

# CITY OF PHOENIX

## OFFICE OF THE CITY ENGINEER

HOUSING DEPARTMENT  
EDISON IMPACT HUB CONSTRUCTION  
1824 E. MCKINLEY STREET PHOENIX, AZ 85006  
PROJECT NUMBER: AH20300003-2



INDEX OF DRAWINGS				
Sheet Number	Sheet Name	Checked By	Full Set	Partial Set
GENERAL INFORMATION				
G000	General Information	GENERAL INFORMATION	X	X
G100	Code Review	GENERAL INFORMATION	X	X
G200	Code Plan	GENERAL INFORMATION	X	X

ARCHITECTURAL DEMOLITION				
AD000	Demolition Plan - Site	ARCHITECTURAL DEMOLITION	X	X
AD101	Demolition - Floor Plan	ARCHITECTURAL DEMOLITION	X	X
AD111	Demolition - Roof Plan	ARCHITECTURAL DEMOLITION	X	X
AD151	Demolition Reflected Ceiling Plan	ARCHITECTURAL DEMOLITION	X	X
AD191	Demolition Details	ARCHITECTURAL DEMOLITION	X	X

ARCHITECTURAL				
A001	Accessibility Standards	ARCHITECTURAL	X	X
A030	Exterior Window Schedule, Types & Details	ARCHITECTURAL	X	X
A040	Interior Window Schedule, Types & Details	ARCHITECTURAL	X	X
A080	Door Types & Details	ARCHITECTURAL	X	X
A081	Door Schedule & Details	ARCHITECTURAL	X	X
A090	Interior Partition Types	ARCHITECTURAL	X	X
A100	Vertical Improvement Plan	ARCHITECTURAL	X	X
A100.1	Vertical Improvement Plan Details	ARCHITECTURAL	X	X
A101	Floor Plan	ARCHITECTURAL	X	X
A111	Roof Plan	ARCHITECTURAL	X	X
A112	Tile Roof Details	ARCHITECTURAL	X	X
A113	Foam Roof Details	ARCHITECTURAL	X	X
A121	Reflected Ceiling Plan	ARCHITECTURAL	X	X
A201	Exterior Elevations	ARCHITECTURAL	X	X
A202	Exterior Elevations	ARCHITECTURAL	X	X
A250	Enlarged Plans & Fire Elevations	ARCHITECTURAL	X	X
A251	Enlarged RCs	ARCHITECTURAL	X	X
A252	Enlarged Plans & Details	ARCHITECTURAL	X	X
A253	Interior Elevations	ARCHITECTURAL	X	X
A254	Interior Elevations	ARCHITECTURAL	X	X
A301	Building Sections	ARCHITECTURAL	X	X
A302	Building Sections	ARCHITECTURAL	X	X
A303	Wall Sections	ARCHITECTURAL	X	X
A311	Wall Sections	ARCHITECTURAL	X	X
A312	Wall Sections	ARCHITECTURAL	X	X
A321	Exterior Details	ARCHITECTURAL	X	X
A350	Casework's Standards & Elevations	ARCHITECTURAL	X	X
A351	Milwork Details	ARCHITECTURAL	X	X
A701	Interior Details	ARCHITECTURAL	X	X
A801	Ceiling Details	ARCHITECTURAL	X	X

ARCHITECTURAL FINISHES				
AF101	Finish Legend & Details	ARCHITECTURAL FINISHES	X	X
AF102	Finish Plan	ARCHITECTURAL FINISHES	X	X

STRUCTURAL				
S0.0	General Structural Notes	STRUCTURAL	X	X
S0.1	Special Inspection	STRUCTURAL	X	X

INDEX OF DRAWINGS				
Sheet Number	Sheet Name	Checked By	Full Set	Partial Set
STRUCTURAL				
S0.2	Typical Structural Details	STRUCTURAL	X	X
S1.1	Foundation Plan	STRUCTURAL	X	X
S1.2	Floor Framing Plan	STRUCTURAL	X	X
S1.3	Roof Framing Plan	STRUCTURAL	X	X
S1.4	Ceiling Plan	STRUCTURAL	X	X

MECHANICAL				
M000	3D Mechanical BIM	MECHANICAL	X	X
M001	Mechanical Specification and Legends	MECHANICAL	X	X
M002	Mechanical Schedules & Controls	MECHANICAL	X	X
M003	Mechanical Schedules & Controls	MECHANICAL	X	X
M100	Mechanical Demolition Floor Plans	MECHANICAL	X	X
M200	Mechanical Floor Plans	MECHANICAL	X	X
M300	Mechanical Sections	MECHANICAL	X	X
M400	Atic Coordination Section	MECHANICAL	X	X
M500	Mechanical Details	MECHANICAL	X	X
M600	Mechanical Details & CSA G40	MECHANICAL	X	X
M700	Mechanical CON-EXX	MECHANICAL	X	X

PLUMBING				
P001	Plumbing Specification and Legends	PLUMBING	X	X
P002	Plumbing Schedules	PLUMBING	X	X
P100	Plumbing Demolition Floor Plan	PLUMBING	X	X
P200	Plumbing Floor Plan	PLUMBING	X	X
P300	Plumbing Enlarged Plan	PLUMBING	X	X
P400	Plumbing Section	PLUMBING	X	X
P500	Plumbing Roof Plan	PLUMBING	X	X
P600	Plumbing Isometric	PLUMBING	X	X
P700	Plumbing Details	PLUMBING	X	X

ELECTRICAL				
E0.0	Electrical Cover Sheet	ELECTRICAL	X	X
E0.1	Electrical Legend	ELECTRICAL	X	X
E0.2	Lighting Fixtures & Energy Calculations	ELECTRICAL	X	X
E0.3	Fire Alarm Riser Diagram	ELECTRICAL	X	X
E1.0	Electrical Site Demolition Plan	ELECTRICAL	X	X
E1.1	Electrical Site Plan	ELECTRICAL	X	X
E1.2	Photometric Site Plan	ELECTRICAL	X	X
E1.3	Site Lighting Calculations	ELECTRICAL	X	X
E1.4	Electrical Demolition Plan	ELECTRICAL	X	X
E1.5	Power Plan	ELECTRICAL	X	X
E1.6	Lighting Plan	ELECTRICAL	X	X
E1.7	Fire Alarm Plan	ELECTRICAL	X	X
E1.8	One-Line Diagram and Schedules	ELECTRICAL	X	X
E1.9	Panel Schedules	ELECTRICAL	X	X
E2.0	Panel Schedules	ELECTRICAL	X	X
E2.1	Electrical Details	ELECTRICAL	X	X
E2.2	Electrical Details	ELECTRICAL	X	X

CIVIL				
C0.0	Cover Sheet	CIVIL	X	X
C0.1	Notes	CIVIL	X	X
C1.0	Demolition Plan	CIVIL	X	X
C1.1	Overall Grading Plan - West	CIVIL	X	X
C1.2	Overall Grading Plan - East	CIVIL	X	X
C1.3	Grading Details	CIVIL	X	X
C1.4	Driveway Detail	CIVIL	X	X
C1.5	Cross Sections	CIVIL	X	X
C1.6	Details	CIVIL	X	X
C1.7	Retention Basin Plan	CIVIL	X	X
C1.8	Drainage and Offsite Fire Line Plan Cover Sheet	CIVIL	X	X
C2.0	Drainage and Offsite Fire Line Plan	CIVIL	X	X
C3.0	Utility Cover Sheet	CIVIL	X	X
C3.1	Utility Notes	CIVIL	X	X
C3.2	Overall Utility - West	CIVIL	X	X
C3.3	Overall Utility - East	CIVIL	X	X
C4.0	SWMP Cover Sheet	CIVIL	X	X
C4.1	Stormwater Management Plan	CIVIL	X	X

FOOD SERVICE				
FS1.01	Food Service Equipment Floor Plan	FOOD SERVICE	X	X
FS1.02	Food Service Equipment Plumbing Rough-in	FOOD SERVICE	X	X
FS1.03	Food Service Equipment Electrical Rough-in	FOOD SERVICE	X	X
FS1.04	Food Service Equipment Exhaust Plan	FOOD SERVICE	X	X
FS1.05	Food Service Equipment Exhaust Rough-in	FOOD SERVICE	X	X
FS1.06	Food Service Equipment Special Details	FOOD SERVICE	X	X
FS1.07	Food Service Equipment Exhaust Hood	FOOD SERVICE	X	X
FS1.08	Food Service Equipment Exhaust Hood Details	FOOD SERVICE	X	X
FS1.09	Food Service Equipment Schedule	FOOD SERVICE	X	X

LANDSCAPE				
L0.1	Landscape Plan	LANDSCAPE	X	X
L0.2	Landscape Details	LANDSCAPE	X	X
L0.3	Irrigation Plan	LANDSCAPE	X	X
L0.4	Irrigation Details	LANDSCAPE	X	X
L0.5	Landscape Cover Sheet	LANDSCAPE	X	X

MAYOR  
KATE GALLEGO

CITY COUNCIL

DISTRICT NO. 1 - ANN O'BRIEN  
DISTRICT NO. 2 - JIM WARING  
DISTRICT NO. 3 - DEBRA STARK  
DISTRICT NO. 4 - LAURA PASTOR  
DISTRICT NO. 5 - BETTY GUARDADO  
DISTRICT NO. 6 - KEVIN ROBINSON  
DISTRICT NO. 7 - CARLOS GALINDO-ELVIRA  
DISTRICT NO. 8 - KESHA HODGE WASHINGTON

CITY MANAGER

JEFF BARTON

CITY ENGINEER

ERIC J. FROBERG, PE

APPROVALS

*Flathew*  
(HOUSING DEPARTMENT)  
ENGINEERING MANAGER

DATE  
8-29-24  
DATE

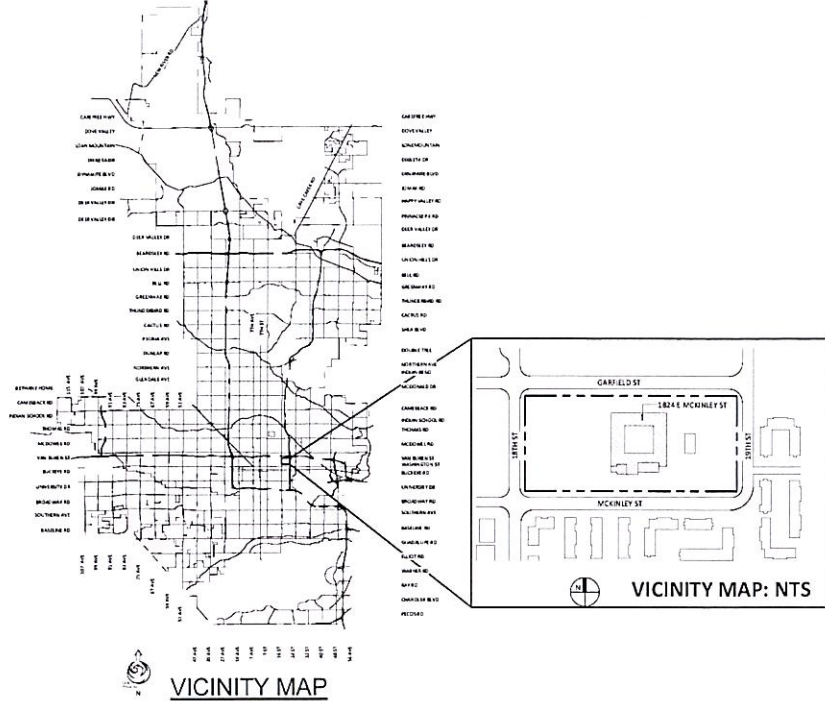
VERTICAL PROJECT MANAGEMENT SECTION

KIVA # 21-2527

SDEV # 2100269

NOTE: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

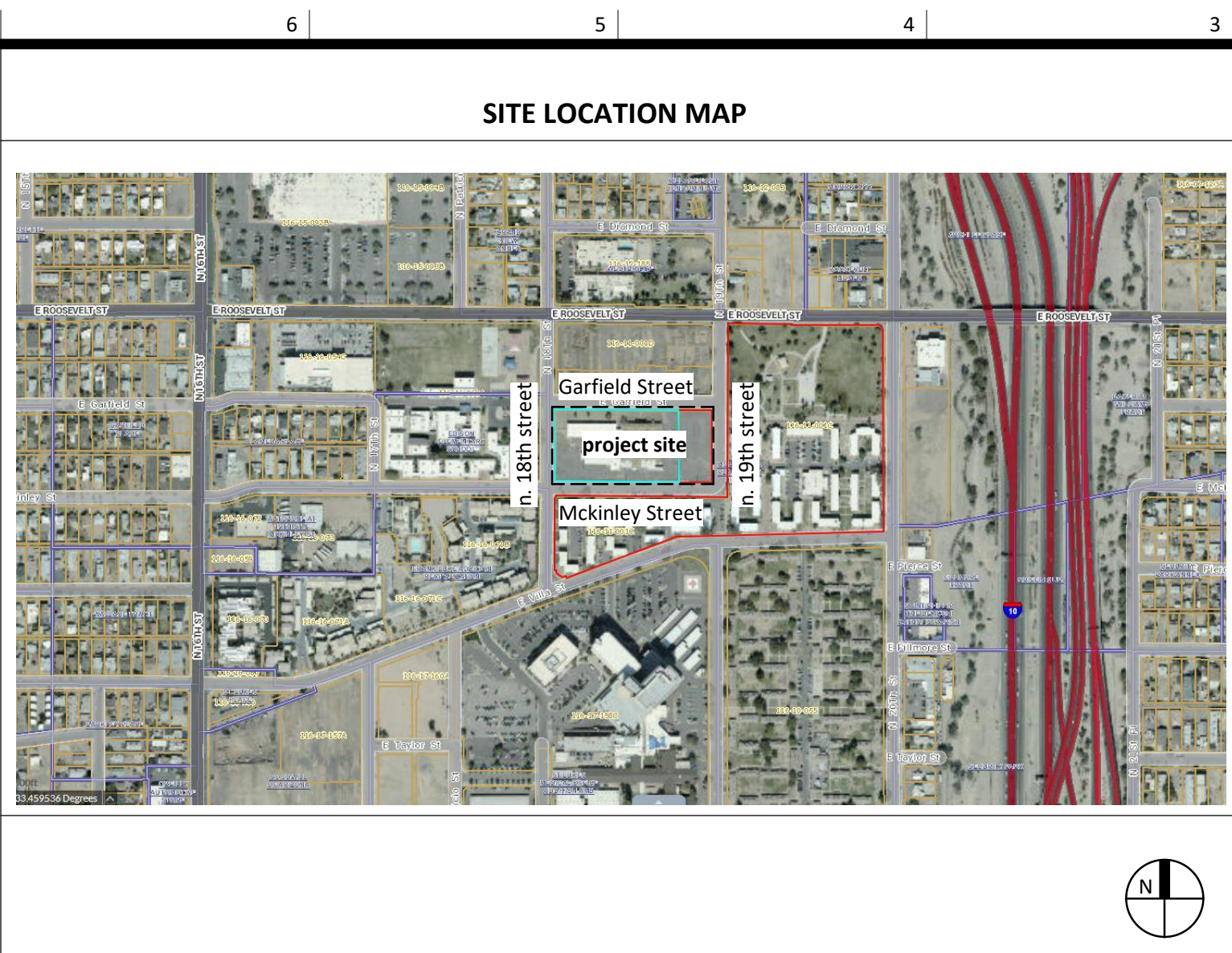
Project Number	N.O.	Total
AH20300003-2	1	117

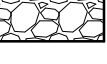
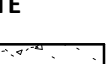
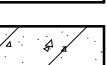



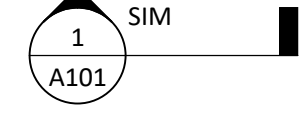
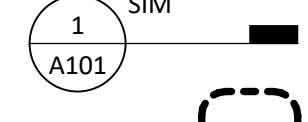
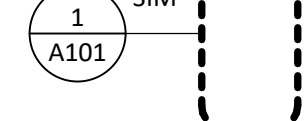


