construction noise shall not interfere with airline gate announcements.

- c. The Landlord's TI Coordinator will perform inspections of the project periodically to assure compliance with approved plans and specifications.
- d. Tenant's contractor is responsible for Building Code inspection.
- e. All construction activities must be conducted to permit normal operations within the existing facilities and roadway systems at all times.
- f. These areas must be temporarily enclosed from the existing facilities in order that access and all services to the existing facilities can be maintained at all times. Circulation corridors and required exits must remain open and unencumbered.
- g. The contractor shall schedule and coordinate work to minimize the required interruptions, and shall notify the Landlord in writing at least ten working days prior to each intended interruption, indicating the estimated duration of the interruption.
- h. The Tenant and its contractor must coordinate with the Landlord's designated contact for all temporary signage, utility shutdowns and work hour notifications to all stakeholders.

10.4 Construction Procedures

- a. The following provisions, with respect to construction procedures, shall be followed by all Tenant Contractors:
 - i. No equipment, material, or tools are permitted in Common Areas.

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- ii. No dust shall be tracked into Common Areas. The contractor must provide means of cleaning dust from employee's shoes.
- iii. All equipment, material, tools, or merchandise must be brought through the nearest service entrance. Construction traffic is not permitted in Common Areas.
- iv. Passenger elevators and the escalators shall not be used to transport equipment, materials, or tools.
- v. No material shall be delivered to, or transported through, any Common Area without the Landlord's express approval. Any material transported through Common Areas must be moved on pneumatic rubber tire trucks, using adequate parking, protective cloths, etc., to safeguard existing floors.
- vi. Confine storage of equipment or material to the Premises or other locations specifically designated by the Landlord. Stored materials shall not exceed the loading capacity of the floor. Storage in service corridors, truck docks, vacant lease spaces, or other areas is not permitted at any time. Failure to comply will result in removal of all materials with the Tenant bearing responsibility for the costs incurred.
- vii. Smoking is not permitted anywhere in the building, including stores under construction. Outdoor smoking areas have been designated by the Landlord.
- viii. The Tenant Contractor shall take all necessary safety precautions to protect workers, the general public, and private

and public property and comply with all requirements of the Occupation Safety and Health Act (OSHA).

- ix. The Landlord requires certain work activities to take place late night and early morning hours as follows:
 - 1. Major service disruptions.
 - 2. Jack-hammering, roto-hammering, core-drilling or other noisy operations
 - 3. Work requiring blocking of public entrances.
 - 4. All other work that would prevent continuous operation of the building.
 - 5. Hauling of demolished material.
 - 6. Erecting and removing construction partitions.
 - 7. Delivery of large materials.
- x. Periodically the Landlord puts in place moratorium conditions for certain work activities, times, durations, and locations. Contractors will be notified in advance as to moratorium periods.
- xi. Make arrangements for temporary utility connections as directed by the Landlord and pay the cost of the connections and removal, and all utility charges incurred by the work.
- xii. Asbestos containing materials (ACMs) and presumed asbestos-containing materials (PACMs) may be present in T4. The Tenant must request and will be notified of the presence or presumed presence of ACMs in the Premises. The Tenant, Tenant's architect, engineer, and all other contractors and subcontractors working on the project must sign the Landlord's

10. Construction Requirements

- form acknowledging notification of the possible presence of ACMs. Tenant shall comply with all federal regulations that apply to the handling of ACMs and PACMs.
- xiii. All planned welding, cutting, and grinding producing sparks shall be reported to the City of Phoenix Fire Department prior to the start of the job, and upon completion of the project on a daily basis. A fire watch shall be provided by the Contractor, suitable fire extinguishers shall be on hand within 20' of the work being performed and accessible at all times. Welding or cutting shall cease 1/2 hour before closing the job site for the day and inspected prior to the employees leaving the site for the day.
 - xiv. The Tenant's contractor shall comply with applicable portions of Federal Regulation 29 CFR S 1910.146 and any state regulations regarding employee entrance into confined spaces on this project.
 - xv. The Tenant shall install a dustproof, solid construction barricade to separate the Premises from the Common Areas. All barricades must extend to the ceiling and be located a maximum of 1' beyond the lease line, unless otherwise shown on space exhibit plans. Construction shall be with metal studs 16" on center and 1/2" gypsum board painted with primer and two finish coats the color designated by the Landlord. Barricade shall include durable enlarged graphic of the approved storefront perspective minimum 30" X 42" in size (submit proposed graphic and size for approval). Construction barricade wall shall not block or hinder any existing airport Life Safety devices, HVAC, lighting, FS heads/alarms, etc. Construction barricade shall be kept in very good condition throughout construction.
 - xvi. A clear plastic liner must be installed on the inside of the construction barricade to prevent dust migration to the Common Areas. Adequate protection of the Common Area floors enclosed by construction barricades must be provided. Refer to the TI Handbook for additional requirements. All construction barricades must be without opening or passage to the Common Areas unless the Premises has no back door. In this case two 3'-0" x 6'-8" hollow core wood doors, swinging in, should be installed with a frame, closure device, and lockset. The doors shall be painted to match the construction barricade.
 - xvii. Construction barricade shall be temporarily removed overnight and re-installed after final Fire Marshall until the Landlord approves its permanent removal.
 - xviii. Refer to the TI Handbook for parking information.
 - xix. During construction, fixture installation, and merchandise stocking of the demised Premises, the Tenant shall provide garbage removal service at areas designated by the Landlord. The Tenant Contractor shall provide and pay for garbage containers and disposal. It is the responsibility of the Tenant and the Tenant's Contractors to break down and remove all garbage from the Premises on a daily basis. If the Tenant's garbage

10. Construction Requirements

accumulates within the Premises or service corridors, for 24 hours or longer, the Landlord shall remove the garbage and charge the Tenant at a rate of 1.5 times the Landlord's costs.

xx. Prior to making any roof and/or floor penetrations, the Tenant Contractor must obtain approval of the proposed locations from the Landlord. All cutting, patching and core-drilling requires written approval by the Landlord before initiating this work. Tenant Contractor is responsible for repairing any damage to reinforcing steel, conduit, wiring, piping, etc., resulting from this operation.

1. Weatherproofing of all roof penetrations must be performed by the Landlord's authorized roofing contractor at the Tenant's expense.
2. Floor penetrations in upper level spaces with concrete must be core-drilled. All penetrations must be sleeved and sealed with one pipe permitted per sleeve.
3. The floor and roof structure vary. Verify all cutting with existing structural drawings.
4. All upper level floor penetrations shall be completely sealed to prevent permeation of odors or liquids to the space below.
5. All floor penetrations and patching shall conform to the structural and fire rating requirements; such work shall be paid for by Tenant directly and must be approved by the Landlord.
6. All floor penetrations shall be x-rayed at the Tenant's expense and approved by the Landlord.
7. All roofing work shall be done at the Tenant's expense by Landlord-approved roofing contractors.

10.5 Project Completion

- a. Tenant's design team shall inspect construction and complete a final punch list prior to completion notification to the Landlord.
- b. After the Tenant notifies the Landlord that the Project is completed, the Landlord's TI Coordinator shall perform a final inspection of the project as required in the approval letter.
- c. Tenant shall provide for record drawings all disciplines based on contractor "as-built-markups." Tenant shall submit in the following format: two sets of record drawings to the Landlord Department after completion of the project. One copy shall be computer aided drafting (CAD) format, and the second copy shall be as-built drawings sealed by an Arizona registrant. This is required by Phoenix City Ordinance G-3106 and must be met prior to authorization of future projects at the site.
- d. All Tenant installed property outside the Premises is to be clearly labeled per Airport standards so the owner of the item can be identified. This includes the following but not limited to:
 - i. Electrical equipment
 - ii. Roof top mechanical equipment
 - iii. Satellite dishes
 - iv. Plumbing

Appendix A, T4 Retail Infrastructure Summaries

Appendix A.1, T4 Retail Phase and Area Summary

Space ID	Original Concept	Phase	Proposed Concept	Comments	Area (S.F)
L-R1	ARIZONA HIGHWAYS	2	NEWS & GIFTS		1,646 SF
L-R2	IN MOTION ENTERTAINMENT	1	WOMEN'S CLOTHING & ACCESSORIES		1,022 SF
L-R3	BRIGHTON COLLECTABLES	1	COSMETICS/PERFUMES OR SUNGLASSES/WATCHES		951 SF
L-R4	DESERT BREEZE	1	MEN'S CLOTHING & ACCESSORIES		948 SF
L-R5	RED CANOE/ AZ FAIRWAYS	1	HIGH TECH		1,442 SF
L-R6	CANYON NEWS	2	NATIVE AMERICAN		1,066 SF
L-R7	EXPLORE ARIZONA	1	SOUVENIERS		948 SF
L-R8	THE TEAM SHOP	1	OPEN CONCEPT		951 SF
L-R9	A TO Z KIDS	2	TRAVEL ACCESS. & LEATHER		1,022 SF
L-R10	PUEBLO SPIRIT	2	DUTY FREE/ DUTY PAID		1,069 SF
L-R11	WORLD DUTY FREE	2	NAT'L BRAND-FASHION JEWELERY		628 SF
L-R12	HUDSON BOOKSELLERS	2	NON-PRESCRIPT. DRUGSTORE		2,465 SF
L-R13	MOSAIC	1	CONTEMPORARY ART & LOCAL CRAFTS		1,086 SF
N1-R14	AZCENTRAL.COM/ VALLEY OF THE SUN	1	NEWS & GIFTS		2,700 SF
N1-R15	AZ CENTRAL SATELLITE	1	NEWS & GIFTS (WALL UNIT)		200 SF

Appendix A, T4 Retail Infrastructure Summaries

Appendix A.1, T4 Retail Phase and Area Summary

Space ID	Original Concept	Phase	Proposed Concept	Comments	Area (S.F)
N1-R16	SEE'S CANDY	2	NAT'L BRAND-FASHION JEWELERY (WALL UNIT)		200 SF
N2-R17	PRAIRE NEWS & GIFT SHOP	2	NEWS & GIFTS		2,100 SF
N2-R18	(NEW SPACE)	2	NATIVE AMERICAN		929 SF
N2-R19	INDIGENOUS	1	WOMEN'S AND/OR MEN'S CLOTHING & ACCESS.		1,050 SF
N2-R20	JU-ELRY	1	HIGH TECH (WALL UNIT)		200 SF
N2-R21	SEE'S CANDY	1	OPEN CONCEPT (WALL UNIT)		200 SF
N3-R22	DESERT NEWS & BOOKS	2	NEWS & GIFTS		2,100 SF
N3-R23	(NEW SPACE)	2	OPEN CONCEPT		1,041 SF
N3-R24	PGA TOUR SHOP	2	HIGH TECH		1,050 SF
N3-R25	SWEET INDULGENCES	1	OPEN CONCEPT (WALL UNIT)		200 SF
N3-R26	IN-MOTION	1	CHOCOLATE / CANDY (WALL UNIT)		200 SF
N4-R27	HUDSON NEWS	1	NEWS & GIFTS		1,714 SF
N4-R28	AMAZING	1	CONTEMPORARY ART & LOCAL CRAFTS		1,050 SF
N4-R29	EARTH SPIRIT	2	DUTY FREE/ DUTY PAID		1,050 SF
N4-R30	(NEW SPACE)	1	MASSAGE/ NAIL BAR/ SPA PRODUCTS		956 SF

Appendix A, T4 Retail Infrastructure Summaries

Appendix A.1, T4 Retail Phase and Area Summary

Space ID	Original Concept	Phase	Proposed Concept	Comments	Area (S.F)
S4-R31	(NEW SPACE)	2	SOUVENIRS		286 SF
S4-R32	LANDMARK NEWS	1	NEWS & GIFTS		1,050 SF
S3-R33	MINI EXPRESS	1	HIGH TECH (WALL UNIT)		200 SF
S3-R34	BRIGHTON COLLECTABLES	2	TRAVEL ACCESS. & LEATHER		1,050 SF
S3-R35	(NEW SPACE)	2	OPEN CONCEPT		520 SF
S3-R36	PHXPRESS	1	NEWS & GIFTS		1,050 SF
S2-R37	(NEW SPACE)	1	NAT'L/ LOCAL BRAND-CHOC./ CANDY (WALL UNIT)		200 SF
S2-R38	CAVED INN	2	HIGH TECH		350 SF
S2-R39	THE PHOENIX	2	NATIVE AMERICAN		990 SF
S2-R40	CNBC NEWS	2	NEWS & GIFTS		1,900 SF
S2-R41	(NEW SPACE)	1	MASSAGE/ NAIL BAR/SPA PRODUCTS		558 SF

Appendix A, T4 Retail Infrastructure Summaries

Appendix A.2, T4 Retail Mechanical Infrastructure Summary

T4 Retail Mechanical Infrastructure Summary					
			MECHANICAL PROVISIONS	PLUMBING PROVISIONS	FIRE SPRINKLER PROVISIONS
Space ID	Proposed Concept	Comments	VAV Box Provision	Water, Waste, Vent	General Provision
L-R1	NEWS & GIFTS		Two VAV boxes with sensors.	No Plumbing Available	Two Tenant Zone Valves provided.
L-R2	WOMEN'S CLOTHING & ACCESSORIES		One VAV box with sensor.	No Plumbing Available	One Tenant Zone Valve provided.
L-R3	COSMETICS/PERFUMES OR SUNGLASSES/ WATCHES		One VAV box with sensor.	No Plumbing Available	One Tenant Zone Valve provided.
L-R4	MEN'S CLOTHING & ACCESSORIES		One VAV box with sensor.	No Plumbing Available	One Tenant Zone Valve provided.
L-R5	HIGH TECH		Two VAV boxes with sensors.	No Plumbing Available	One Tenant Zone Valve provided.
L-R6	NATIVE AMERICAN		One VAV box with sensor.	No Plumbing Available	One Tenant Zone Valve provided.
L-R7	SOUVENIERS		One VAV box with sensor.	No Plumbing Available	One Tenant Zone Valve provided.
L-R8	OPEN CONCEPT		One VAV box with sensor.	No Plumbing Available	One Tenant Zone Valve provided.
L-R9	TRAVEL ACCESS. & LEATHER		One VAV box with sensor.	No Plumbing Available	One Tenant Zone Valve provided.
L-R10	DUTY FREE/ DUTY PAID		One VAV box with sensor.	No Plumbing Available	One Tenant Zone Valve provided.
L-R11	NAT'L BRAND-FASHION JEWELERY		One VAV box with sensor.	No Plumbing Available	One Tenant Zone Valve provided.
L-R12	NON-PRESCRIPT. DRUGSTORE		Two VAV boxes with sensors.	No Plumbing Available	One Tenant Zone Valve provided.
L-R13	CONTEMPORARY ART & LOCAL CRAFTS		One VAV box with sensor.	No Plumbing Available	One Tenant Zone Valve provided.
N1-R14	NEWS & GIFTS		Three VAV boxes with sensors.	No Plumbing Available	One Tenant Zone Valve provided.
N1-R15	NEWS & GIFTS (WALL UNIT)		No dedicated mechanical provision is made for this space.	No Plumbing Available	Existing Landlord sprinkler system only (no Tenant Zone Valve provided)
N1-R16	NAT'L BRAND-FASHION JEWELERY (WALL UNIT)		No dedicated mechanical provision is made for this space.	No Plumbing Available	Existing Landlord sprinkler system only (no Tenant Zone Valve provided)

Appendix A, T4 Retail Infrastructure Summaries

Appendix A.2, T4 Retail Mechanical Infrastructure Summary

T4 Retail Mechanical Infrastructure Summary					
		MECHANICAL PROVISIONS		PLUMBING PROVISIONS	FIRE SPRINKLER PROVISIONS
Space ID	Proposed Concept	Comments	VAV Box Provision	Water, Waste, Vent	General Provision
N2-R17	NEWS & GIFTS		Three VAV boxes with sensors.	No Plumbing Available	One Tenant Valve provided.
N2-R18	NATIVE AMERICAN		One VAV box & one shared VAV box with sensors.	No Plumbing Available	One Tenant Valve provided.
N2-R19	WOMEN'S AND/OR MEN'S CLOTHING & ACCESS.		Two VAV boxes with sensors.	No Plumbing Available	One Tenant Valve provided.
N2-R20	HIGH TECH (WALL UNIT)		No dedicated mechanical provision is made for this space.	No Plumbing Available	Existing Landlord sprinkler system only (no Tenant Zone Valve provided)
N2-R21	OPEN CONCEPT (WALL UNIT)		No dedicated mechanical provision is made for this space.	No Plumbing Available	Existing Landlord sprinkler system only (no Tenant Zone Valve provided)
N3-R22	NEWS & GIFTS		Three VAV boxes with sensors.	No Plumbing Available	One Tenant Valve provided.
N3-R23	OPEN CONCEPT		One VAV box & one shared VAV box with sensors.	No Plumbing Available	One Tenant Valve provided.
N3-R24	HIGH TECH		Two VAV boxes with sensors.	No Plumbing Available	One Tenant Valve provided.
N3-R25	OPEN CONCEPT (WALL UNIT)		No dedicated mechanical provision is made for this space.	No Plumbing Available	Existing Landlord sprinkler system only (no Tenant Zone Valve provided)
N3-R26	CHOCOLATE / CANDY (WALL UNIT)		No dedicated mechanical provision is made for this space.	No Plumbing Available	Existing Landlord sprinkler system only (no Tenant Zone Valve provided)
N4-R27	NEWS & GIFTS		Three VAV boxes with sensors.	No Plumbing Available	One Tenant Valve provided.
N4-R28	CONTEMPORARY ART & LOCAL CRAFTS		Two VAV boxes with sensors.	No Plumbing Available	One Tenant Valve provided.
N4-R29	DUTY FREE/ DUTY PAID		One VAV box & one shared VAV box with sensors.	No Plumbing Available	One Tenant Valve provided.
N4-R30	MESSAGE/ NAIL BAR/ SPA PRODUCTS		No dedicated mechanical provision is made for this space. Exhaust system to the roof directly above is the Tenants responsibility.	1" DCW & 4" Waste provided. Roof access directly above for vent.	Existing Landlord sprinkler system only (no Tenant Zone Valve provided)
S4-R31	SOUVENIRS		One VAV box & one shared VAV box with sensors.	No Plumbing Available	One Tenant Valve provided.
S4-R32	NEWS & GIFTS		Two VAV boxes with sensors.	No Plumbing Available	One Tenant Valve provided.

Appendix A, T4 Retail Infrastructure Summaries

Appendix A.2, T4 Retail Mechanical Infrastructure Summary

T4 Retail Mechanical Infrastructure Summary					
		MECHANICAL PROVISIONS		PLUMBING PROVISIONS	
Space ID	Proposed Concept	Comments	VAV Box Provision	Water, Waste, Vent	FIRE SPRINKLER PROVISIONS
					General Provision
S3-R33	HIGH TECH (WALL UNIT)		No dedicated mechanical provision is made for this space.	No Plumbing Available	Existing Landlord sprinkler system only (no Tenant Zone Valve provided)
S3-R34	TRAVEL ACCESS. & LEATHER		One VAV box & one shared VAV box with sensors.	No Plumbing Available	One Tenant Valve provided.
S3-R35	OPEN CONCEPT		One VAV box & one shared VAV box with sensors.	No Plumbing Available	One Tenant Valve provided.
S3-R36	NEWS & GIFTS		One VAV box with sensor.	No Plumbing Available	One Tenant Valve provided.
S2-R37	NAT'L/ LOCAL BRAND-CHOC./ CANDY (WALL UNIT)		No dedicated mechanical provision is made for this space.	No Plumbing Available	Existing Landlord sprinkler system only (no Tenant Zone Valve provided)
S2-R38	HIGH TECH		One VAV box with sensor.	No Plumbing Available	One Tenant Valve provided.
S2-R39	NATIVE AMERICAN		One VAV box with sensor.	No Plumbing Available	One Tenant Valve provided.
S2-R40	NEWS & GIFTS		Two VAV boxes with sensors.	No Plumbing Available	One Tenant Valve provided.
S2-R41	MASSAGE/ NAIL BAR/ SPA PRODUCTS		Two VAV boxes with sensors. Exhaust system to the roof directly above is the Tenants responsibility.	3/4" DCW, 4" Waste & 2" Vent provided.	One Tenant Valve provided.