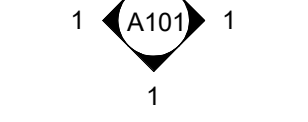


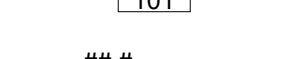



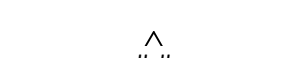
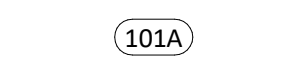
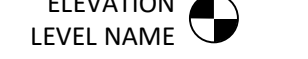
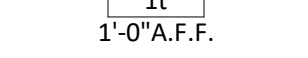
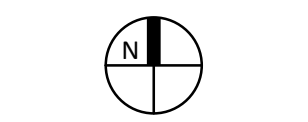



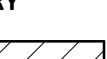


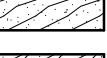
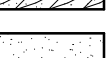

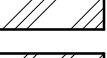
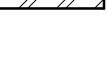
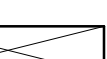
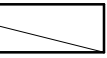

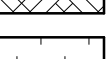
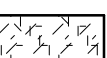
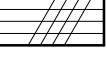

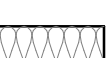


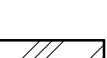


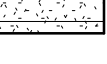






	18	17	16	15	14	13
P	A	DT	DRAIN TILE		RESILIENT	
	AT	DWG	DISH WASHER		REVISION	
	A/C	AIR CONDITION(ING) (ED)	DRAWING	L	ROOFING	
	A/C UNIT	AIR CONDITIONING UNIT		LAB	LABORATORY	RFI
	ABBRV	ANCHOR BOLT	E	LAM	LAMINATE(D)	RFP
	ACC	ACCESSIBLE	EA	LAV	LAVATORY	RH
	ACCU	AIR COOLED CONDENSING UNIT	EC	LBL	LABEL	RM
	ACCI	AMERICAN CONCRETE INSTITUTE	EF	LBS	POUND	RO
	ACOUS INSUL	ACOUSTICAL INSULATION	EJFS	LD	LOAD	ROW
	ACOUS PNL	ACOUSTICAL PANEL	EL	LF	LINEAR FEET	RTU
M	ACST	ACOUSTIC	ELH	LH	LATENT HEAT, LEFT HAND	RTF
	ACT	ACOUSTICAL CEILING TILE	ELB	LIB	LIBRARY	RV
	ADA	AMERICANS WITH DISABILITIES ACT	ELN	LINEAR	LINEAR	RW
			ELK	LKR	LOCKER	RWB
	ADDL	ADDITIONAL	ELK RM	LLR	LOCKER ROOM	
	ADDM	ADDITIONAL	LL	LLV	LIVE LOAD	S
	ADH	ADHESIVE	ENAM	LLH	LONG LEG HORIZONTAL	SAB
	ADJ	ADJUSTABLE, ADJACENT	ENCL	LLV	LONG LEG VERTICAL	SAN
	AE	ARCHITECT/ ENGINEER	ENGR	LT	LINOLEUM TILE, LIGHT	SC
	AFF	ABOVE FINISHED FLOOR	ENVR	LTG	LIGHTING	SCHD
L	AGGR	AGGREGATE	EDS	M	SCHED	
	AHJ	AUTHORITY HAVING JURISDICTION	EP	MACH	MACHINE	SECT
	AHU	AIR HANDLING UNIT	EPD	MAHOG	MACHINE ROOM	SEF
	AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	EQ	MONOMER	SECTION	SGT
	ALT	ALTERNATE	EQP	EXPANDED POLYSTYRENE BOARD	SQ	SQUARE FOOT, SAFETY FACTOR
	ALUM	ALUMINUM	EQ	MAINT	MAINTENANCE	SGT
	ALUM	ALUMINUM	ETC	MATL	MATERIAL	SH
	ANOD	ANODIZED	ETC	MAX	MAXIMUM	SIM
	APC	ACOUSTICAL PANEL CEILING	ETC	M8 or MKR	MARKERBOARD	SHT
	ARCH	ARCHITECT(URAL)	EW	BD	BID	SND
K	ASL	ABOVE STRUCTURAL LEVEL	EXC	MC	MECHANICAL CONTRACTOR	SOG
	AWT	ACOUSTICAL WALL TREATMENT	EXH	MDE	MEDIUM DENSITY FIBERBOARD	SPC
			EXIST	ME	MATCH EXISTING	SPEC
			EXIST	MECH	MECHANICAL	SQ
			EXP	MECH RM	MECHANICAL ROOM	SST
			EXT	MFR	MANUFACTURER	STD
			EXT	MIN	MINIMUM	STC
			EXT	MISC	MISCELLANEOUS	STR
			EXT	MM	MILIMETER	STRM
			EXT	MO	MASONRY OPENING	STRUCT
J	B/D	BASE BOARD	F	MOD BIT	MODIFIED BITUMEN	SUB
	B/B	BACK-TO-BACK	FA	MOUNTED	MOUNTED	SUB FL
	BAT	BATTEN	F/F	FACE-TO-FACE	FACE-TO-FACE	SUSP
	BD	BOARD	FA	FIRE ALARM	FIRE ALARM	SUSP
	BDRM	BEDROOM	FAAP	FIRA ALARM ANNUNCIATOR	FIRA ALARM ANNUNCIATOR	SUSP CLG
	BITUM	BITUMINOUS	FACP	FIR ALARM CONTROL PANEL	FIR ALARM CONTROL PANEL	SV
	BLDG	BUILDING	FCU	FAN COIL UNIT	FAN COIL UNIT	SWBD
	BLKG	BLOCKING	FE	FLOOR DRAIN	FLOOR DRAIN	SY
	BM	BENCHMARK, BEAM	FE	FIRE EXTINGUISHER	FIRE EXTINGUISHER	SYM
	BOT	BOTTOM	FE	FIRE EXTINGUISHER CABINET	FIRE EXTINGUISHER CABINET	SY
I	BRT	BEARING	FEC	FINISH	FINISH	SY
	BRZ	BRONZE	FIXT	FIXTURE	FIXTURE	SY
	BSMT	BASEMENT	FLOR	FLOURESCENT	FLOURESCENT	T
	BTWN	BETWEEN	FLR	FLOOR	FLOOR	T & B
	BUR	BUILT-UP ROOFING	FNDN	FOUNDATION	FOUNDATION	T & G
	BW	BOTH WAYS	FNDN	FINISHED OPENING	FINISHED OPENING	TB
			FRS	FIRE RESISTIVE JOINT SYSTEM	FIRE RESISTIVE JOINT SYSTEM	TECH
	CAB	CABINET	FRP	FIBERGLASS REINFORCED PLASTIC	FIBERGLASS REINFORCED PLASTIC	TEL
	CB	CARRIAGE BOLT, CATCH BASIN	FRTW	FIRE RETARDANT TREATED WOOD	FIRE RETARDANT TREATED WOOD	TEMP
	CCTV	CLOSED-CIRCUIT TELEVISION	FT	FOOT, FEET	FOOT, FEET	TERR
H	CD	CONSTRUCTION DOCUMENTS, CONTRACT DOCUMENTS	FTG	FOOTING	FOOTING	THK
	CEM	CEMENT	FURN	FURNITURE	FURNITURE	THRU
	CERT	CERTIFY, CERTIFICATE, CERTIFICATION	FW	FIRE WALL	FIRE WALL	TB
	CF/OI	CONTRACTOR FURNISHED/ CONTRACTOR INSTALLED	FWC	FABRIC WALL COVERING	FABRIC WALL COVERING	TEMP
	CF/OI	CONTRACTOR FURNISHED/ OWNER INSTALLED	G	GAGE	GAGE	TEMP GL
	CG	CORNER GUARD	GAL	GALLON	GALLON	TOF
	CH	COAT HOOK	GALV	GALVANIZED	GALVANIZED	TOF
	CHBD	CHALK BOARD	GALV STL	GALVANIZED STEEL	GALVANIZED STEEL	TOPO
	CHEM	CHEMICAL	GB	GRAB BAR	GRAB BAR	TOF
	CI	CAST IRON	GC	GENERAL CONTRACTOR	GENERAL CONTRACTOR	TPD
G	CIP	CAST-IN-PLACE	GEN	GENERAL, GENERATOR	GENERAL, GENERATOR	TV
	CJ	CONTROL JOINT, CONSTRUCTION JOINT	GFI	GROUND FAULT CIRCUIT INTERRUPTER	GROUND FAULT CIRCUIT INTERRUPTER	TYP
	CL	CENTER LINE	GFRF	GLASS FIBER REINFORCED CONCRETE	GLASS FIBER REINFORCED CONCRETE	U
	CLG	CEILING	GFRG	GLASS FIBER REINFORCED GYPSUM	GLASS FIBER REINFORCED GYPSUM	U
	CLO	CLOSET	GL	GLASS, GLASS LEVEL	GLASS, GLASS LEVEL	UH
	CLR	CLEAR	GL BLK	GLASS BLOCK	GLASS BLOCK	UL
	CLM	CLASSROOM	GL LAM	GLAZED LAMINATED BEAM	GLAZED LAMINATED BEAM	UNFIN
	CLM	CONCRETE MASONRY UNIT	GLZ	GLAZING	GLAZING	UNFIN
	CNR	CORNER	GWT	GLAZED WALL TILE	GLAZED WALL TILE	UTL
	CONTR	COUNTER	GYP	GYMNASIUM	GYMNASIUM	UV
F	COL	COLUMN	GYP	GYPSUM	GYPSUM	
	CONF	CONFERENCE	GYP BD	GYPSUM BOARD	GYPSUM BOARD	V
	CONN	CONNECTION(ION)	GYP PLAS	GYPSUM PLASTER	GYPSUM PLASTER	V
	CONSTR	CONSTRUCTION	H	POLY	POLYETHYLENE (PLASTIC)	VAR
	CONT	CONTINUOUS	HB	HOSE BIBB	HOSE BIBB	VCT
	CONTR	CONTRACT(OR)	HC	HANDICAP, HOLLOW CORE	HANDICAP, HOLLOW CORE	VENT
	COORD	COORDINATE, COORDINATION	HCP	HANDICAPPED	HANDICAPPED	VERT
	CORR	CORRIDOR	HOW	HEAVY DUTY	HEAVY DUTY	VEST
	CSEK	CASEWORK	HDWD	HARDWARE	HARDWARE	VIF
	CT	CERAMIC TILE	HDWD	HARDWOOD	HARDWOOD	VOC
E	CTR	CENTER	HM	HOLLOW METAL	HOLLOW METAL	VOIC
	CTRL	CONTROL	HO	HOLD OPEN	HOLD OPEN	VOL
	CUH	CUBIC	HORIZ	HORIZON	HORIZON	VR
	CUH	CABINET UNIT HEATER	HR	HOOR	HOOR	VUH
	CUST	CUSTOMAL	HSS	HOLLOW STRUCTURAL SECTION	HOLLOW STRUCTURAL SECTION	VWC
	CW	COLD WATER, CASEMENT WINDOW	HT	HEIGHT	HEIGHT	W
			HVAC	HEATING, VENTILATING AND AIR CONDITIONING	HEATING, VENTILATING AND AIR CONDITIONING	W
			HW	HOT WATER	HOT WATER	W/
			HYD	HYDRANT	HYDRANT	W/O
						W/W
D	D	DEEP, DEPTH	I	PVC	POLYVINYL CHLORIDE (PLASTIC)	WB
	DBL	DOUBLE	ID	INSIDE DIAMETER	INSIDE DIAMETER	WC
	DEG	DEGREE	IN	INCHES	INCHES	W
	DEMO	DEMOLITION	INCD	INCANDESCENT	INCANDESCENT	WD
	DEPT	DEPARTMENT	INCL	INCLUDE	INCLUDE	WDW
	DET	DETAIL	INFO	INFORMATION	INFORMATION	WF
	DF	DRINKING FOUNTAIN	INSUL	INSULATION	INSULATION	WH
	DIA or Ø	DIAMETER	INT	INTERIOR	INTERIOR	WI
	DIF	DIFFERENCE	INTERM	INTERMEDIATE	INTERMEDIATE	WM
	DIM	DIMENSION				WP
C	DIR	DIRECTION				W
	DISP	DISPENSER	J	JANITOR	JANITOR	WR
	DIST	DISTANCE	JAN CLO	JANITOR CLOSET	JANITOR CLOSET	WR
	DIV	DIVIDE, DIVISION	JNT	JOINT	JOINT	WSCT
	DL	DEAD LOAD	JR	JUNIOR	JUNIOR	WT
	DMPF	DAMP/PROOFING	JST	JOIST	JOIST	WWF
	DMPR	DAMPER				WWM
	DN	DOWN				
	DO	DITTO	K	KNOCK DOWN	KNOCK DOWN	X
	DOC	DOCUMENT	KD	KNOCK DOWN	KNOCK DOWN	X
DOZ	DOZEN	KIP	1000 POUNDS	1000 POUNDS	BY	
B	DR	DOOR	KIT	KITCHEN	KITCHEN	
	DS	DOWNSPOUT	KO	KNOCK OUT	KNOCK OUT	Y
	DSGN	DESIGN	KPL	KICK PLATE	KICK PLATE	YD

PRINT DATE/TIME: 7/1/2024 9:52:00 AM



Materials Graphics	Graphic Symbols
<b>02 SITE CONSTRUCTION</b>  EARTH (existing)  EARTH (backfill)  DRAINAGE FILL	<b>01 GENERAL</b>  NEW WALL  EXISTING WALL TO BE REMOVED  EXISTING WALL  BUILDING SECTION  WALL SECTION  DETAIL SECTION  DETAIL REFERENCE  EXTERIOR ELEVATION TAG  INTERIOR ELEVATION TAG  BREAK LINE  ROOM TAG  INTERIOR PARTITION TYPE SYMBOL  WINDOW TYPE SYMBOL  BENCHMARK/SPOT ELEV. SYMBOL  COLUMN LINE/GRID INDICATOR  REVISION INDICATOR  DOOR TAG  ELEVATION LEVEL NAME  FLOOR LEVEL SYMBOL  CEILING HEIGHT SYMBOL  PLAN NORTH  DIMENSION  ALIGN TWO WALLS OR OBJECTS
<b>03 CONCRETE</b>  CAST-IN-PLACE CONCRETE  PRECAST CONCRETE	
<b>04 MASONRY</b>  BRICK  CONCRETE MASONRY UNITS  GLASS BLOCK  STONE  CAST STONE  GROUT	
<b>05 METALS</b>  ALUMINUM  STEEL	
<b>06 WOODS AND PLASTICS</b>  CONTINUOUS WOOD  INTERMITTENT WOOD  FINISH WOOD  HARDBOARD  MEDIUM DENSITY FIBER BOARD (MDF)  PARTICLE BOARD  PLYWOOD  SOLID SURFACE MATERIAL	
<b>07 THERMAL &amp; MOISTURE PROTECTION</b>  BATT INSULATION  LOOSE FILL INSULATION  RIGID INSULATION	
<b>08 GLAZING</b>  GLASS	
<b>09 FINISHES</b>  LATH AND PLASTER  GYPSUM BOARD	

General Architectural Drawing Notes:

1. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IS REQUIRED BY ALL; PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND SHALL BE INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INDICATED RESULTS.
2. ORGANIZATION OF THE SPECIFICATIONS INTO DIVISIONS, SECTIONS, PARTS, AND ARRANGEMENT OF DRAWINGS SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF THE WORK PERFORMED BY EACH. DRAWINGS, SPECIFICATIONS, GENERAL AND SUPPLEMENTARY CONDITIONS ARE ESSENTIAL PARTS OF THE CONTRACT. IN THE EVENT OF ANY DISCREPANCY BETWEEN A DRAWING AND FIGURES SPECIFIED THEREIN, THE DRAWING SHALL BE CONSIDERED TO BE CORRECT, UNLESS IT IS OBVIOUSLY INCORRECT, ARE TO GOVERN OVER SCALE DIMENSIONS. IN THE CASE OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN. IF THERE IS A DISCREPANCY BETWEEN LARGE AND SMALL SCALE DETAILS, THE LARGER SCALE DETAILS ARE TO GOVERN. SUPPLEMENTARY CONDITIONS SHALL GOVERN OVER SPECIFICATIONS, SPECIFICATIONS GOVERN OVER DRAWINGS. THE CONTRACTOR SHALL ADVISE THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS BETWEEN CONTRACT DOCUMENTS AS SOON AS THEY ARE DISCOVERED.
3. NOTHING PREVENTING THE CONTRACTOR FROM POINTING OUT ANY DISCREPANCY OR INCONSISTENCY BETWEEN DRAWINGS AND SPECIFICATIONS, OR WITHIN EITHER DOCUMENT NOT CLARIFIED BY ADDENDUM OR BY ARCHITECT'S SUPPLEMENTAL INSTRUCTION, THE BETTER QUALITY SHALL BE USED.
4. DRAWINGS SHALL NOT BE SCALED TO DETERMINE DIMENSIONS; IF DIMENSIONS APPEAR TO BE INSUFFICIENT OR INCORRECT, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT.
5. WHENEVER CONTRACT DOCUMENTS REASONABLY IMPLY MATERIALS OR INSTALLATION AS NECESSARY TO PRODUCE THE INTENDED RESULTS, BUT DO NOT SPECIFY THE SAME, THE CONTRACTOR SHALL PROVIDE THE MATERIALS AND LABOR REQUIRED FOR INSTALLATION NONETHELESS.
6. PROVIDE ALL WORK INDICATED UNLESS SPECIFICALLY NOTED OTHERWISE IN THE CONTRACT (N/C, "FURNISHED BY OTHERS" (FBO) OR "EXISTING" CONTRACT DOCUMENTS ARE INTENDED TO CONVEY DESIGN INTENT ONLY. PROVIDE PRODUCTS COMPARABLE WITH ADJACENT, TRIM, FINISH, FASTENERS, AND OTHER ITEMS, PRIOR TO A COMPLETE INSTALLATION AND INDICATE USE AND EFFECT.
7. THESE NOTES ARE NOT INTENDED TO LIMIT THE RESPONSIBILITIES OF THE CONTRACTOR AS DEFINED ELSEWHERE IN THE CONTRACT DOCUMENTS
8. VERIFY DIMENSIONS AND EXISTING CONDITIONS BEFORE COMMENCING WORK. REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH AFFECTED WORK.
9. BUILDING FLOOR PLAN DIMENSIONS ARE REFERENCED FROM STRUCTURAL GRID, FACE OF CONCRETE, FACE OF MASONRY, OR FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE.
10. REFLECTED CEILING PLAN DIMENSIONS ARE REFERENCED FROM FINISHED SURFACES UNLESS NOTED OTHERWISE. CEILING HEIGHTS ARE DIMENSIONED FROM FLOOR TO FINISHED CEILING HEIGHT.
11. CASEWORK, PLUMBING FIXTURES, TOILET PARTITIONS, AND OTHER FIXTURES AND EQUIPMENT ARE DIMENSIONED FROM FINISHED SURFACES UNLESS NOTED OTHERWISE.
12. DIMENSIONS NOTED AS "FIELD VERIFY" SHALL BE CHECKED AT THE SITE BY THE CONTRACTOR AND REVIEWED WITH THE ARCHITECT BEFORE PROCEEDING INTO THE FIELD.
13. DIMENSIONS NOTED AS "CLEAR" REQUIRE SPECIFIC COORDINATION BETWEEN DISCIPLINES AND/OR MANUFACTURERS.
14. DRAWINGS NOTED AT "N.T.S." ARE NOT TO SCALE.
15. IF NO DRAWING, WRITTEN DIMENSIONS TAKE PRECEDENCE. IF CLARIFICATION IS REQUIRED IN ORDER TO DETERMINE THE INTENT OF THE CONTRACT DOCUMENTS, CONTACT THE ARCHITECT.
16. NOTES AND DIMENSIONS IN THE ARCHITECT'S DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SIMILAR OR SIMPLY.

# multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON  
IMPACT HUB  
CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner: **City of Phoenix**  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
[www.phoenix.gov](http://www.phoenix.gov)

civil engineer: **Wilson & Company**  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.283.2701  
[www.wilsonco.com](http://www.wilsonco.com)

architect:  
**Multistudio**  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multistudio

mechanical engineer:  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

historic preservation: **Ryden Architects**  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5181  
[www.rydenarchitects.com](http://www.rydenarchitects.com)

structural engineer:  
**BDA design**  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
[www.bdadesign.com](http://www.bdadesign.com)

food service:  
**Design-Tec Food Facilities**  
8346 N. 50th Street  
Phoenix, AZ 85020  
602.273.0222

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.



REVISIONS		
Number	DESCRIPTION	DATE

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

## General Information

**G000**  
BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	2	117

AAH20300003-2 : EDISON IMPACT HUB CONSTRUCTION. Q.S.11-31



	18	17	16	15	14	13	12	11	10	9	8	7	6	5	4	3	2	1
	CODE INFORMATION			INTERNATIONAL EXISTING BUILDING CODE (IEBC 2018) SELECTED SECTIONS			BUILDING LIMITS AND CALCULATIONS											
	Project: Edison Impact Hub			SECTION 604 - ALTERATION - LEVEL 3			BUILDING FEATURES											
	Existing Property: Crippled Children's Hospital 1824 E. McKinley Street Phoenix, Arizona 85006			604.1 - Scope Level 3 alterations apply where the work area exceeds 50 percent of the building area. 604.2 - Application Level 3 alterations shall comply with the provisions of Chapters 7 & 8 for the Level 1 and 2 alterations, respectively, as well as the provisions of chapter 9.			Automatic Sprinkler System? yes Only 1 story above grade? no Rated Structure (type A)? no											
P	Owner: City of Phoenix 215 W. Washington Phoenix, Arizona 85003			CHAPTER 8 ALTERATIONS - LEVEL 2 SECTION 801.3 COMPLIANCE New construction elements, components, systems, and spaces shall comply with the requirements of the International Building Code. Exception #4: The minimum ceiling height of the newly created habitable and occupiable spaces and corridors shall be 7 feet (2134 mm).			MAIN AREA OCCUPANCY CLASSIFICATION											
	APN: 116-11-001C 116-11-002 Zoning: WU- T5-2 (Walkable Urban Code Transect T5-2 District) COP Transit Eastlake Garfield Character Area, Historic Preservation			SECTION 1203.3 MEANS OF EGRESS: Existing door openings and corridor and stairway widths less than those specified elsewhere this code may be approved- provided that in the opinion of the code official there is sufficient width and height for a person to pass through the opening or traverse the means of egress. Where approved by the code official, the front or main exit doors need not swing in the direction of the path of exit travel, providing other approved means of egress having sufficient capacity to serve the total occupant load are provided.			(302.1, 506.2) Main Area Accessory mixed use main occupancy type											
N	Project Description: The existing Children's hospital was constructed in 1941. Approximately 140 feet wide x 150 feet long (~14,500 sf), with 80ft x 80ft open courtyard at the center. A small second level approximately 800 sf is located at the north face of the building. A small free-standing structure (1,200 sf) sits to the east of the main building, at the center of the existing parking area. Additions of approximately 2,200 sf were constructed and attached to the south face of the original building. Additionally, a "west wing" of the building was constructed including approximately 19,000 sf. of space.			SECTION 1203.9 STAIRWAY RAILINGS Grand stairways shall be accepted without complying with the handrail and guard requirements. Existing handrails and guards at all stairways shall be permitted to remain, provided they are not structurally dangerous. (NOTE: RAILING ARE BEING REMOVED AND REPLACED)			CONSTRUCTION CLASSIFICATION											
	Scope of work includes demolition of the west building addition in it's entirety, restoring the Historic portion of the property, and retrofitting the property to accommodate office use, for the City of Phoenix. Building improvements are to include, but are not limited to: new HVAC systems/controls, new electrical and lighting, roof repair/replacement, interior finish rejuvenation/replacement, updated plumbing systems, restoration of Historic components as dictated by the Historic Preservation Department and energy code upgrades as required by the IECC and the City of Phoenix. Proposed program is to include: office suites, community computer lab, community classrooms, community health clinic, and community kitchen TI space.			1204.2 BUILDING AREA The allowable floor area for historic buildings undergoing a change of occupancy shall be permitted to exceed by 20% the allowable areas specified in chapter 5- of the IBC.			Construction Type: V-B (Table 504.3, 504.4) Building Height: Base Allowable - IBC: story increase Max Allowable Stories Actual:											
M	The Community health clinic is an outpatient clinic (per 304.1) offering general health and behavioural health services. No anesthesia or medical gases are administered. The clinic was designed in response to the Outpatient facility requirements for General Services Facilities; Chapter 2.2 of "FGI Guidelines for Design and Construction of Outpatient Facilities, 2018". Building occupancy is classified as Mixed-Use Accessory occupancy in accordance with 508.2: The main occupancy is "B". All interior spaces are "B" occupancy except "Room 111- Classroom 3" /Dining" which is classified as A-2 due to occupant load. There is no separation from the accessory occupancy per 508.2.4. The aggregate accessory occupancy is less than 10% (see calculations under "Building Limits and Calculations") to the right.			1204.4 OCCUPANCY SEPARATION Required occupancy separations of 1hr may be omitted where the building is provided with an approved automatic sprinkler system throughout. (NOTE: NO OCCUPANCY SEPWERATIONS ARE REQUIRED)			Increases: see below 200% see below (separation) (sprinkler) (other)											
L	Site improvement are to include: Re-configured parking/vehicle entries to comply with current COP codes and standards, updated east parking lot, new west facing parking lot, updated lighting (as required), updated landscape and hardscape elements, building entry upgrades to comply with current ADA standards, and a community Art piece (as selected by the City of Phoenix).			1204.12 EXIT SIGNS The Code official may accept alternative exit sign locations where the location of such signs would damage the historic character of the building or structure. Such signs shall identify the exits an exit path.			BUILDING LIMITATIONS											
	Current Codes + Standards:			INTERNATIONAL ENERGY CONSERVATION CODE (IEEC 2018) SELECTED SECTIONS			GROSS BUILDING AREA MIXED-USE ACCESSORY (508.2) (Table 506) Base Allowable: 27,000 SF/FLR (SM Value) $A_{\text{B}} = [A_{\text{A}} + (NS \times I)]$ Multi-story, mixed occupancy buildings $A_{\text{A}} =$ Allowable Area (square feet) $A_{\text{A}} =$ 27,000 Tabular Allowable Area Factor (NS, S13R, S13D or SM value) per 506.2 $NS =$ 9000 Tabular allowable area factor per 506.2 for non-sprinklered (regardless of whether sprinklered) $I_{\text{I}} =$ 22.6% Frontage Increase (see below) $A_{\text{a}} = [A_{\text{t}} + (NS \times I)]$ $A_{\text{a}} = [27000 + ( 9000 \times 0.226 )]$ $A_{\text{a}} =$ 29,034 SF											
K	2018 International building Code (IBC) 2018 International Existing Building Code (IEBC) 2018 International Mechanical Code (IMC) 2018 International Plumbing Code (IPC) 2018 Uniform Plumbing Code (UPC) 2018 International Energy Conservation Code (IECC) 2017 National Electrical Code (NEC) 2010 ADA Standards for Accessible Design /ICC A117.1-200 *Amendments by COP to all referenced codes above.			C501.6 HISTORIC BUILDINGS Provisions of this code relating to the constructions, repair, alteration, restoration and movement of structures, and changes of occupancy shall not be mandatory for historic buildings provided that a report has been submitted to the code official and signed by a registered design professional, or a representative of the State Historic Preservation Office or the historic preservation authority having jurisdiction, demonstrating that compliance with that provision would be threatening, degrade or destroy the historic form, fabric or function of the building. (Note: This project has been developed in compliance with requirement of by City of Phoenix PDD/Historic Preservation Office; Liz Wilson - 602-262-6883).			FRONTAGE INCREASE (506.3) Frontage Increase( $I_{\text{F}}$ )= $\frac{F}{P}$ -0.25 X $\frac{W}{30}$ $F =$ 312 Building perimeter on public way over 20' wide (in feet) $P =$ 656 Perimeter of entire building (in feet) $W =$ 30 Minimum width of public way (in feet - 30' max) $I_{\text{F}} = \frac{312}{656}$ -0.25 X $\frac{30}{30}$ Frontage Increase ( $I_{\text{F}}$ ) = 22.6%											
J	Proposed Occupancy group: B (Business) Existing Construction Type: VB			ALLOWABLE AREA - MIXED USE / ACCESSORY 508.2 Level 1 (Building Interior) Business Areas Community Kitchen Classroom Covered Porch Area (courtyard)*			Level 2 office											
	Lot Size: 161,028 sf Allowable Building Area (PER IBC, table 506.2): 36,000 gsf (one story) or 27,000 gsf (two stories) *Existing building is sprinklered, but will require reconfiguration following demolition of west addition.			Total Building area on Level 1: ~15,558 sf Lot Coverage: 15,558/ 161,028 = 9.6%			Basement not used											
H	Parking Required (Per PHX/WU code T5 district; table 1307.1): 16,450 SF/ 300 (B-Business Occ.) = 55 spaces total (required) Parking Provided: (East Lot) 58 spaces + (West lot) 44 spaces = 102 spaces total (provided) Accessible Parking required (per table 1106.1): 5 ADA spaces (required) Loading space required: 1 (per table 1307.2)			Bicycle Parking required: to be located within 50'-0" of building entry point 1:25 Parking spaces = 102 (parking spaces provided)/25 = 5 Bicycle parking spots required			TOTAL OCCUPANCY - ALL LEVELS 162.0											
G	Rear and Side(s) of Corner Lot: 20'-0" Primary Frontage: 30'-0"			Fire Protection & Life Safety Systems (Per 2018 International Fire Code + COP Amendments): Section 503- Fire Apparatus Access Roads 503.1.1 Buildings and facilities: Fire apparatus access road shall comply within the requirements of this section, and extend to within 150' of all portions of the facility, and all portions of the exterior walls of the first story of the building, measured by an approved route around the exterior of the building facility. - exception 1.1: Fire code official is authorized to increase the dimension to 350' where the building is equipped throughout with an approved automatic sprinkler system, in accordance with section 903.3.1.1.			FIRE RESISTIVE CONSTRUCTION (Table 601) Fire Resistive Construction Construction Type: V-B Structural Frame 0 Bearing Walls - Ext. 0 Bearing Walls - Int. 0 Non B' Bearing Walls - Ext. see below (Table 602) Non Bearing Walls - Int. 0 Floors Const & Secondary Members 0 Roof Const & Secondary Members 0 Exterior Doors & Windows see below (Table 704.8) Minimum Roof Class C (Table 1505.1)											
F	General Site Requirements (Per PHX/WU code, T5 district; section 1304) 1304.H.1: 75% of all pedestrian walks to be shaded 1304.H.2: Pedestrian ways should be a minimum of ten feet in width or a minimum of six feet in width when combined with a thoroughfare, or when provided as improved pedestrian alley access. 1304.H.5.a: Fifteen-foot maximum height of lighting fixtures (@pedestrian pathway).			503.2.1 Dimensions: Fire apparatus access roads shall have an unobstructed width of not less than 20'; and unobstructed vertical clearance of not less than 14'  - Automatic sprinkler systems shall be installed in accordance with NFPA 13 for Group B occupancies. - Exception: Playground equipment, carwashes and small canopies for shade (Art installation) that are less than 5,000 sf in are and constructed of limited or non combustible material and are more than 5' from the nearest structure.			(Table 38) Required Separation Between Occupancies: N/A											
E	Open Space Requirements (Per PHX/WU code, T5 district; section 1310) (5% of gross lot area) * 161,028 SF = 8,052 SF required 50% of Open Space SF should be shaded/ 50% to be tree shade			Table 9.3.1.5 Hazard Level: Occupancy change from previous "H" occupancy- to proposed "B" occupancy type = Hazard level 4 (lowest)			(Table 602) WALL PROTECTION NEAR PROPERTY LINE Occ. Const. <5' <10' <30' >= 30' B V-B 1 Hr 1 Hr NR NR The closest property line is > 10' (east imaginary property line). No rating required											
D	Fire Department Connection(s) - Locations Fire Department connections shall be so located that fire apparatus and hose connected to supply the system will not obstruct access to the buildings for other fire apparatus. The location of fire department connections shall be approved by the fire code official and within 200' of a usable hydrant. Connections should be fully visible/recognizable from the street, fire apparatus access road, or other as approved by the fire code official. location requirements: • >50' from approved roadway. • within 200' of approved usable hydrant. • inlet height not less than 18", not more than 48" above grade.			Table 705.8) OPENING PROTECTIVES Unprotected NP >3'-5' >5'-10' >10'-15' >15'-20' >20'-25' >25'-30' >30' NP 15% 25% 45% 75% No limit No limit No limit *Unprot w/ sprinkler Protected NP 15% 25% 45% 75% No limit No limit No limit The closest property line is >20' (east imaginary property line). No protectives required														
C	COMMON PATH OF EGRESS TRAVEL FOR SPACE WITH (1) EXIT(TABLE 1006.2.1): OCCUPANCY: B, WITH SPRINKLER, MAX. DISTANCE ALLOWED: 100 FT  ACTUAL: SEE CODE PLAN																	
B	EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2): OCCUPANCY: B, WITH SPRINKLER, MAX. DISTANCE ALLOWED: 300 FT																	
A																		