Appendix A, T4 Retail Infrastructure Summaries

Appendix A.3, T4 Retail Electrical Infrastructure Summary

T4 Retail Electrical Infrastructure Summary - 12 February 2015				
			ELECTRICAL PROVISIONS	DATA PROVISIONS
Space ID	Proposed Concept	Comments	Disconnect Size	Conduit Size and Quantity
L-R1	NEWS & GIFTS		60 Amp, 480 volt, 3 phase disconnect switch in space (150 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
L-R2	WOMEN'S CLOTHING & ACCESSORIES		30 Amp, 480 volt, 3 phase disconnect switch in space (83 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
L-R3	COSMETICS/PERFUMES OR SUNGLASSES/ WATCHES		30 Amp, 480 volt, 3 phase disconnect switch in space (83 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
L-R4	MEN'S CLOTHING & ACCESSORIES		30 Amp, 480 volt, 3 phase disconnect switch in space (83 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
L-R5	HIGH TECH		30 Amp, 480 volt, 3 phase disconnect switch in space (83 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
L-R6	NATIVE AMERICAN		30 Amp, 480 volt, 3 phase disconnect switch in space (83 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
L-R7	SOUVENIERS			(2) 1"C. to nearest IDF Room
L-R8	OPEN CONCEPT		30 Amp, 480 volt, 3 phase disconnect switch in space (83 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
L-R9	TRAVEL ACCESS. & LEATHER		30 Amp, 480 volt, 3 phase disconnect switch in space (83 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
L-R10	DUTY FREE/ DUTY PAID		30 Amp, 480 volt, 3 phase disconnect switch in space (83 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
L-R11	NAT'L BRAND-FASHION JEWELERY		30 Amp, 480 volt, 3 phase disconnect switch in space (83 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
L-R12	NON-PRESCRIPT. DRUGSTORE		30 Amp, 480 volt, 3 phase disconnect switch in space (83 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
L-R13	CONTEMPORARY ART & LOCAL CRAFTS		30 Amp, 480 volt, 3 phase disconnect switch in space (83 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
N1-R14	NEWS & GIFTS		100 Amp, 480 volt, 3 phase disconnect switch in space (225 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
N1-R15	NEWS & GIFTS (WALL UNIT)		(4) 120V, 1ph receptacles at wall unit, (1) 120V at cash unit, lighting at wall unit	(1) 1"C. to nearest IDF Room

Appendix A, T4 Retail Infrastructure Summaries

Appendix A.3, T4 Retail Electrical Infrastructure Summary

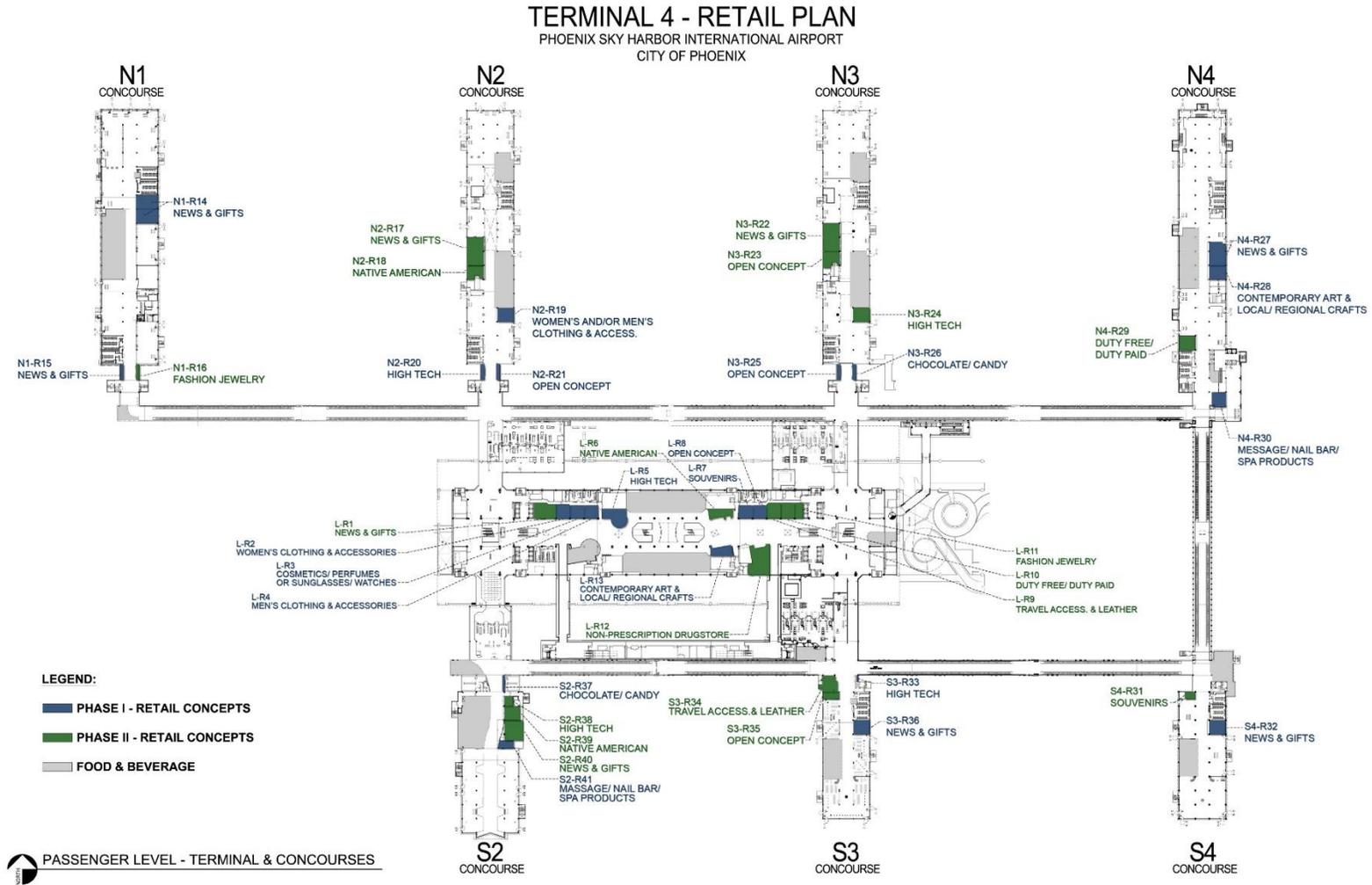
T4 Retail Electrical Infrastructure Summary - 12 February 2015				
			ELECTRICAL PROVISIONS	DATA PROVISIONS
Space ID	Proposed Concept	Comments	Disconnect Size	Conduit Size and Quantity
N1-R16	NAT'L BRAND-FASHION JEWELERY (WALL UNIT)		No provisions	No provisions
N2-R17	NEWS & GIFTS		30 Amp, 480 volt, 3 phase disconnect switch in space (83 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
N2-R18	NATIVE AMERICAN		30 Amp, 480 volt, 3 phase disconnect switch in space (83 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
N2-R19	WOMEN'S AND/OR MEN'S CLOTHING & ACCESS.		30 Amp, 480 volt, 3 phase disconnect switch in space (83 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
N2-R20	HIGH TECH (WALL UNIT)		(1) 120V, 1ph receptacle, shares a circuit with N1-R20	No provisions
N2-R21	OPEN CONCEPT (WALL UNIT)		(1) 120V, 1ph receptacle, shares a circuit with N1-R21	No provisions
N3-R22	NEWS & GIFTS		Needs new 60 Amp, 480 volt, 3 phase disconnect switch in space. Space is currently fed with 150A, 120/208V, 3ph from DCN4.	(1) 3/4"C. to nearest IDF Room, new (2) 1"C. required.
N3-R23	OPEN CONCEPT		No provisions	No provisions
N3-R24	HIGH TECH		Needs new 30 Amp, 480 volt, 3 phase disconnect switch in space. Space is currently fed with 30A, 480V feeder from SES N3 to 45kva transformer	(1) 3/4"C. to nearest IDF Room, new (2) 1"C. required.
N3-R25	OPEN CONCEPT (WALL UNIT)		(4) 120V, 1ph receptacles at wall unit, (1) 120V at cash unit, lighting at wall unit	Unknown
N3-R26	CHOCOLATE / CANDY (WALL UNIT)		(4) 120V, 1ph receptacles at wall unit, (1) 120V at cash unit, lighting at wall unit	Unknown
N4-R27	NEWS & GIFTS		Needs new 60 Amp, 480 volt, 3 phase disconnect switch in space. Space is currently fed with 60A, 480V feeder to 45kva transformer	(1) 3/4"C. to nearest IDF Room, new (2) 1"C. required.
N4-R28	CONTEMPORARY ART & LOCAL CRAFTS		Needs new 30 Amp, 480 volt, 3 phase disconnect switch in space. Space is currently fed with 100A, 120/208V, panelboard from Landlord distribution.	(2) 1"C. to nearest IDF Room
N4-R29	DUTY FREE/ DUTY PAID		100 Amp, 480 volt, 3 phase disconnect switch in space (225 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
N4-R30	MASSAGE/ NAIL BAR/SPA PRODUCTS		No Provisions	No Provisions

Appendix A, T4 Retail Infrastructure Summaries

Appendix A.3, T4 Retail Electrical Infrastructure Summary

T4 Retail Electrical Infrastructure Summary - 12 February 2015				
			ELECTRICAL PROVISIONS	DATA PROVISIONS
Space ID	Proposed Concept	Comments	Disconnect Size	Conduit Size and Quantity
S4-R31	SOUVENIRS		No Provisions	No Provisions
S4-R32	NEWS & GIFTS		30 Amp, 480 volt, 3 phase disconnect switch in space (83 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
S3-R33	HIGH TECH (WALL UNIT)		(2) 120V, 1ph receptacle at ceiling soffit	No provisions
S3-R34	TRAVEL ACCESS. & LEATHER		60 Amp, 480 volt, 3 phase disconnect switch in space (150 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
S3-R35	OPEN CONCEPT		No Provisions	No Provisions
S3-R36	NEWS & GIFTS		Needs new 30 Amp, 480 volt, 3 phase disconnect switch in space. Space is currently fed with 100A panel fed from Aviation 120/208V distribution board.	(2) 3/4"C. to nearest IDF Room
S2-R37	NAT'L/ LOCAL BRAND-CHOC./ CANDY (WALL UNIT)		(2) 120V, 1ph receptacles at wall unit, (1) quad, 120V at cash unit, lighting at wall unit	Unknown
S2-R38	HIGH TECH		60 Amp, 480 volt, 3 phase disconnect switch in space (150 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
S2-R39	NATIVE AMERICAN		60 Amp, 480 volt, 3 phase disconnect switch in space (150 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
S2-R40	NEWS & GIFTS		60 Amp, 480 volt, 3 phase disconnect switch in space (150 amps of 120/208V, 3ph via tenant supplied transformer)	(2) 1"C. to nearest IDF Room
S2-R41	MASSAGE/ NAIL BAR/SPA PRODUCTS		No Provisions	No Provisions

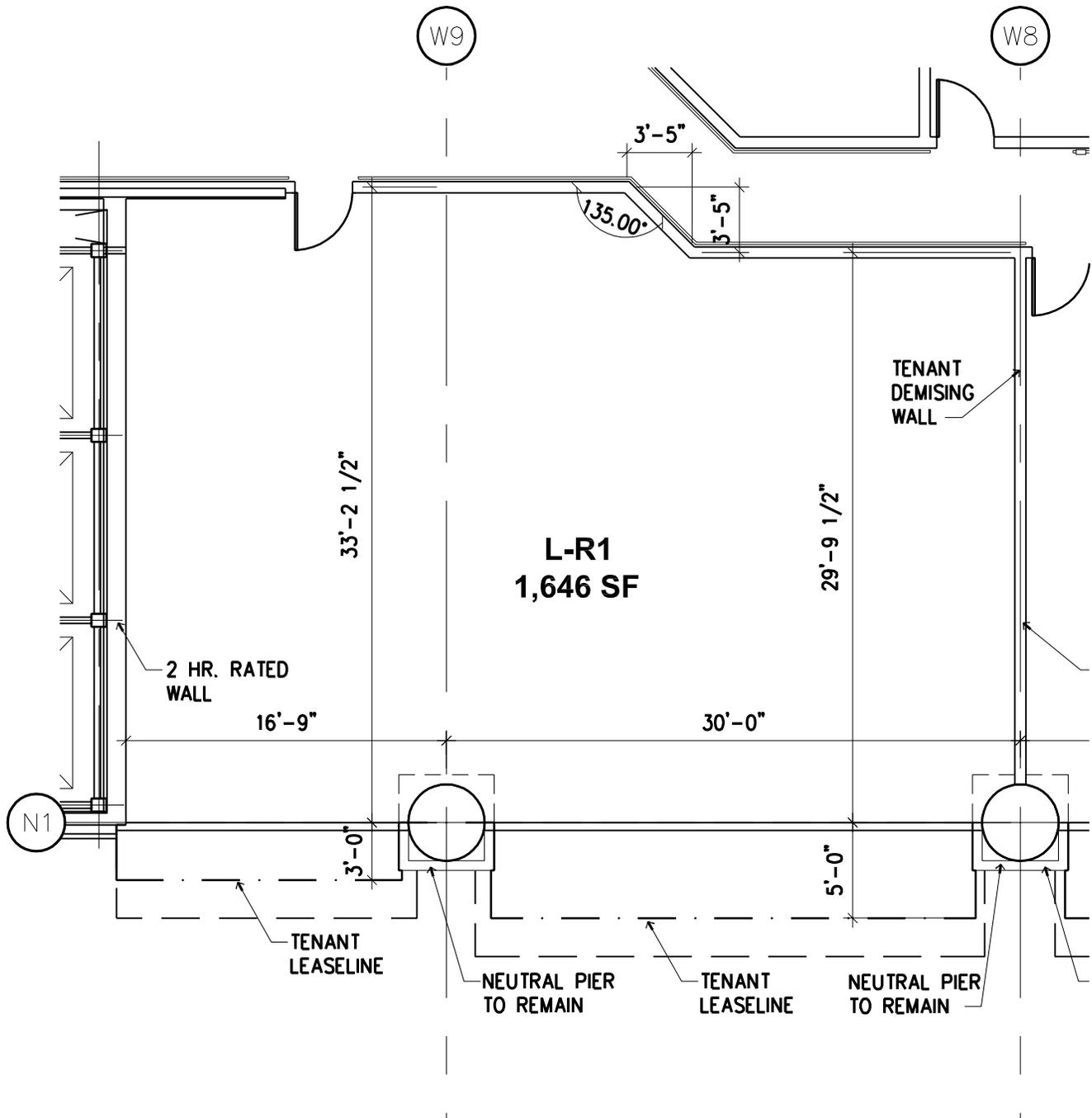
Appendix B, T4 Retail Location Plan



Appendix C, T4 Lease Outline Drawings

Appendix C, T4 Lease Outline Drawings

PHASE 2

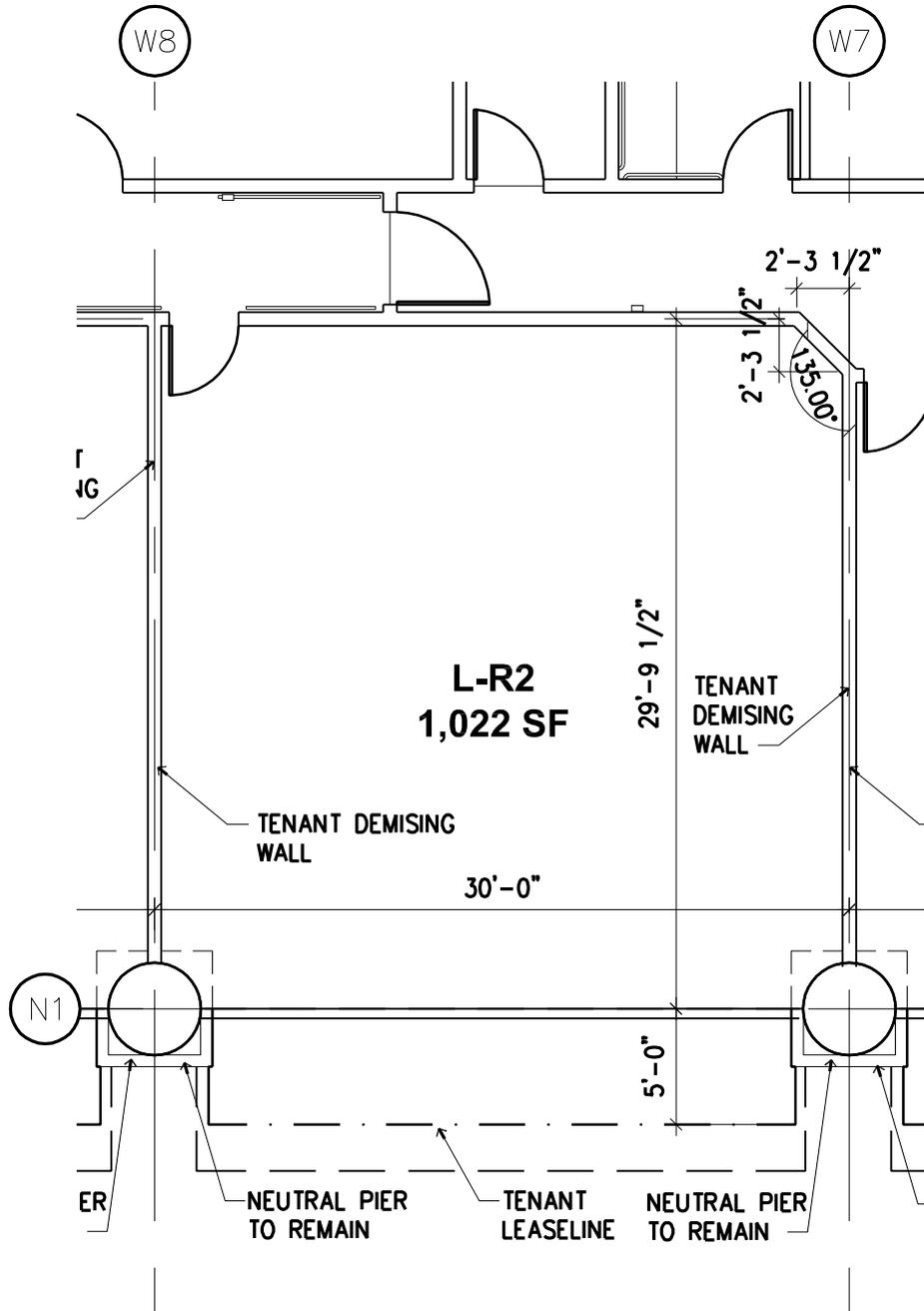


L-R1



1/8" = 1'-0"

PHASE 1

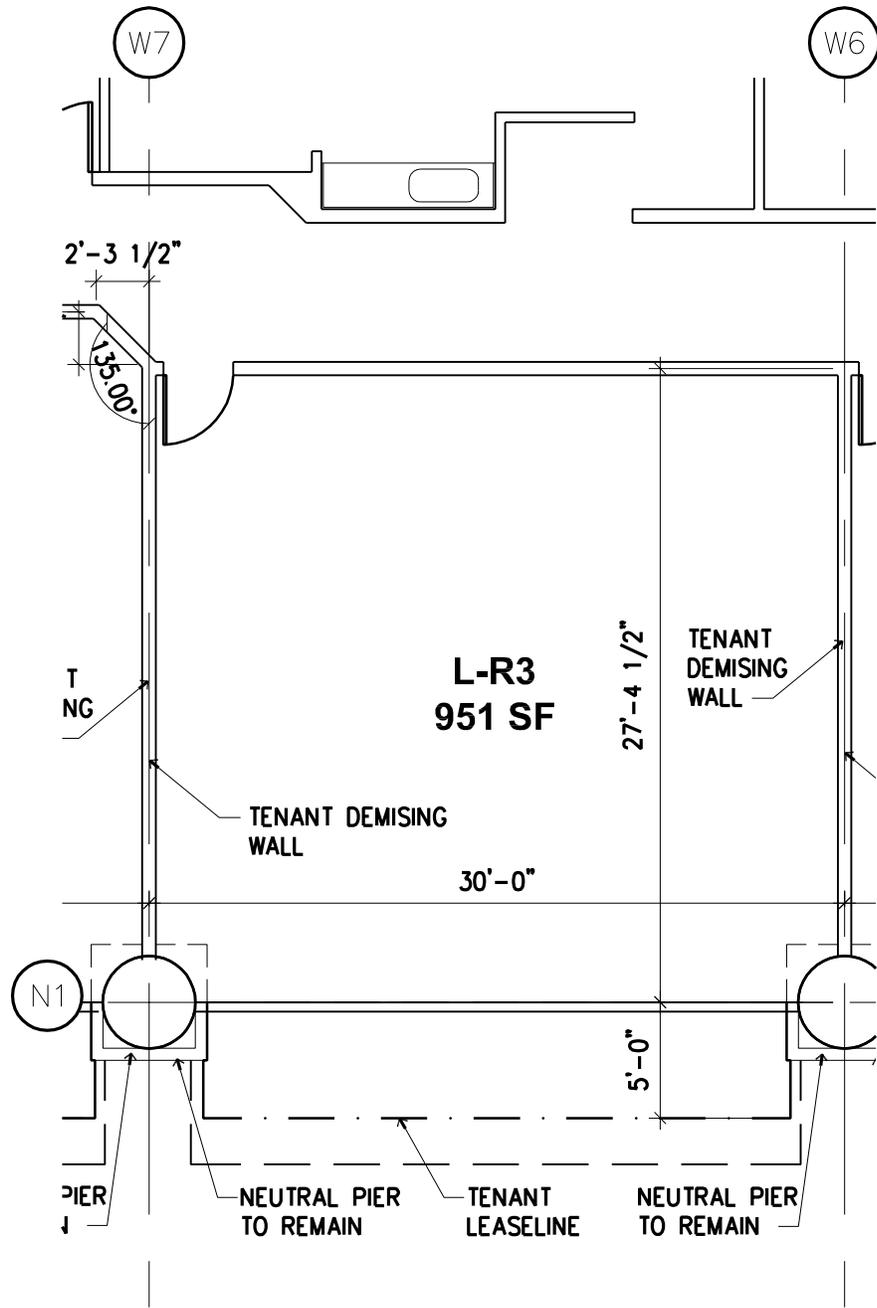


L-R2



1/8" = 1'-0"

PHASE 1

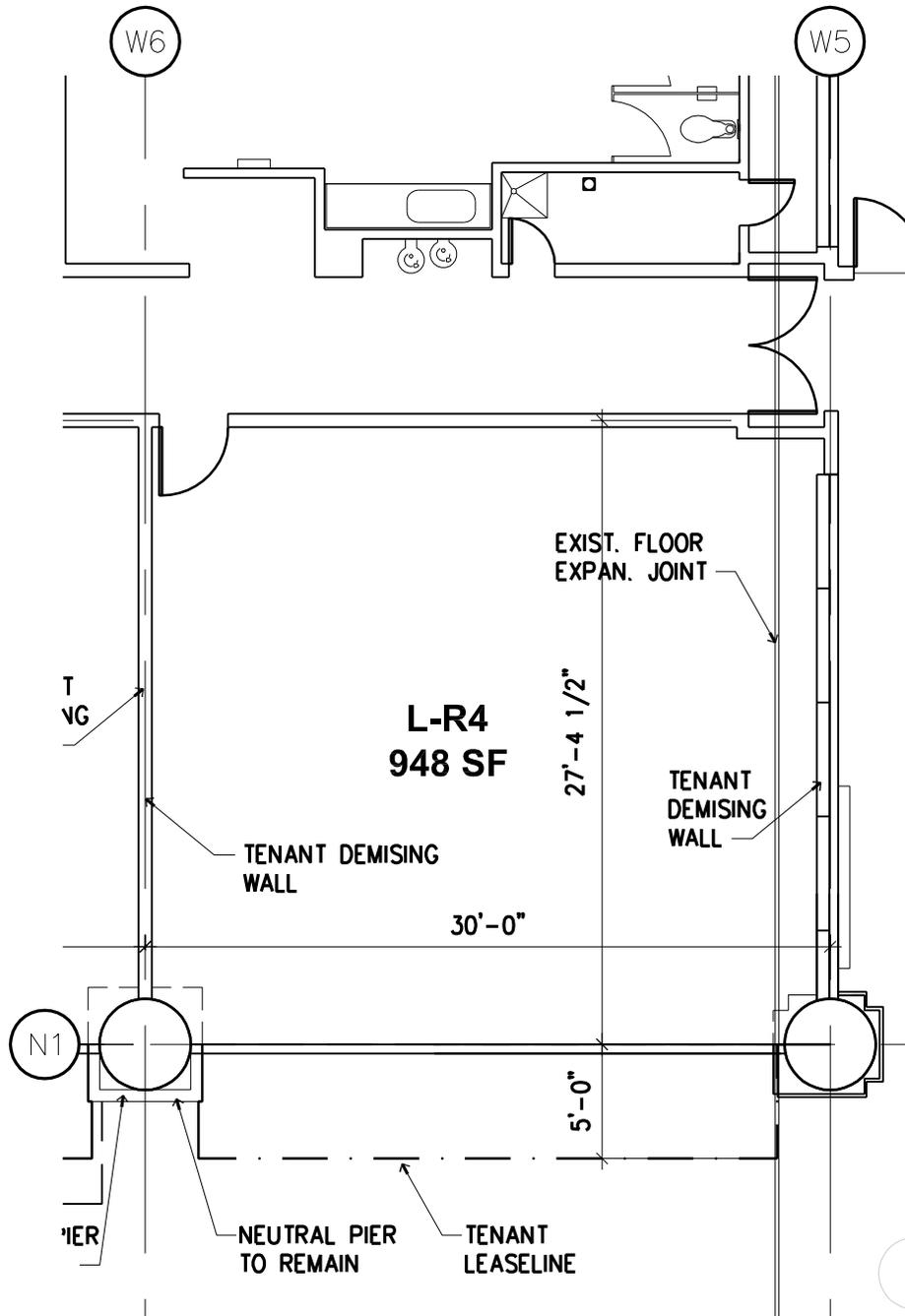


L-R3



1/8" = 1'-0"

PHASE 1

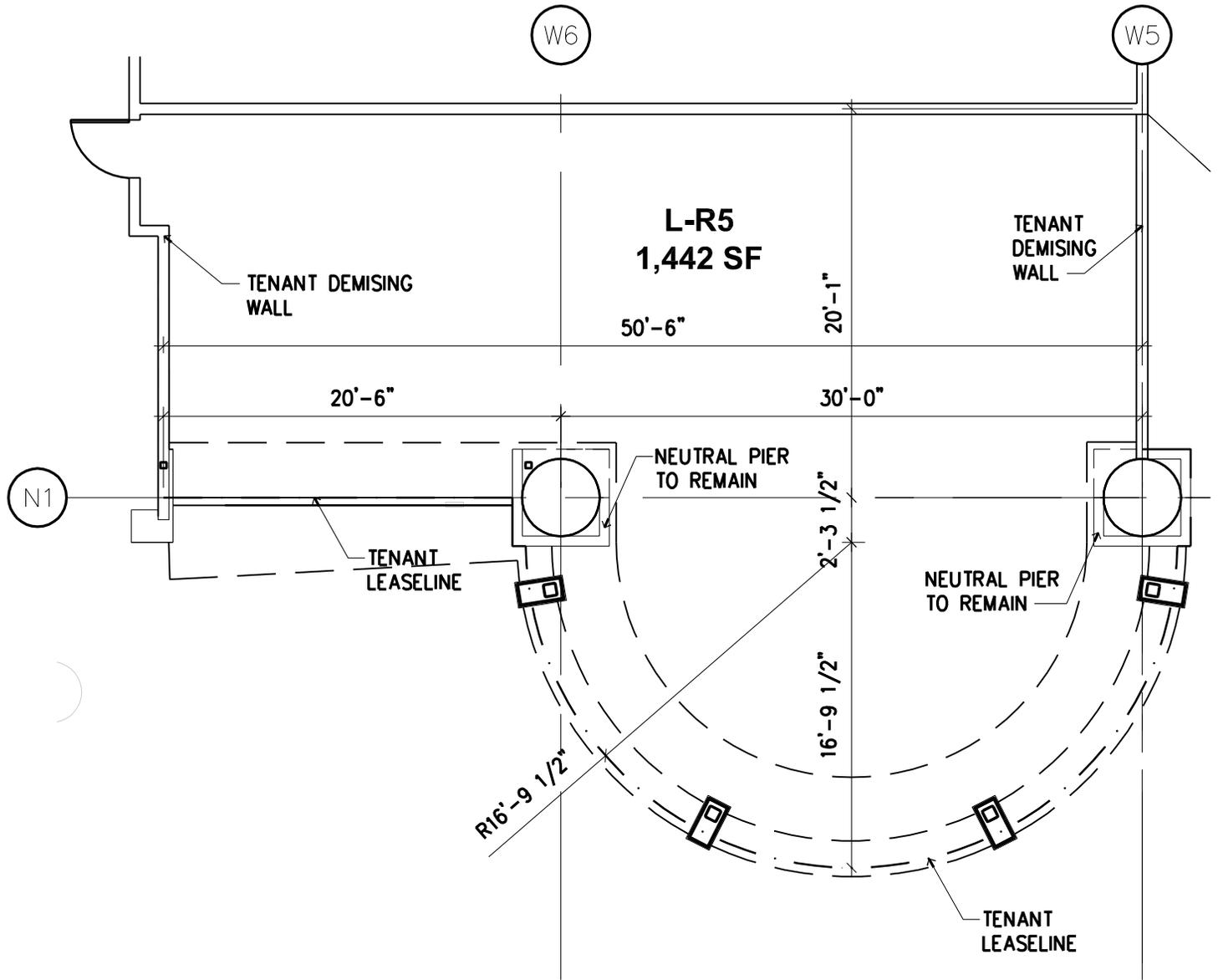


L-R4



1/8" = 1'-0"

PHASE 1

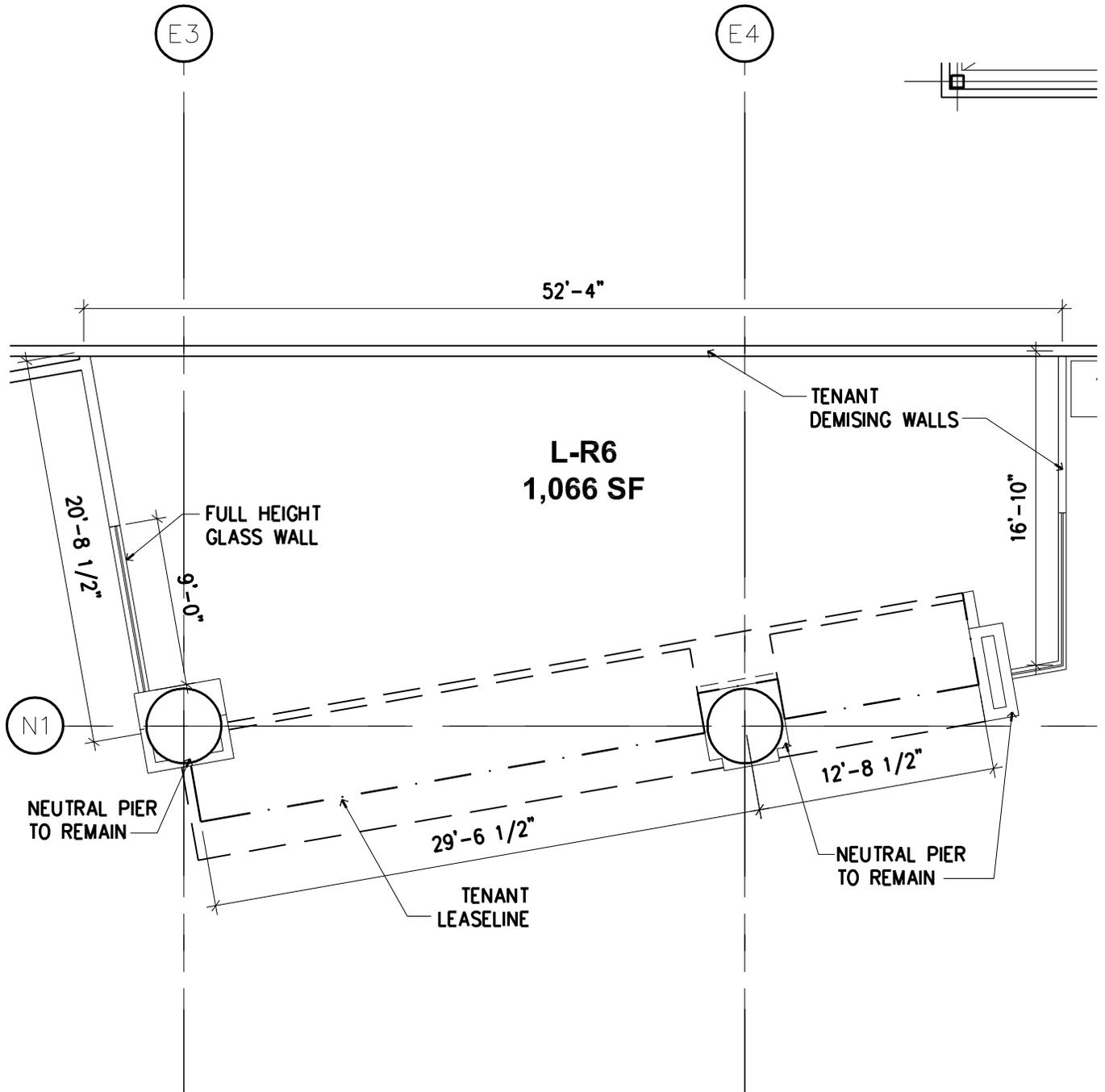


L-R5



1/8" = 1'-0"

PHASE 2

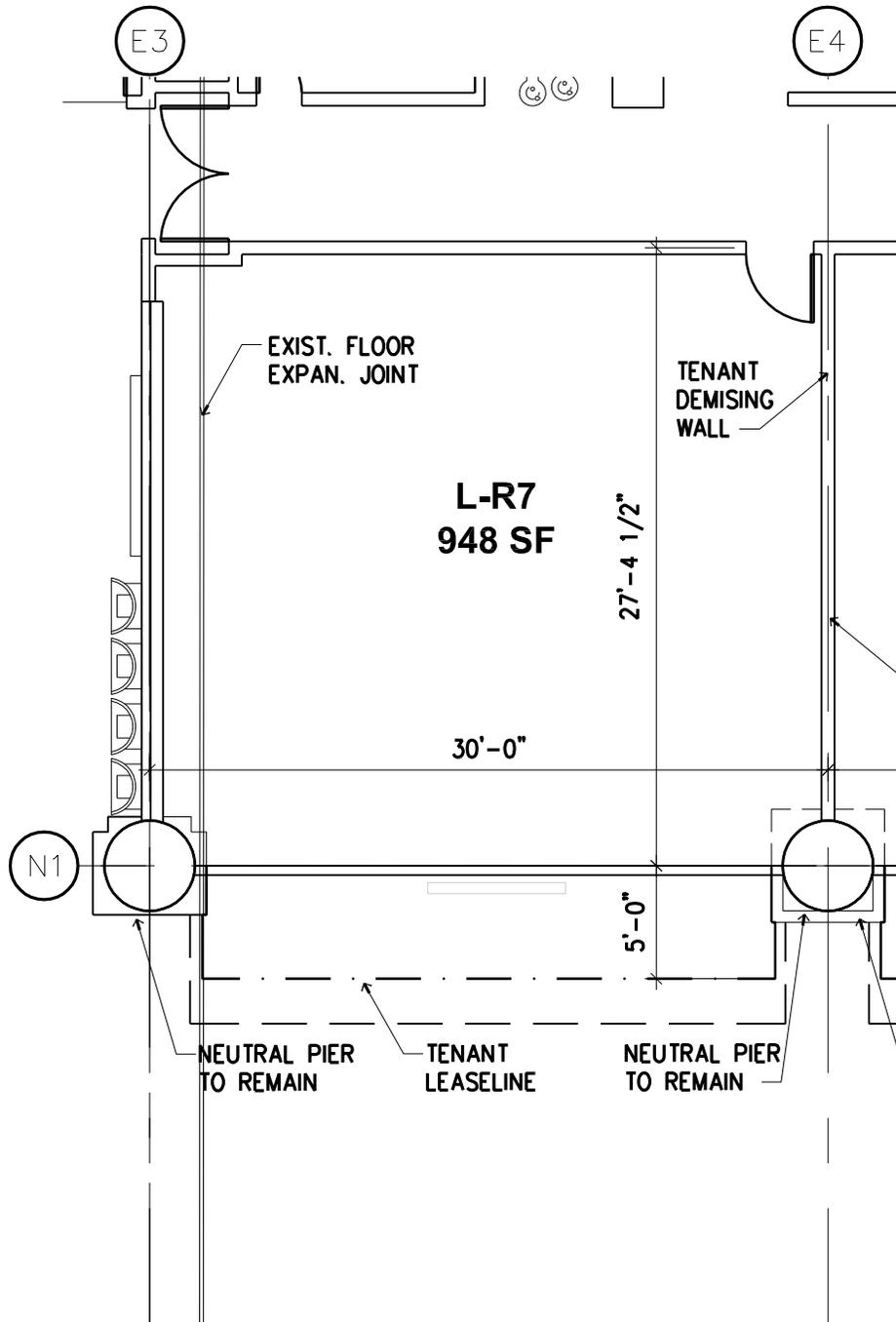


L-R6



1/8" = 1'-0"

PHASE 1

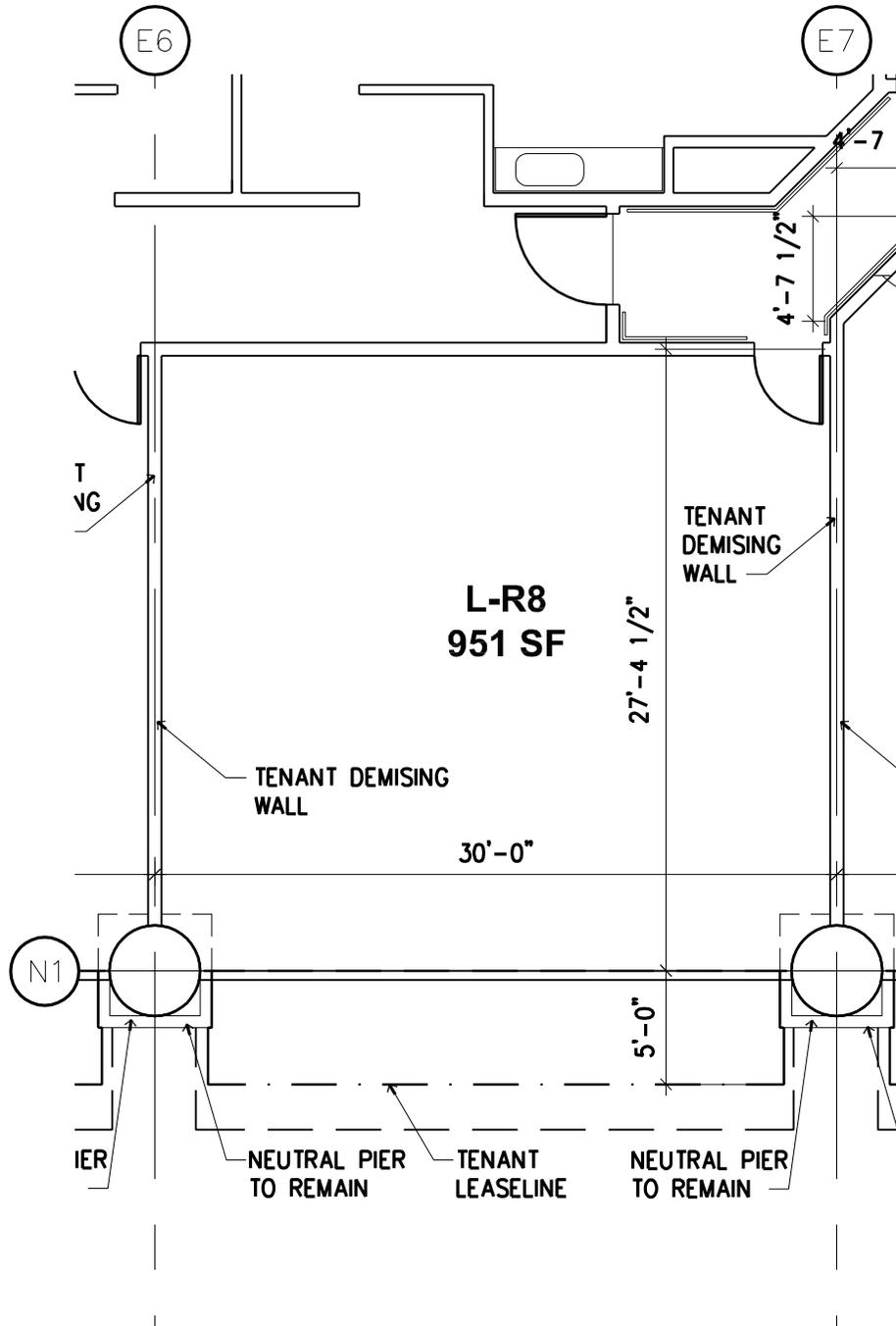


L-R7



1/8" = 1'-0"

PHASE 1

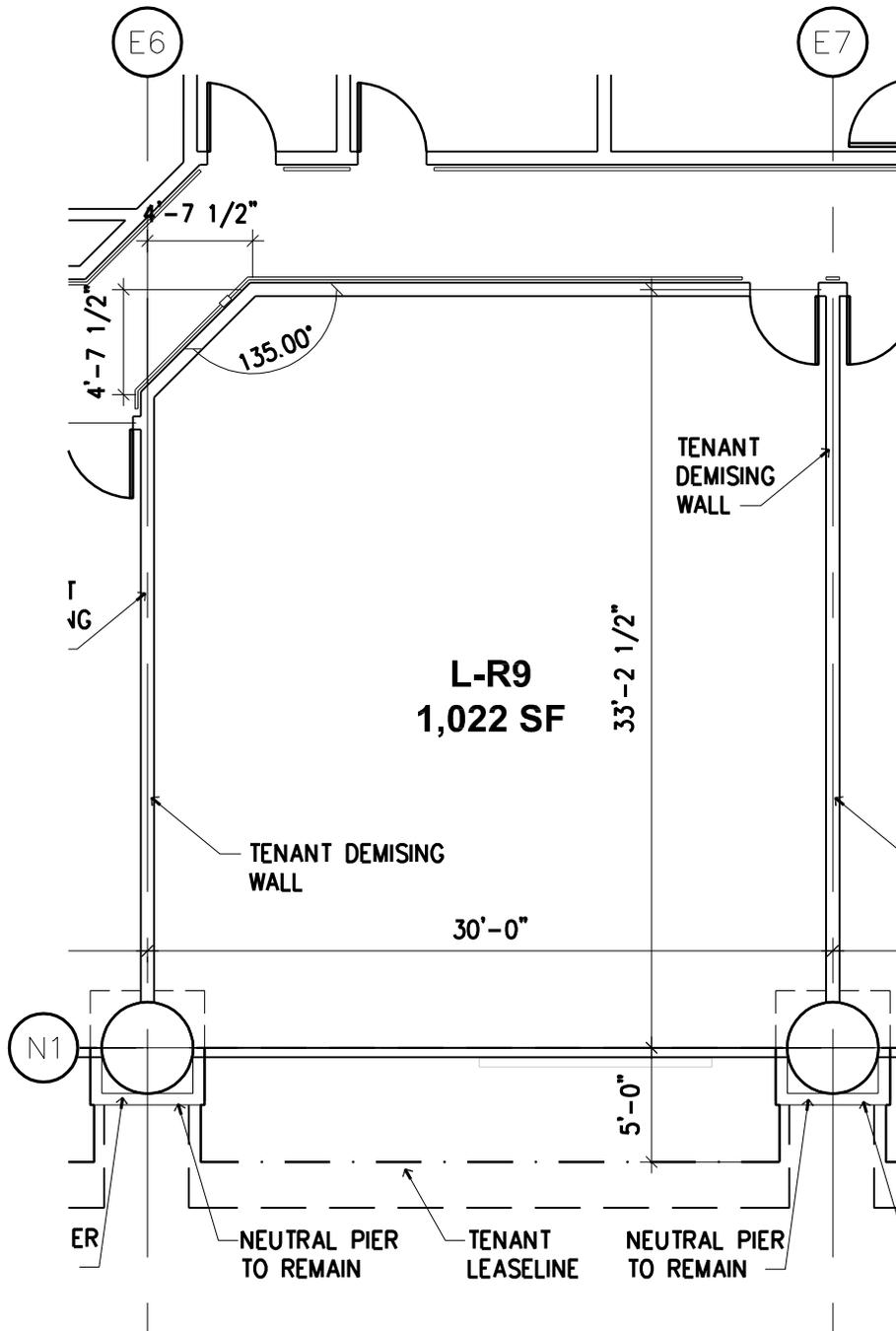


L-R8



1/8" = 1'-0"