PRINT DATE/TIME: 7/1/2024 9:52:03 AM

# multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
320 W. Washington Street  
Phoenix, AZ 85003  
602.268.2773  
www.phoenix.gov

architect:  
Multistudio  
1215 South 3rd Street #200  
Tempe, AZ 85282  
480.968.3070  
multistudio.com

mechanical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

landscape architect:  
Floor Associates  
1415 N. 1st Street #1007  
Phoenix, AZ 85004  
602.462.1475  
www.floorassociates.com

food service:  
Design Tec Food Facilities

structural engineer:  
BDA design  
7047 E. Greenway Plaza #250  
Scottsdale, AZ 85254  
480.388.7729  
www.bdaengine.com

historical preservation:  
Ryden Architects  
402 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5361  
www.rydenarchitects.com

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

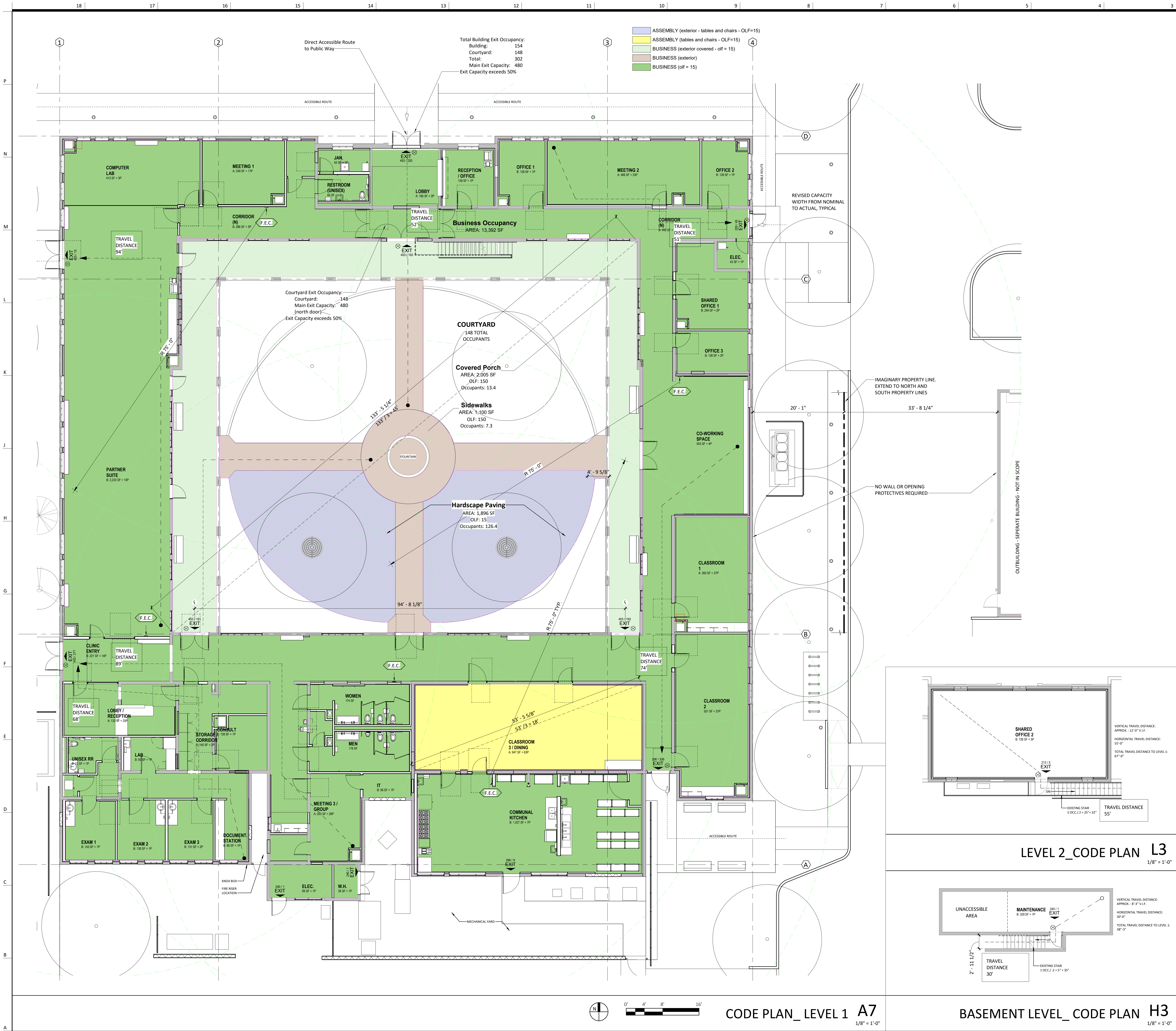
historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities

historical preservation:  
Ryden Architects

food service:  
Design Tec Food Facilities





General Notes (Code Plans):

1. ALL WORK, MATERIALS, AND METHODS SHALL BE IN CONFORMANCE WITH THE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT LOCATION.

2. CONTRACTOR SHALL PROVIDE AND IS SOLELY RESPONSIBLE AND LIABLE FOR PUBLIC AND EMPLOYEE PROTECTION AS NECESSARY AND AS REQUIRED BY THE CODES, INCLUDING EXTERIOR PEDESTRIAN AND TRAFFIC BARRIERS. ALL WORK SHALL CONFORM TO ORDINANCES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT LOCATION.

3. THE SIZE, TYPE, QUANTITY, AND LOCATION OF ALL TEMPORARY FIRE EXTINGUISHERS SHALL BE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.

4. COORDINATE LOCATION OF KNOX BOX WITH ARCHITECT, OWNER'S REPRESENTATIVE, AND THE AUTHORITY HAVING JURISDICTION IN THE FIELD.

Code Plan Legend:

Egress Path of Travel

EXIT

Maximum # of Occupants (by width)

Required # of Occupants

Stair Egress

Stair #1 | 4'-0"

Maximum # of Occupants (by width)

Required # of Occupants

Occupancy Tag

Room name

Occupant Group

Area

Occupant Load

Fire Extinguisher Radius

75' Typ

Accessible Path

FIRE EXTINGUISHER (Regular Dry Chemical Type)

F.E.C.

OWNER: City of Phoenix 200 W. Washington Street Phoenix, AZ 85003 602.258.2173 www.phoenix.gov

OWNER: Wilson & Company 420 N. 4th Street Suite 400 Phoenix, AZ 85008 602.282.2173 www.wilsonco.com

ARCHITECT: Multistudio 1215 South 3rd Street #200 Phoenix, AZ 85004 602.234.1440 multistudio

MECHANICAL ENGINEER: Applied Engineering 2800 S. Rural Road #101 Tempe, AZ 85281 480.968.3070 www.appliedengineering.com

HISTORIC PRESERVATION: Ryden Architects 402 W. McDowell Road Phoenix, AZ 85007 602.243.5361 www.rydenarchitects.com

LANDSCAPE ARCHITECT: Floor Associates 1425 N. 1st Street #100 Phoenix, AZ 85004 602.462.1425 www.floorassociates.com

STRUCTURAL ENGINEER: BDA design 7047 E. Greenway Plaza #250 Scottsdale, AZ 85254 480.398.7729 www.bdaengine.com

FOOD SERVICE: Design-Tec Food Facilities 8344 N. 5th Street Phoenix, AZ 85020 602.273.0222

REVISIONS

Number

Description

Date

1

Delta 1 - CIP 1st Review Comments

03/15/2023

PROJECT NO: 0520-0020

DATE: MAY 12, 2023

Code Plan

G101

BID SET - NEW CONSTRUCTION PHASE

Project Number

NO.

Total

AH20300003-2

4

117

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.258.2173  
www.phoenix.gov

architect:  
Multistudio  
1215 South 3rd Street #200  
Phoenix, AZ 85004  
602.234.1440  
multistudio

mechanical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85281  
480.968.3070  
www.appliedengineering.com

historic preservation:  
Ryden Architects  
402 W. McDowell Road  
Phoenix, AZ 85007  
602.243.5361  
www.rydenarchitects.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #100  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

structural engineer:  
BDA design  
7047 E. Greenway Plaza #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaengine.com

food service:  
Design-Tec Food Facilities  
8344 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

Number	Description	Date
1	Delta 1 - CIP 1st Review Comments	03/15/2023

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

REVISIONS

Code Plan

G101

BID SET - NEW  
CONSTRUCTION PHASE

Project Number  
AH20300003-2

NO.  
4

Total  
117

PRINT DATE/TIME: 7/1/2024 9:52:12 AM

AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION, Q.S.11-31





PRINT DATE/TIME: 7/1/2024 9:51:18 AM

- WHEN AUTHORIZED IN WRITING BY AUTHORITIES  
HAVING JURISDICTION. PROVIDE TEMPORARY  
SERVICES DURING INTERRUPTIONS TO EXISTING  
UTILITIES, AS ACCEPTABLE TO GOVERNING  
AUTHORITIES.

23. EXISTING WALLS (OR PORTIONS OF WALLS) TO BE REMOVED SHALL BE CUT FLUSH WHERE

www.bdaesign.com

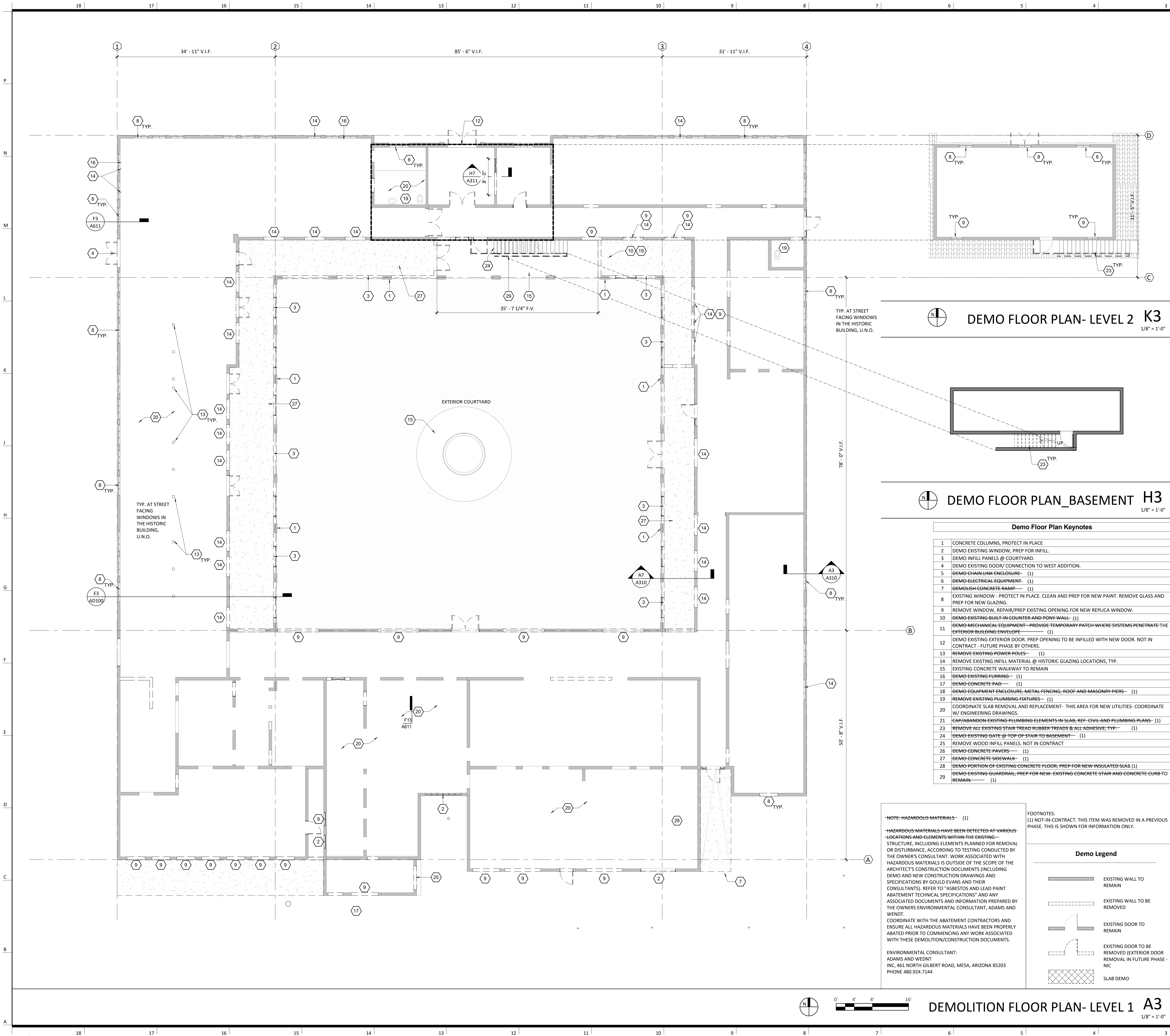
REVISIONS		
Number	DESCRIPTION	DATE
4	Phase 1 Demo Scope Revision	05/12/20