PHASE 2

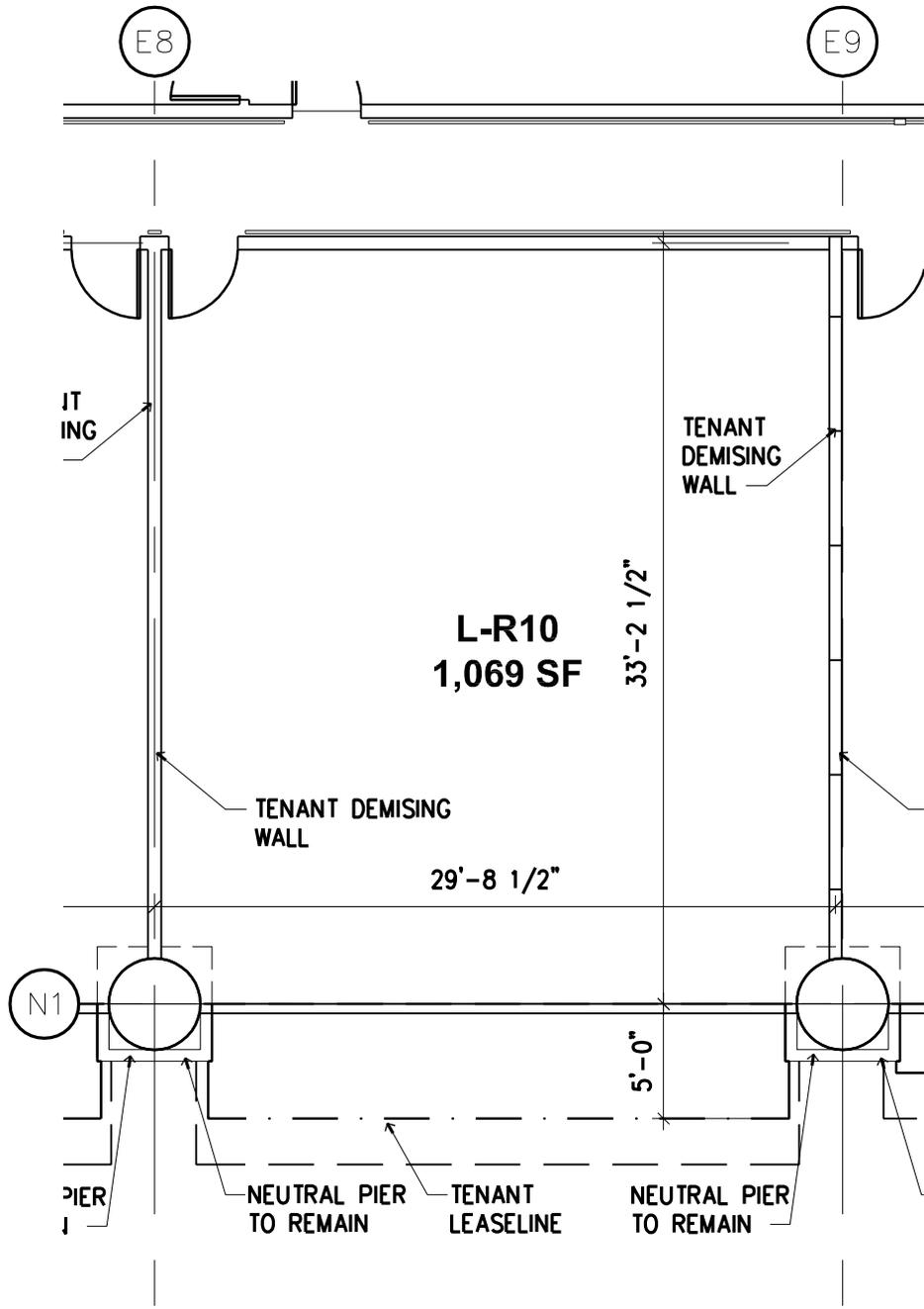


L-R9



1/8" = 1'-0"

PHASE 2

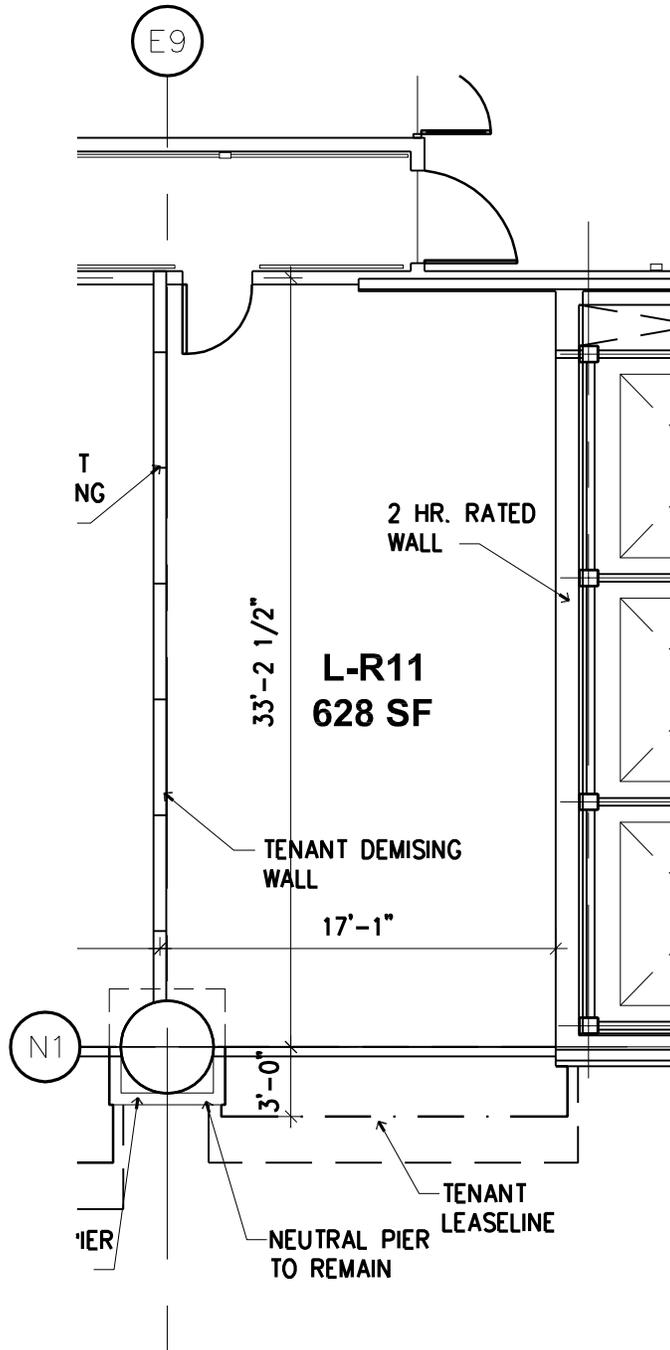


L-R10



1/8" = 1'-0"

PHASE 2

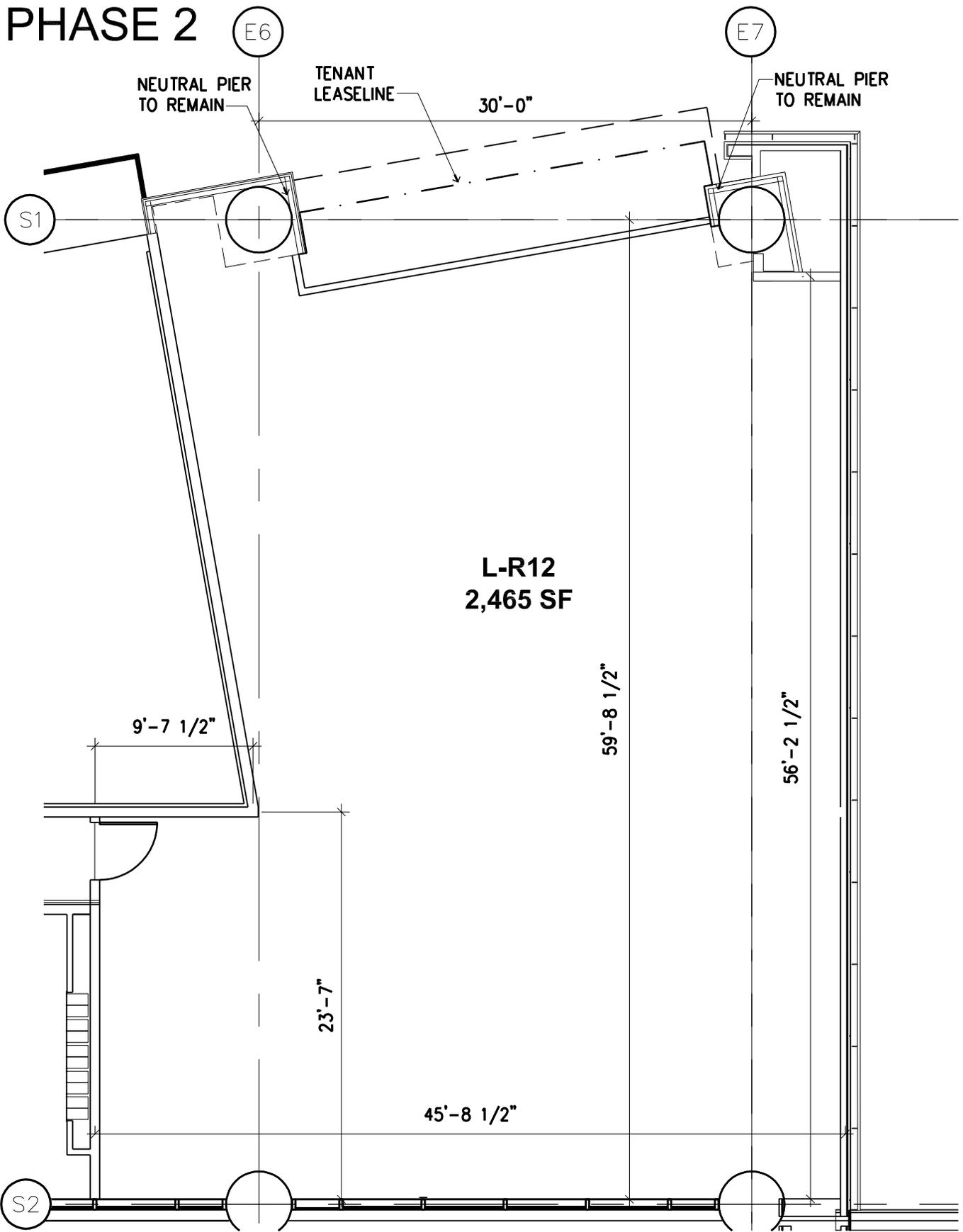


L-R11



1/8" = 1'-0"

PHASE 2

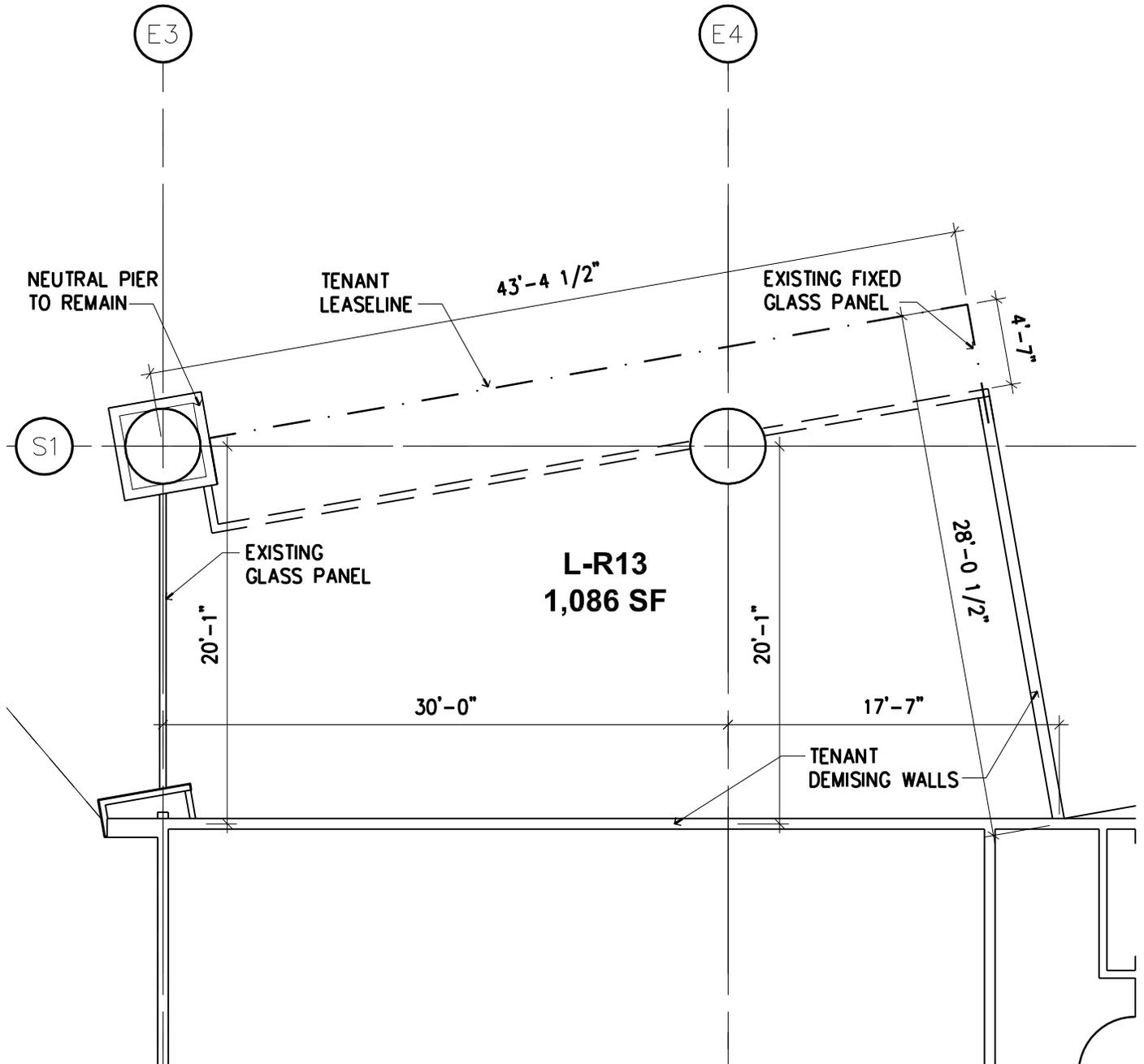


L-R12



1/8" = 1'-0"

PHASE 1

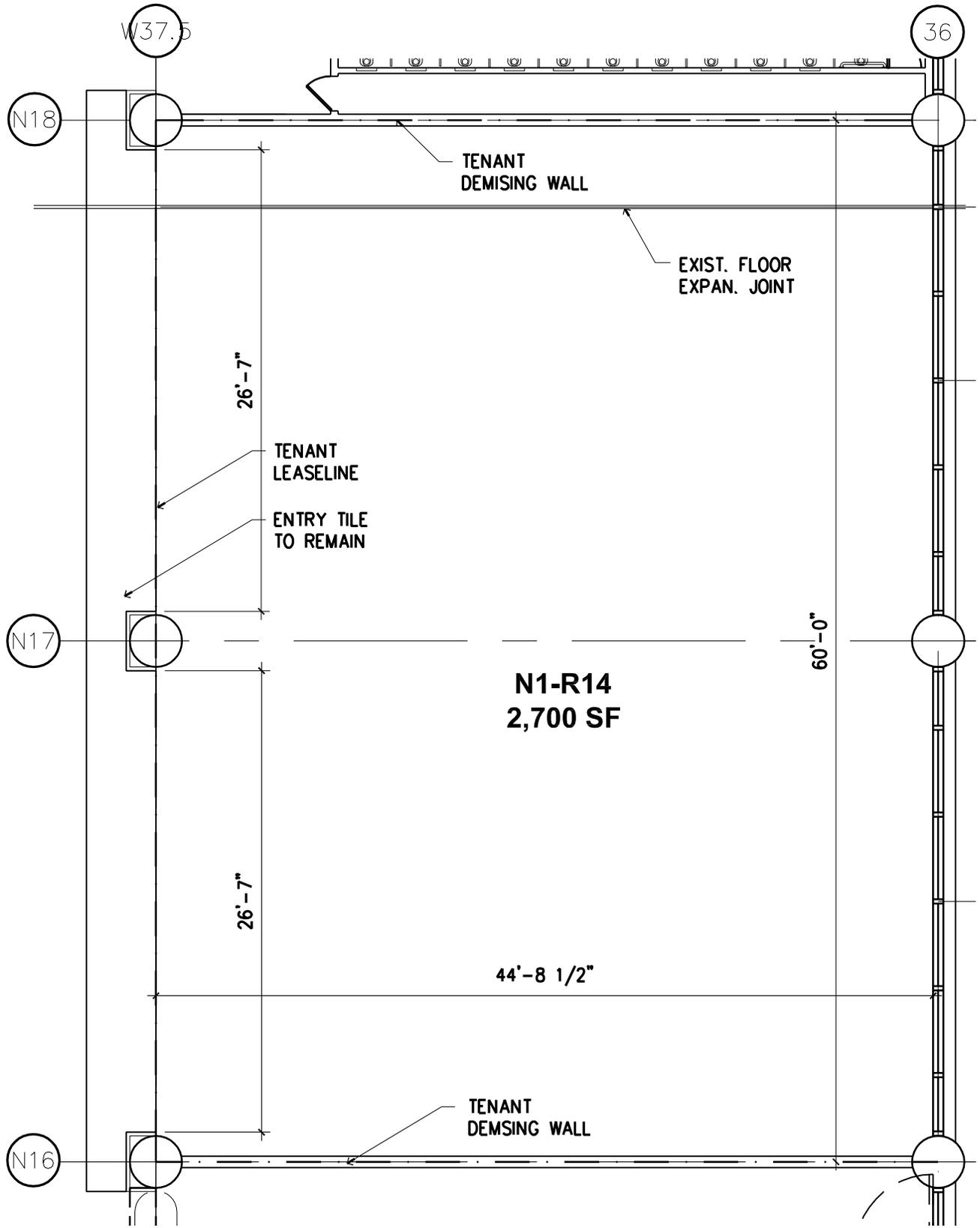


L-R13



$1/8" = 1'-0"$

PHASE 1

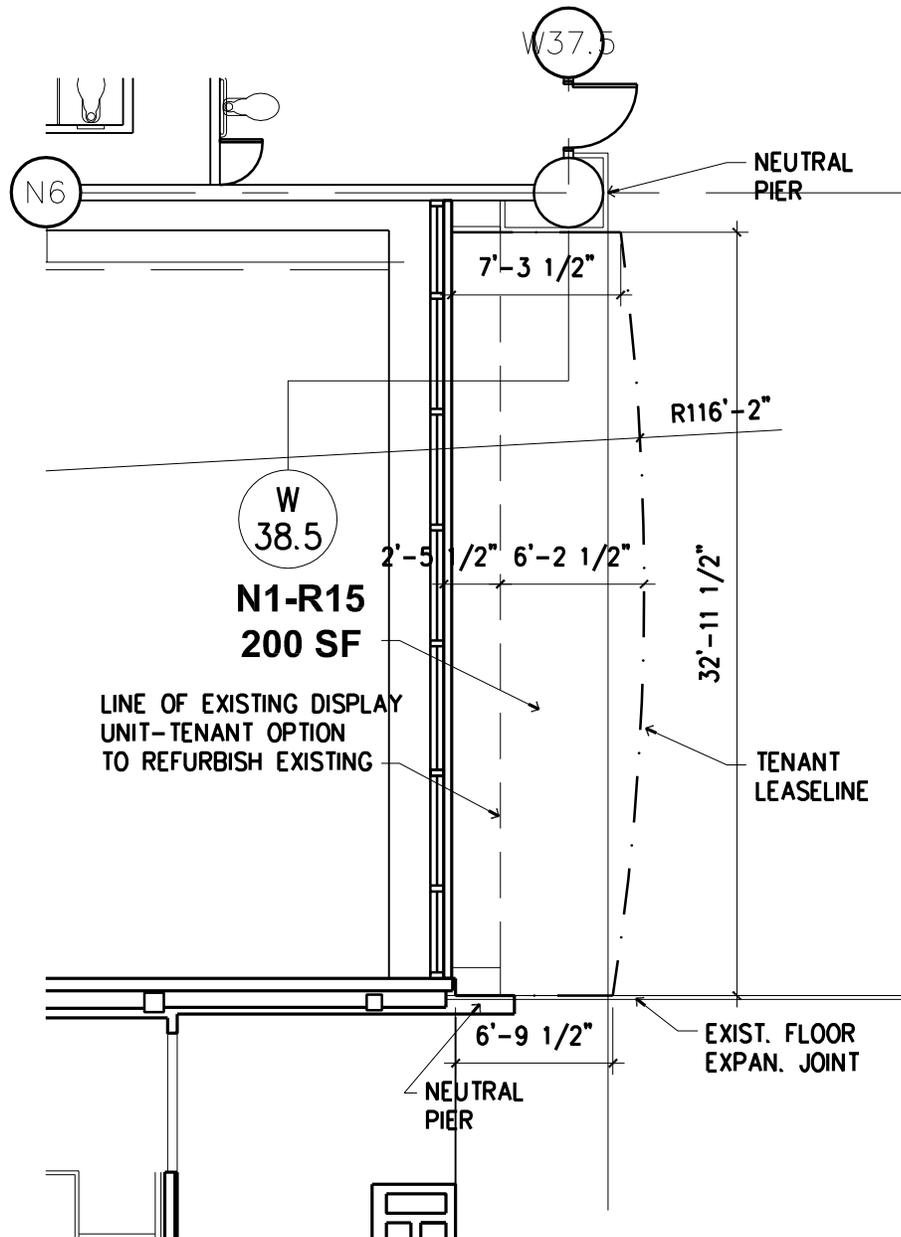


N1- R14



1/8" = 1'-0"

PHASE 2

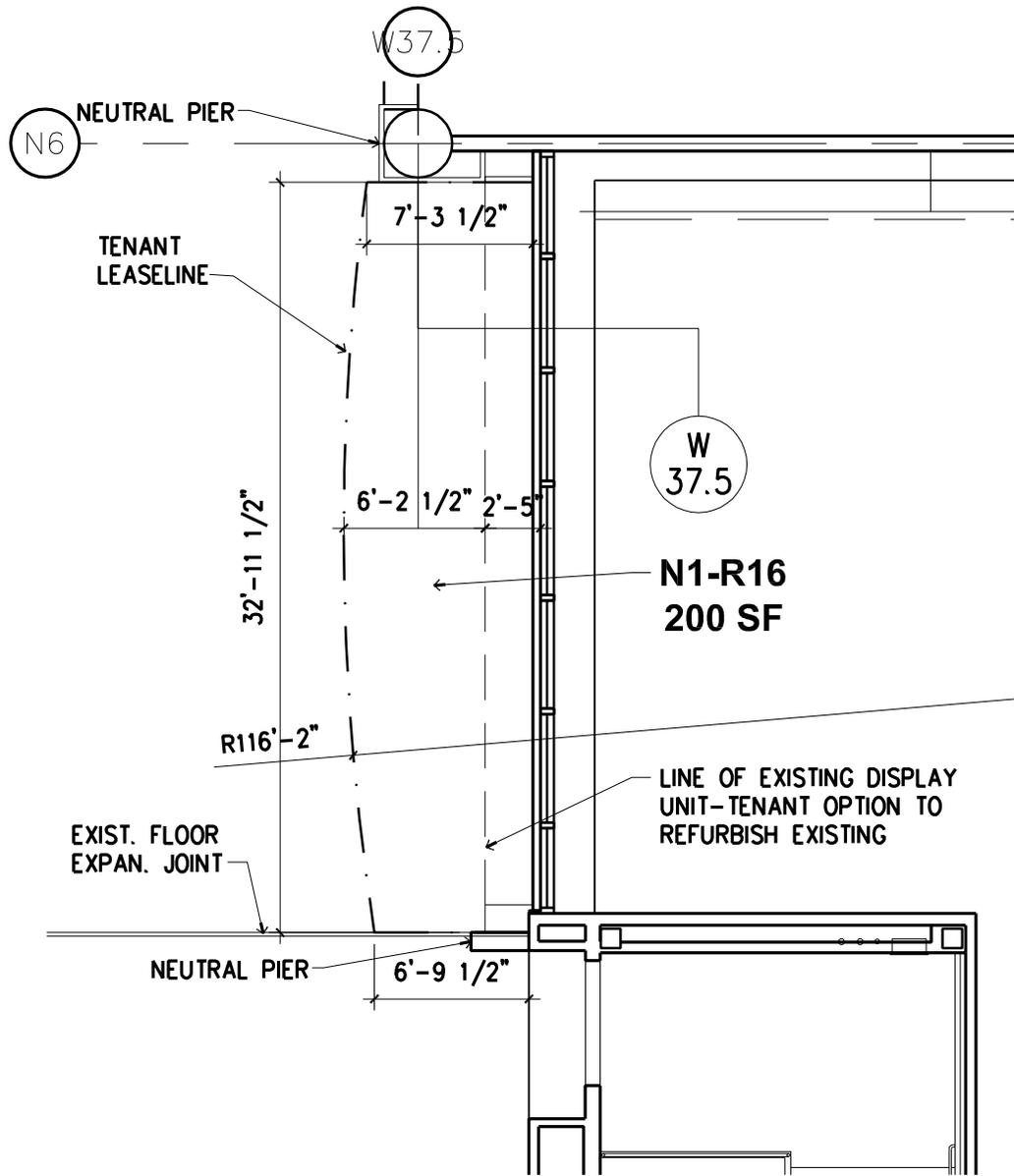


N1- R15



1/8" = 1'-0"

PHASE 1

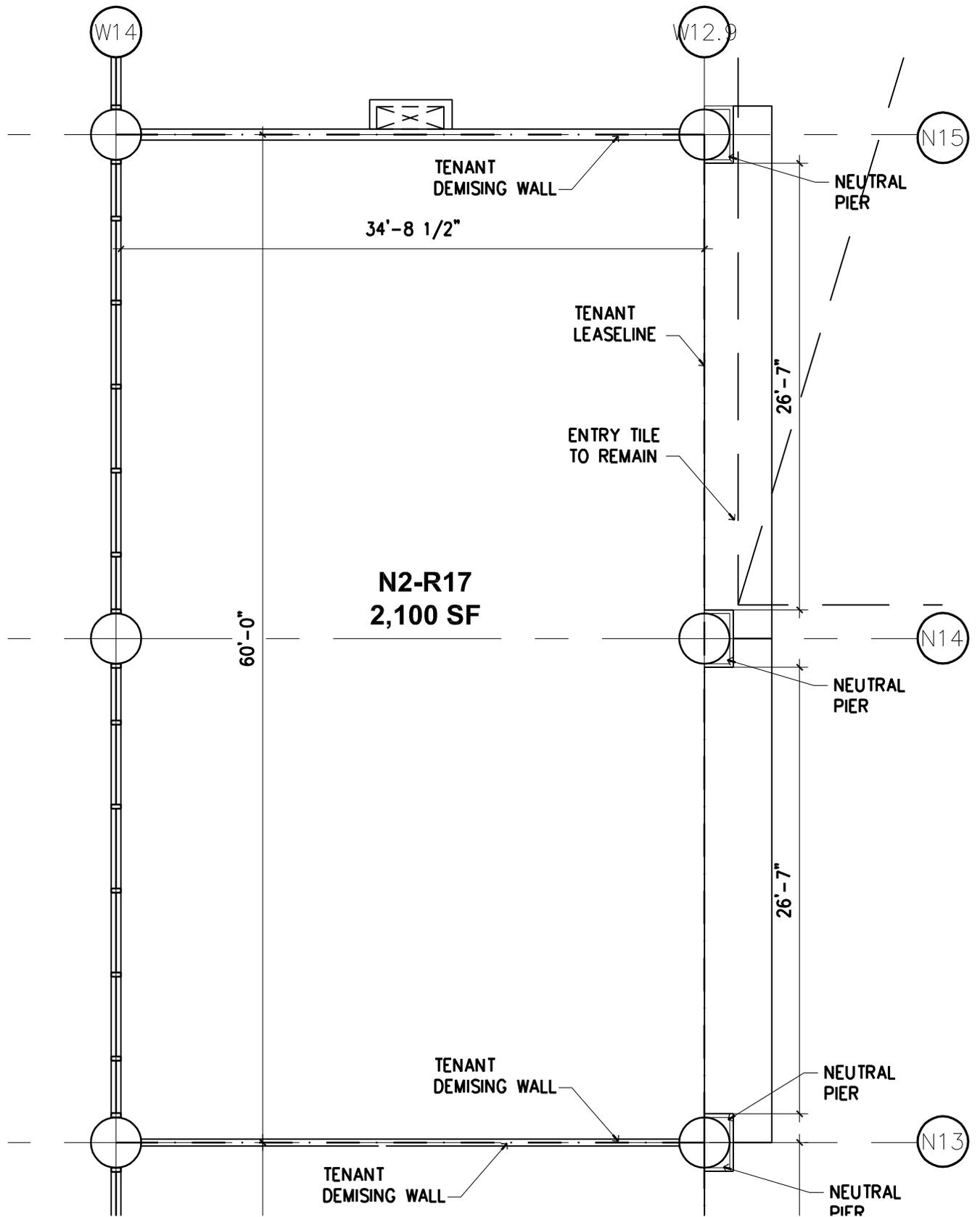


N1- R16 (WALL UNIT)



1/8" = 1'-0"

PHASE 2

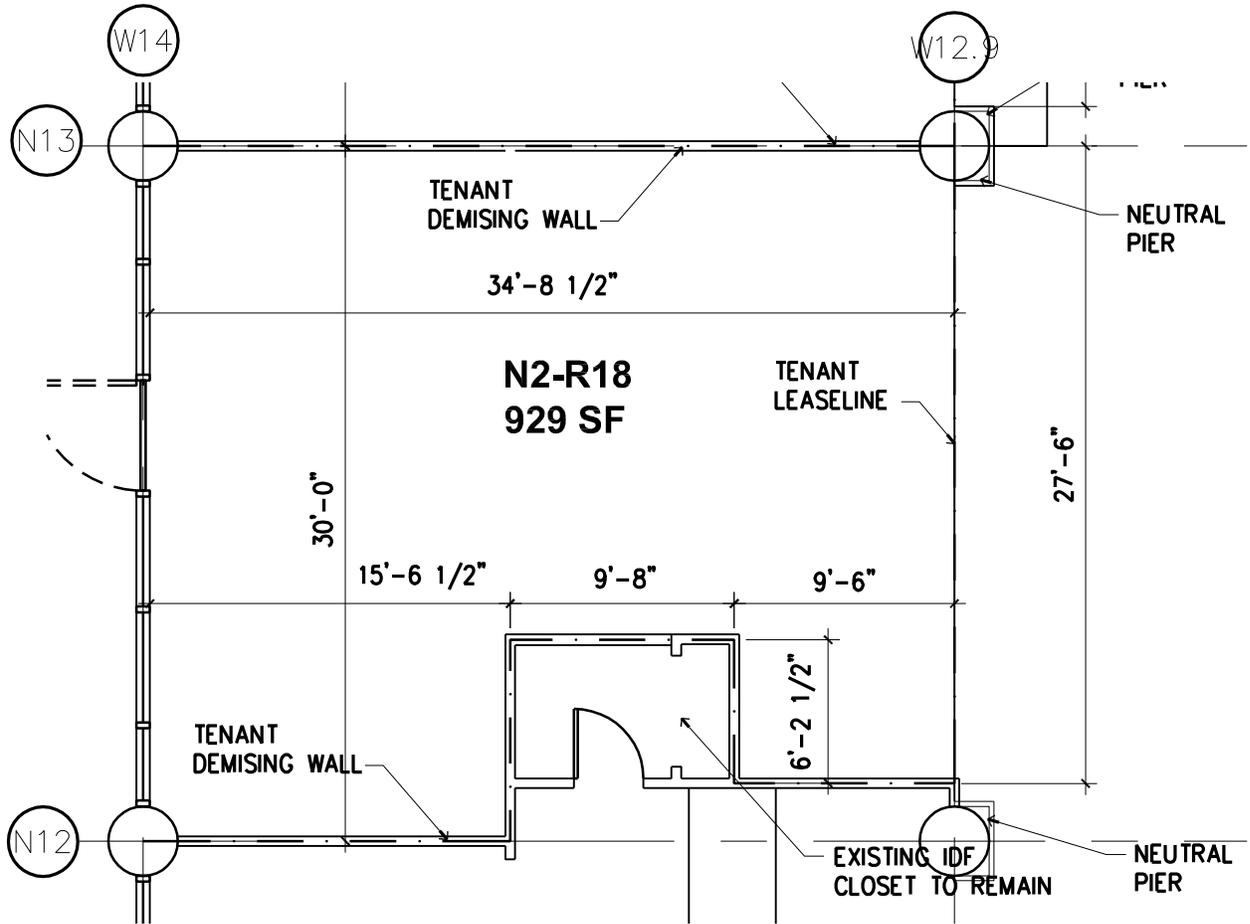


N2- R17



1/8" = 1'-0"

PHASE 2

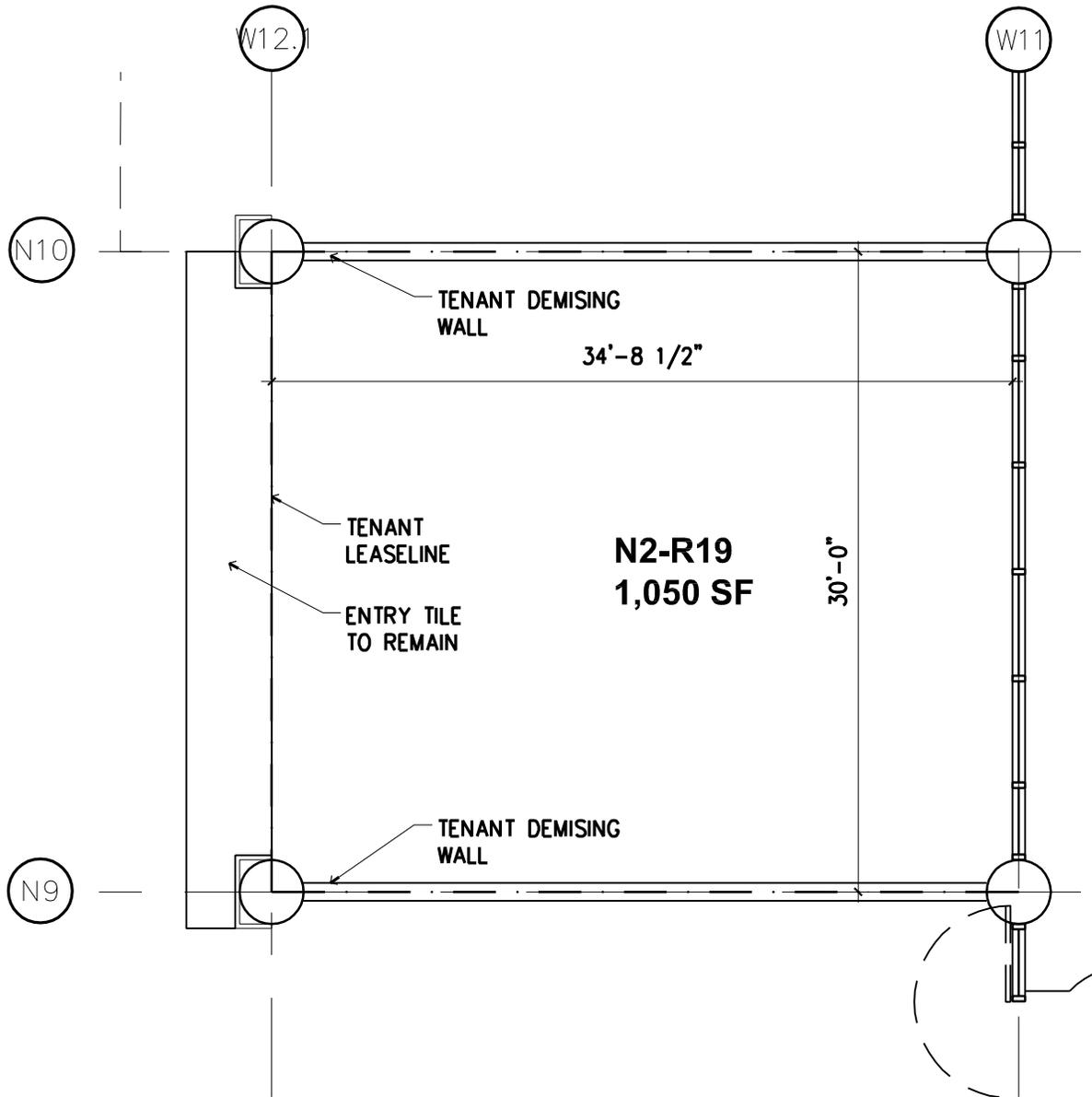


N2- R18



1/8" = 1'-0"

PHASE 1

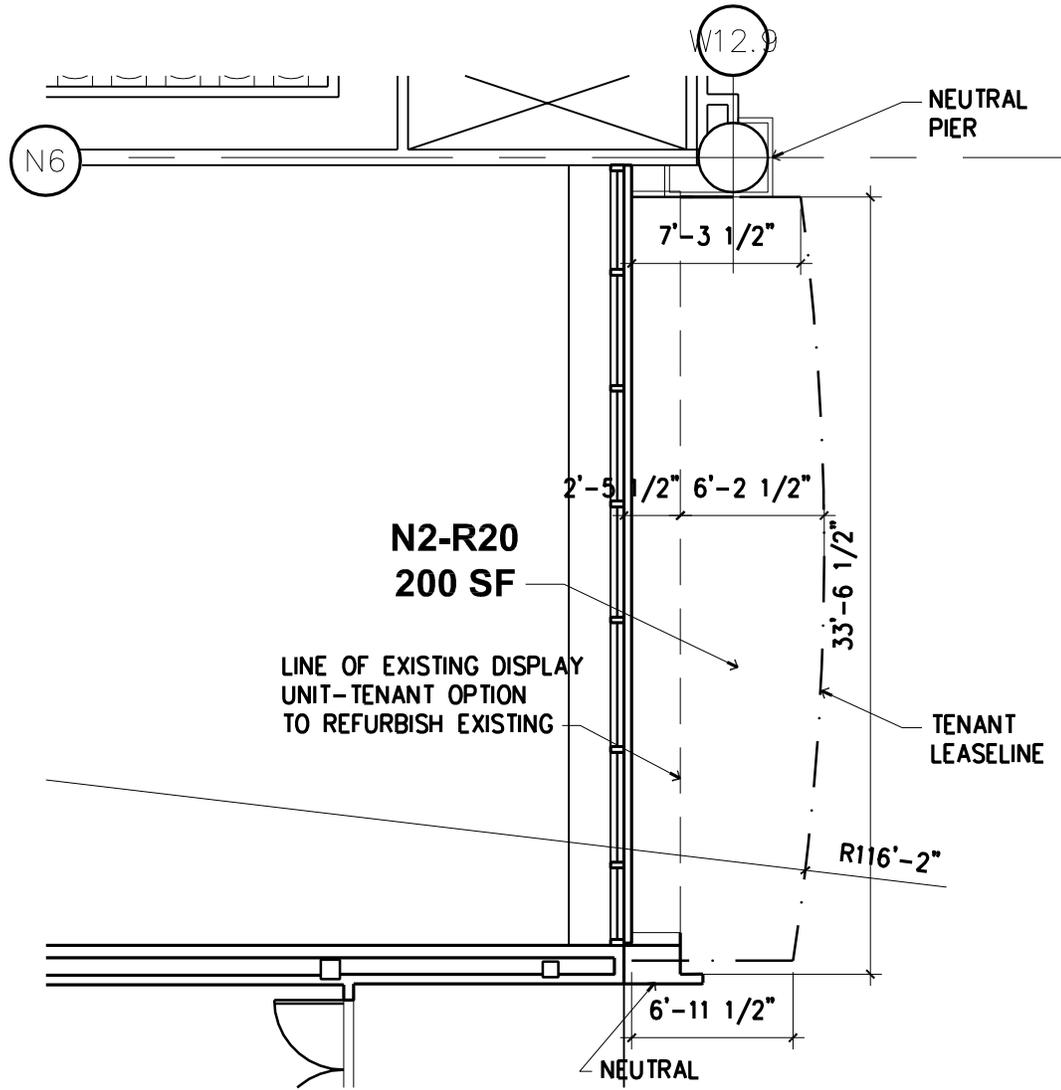


N2- R19



1/8" = 1'-0"

PHASE 1

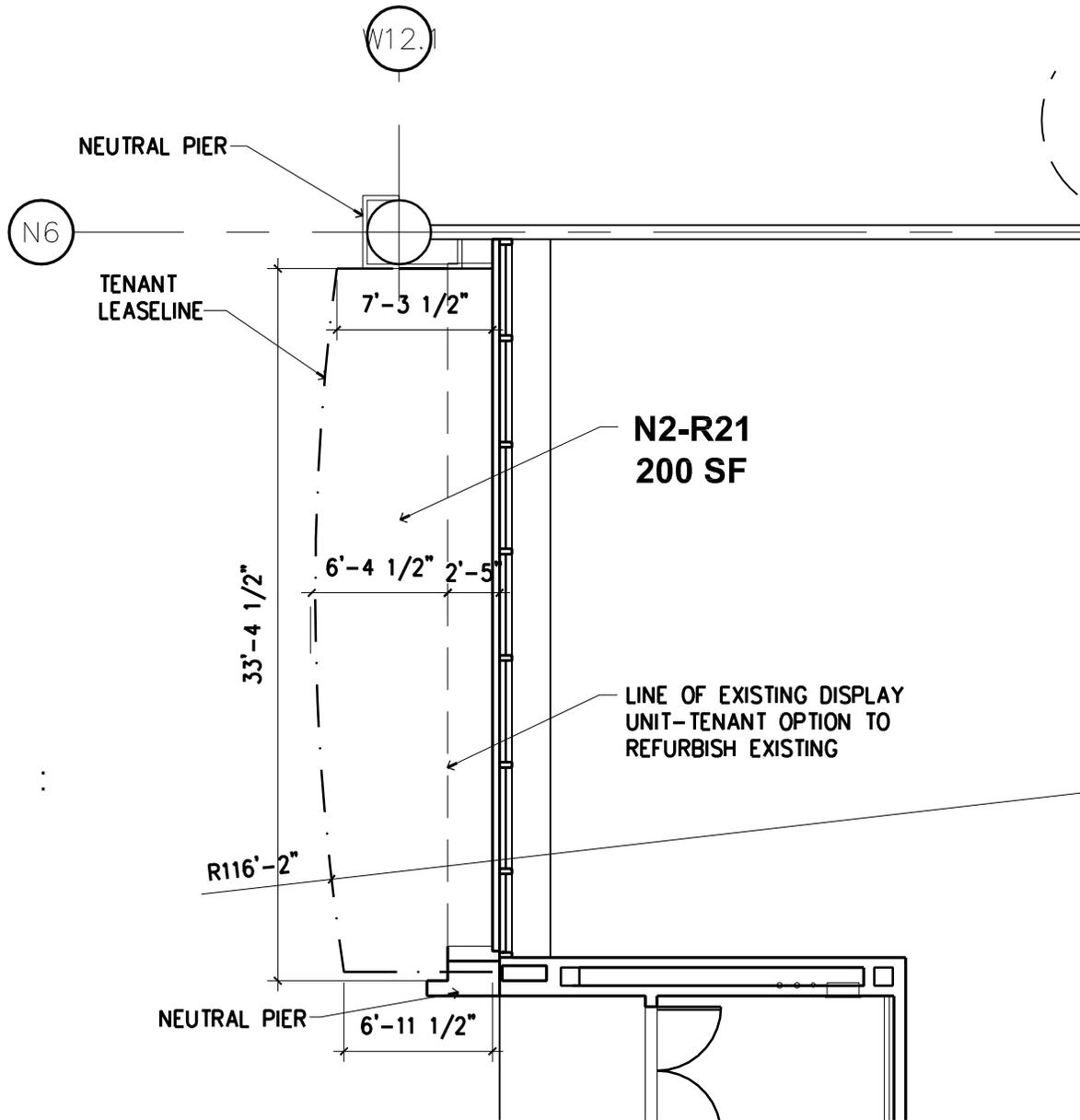


N2- R20 (WALL UNIT)