# AD100

## BID SET - NEW CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	5	117





### General Notes (Demolition):

- THIS DEMOLITION PLAN OUTLINES THE SCOPE OF THE WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL ALSO REFER TO THE DRAWINGS FOR THE CONSTRUCTION OF THE NEW ADDITION FOR ADDITIONAL INFORMATION.
- EXISTING CONDITIONS INFORMATION WAS OBTAINED FROM DOCUMENTS AND INFORMATION SUPPLIED TO THE ARCHITECT, THE CONTRACTOR IS TO VERIFY EXACT LOCATIONS, SIZES, ELEVATIONS, ETC. AND REPORT ANY DISCREPANCIES TO THE ARCHITECT
- IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED STOP WORK IMMEDIATELY AND NOTIFY OWNER. DO NOT RESUME WORK UNTIL DIRECTED BY THE OWNER.
- ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
- REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN ON SITE, THE CONTRACTOR SHALL REPAIR THE DAMAGE.
- CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION NOTED TO REMAIN FROM DAMAGE AND SOILING DURING DEMOLITION. REMOVE DEBRIS REGULARLY AS NECESSARY TO ELIMINATED INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND NOISE PROOF PARTITION BETWEEN CONSTRUCTION AREA AND ADJACENT PROPERTIES AS NECESSARY
- NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. THAT ARE TO BE REMOVED THAT ARE DEEMED SALVAGEABLE TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD CONDITION.
- ALL DEMOLITION MATERIALS NOT CLAIMED BY THE OWNER, OR TO BE REUSED ARE TO BE DISPOSED OF OFF SITE AS PER LOCAL WASTE DISPOSAL REGULATIONS AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- MAINTAIN THE INTEGRITY OF ALL EXISTING RATED WALLS, FIRE SEAL ANY PENETRATIONS WITH U.L. APPROVED ASSEMBLY.
- WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, DETERMINE THE NATURE AND EXTENT OF THE CONFLICT AND NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- PROTECT EXISTING SITE IMPROVEMENTS AND LANDSCAPING TO REMAIN. INCLUDING BUT NOT LIMITED TO EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
- CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES AS NECESSARY TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AND AS REQUIRED BY THE CITY.
- DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO GOVERNING AUTHORITIES.
- WHEN UTILITY SERVICES ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE BYPASS CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICE BEFORE PROCEEDING WITH DEMOLITION.
- CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT WITH ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THOSE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
- CONTRACTOR TO PATCH/REPAIR ALL HOLES IN WALLS, FLOORS, &/ OR CEILINGS, AS REQUIRED. PAINT TO MATCH ADJACENT WALL/CEILING.
- CONTRACTOR TO RE-LOCATE UTILITIES & EQUIPMENT AS REQUIRED TO ACCOMMODATE NEW HVAC, ELECTRICAL & PLUMBING REQUIREMENTS FOR NEW RENOVATION WORK.
- REFER TO DEMOLITION PLUMBING PLANS FOR EXTENT OF CONCRETE SLAB TO BE REMOVED AND REPLACED FOR UNDER FLOOR PIPING INSTALLATION.
- FILL ALL EXISTING FLOOR AND WALL PENETRATIONS RESULTING FROM PIPING AND CONDUIT REMOVAL WITH NON-SHRINK GROUT, READY TO RECEIVE FINAL FLOOR OR WALL FINISH.
- EXISTING WALLS (OR PORTIONS OF WALLS) TO BE REMOVED SHALL BE CUT FLUSH WHERE INTERSECTING WITH WALLS TO REMAIN. REMAINING WALLS TO BE PATCHED AND FINISHED SMOOTH.
- REPAIR FLOOR AS REQUIRED TO ACHIEVE A FLUSH CONDITION.
- NEW OPENING TO BE CUT IN EXISTING WALLS SHALL BE SAW-CUT AT LOCATIONS INDICATED TO THE HEIGHT AND WIDTH INDICATED. NEW LINTELS SHALL BE INSTALLED TO SUPPORT EXISTING WALL CONSTRUCTION ABOVE AS INDICATED ON THE DRAWINGS, OR IF NOT INDICATED, AS REQUIRED FOR NEW WALL CONSTRUCTION PER STRUCTURAL DRAWINGS.
- WHERE EXISTING INTERIOR WALLS ARE REPLACED OR REMOVED, REMOVE MEP SYSTEMS BACK TO PANEL OR MECHANICAL ROOM OR FARTHEST POSSIBLE POINT WITHOUT DISTURBING EXISTING CONSTRUCTION, REMOVE EXISTING MECHANICAL EQUIPMENT, RELOCATE POWER PER MEP DRAWINGS
- REFER TO MEP DRAWINGS FOR DEMOLITION OF MEP SYSTEMS TO IDENTIFY WORK REQUIRED BY THIS CONTRACTOR WHICH MAY AFFECT DEMOLITION AND/OR REPAIRS OF ARCHITECTURAL ELEMENTS. COORDINATE WITH RELATED SUBS THE EXTENT OF ALL DEMOLITION WORK.
- PATCH FLOORS, WALLS CEILINGS WHICH REMAIN AT LOCATIONS WHERE PIPES, CONDUITS, ETC. ARE REMOVED AS REQUIRED TO MATCH EXISTING CONDITIONS OR FOR NEW FINISHES.
- WHERE EXISTING FINISH FLOOR IS REMOVED, PREPARE SURFACE TO RECEIVE NEW FLOORING
- REMOVE ANY EXISTING VINYL MATERIALS IN ACCORDANCE WITH EPA STANDARDS, NOTIFY ARCHITECT & OWNER OF ANY ADDITIONAL ASBESTOS CONTAINING MATERIALS DISCOVERED BEFORE PROCEEDING WITH WORK. PROTECT INTERIOR CONSTRUCTION TO REMAIN DURING DEMOLITION AND CONSTRUCTION.

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.263.2112  
www.phoenix.gov

architect:  
Multistudio  
121 South 3rd Street #200  
Phoenix, AZ 85004  
602.234.1440  
multistudio

mechanical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85281  
480.968.3070  
www.appliedengineering.com

historic preservation:  
Ryden Architects  
402 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5361  
www.rydenarchitects.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1007  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

structural engineer:  
BDA design  
7047 E. Greenway Plaza #250  
Scottsdale, AZ 85254  
480.388.7729  
www.bdaengine.com

food service:  
Design-Tec Food Facilities  
8344 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR REPRESENTATION



REVISIONS		
Number	DESCRIPTION	DATE
4	Phase 1 Demo Scope Revision	09/12/2023

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

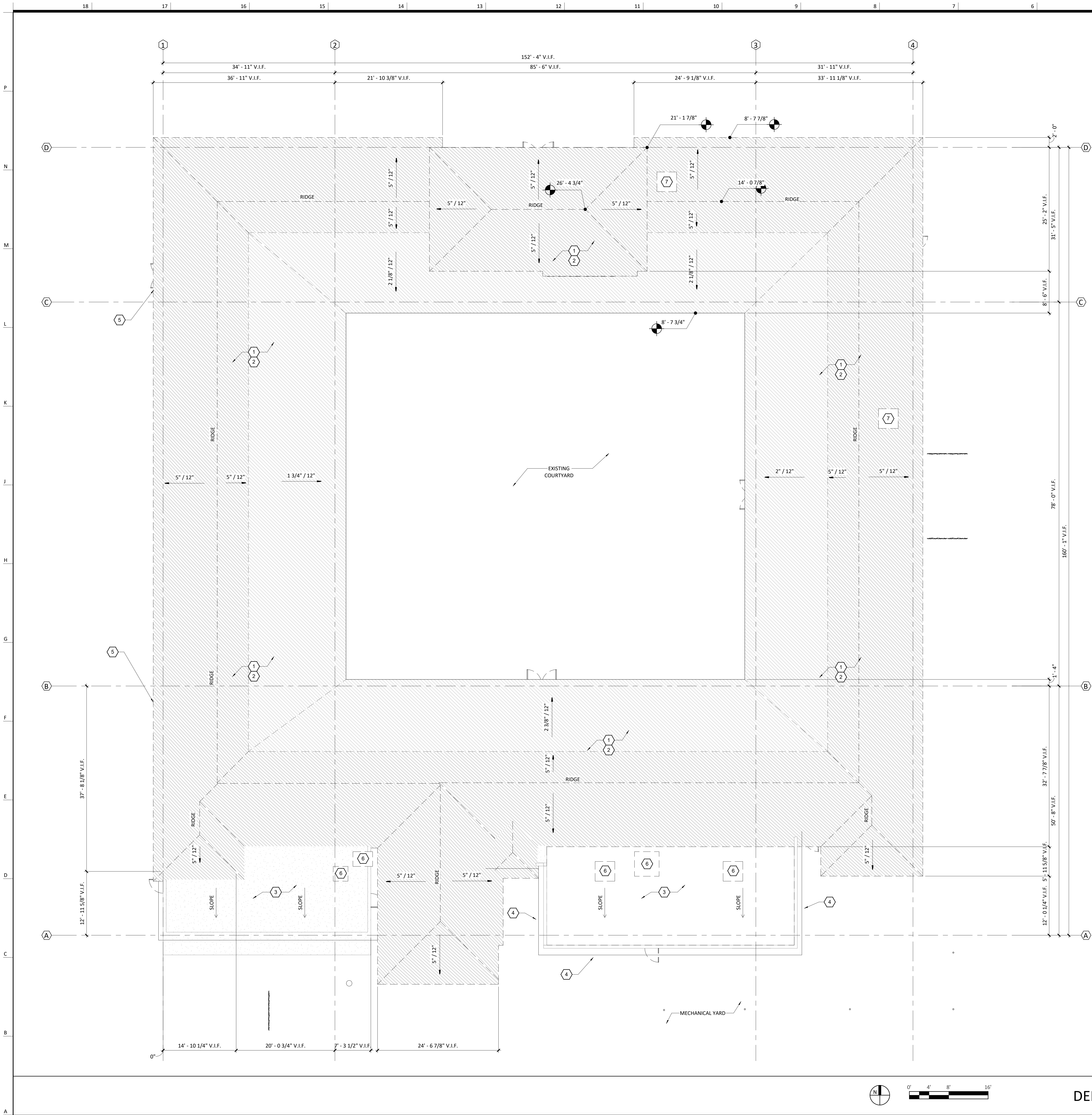
Demolition - Floor Plan

## AD101 BID SET - NEW CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	6	117

AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION. Q.S.11-11





Demo Roof Plan Keynotes	
1	DEMO EXISTING ASPHALT SHINGLE ROOF SYSTEM DOWN TO WOOD ROOF PLANKS. DEMO AND REPLACE ANY PLANK THAT IS COMPROMISED OR DAMAGED WITH NEW MEMBERS TO MATCH EXISTING. REFER TO STRUCTURAL DETAIL 8 ON S0.2 FOR NAILING ATTACHMENT. ANY EXISTING PENETRATIONS NOT NEEDED FOR NEW CONSTRUCTION SHALL BE DEMOLISHED AND PATCHED WITH NEW SHEATHING TO MATCH EXISTING.
2	DEMO ALL PIPE PENETRATIONS, GUTTER SYSTEMS, AND ROOF JACKS. PROVIDE TEMPORARY PATCH. DEMO EXISTING FOAM ROOF SYSTEM DOWN TO ROOF SHEATHING INCLUDING DRIP EDGE FLASHING. DEMO AND REPLACE ANY SHEATHING THAT IS COMPROMISED OR DAMAGED WITH NEW SHEATHING TO MATCH EXISTING. ANY EXISTING PENETRATIONS NOT NEEDED FOR NEW CONSTRUCTION SHALL BE DEMOLISHED AND CLOSED WITH NEW SHEATHING TO MATCH EXISTING.
3	EXISTING METAL PANEL FASCIA TO REMAIN. PROTECT IN PLACE AND PREP FOR NEW PAINT. REF SPEC.
4	UTILIZE SELECTIVE DEMO PROCESSES IN THIS AREA TO ALLOW NEW CONSTRUCTION ELEMENTS SUCH AS PATTERS AND FASCIA TO BE EASIER TO INTERFACE. NOT IN CONTRACT - FUTURE PHASE BY OTHERS. (1)
5	ALL EXISTING ROOF EQUIPMENT TO BE REMOVED. PROVIDE TEMPORARY PATCH. (1)
6	DEMO EXISTING ROOF CURB. INFILL DECK PER STRUCTURAL DRAWINGS.

FOOTNOTES:  
(1) NOT-IN-CONTRACT. THIS ITEM WAS REMOVED IN A PREVIOUS PHASE. THIS IS SHOWN FOR INFORMATION ONLY.

Roof Demo Legend	
	ROOF SHINGLES DEMO. NOT IN CONTRACT - FUTURE PHASE BY OTHERS.
	ROOF FOAM DEMO. NOT IN CONTRACT - FUTURE PHASE BY OTHERS.

HAZARDOUS MATERIALS HAVE BEEN DETECTED AT VARIOUS LOCATIONS AND ELEMENTS WITHIN THE EXISTING STRUCTURE, INCLUDING ELEMENTS PLANNED FOR REMOVAL OR DISTURBANCE, ACCORDING TO TESTING CONDUCTED BY THE OWNER'S CONSULTANT. WORK ASSOCIATED WITH HAZARDOUS MATERIALS IS OUTSIDE OF THE SCOPE OF THE ARCHITECT'S CONSTRUCTION DOCUMENTS (INCLUDING DEMO AND NEW CONSTRUCTION DRAWINGS AND SPECIFICATIONS BY GOULD EVANS AND THEIR CONSULTANTS). REFER TO "ASBESTOS AND LEAD PAINT ABATEMENT TECHNICAL SPECIFICATIONS" AND ANY ASSOCIATED DOCUMENTS AND INFORMATION PREPARED BY THE OWNERS ENVIRONMENTAL CONSULTANT, ADAMS AND WENDT. COORDINATE WITH THE ABATEMENT CONTRACTORS AND ENSURE ALL HAZARDOUS MATERIALS HAVE BEEN PROPERLY ABATED PRIOR TO COMMENCING ANY WORK ASSOCIATED WITH THESE DEMOLITION/CONSTRUCTION DOCUMENTS.

ENVIRONMENTAL CONSULTANT:  
ADAMS AND WENDT  
INC, 461 NORTH GILBERT ROAD, MESA, ARIZONA 85203  
PHONE 480.924.7144

- General Notes (Demolition):
- THIS DEMOLITION PLAN OUTLINES THE SCOPE OF THE WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL ALSO REFER TO THE DRAWINGS FOR THE CONSTRUCTION OF THE NEW ADDITION FOR ADDITIONAL INFORMATION.
  - EXISTING CONDITIONS INFORMATION WAS OBTAINED FROM DOCUMENTS AND INFORMATION SUPPLIED TO THE ARCHITECT. THE CONTRACTOR IS TO VERIFY EXACT LOCATIONS, SIZES, ELEVATIONS, ETC. AND REPORT ANY DISCREPANCIES TO THE ARCHITECT
  - IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED STOP WORK IMMEDIATELY AND NOTIFY OWNER. DO NOT RESUME WORK UNTIL DIRECTED BY THE OWNER.
  - ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
  - REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN ON SITE, THE CONTRACTOR SHALL REPAIR THE DAMAGE.
  - CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO DEMOLITION ACTIVITIES.
  - CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION NOTED TO REMAIN FROM DAMAGE AND SOILING DURING DEMOLITION. REMOVE DEBRIS REGULARLY AS NECESSARY TO ELIMINATED INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
  - CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND NOISE PROOF PARTITION BETWEEN CONSTRUCTION AREA AND ADJACENT PROPERTIES AS NECESSARY
  - NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. THAT ARE TO BE REMOVED THAT ARE DEEMED SALVAGEABLE TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD CONDITION.
  - ALL DEMOLITION MATERIALS NOT CLAIMED BY THE OWNER, OR TO BE REUSED ARE TO BE DISPOSED OF OFF SITE AS PER LOCAL WASTE DISPOSAL REGULATIONS AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
  - MAINTAIN THE INTEGRITY OF ALL EXISTING RATED WALLS, FIRE SEAL ANY PENETRATIONS WITH U.L. APPROVED ASSEMBLY.
  - WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, DETERMINE THE NATURE AND EXTENT OF THE CONFLICT AND NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
  - PROTECT EXISTING SITE IMPROVEMENTS AND LANDSCAPING TO REMAIN. INCLUDING BUT NOT LIMITED TO EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
  - CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES AS NECESSARY TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AND AS REQUIRED BY THE CITY.
  - DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO GOVERNING AUTHORITIES.
  - WHEN UTILITY SERVICES ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE BYPASS CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICE BEFORE PROCEEDING WITH DEMOLITION.
  - CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT WITH ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THOSE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
  - CONTRACTOR TO PATCH/REPAIR ALL HOLES IN WALLS, FLOORS, &/ OR CEILINGS, AS REQUIRED. PAINT TO MATCH ADJACENT WALL/CEILING.
  - CONTRACTOR TO RE-LOCATE UTILITIES & EQUIPMENT AS REQUIRED TO ACCOMMODATE NEW HVAC, ELECTRICAL & PLUMBING REQUIREMENTS FOR NEW RENOVATION WORK.
  - REFER TO DEMOLITION PLUMBING PLANS FOR EXTENT OF CONCRETE SLAB TO BE REMOVED AND REPLACED FOR UNDER FLOOR PIPING INSTALLATION.
  - FILL ALL EXISTING FLOOR AND WALL PENETRATIONS RESULTING FROM PIPING AND CONDUIT REMOVAL WITH NON-SHRINK GROUT, READY TO RECEIVE FINAL FLOOR OR WALL FINISH.
  - EXISTING WALLS (OR PORTIONS OF WALLS) TO BE REMOVED SHALL BE CUT FLUSH WHERE INTERSECTING WITH WALLS TO REMAIN. REMAINING WALLS TO BE PATCHED AND FINISHED SMOOTH.
  - REPAIR FLOOR AS REQUIRED TO ACHIEVE A FLUSH CONDITION.
  - NEW OPENING TO BE CUT IN EXISTING WALLS SHALL BE SAW-CUT AT LOCATIONS INDICATED TO THE HEIGHT AND WIDTH INDICATED. NEW LINTELS SHALL BE INSTALLED TO SUPPORT EXISTING WALL CONSTRUCTION ABOVE AS INDICATED ON THE DRAWINGS, OR IF NOT INDICATED, AS REQUIRED FOR NEW WALL CONSTRUCTION PER STRUCTURAL DRAWINGS.
  - WHERE EXISTING INTERIOR WALLS ARE REPLACED OR REMOVED, REMOVE MEP SYSTEMS BACK TO PANEL OR MECHANICAL ROOM OR FARTHEST POSSIBLE POINT WITHOUT DISTURBING EXISTING CONSTRUCTION. REMOVE EXISTING MECHANICAL EQUIPMENT, RELOCATE POWER PER MEP DRAWINGS
  - REFER TO MEP DRAWINGS FOR DEMOLITION OF MEP SYSTEMS TO IDENTIFY WORK REQUIRED BY THIS CONTRACTOR WHICH MAY AFFECT DEMOLITION AND/OR REPAIRS OF ARCHITECTURAL ELEMENTS. COORDINATE WITH RELATED SUBS THE EXTENT OF ALL DEMOLITION WORK.
  - PATCH FLOORS, WALLS CEILINGS WHICH REMAIN AT LOCATIONS WHERE PIPES, CONDUITS, ETC. ARE REMOVED AS REQUIRED TO MATCH EXISTING CONDITIONS OR FOR NEW FINISHES.
  - WHERE EXISTING FINISH FLOOR IS REMOVED, PREPARE SURFACE TO RECEIVE NEW FLOORING
  - REMOVE ANY EXISTING VINYL MATERIALS IN ACCORDANCE WITH EPA STANDARDS, NOTIFY ARCHITECT & OWNER OF ANY ADDITIONAL ASBESTOS CONTAINING MATERIALS DISCOVERED BEFORE PROCEEDING WITH WORK. PROTECT INTERIOR CONSTRUCTION TO REMAIN DURING DEMOLITION AND CONSTRUCTION.

# multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
**City of Phoenix**  
200 W. Washington Street  
Phoenix, AZ 85003  
602.258.2773  
www.phoenix.gov

architect:  
**Multistudio**  
1215 South 3rd Street #200  
Tempe, AZ 85282  
602.224.1440  
multistudio

historic preservation:  
**Ryden Architects**  
802 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5361  
www.rydenarchitects.com

structural engineer:  
**BDA design**  
7047 E. Greenway Plaza #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaengine.com

civil engineer:  
**Wilson & Company**  
420 N. 4th Street Suite 400  
Phoenix, AZ 85008  
602.258.2773  
www.wilsonco.com

mechanical engineer:  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.964.3070  
www.appliedengineering.com

landscape architect:  
**Floor Associates**  
1425 N. 1st Street #1007  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

food service:  
**Design-Tec Food Facilities**  
8344 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

REVISIONS		
Number	DESCRIPTION	DATE
1	Delta 1 - COP 1st Review Comments	03/12/2023
4	Phase 1 Demo Scope Revision	05/12/2023

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

Demolition - Roof Plan

# AD111

BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	7	117

PRINT DATE/TIME: 7/1/2024 9:51:28 AM

DEMOLITION ROOF PLAN A3  
1/8" = 1'-0"

0' 4' 8' 16'

Q.S.11-131  
AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION



EDISON  
IMPACT HUB  
CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner: <b>City of Phoenix</b> 200 W. Washington Street Phoenix, AZ 85003 602.262.6011 <a href="http://www.phoenix.gov">www.phoenix.gov</a>	civil engineer: <b>Wilson &amp; Company</b> 410 N 44th Street Suite 460 Phoenix, AZ 85008 602.283.2701 <a href="http://www.wilsonco.com">www.wilsonco.com</a>
---	--

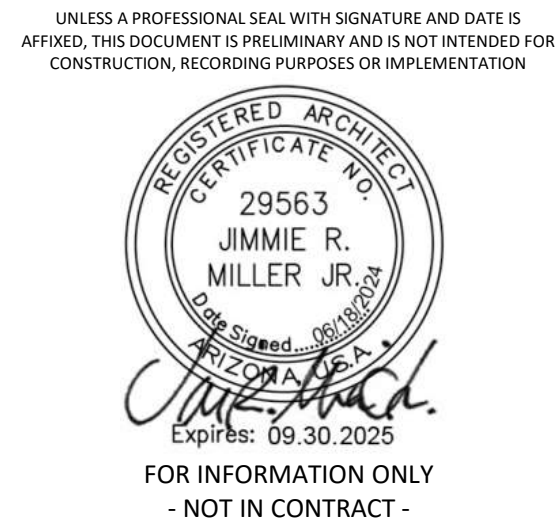
architect:  
**Multistudio**  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

mechanical engineer:  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

historic preservation: **Ryden Architects**  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
[www.rydenarchitects.com](http://www.rydenarchitects.com)

structural engineer: <b>BDA design</b> 7047 E. Greenway Pkwy #250 Scottsdale, AZ 85254 480.398.7729 <a href="http://www.bdadesign.com">www.bdadesign.com</a>	food service: <b>Design-Tec Food Facilities</b> 8346 N. 5th Street Phoenix, AZ 85020 602.273.0222
---	---

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.



REVISIONS		
Number	DESCRIPTION	DATE
4	Phase 1 Demo Scope Revision	05/12/200

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

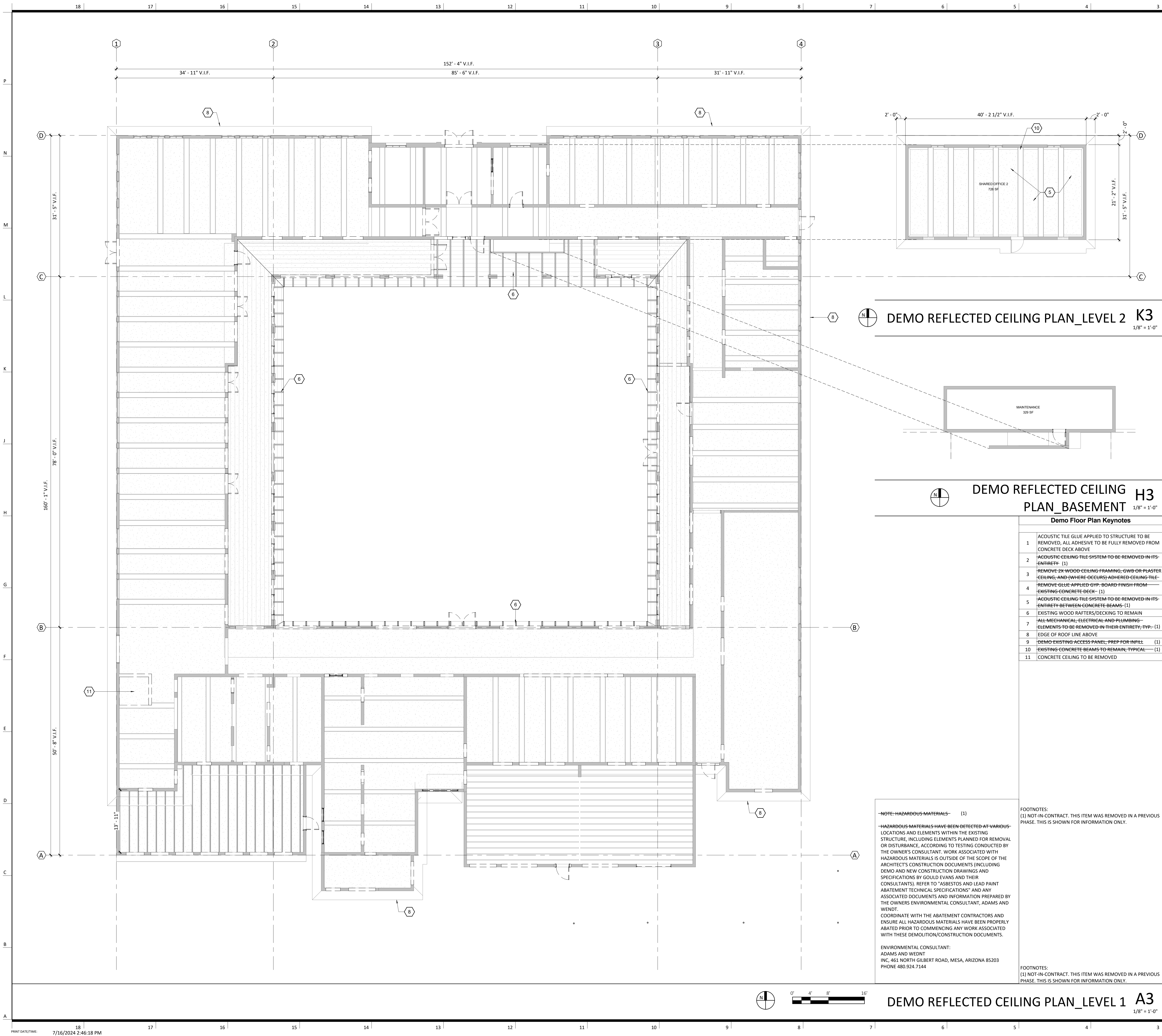
### Demolition Reflected Ceiling Plan

# AD151

---

BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	8	117



AH20300003-2 : EDISON IMPACT HUB CONSTRUCTION. Q.S.11-31





NOTE: PHOTOGRAPHS OF EXISTING CONDITIONS ARE PROVIDED TO HIGHLIGHT CERTAIN ELEMENTS AND SERVE AS A SUPPLEMENT TO OTHER DRAWINGS IN THIS SET. NOT ALL ELEMENTS REQUIRING DEMOLITION ARE NOTED. REFER TO ALL DRAWINGS AND SPECS FOR FULL DEMO SCOPE.

Demo Floor Plan Keynotes		
REMOVE THE FOLLOWING:		
1	REMOVE ELEMENT ON WALL OR EAVE PATCH/REPAIR- AS REQUIRED TO ACHIEVE A SMOOTH, UNIFORM SURFACE- COORDINATE REMOVAL OF MEP UTILITIES- WITH MEP DEMO DRAWINGS AND SPECS AND SUBCONTRACTORS- (1)	
2	WINDOW DEMOLITION SCOPE AT STREET FACING HISTORIC WINDOWS; REFER TO OWNER'S HAZARDOUS MATERIALS REPORT; ABATE LEAD PAINT AS REQUIRED. REMOVE WINDOW SCREEN, GLAZING, REMOVE PAINT FINISH/COATINGS DOWN TO METAL FRAME. NOT IN CONTRACT	
3	WINDOW DEMOLITION SCOPE AT OTHER WINDOWS; REMOVE WINDOW IN ITS ENTIRETY, INCLUDING GLAZING, FRAMES, SCREENS, ETC.	
4	DOOR AND FRAME.	
5	RAILING- (1)	
6	STRUCTURE, BUILDING, CANOPY, ETC- (1)	
7	SITE FEATURE, RAMP, CURB, PAVING, ETC- (1)	
9	MEP EQUIPMENT- COORDINATE REMOVAL OF MEP UTILITIES WITH MEP DEMO DRAWINGS AND SPECS AND SUBCONTRACTORS- REMOVE ALL ASSOCIATED CONSTRUCTIONS, EQUIPMENT PADS, ETC- (1)	
10	REMOVE WINDOW, REPAIR/REP EXISTING OPENING FOR NEW REPUCA WINDOW.	

Hatch Demo Legend	
	-Structure Demolition- (1)

FOOTNOTES:  
(1) NOT-IN-CONTRACT. THIS ITEM WAS REMOVED IN A PREVIOUS PHASE. THIS IS SHOWN FOR INFORMATION ONLY.

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
420 W. Washington Street  
Phoenix, AZ 85003  
602.388.2773  
www.phoenix.gov

architect:  
Multistudio  
1111 South 3rd Street #200  
Phoenix, AZ 85004  
602.234.1140  
multistudio

mechanical engineer:  
Wilson & Company  
420 W. Washington Street  
Phoenix, AZ 85003  
602.388.2773  
www.wilsonco.com

historic preservation:  
Ryden Architects  
802 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

landscape architect:  
Floor Associates  
1415 N. 1st Street #100  
Phoenix, AZ 85004  
602.462.1415  
www.floorassociates.com

structural engineer:  
BDA design  
7047 E. Greenway Plaza #250  
Scottsdale, AZ 85254  
480.318.7729  
www.bdaesign.com

food service:  
Design-Tec Food Facilities  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR BAPPLEMENTATION



REVISIONS		
Number	DESCRIPTION	DATE
4	Phase 2 Demo Scope Revision	09/12/2023

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

Demolition Details

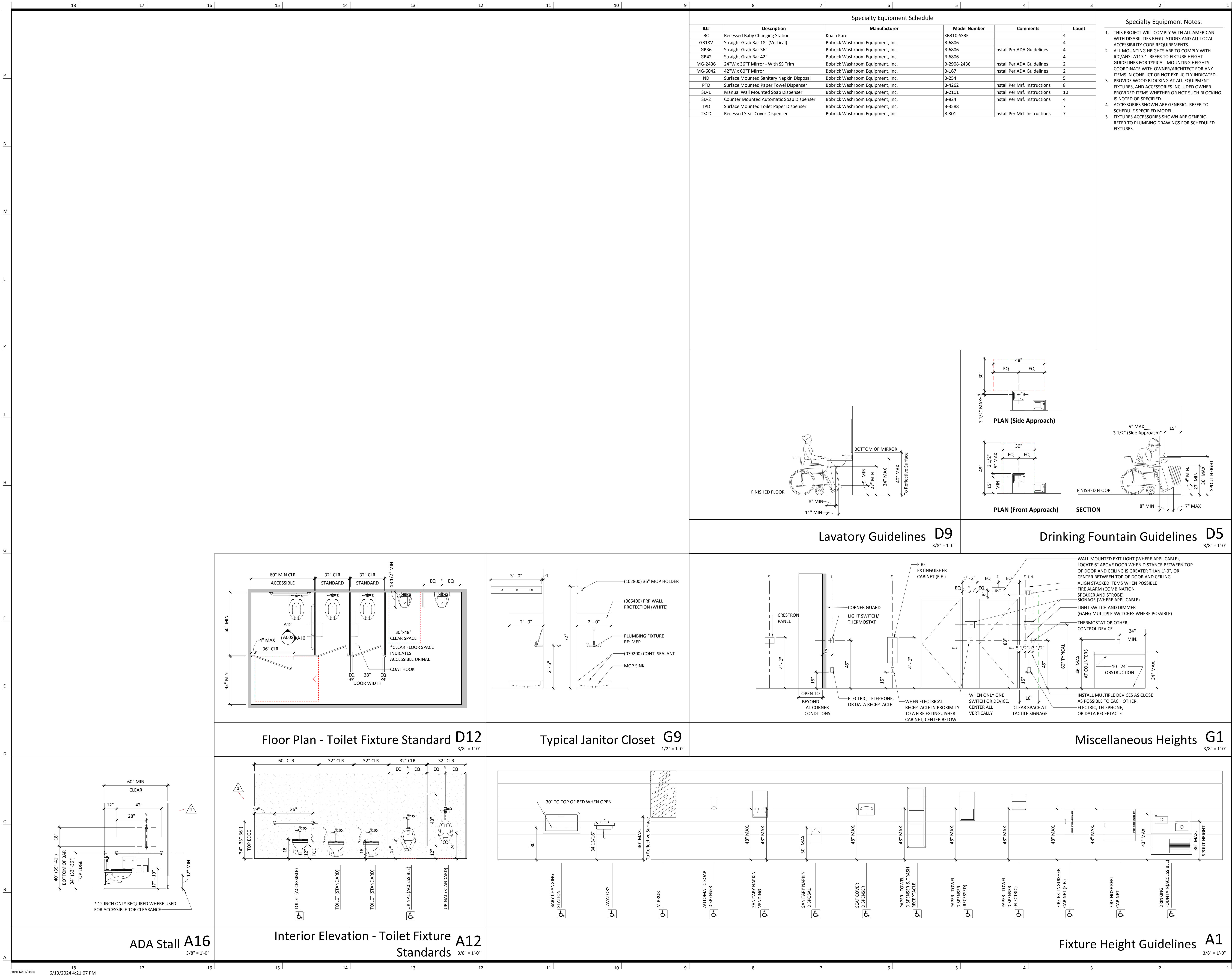
AD191

BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	9	117

AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION, Q.S.11-31





# multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

**owner:**  
City of Phoenix  
420 W. Washington Street  
Phoenix, AZ 85003  
602.263.2713  
www.phoenix.gov

**civil engineer:**  
Wilson & Company  
420 W. Washington Suite 400  
Phoenix, AZ 85008  
602.263.2713  
www.wilsonco.com