1/8" = 1'-0"

PHASE 1

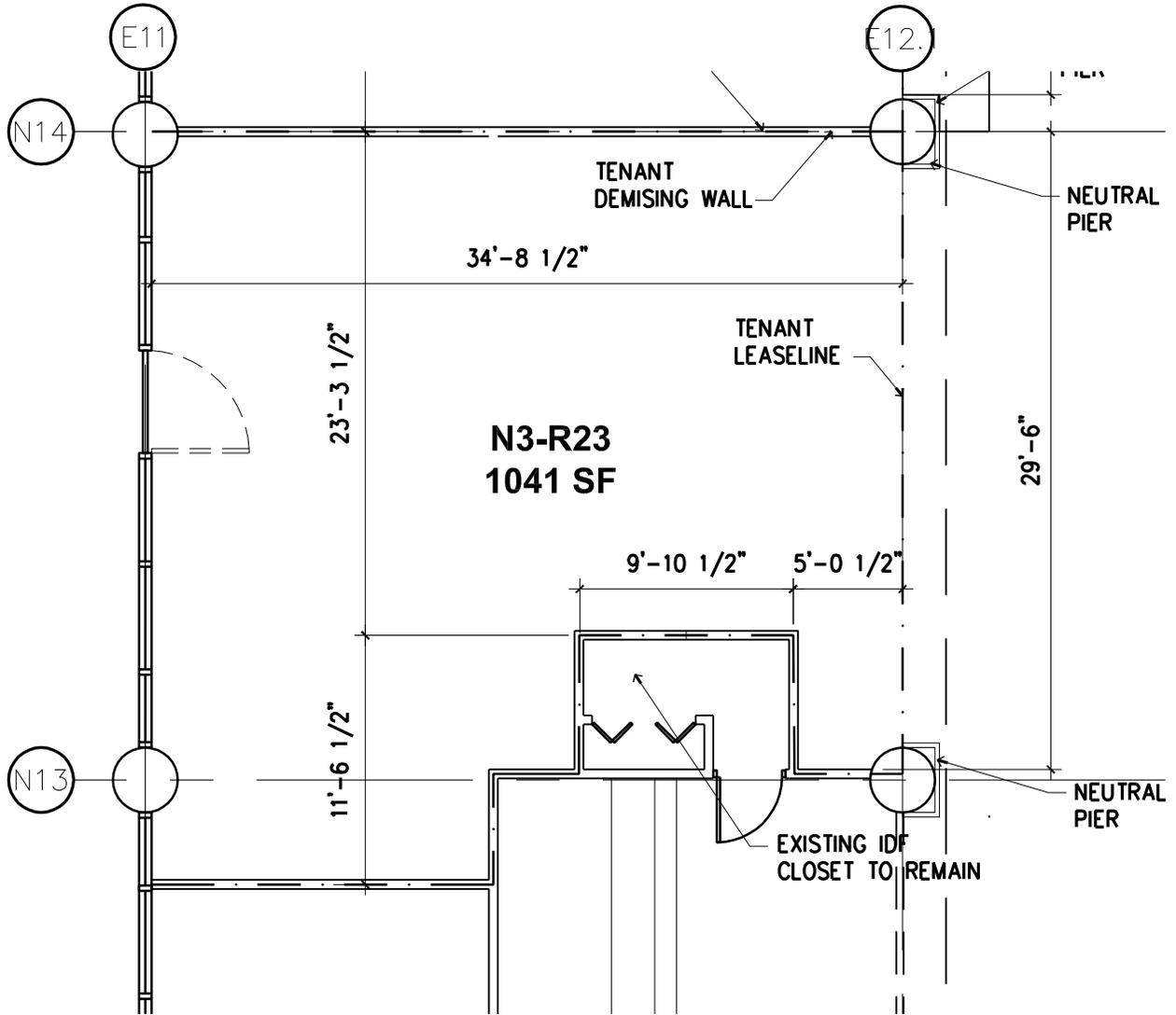


N2- R21 (WALL UNIT)



1/8" = 1'-0"

PHASE 2

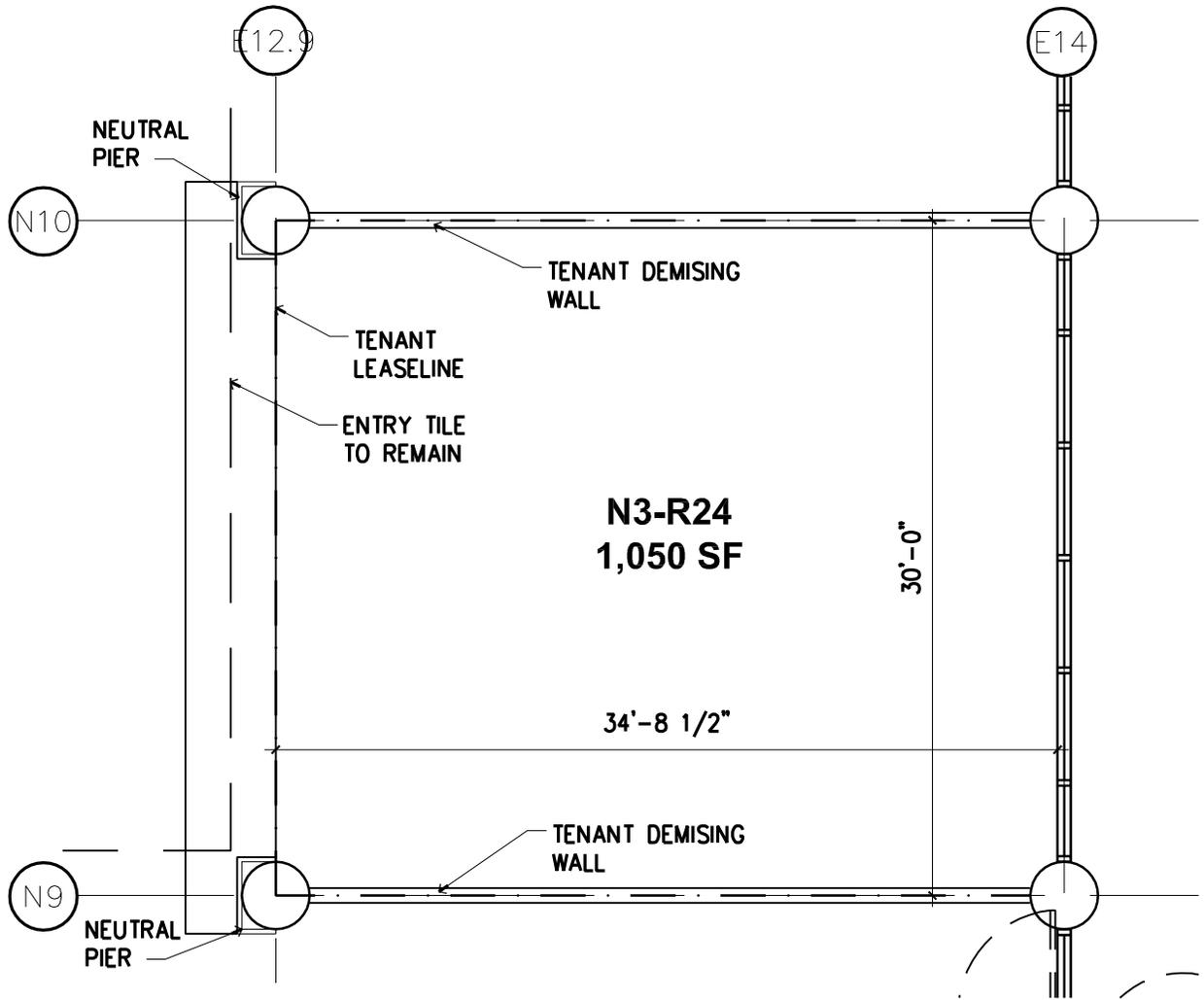


N3- R23



1/8" = 1'-0"

PHASE 2

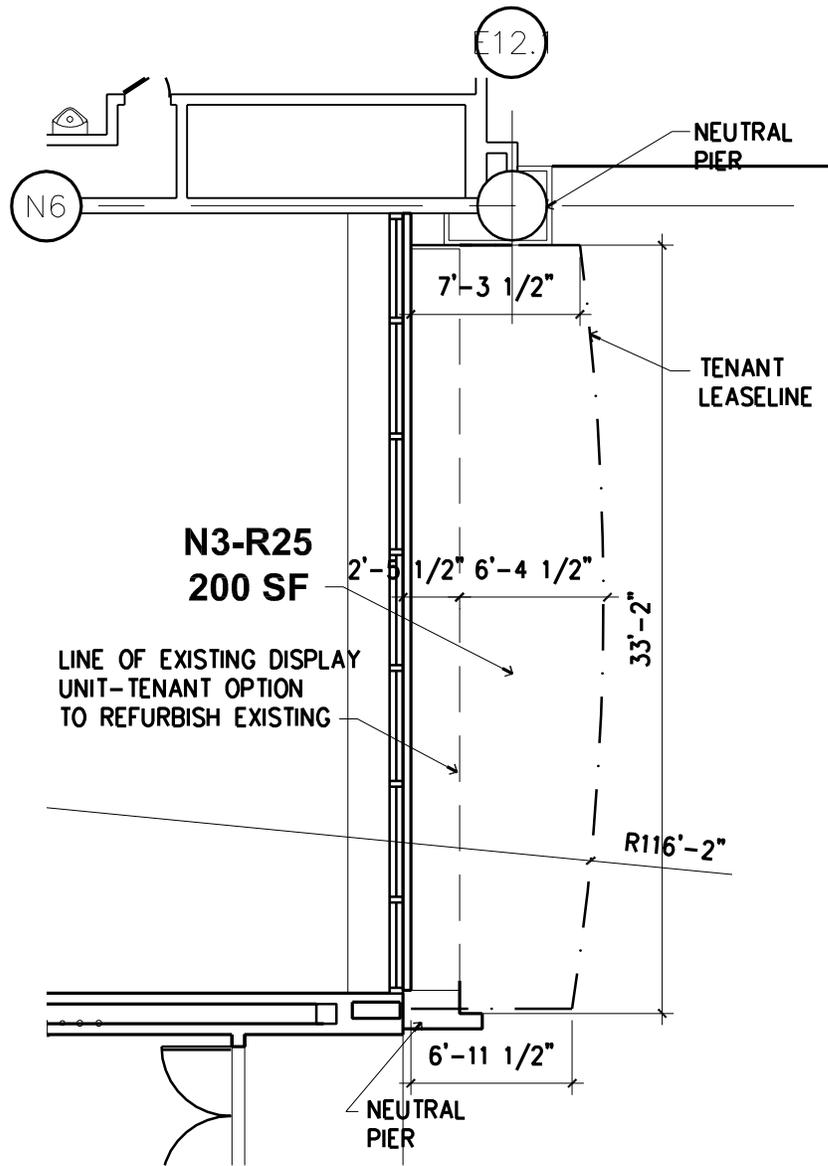


N3- R24



1/8" = 1'-0"

PHASE 1

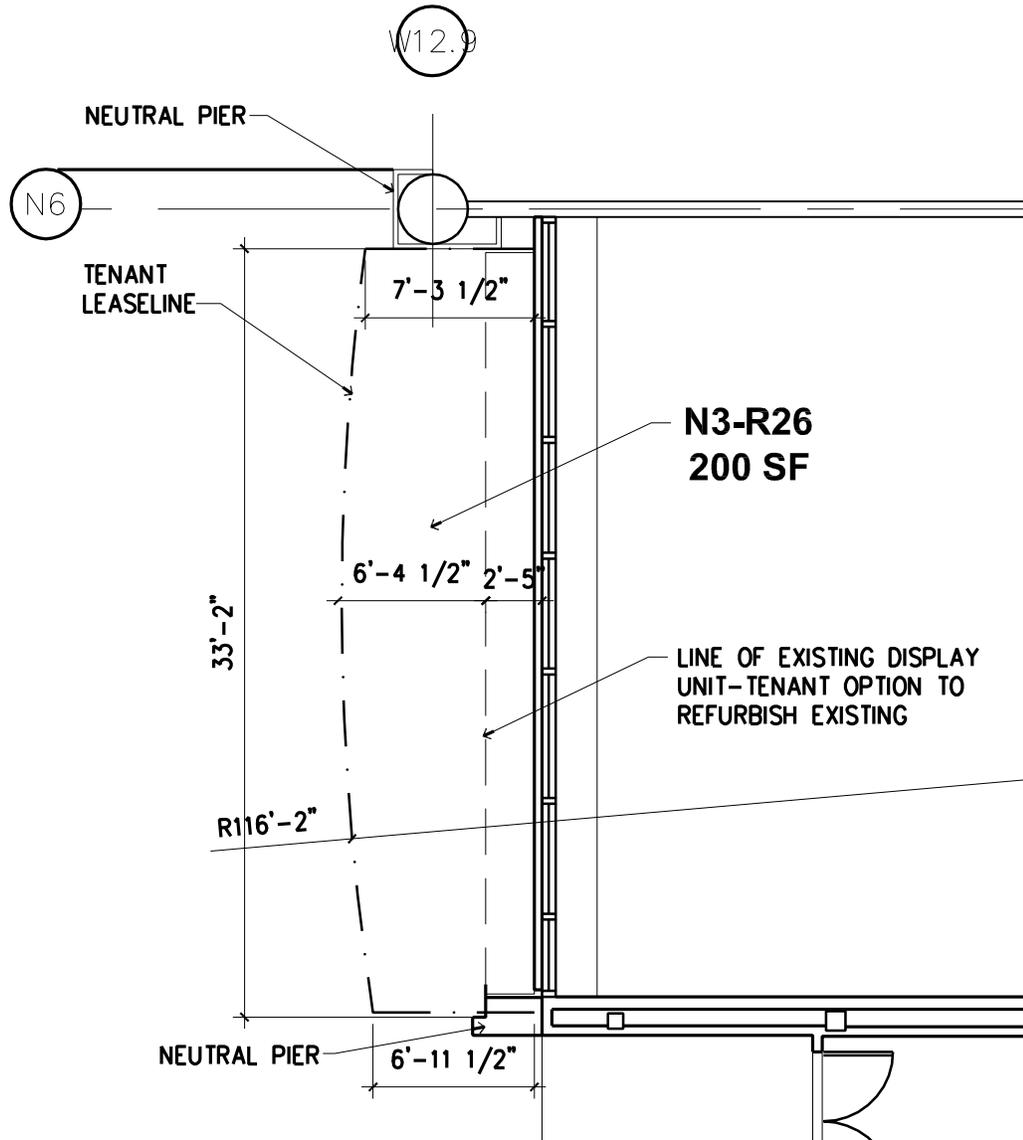


N3- R25 (WALL UNIT)



1/8" = 1'-0"

PHASE 1

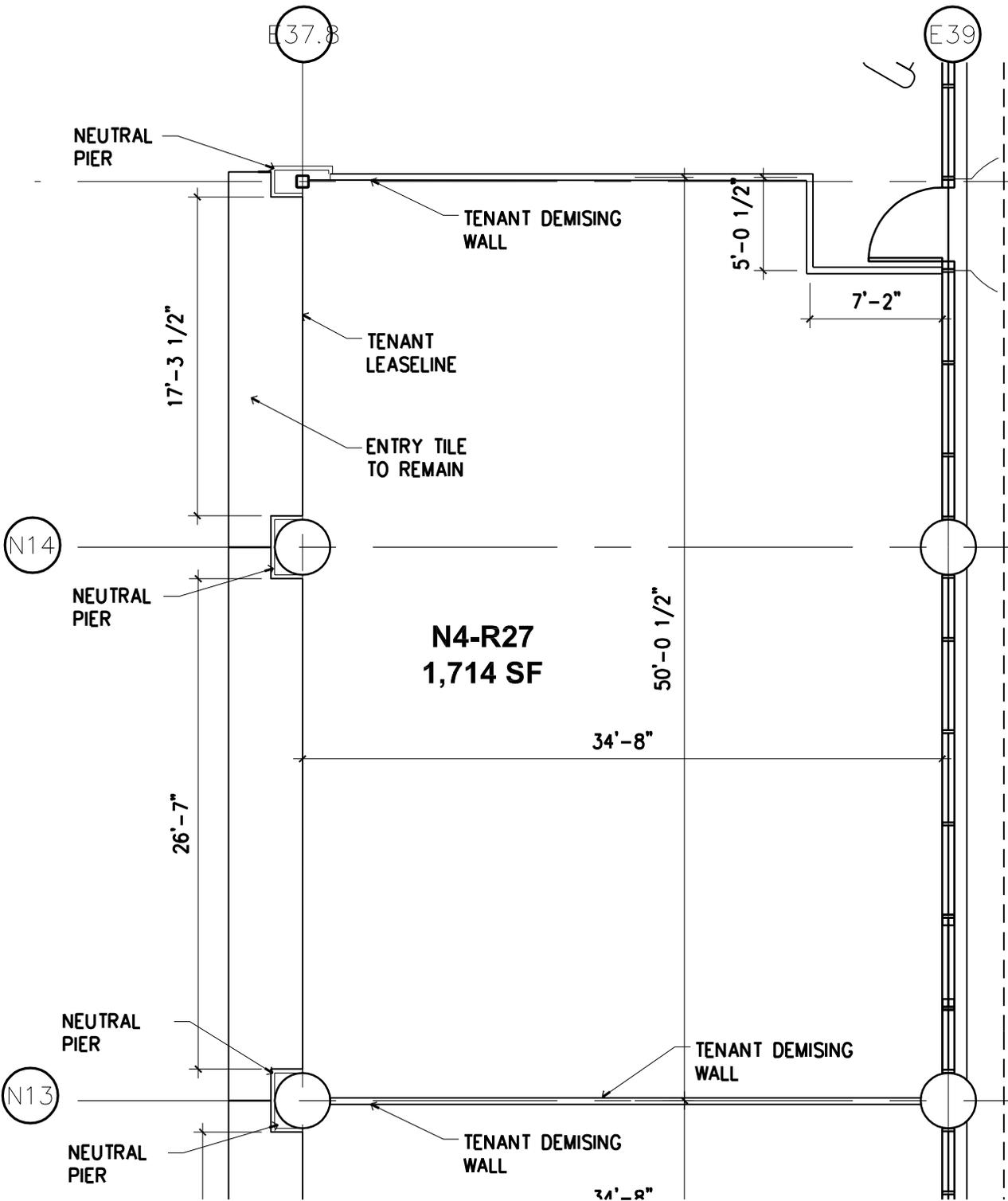


N3- R26 (WALL UNIT)



1/8" = 1'-0"

PHASE 1

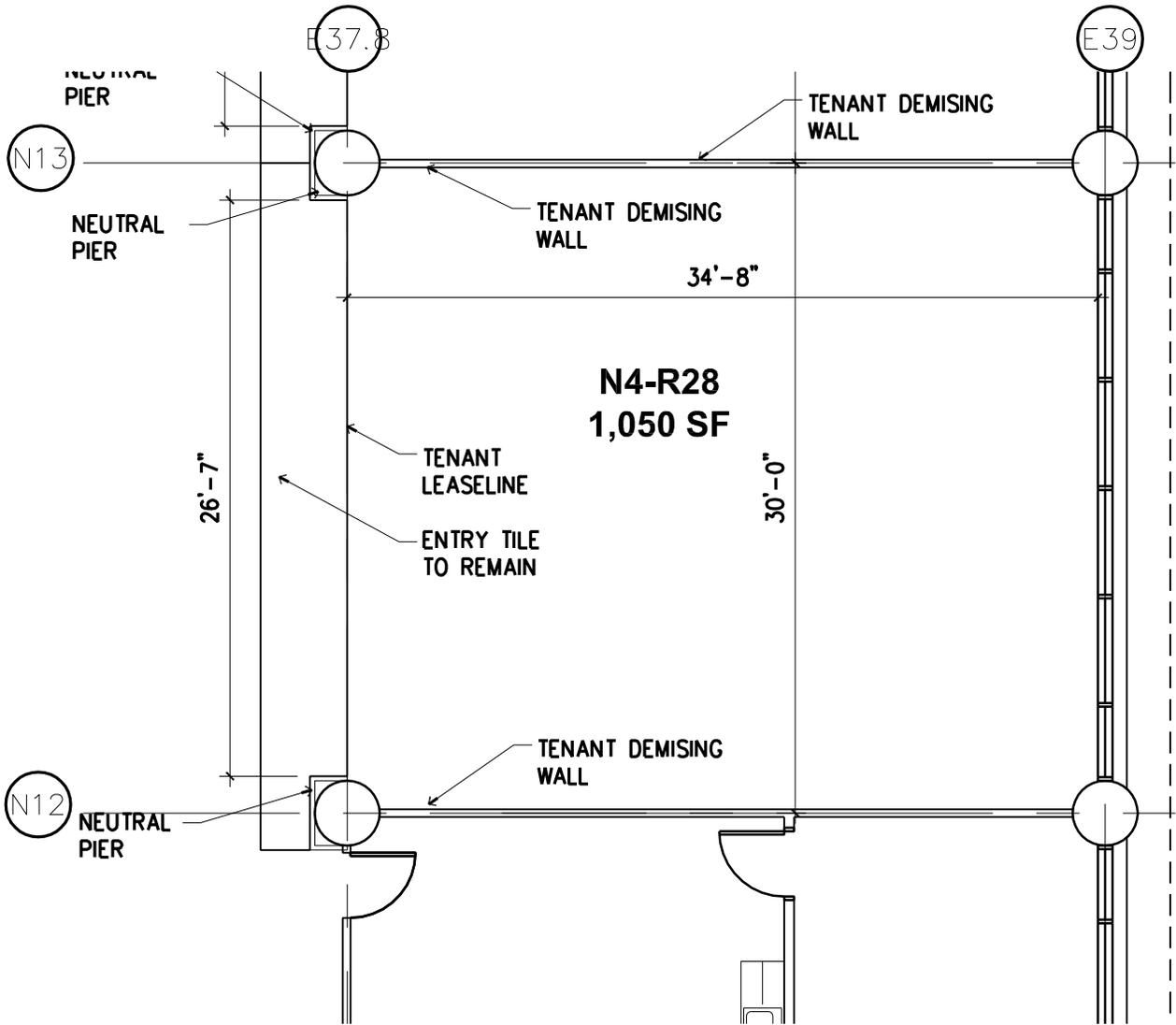


N4- R27



1/8" = 1'-0"

PHASE 1

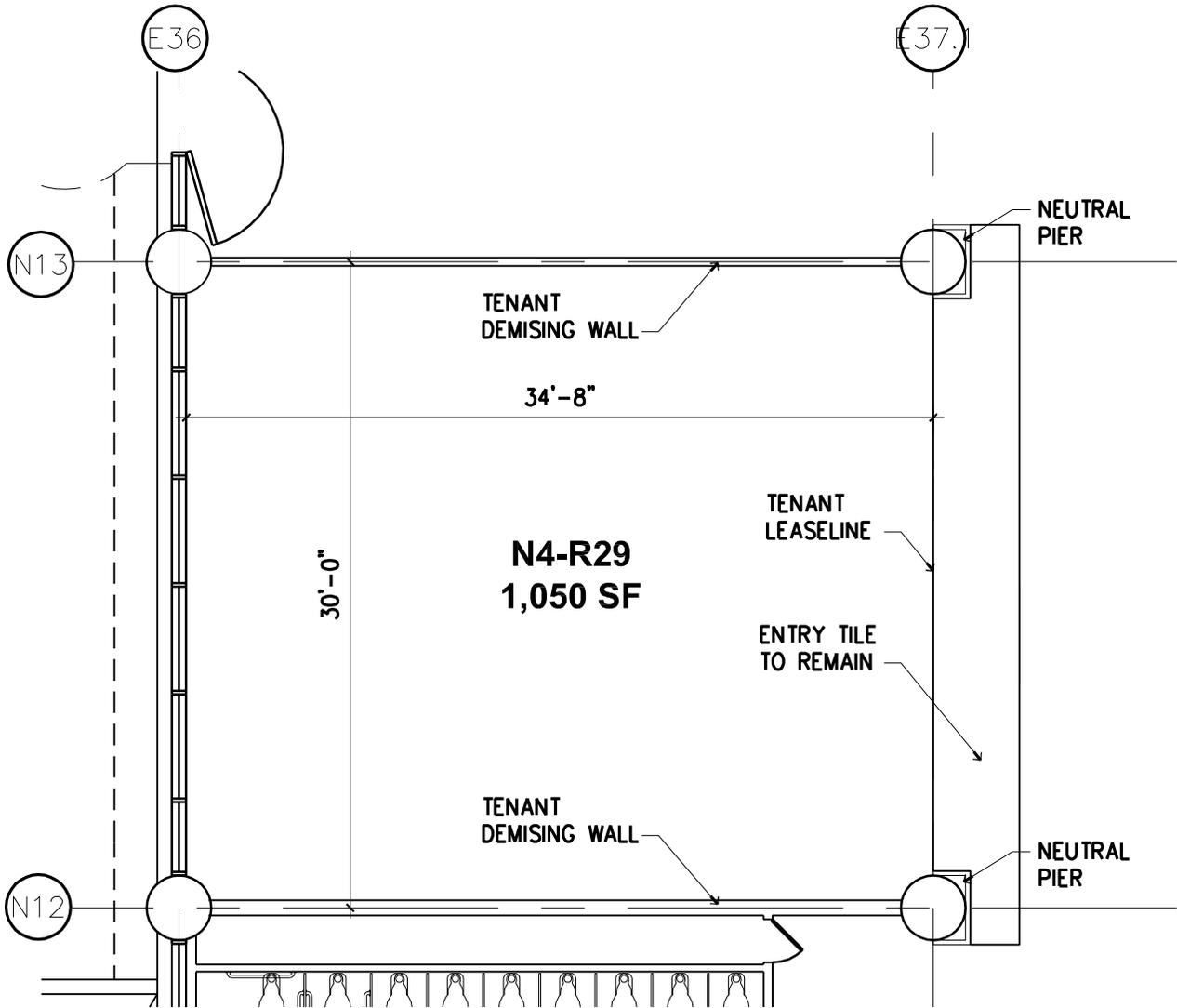


N4- R28



1/8" = 1'-0"

PHASE 2

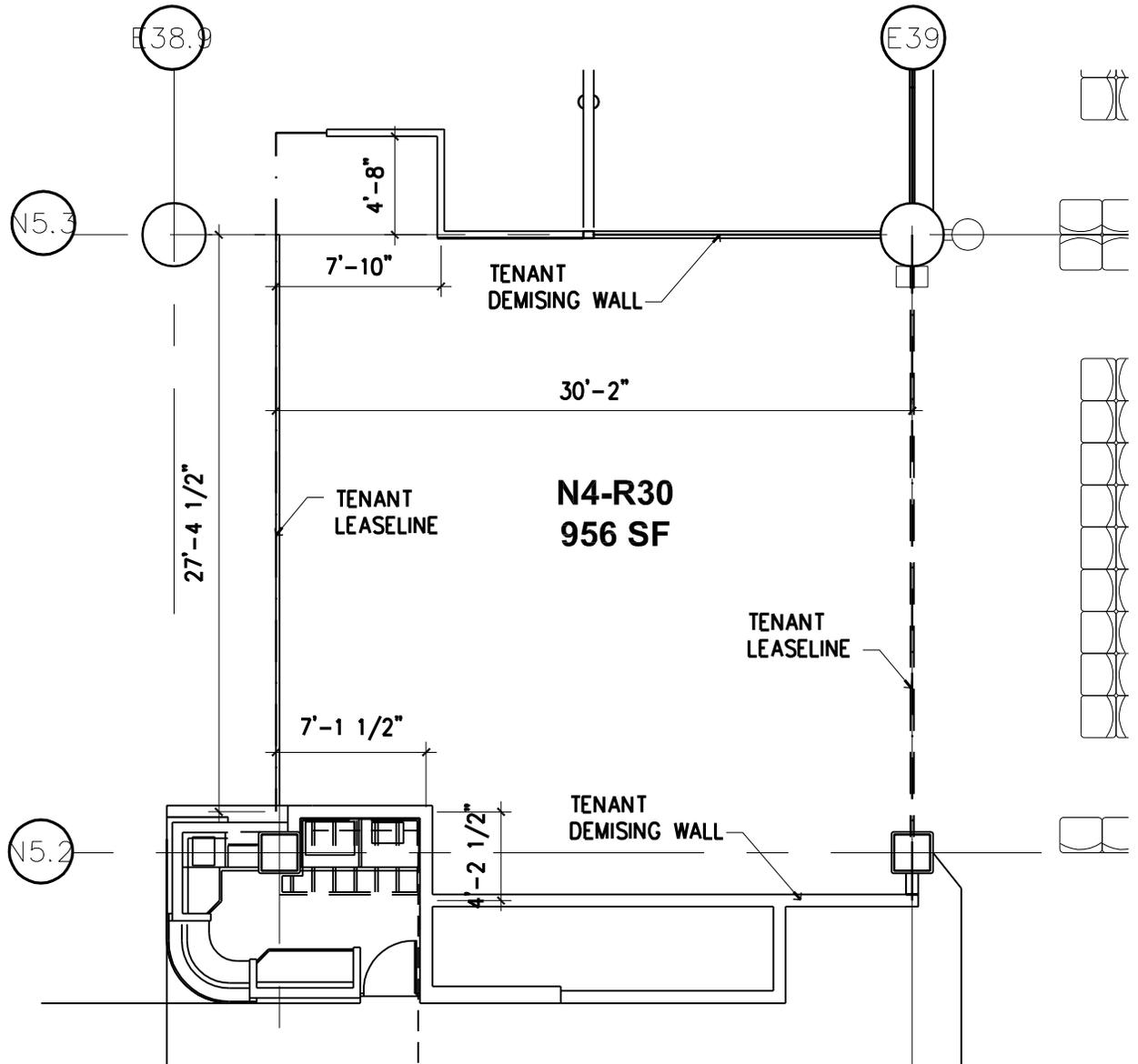


N4- R29



1/8" = 1'-0"

PHASE 1

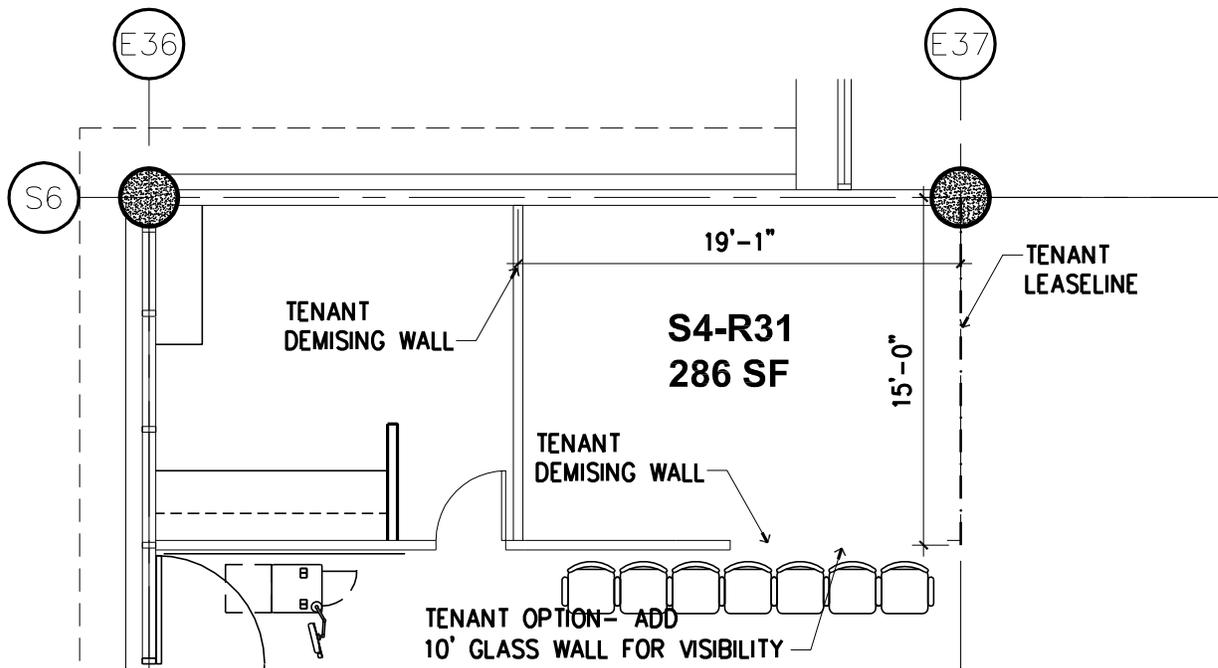


N4- R30



1/8" = 1'-0"

PHASE 2

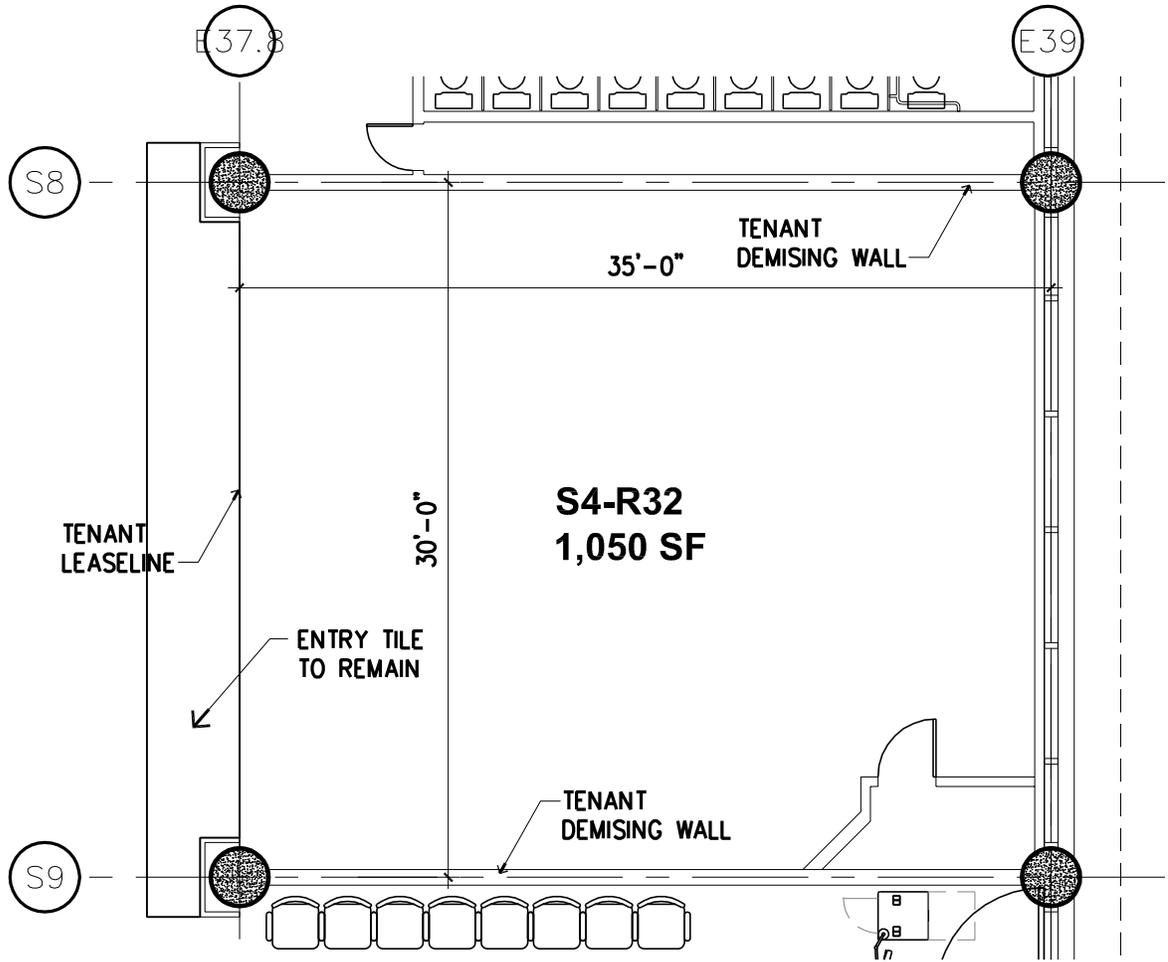


S4-R31



1/8" = 1'-0"

PHASE 1

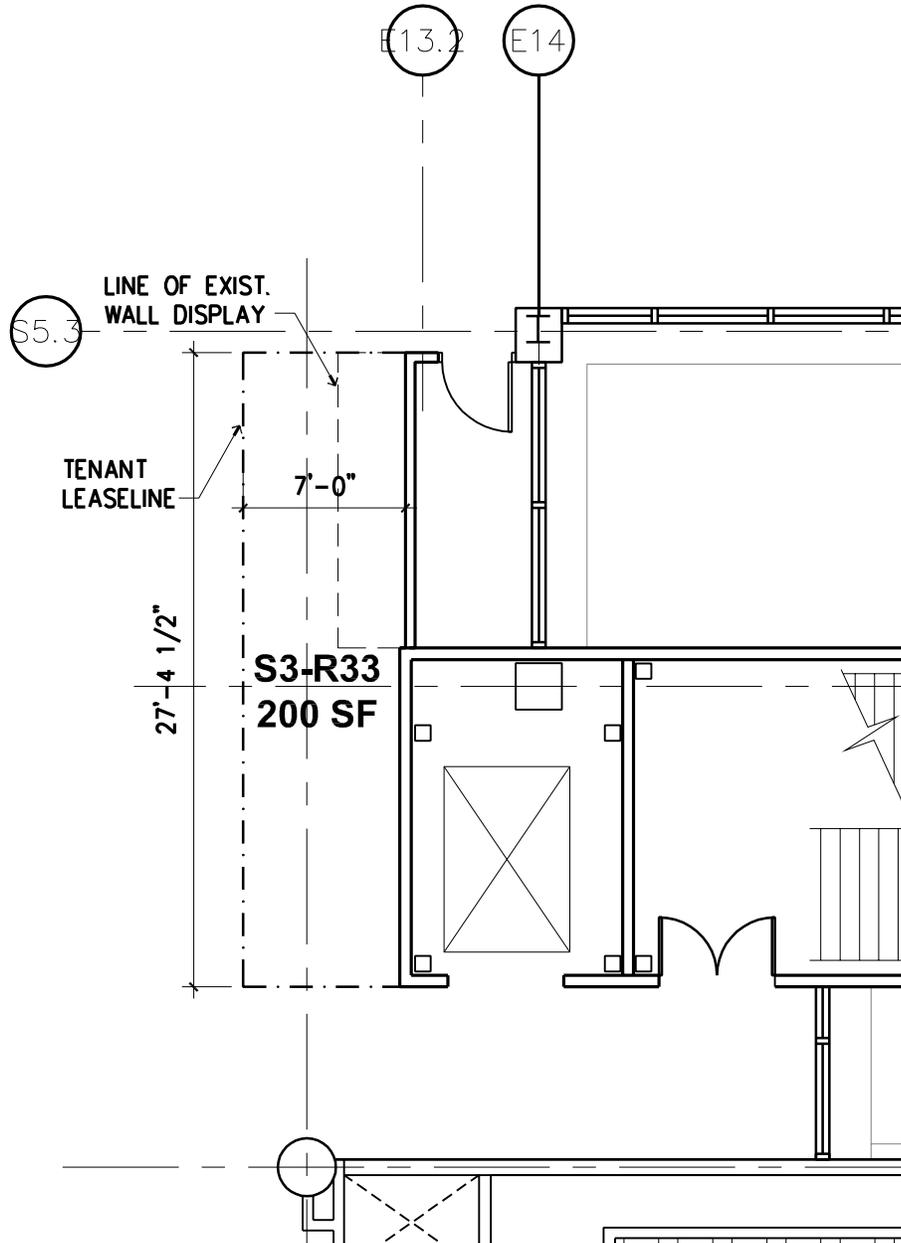


S4-R32



1/8" = 1'-0"

PHASE 1

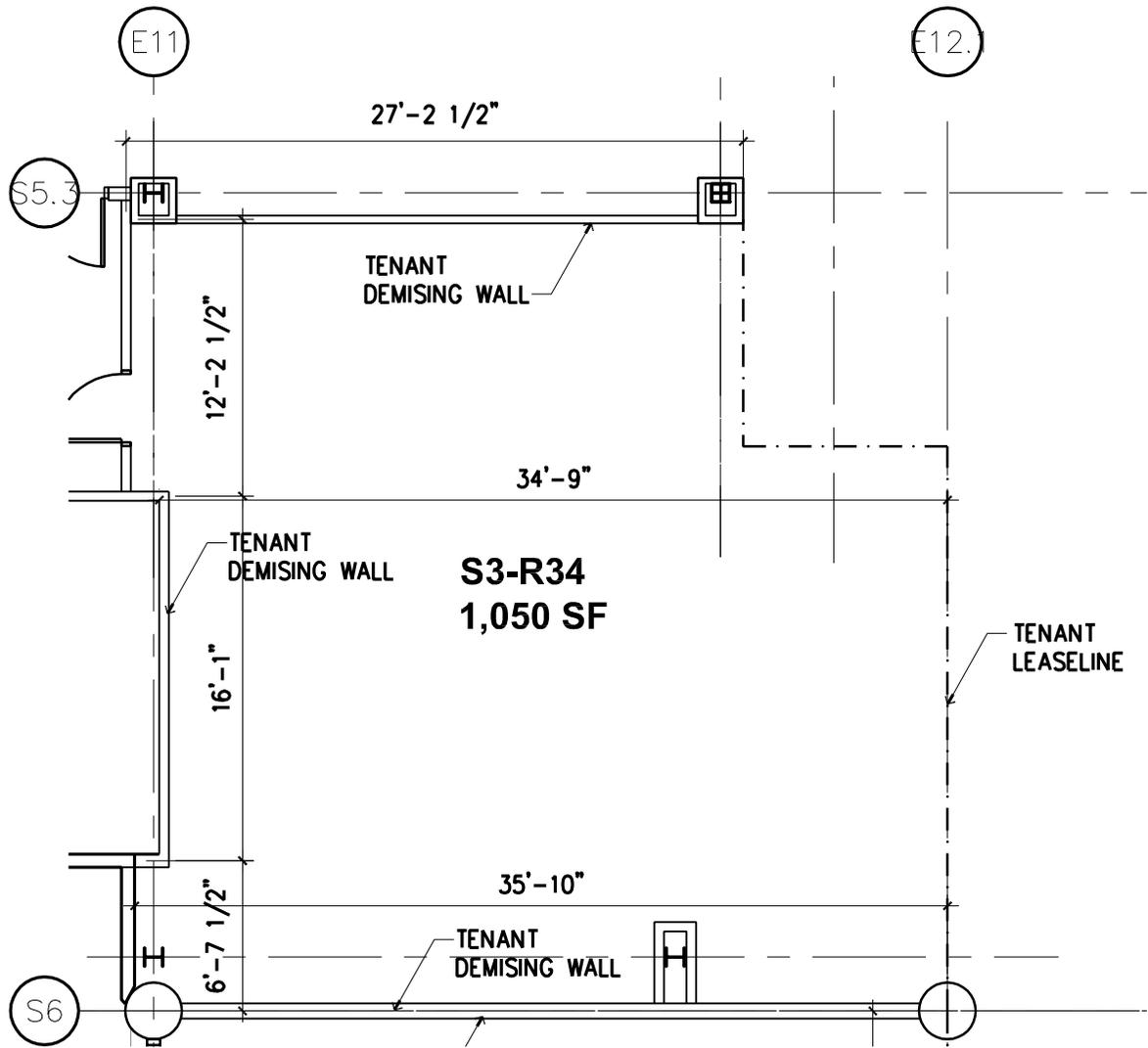


S3-R33



1/8" = 1'-0"