**architect:**  
Multistudio  
121 South 3rd Street #200  
Tempe, AZ 85281  
602.234.1440  
multistudio.com

**mechanical engineer:**  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85281  
480.968.3070  
www.appliedengineering.com

**historic preservation:**  
Ryden Architects  
402 W. McDowell Road  
Scottsdale, AZ 85254  
602.253.5381  
www.rydenarchitects.com

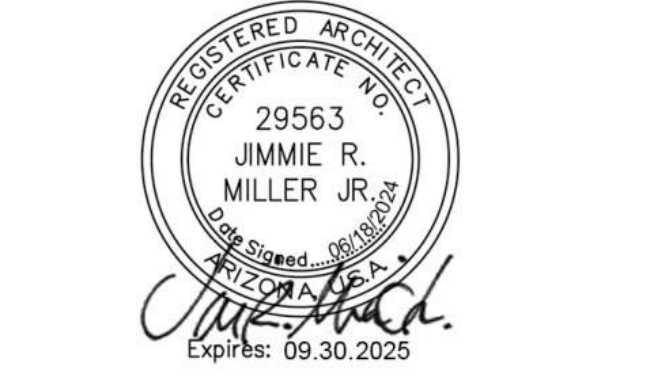
**landscape architect:**  
Floor Associates  
1457 N. 1st Street #1007  
Phoenix, AZ 85004  
602.462.1457  
www.floorassociates.com

**structural engineer:**  
BDA design  
7047 E. Greenway Plaza #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaesign.com

**food service:**  
Design-Tec Food Facilities  
8344 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR REPRESENTATION.



REVISIONS		
Number	DESCRIPTION	DATE
1	Delta 1 - COP 1st Review Comments	03/25/2023

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

Accessibility Standards

## A002

BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	10	117

AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION. Q.S.11-31



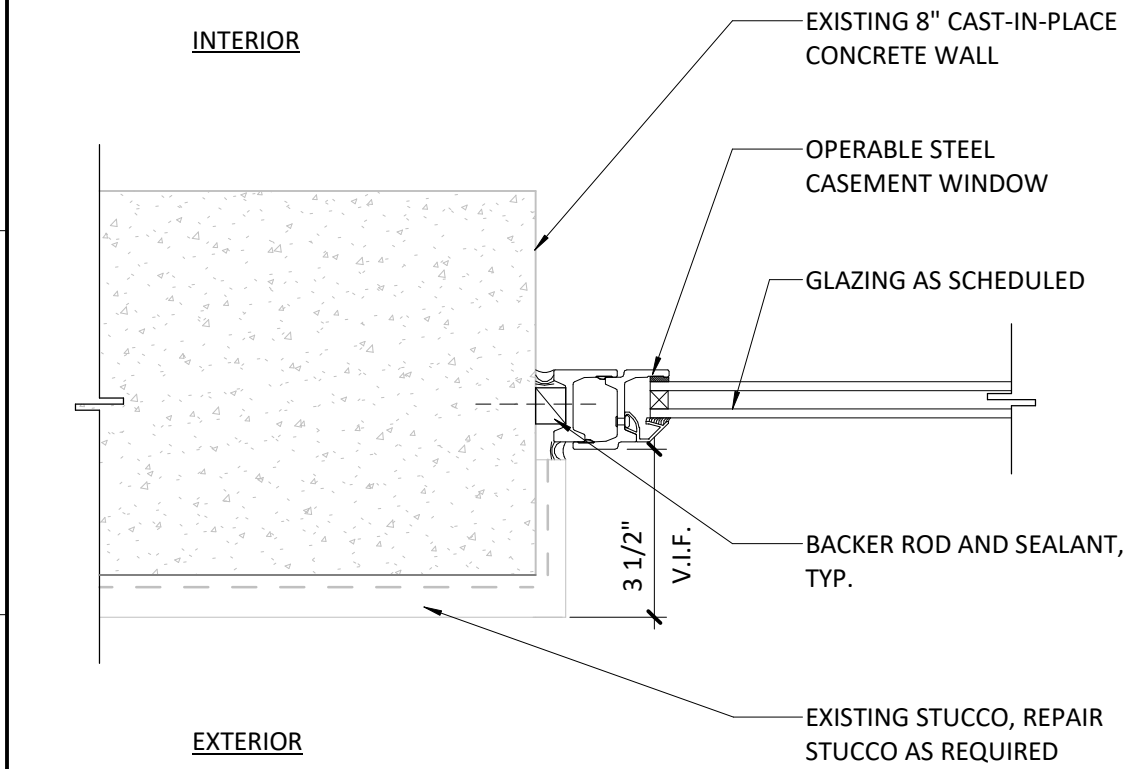
Window Schedule (Exterior)									
Mark	Material / Finish	Size		Configuration	Operation	Details		Comments	Count
		Width	Height			Jamb Detail	Head/Sill Detail		
A	STEEL / GLASS	3'-0"	5'-2"	10-LITE, COLONIAL	CASEMENT W/ TRANSOM	L3/A030	E3/A030	EXISTING TO BE REPAIRED	21
B	STEEL / GLASS	9'-2"	6'-0"	MUNTIN PATTERN: 3x6 / 3x6, COLONIAL	CASEMENT W/ TRANSOM	H16/A030	E6/A030	NEW	4
C	STEEL / GLASS	4'-7"	5'-2"	15-LITE, COLONIAL	CASEMENT W/ TRANSOM	L3/A030	E3/A030	EXISTING TO BE REPAIRED	2
D	STEEL / GLASS	4'-0"	4'-0"	12-LITE, COLONIAL	CASEMENT W/ TRANSOM	L3/A030	E3/A030	EXISTING TO BE REPAIRED	4
D.1	STEEL / GLASS	4'-0"	4'-0"	MUNTIN PATTERN: 3x4, COLONIAL	CASEMENT W/ TRANSOM	L6/A030	E9/A030	NEW	7
E	STEEL / GLASS	4'-7"	4'-3"	12-LITE, COLONIAL	CASEMENT W/ TRANSOM	L3/A030	E3/A030	EXISTING TO BE REPAIRED	5
E.1	STEEL / GLASS	4'-7"	4'-3"	MUNTIN PATTERN: 3x4, COLONIAL	CASEMENT W/ TRANSOM	H16/A030	E6/A030	NEW	3
F	STEEL / GLASS	3'-0"	2'-0"	12-LITE, COLONIAL	CASEMENT	L3/A030	E3/A030	EXISTING TO BE REPAIRED	1
G	STEEL / GLASS	4'-0"	2'-0"	MUNTIN PATTERN: 2x2, COLONIAL	CASEMENT	L3/A030	E3/A030	EXISTING TO BE REPAIRED	1
H	STEEL / GLASS	4'-7"	3'-2"	12-LITE, COLONIAL	CASEMENT W/ TRANSOM	L3/A030	E3/A030	EXISTING TO BE REPAIRED	4
J	STEEL / GLASS	6'-0"	2'-0"	2-LITE	FIXED W/ SLIDING	L6/A030	E9/A030	NEW	2
K	STEEL / GLASS	8'-0"	2'-0"	3-LITE	FIXED W/ SLIDING	L6/A030	E9/A030	NEW	2
L	STEEL / GLASS	2'-6"	4'-0"	MUNTIN PATTERN: 2x6, COLONIAL	CASEMENT W/ TRANSOM	E16/A030	E13/A030	NEW	2
M	STEEL / GLASS	4'-6"	5'-3"	MUNTIN PATTERN: 3x5, COLONIAL	CASEMENT W/ TRANSOM	H16/A030	E6/A030	NEW	9
N	STEEL / GLASS	3'-0"	2'-0"	MUNTIN PATTERN: 2x1, COLONIAL	CASEMENT	E16/A030	E13/A030	NEW	2
P	STEEL / GLASS	4'-6"	4'-3"	12-LITE, COLONIAL	CASEMENT W/ TRANSOM	L3/A030	E3/A030	EXISTING TO BE REPAIRED	11
P.1	STEEL / GLASS	4'-6"	4'-3"	MUNTIN PATTERN: 3x4, COLONIAL	CASEMENT W/ TRANSOM	H16/A030	E6/A030	NEW	9

\* "REPAIRED" WINDOW SYSTEMS ARE TO BE REHABILITATED AND WILL RECEIVE GLASS REPLACEMENT PANES THROUGHOUT WITH 3/8" GLASS, (SEE GLASS TYPES). STEEL FRAMES ARE TO BE SANDED, CLEANED AND REPAINTED. POTENTIAL ABATEMENT OF LBP WILL NEED TO BE PERFORMED.

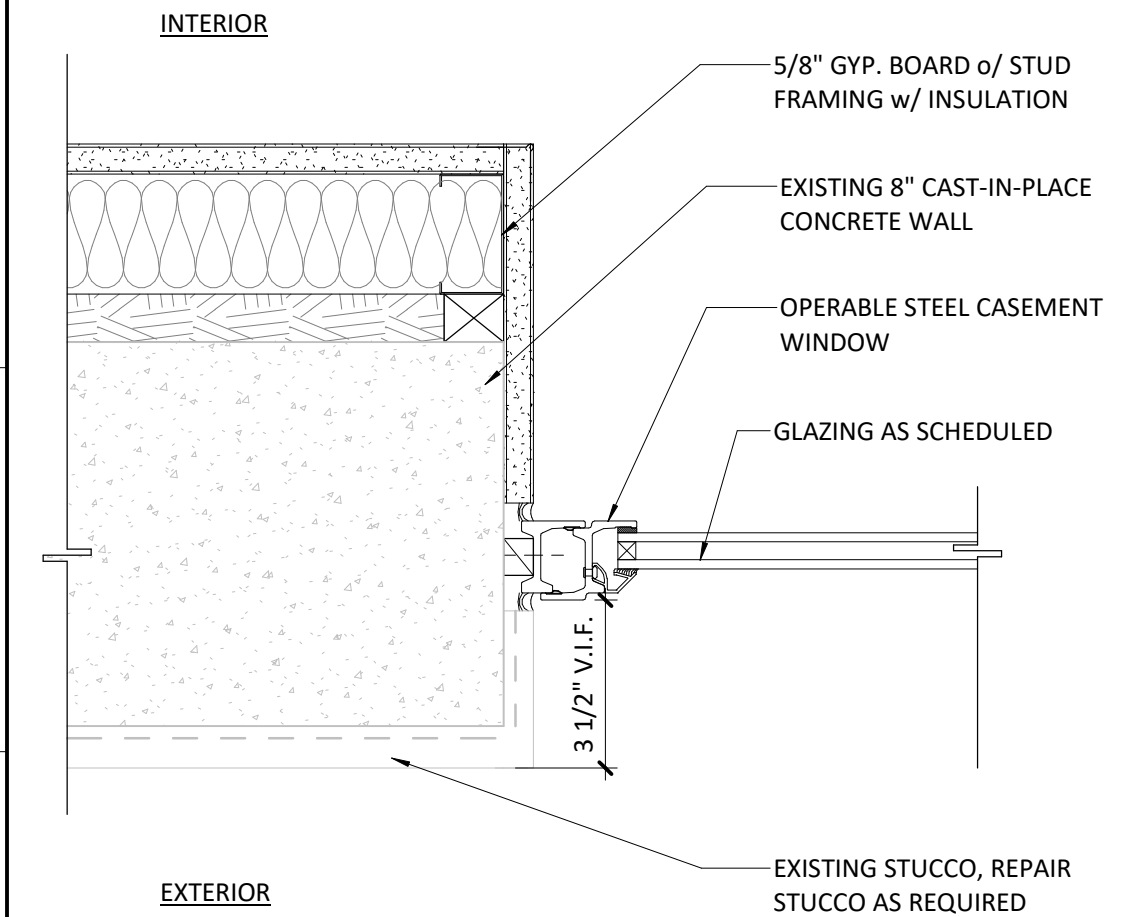
\*\*"REPLACED" WINDOW SYSTEMS ARE NEW AND WILL RECEIVE ALL NEW HISTORIC REPLICA FRAMES AND INSULATED GLASS PANES IN EXISTING OPENINGS.

\*ALL "REPAIRED" WINDOW SYSTEMS ARE TO HAVE REPLACEMENT HARDWARE/HAND-CRANK OPENING SYSTEMS CONSISTENT WITH THE ORIGINAL GLAZING SYSTEMS.