PHASE 2

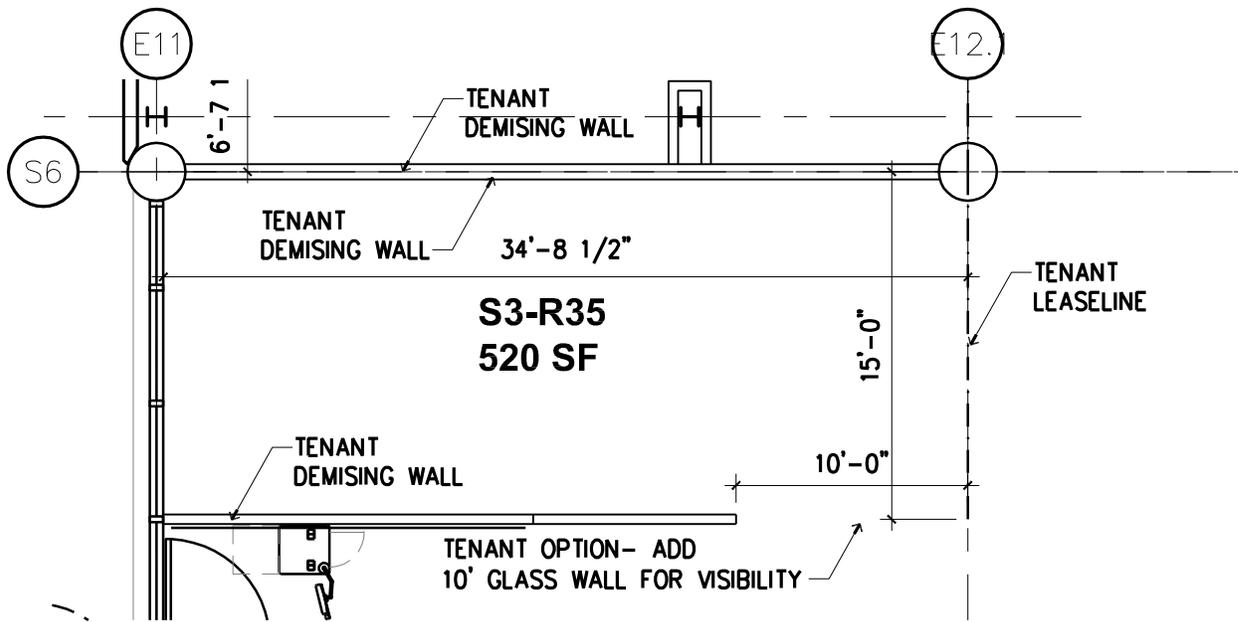


S3-R34



1/8" = 1'-0"

PHASE 2

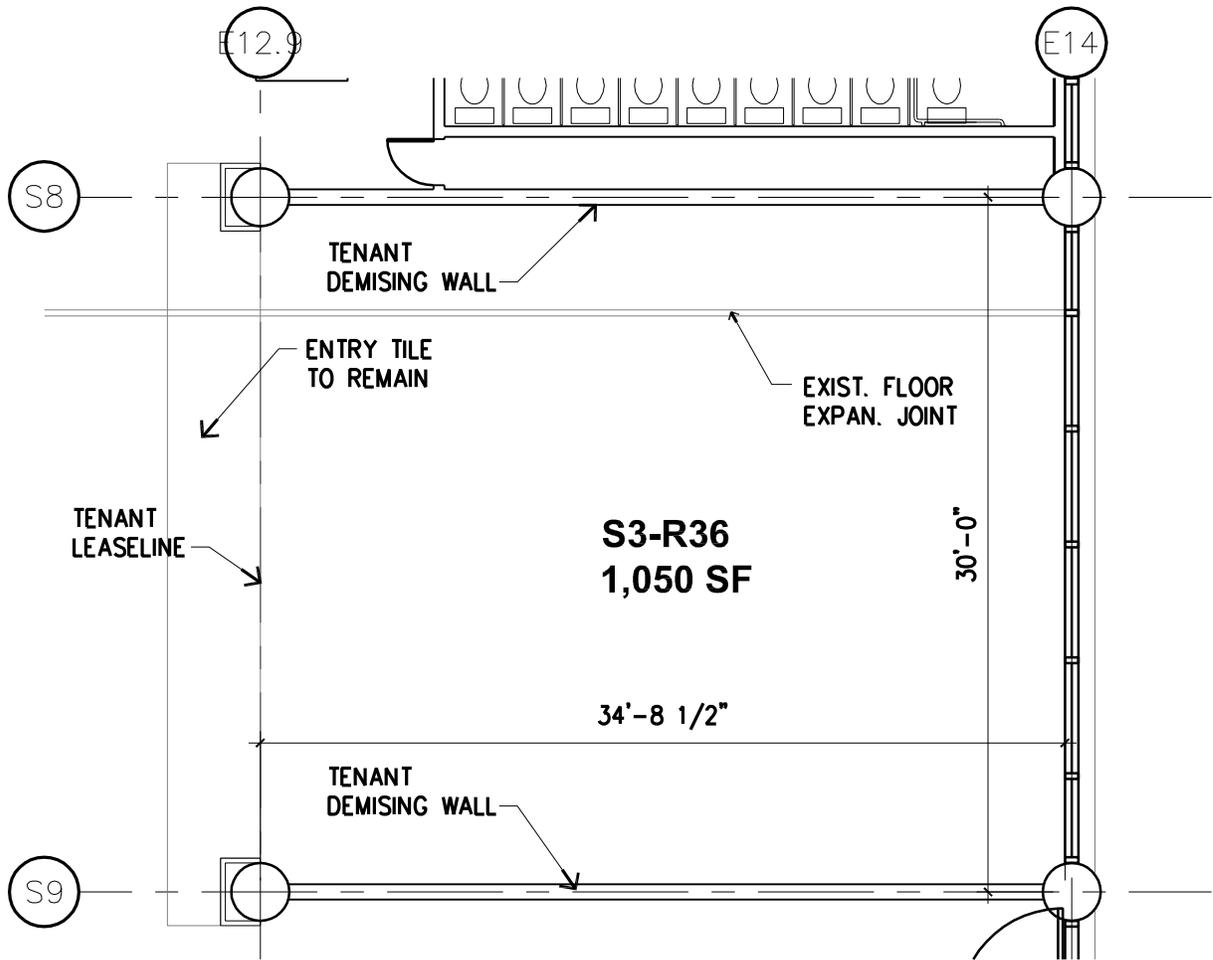


S3-R35



1/8" = 1'-0"

PHASE 1

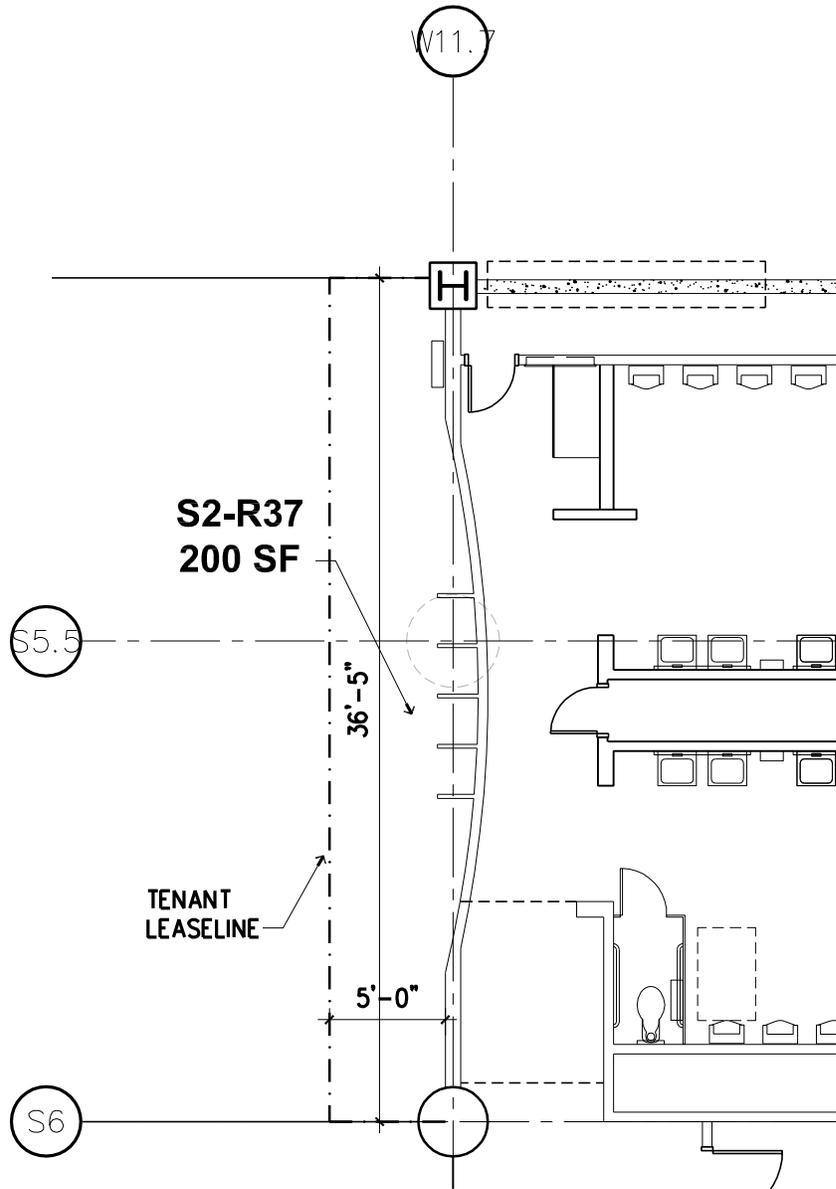


S3-R36



1/8" = 1'-0"

PHASE 1

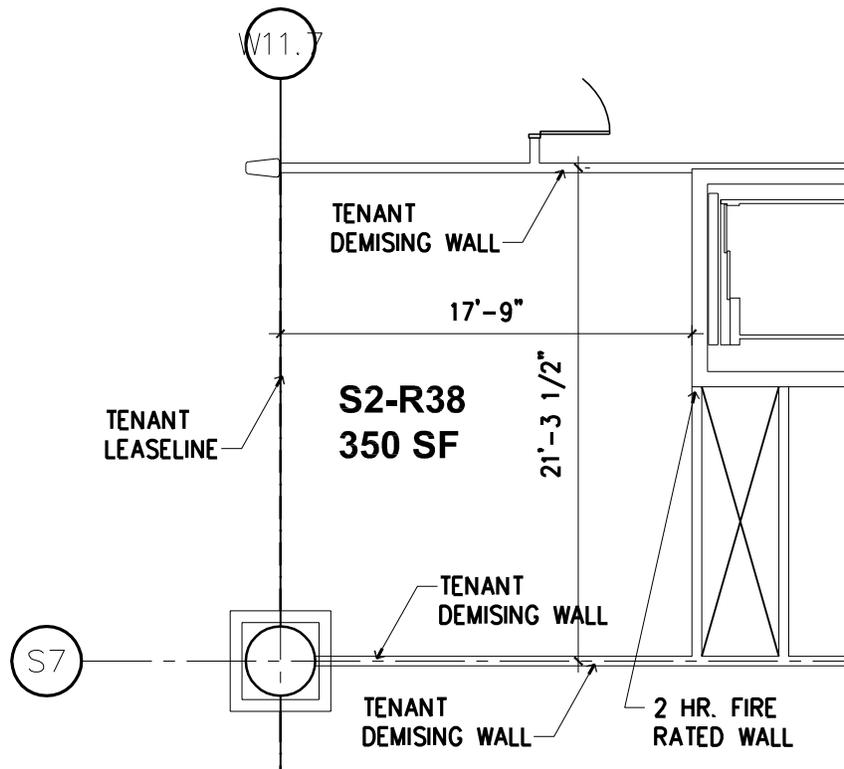


S2- R37



1/8" = 1'-0"

PHASE 2

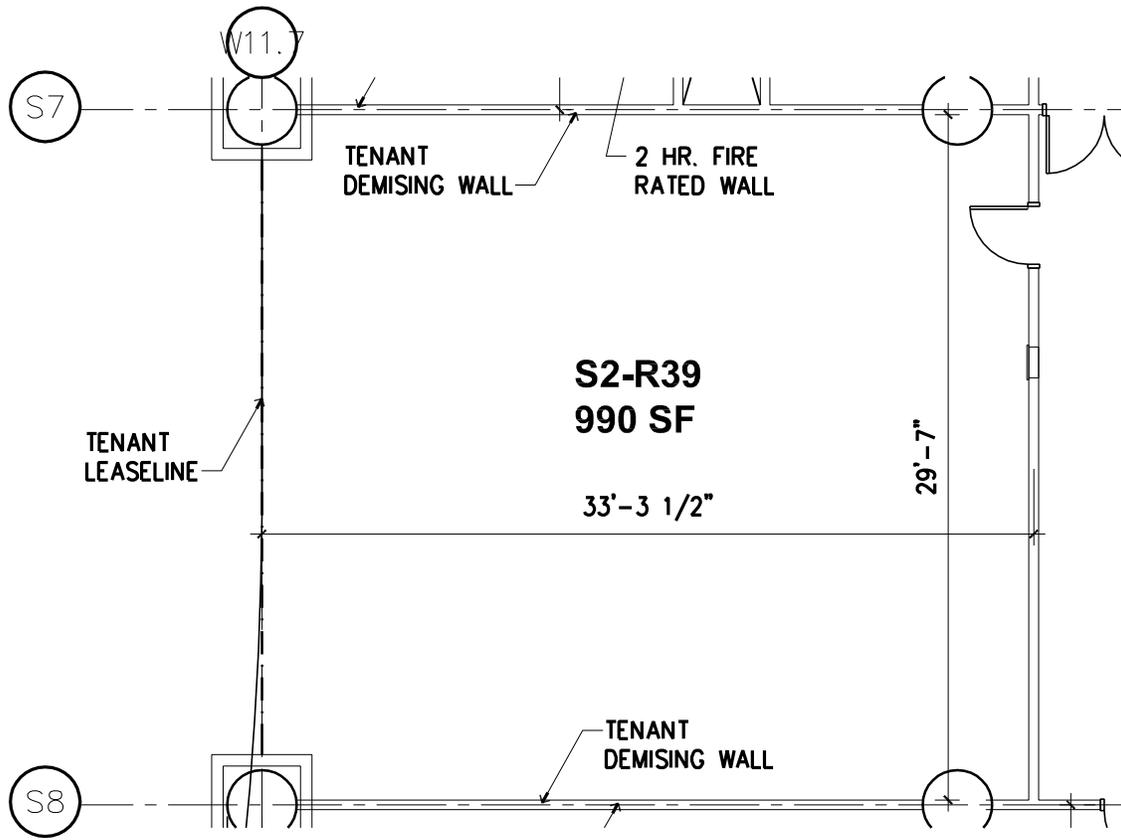


S2- R38



1/8" = 1'-0"

PHASE 2

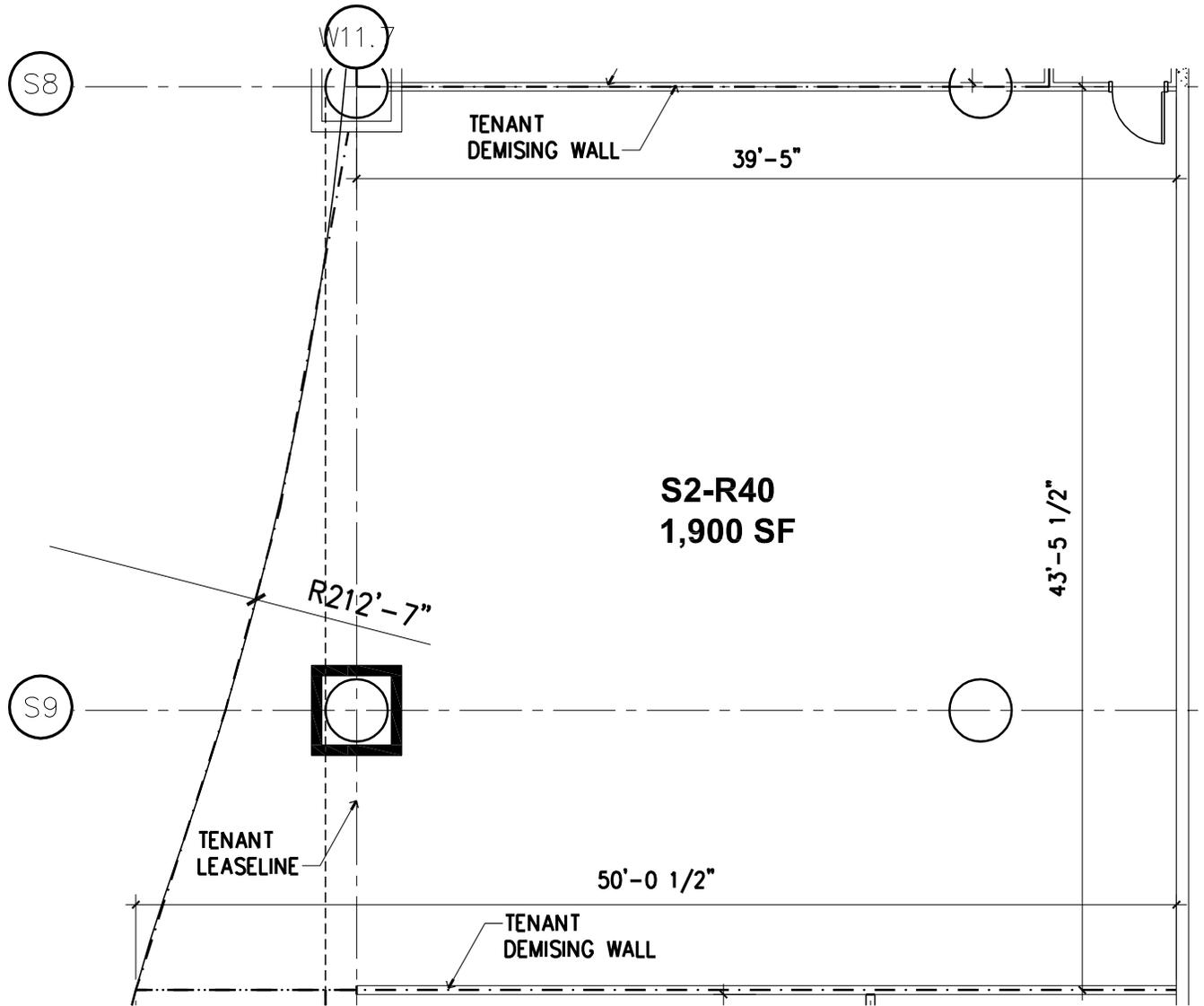


S2- R39



1/8" = 1'-0"

PHASE 2

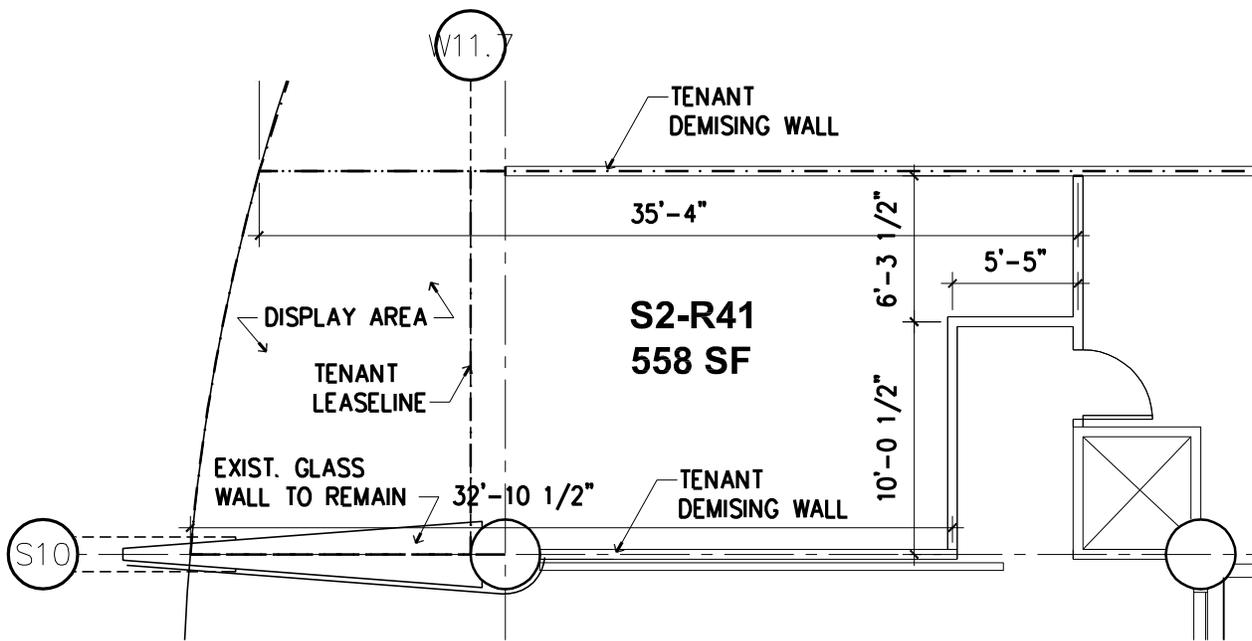


S2- R40



1/8" = 1'-0"

PHASE 1



S2- R41



1/8" = 1'-0"