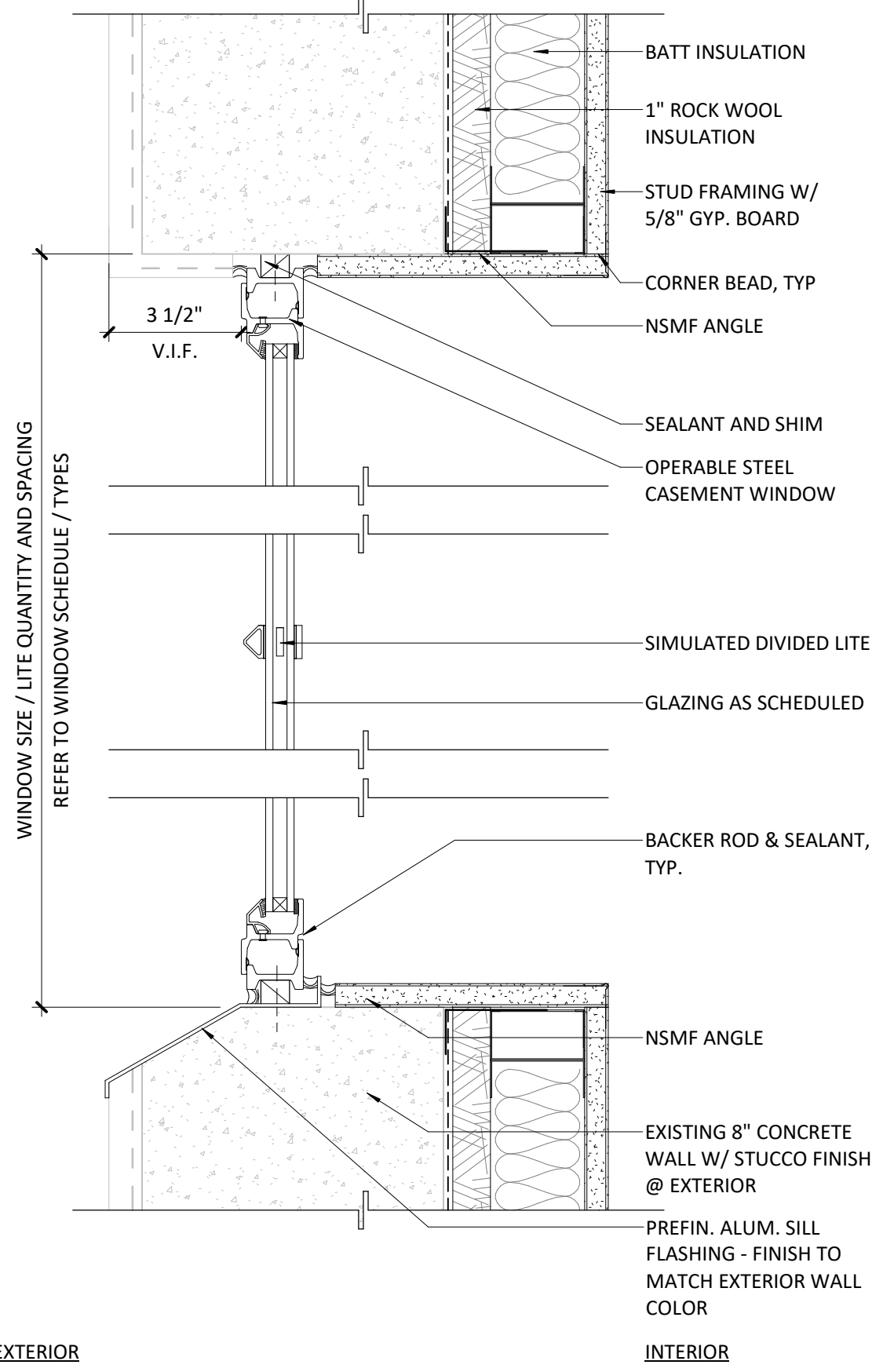
\* FOR WINDOWS INDICATED AS "NEW" FURNISH AND INSTALL PER SPECIFICATIONS SECTION 08 51.23.13. BASIS OF DESIGN IS TORRENCE STEEL WINDOW COMPANY CENTURY 2000 SERIES WINDOWS OR APPROVED COMPARABLE PRODUCT



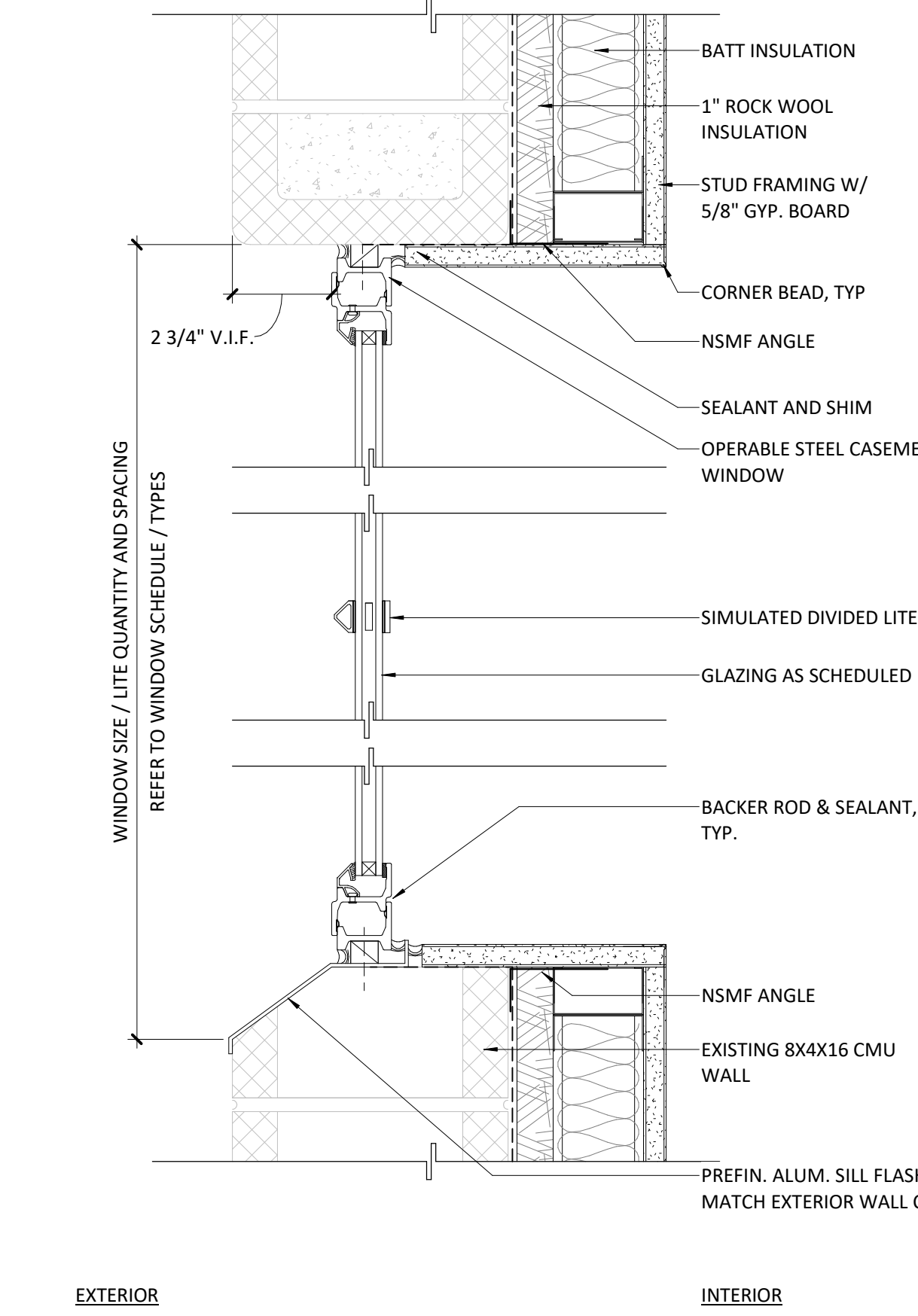
Window Jamb Detail @ CIP Wall H16 Wall 3' x 1'-0"



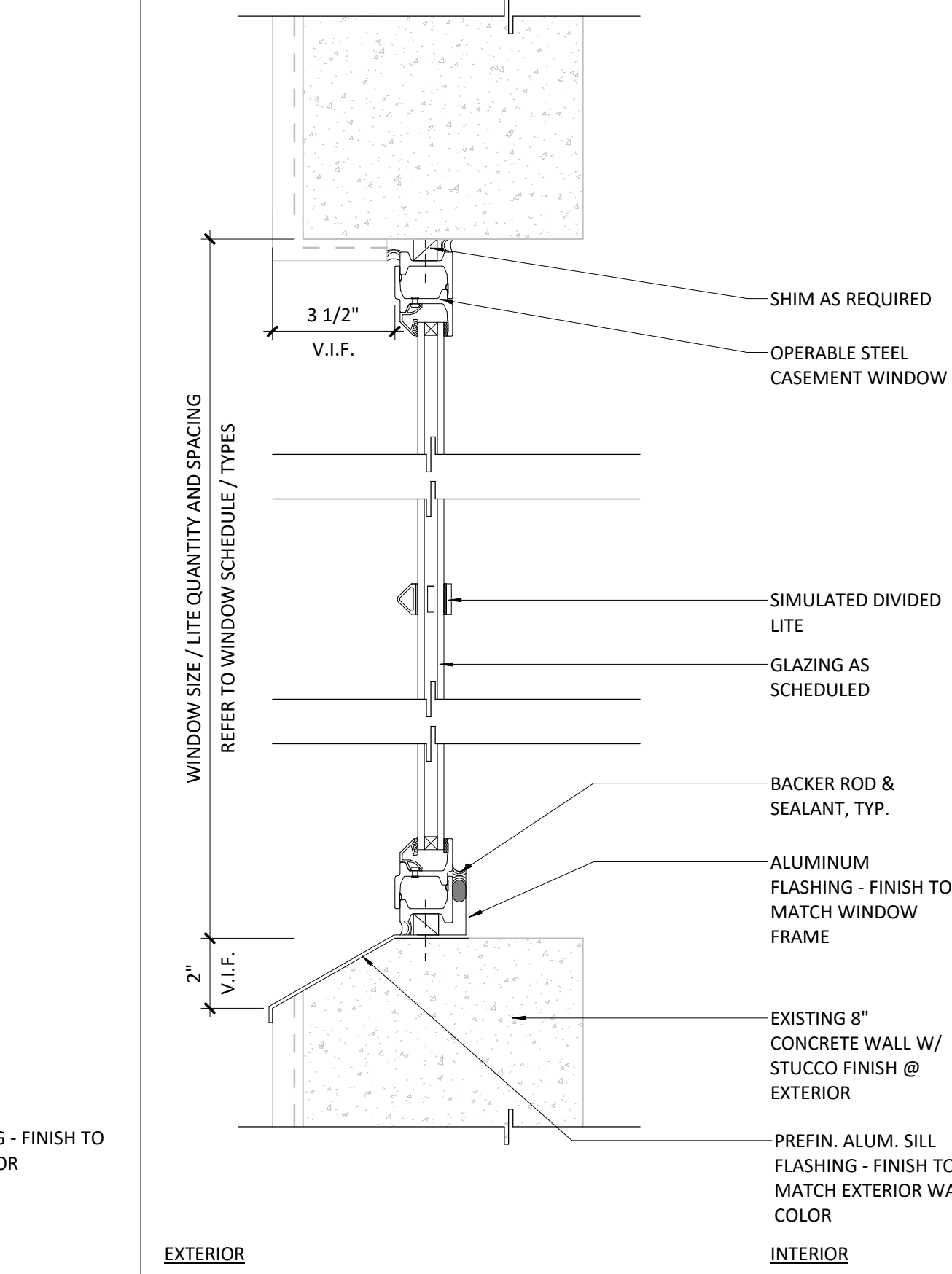
Window Jamb Detail @ E16 Furred CIP Wall 3' x 1'-0"



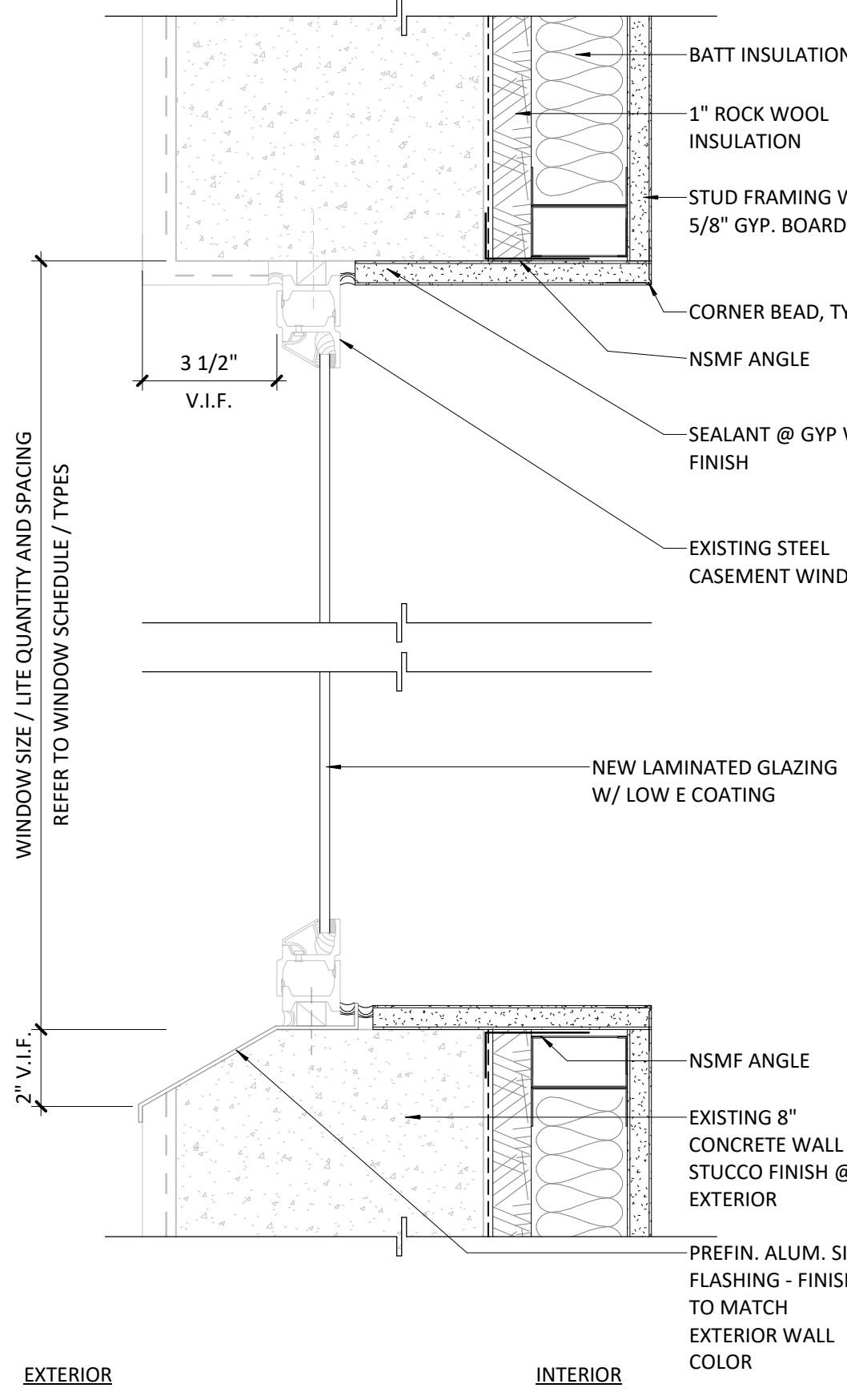
Window Head/Sill Detail @ E13 Furred CIP Wall 3' x 1'-0"



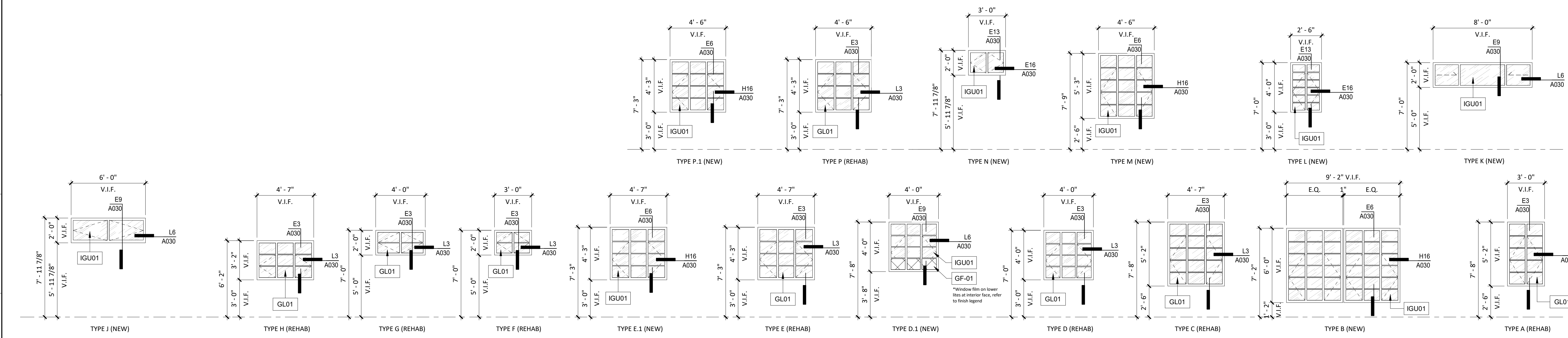
Window Head/Sill Detail @ Furred CMU Wall E9 3' x 1'-0"



Window Head/Sill Detail @ CIP Wall E6 3' x 1'-0"



Window Head/Sill Detail - Existing Window E3 3' x 1'-0"



Window Types (Exterior) A3 1/4" x 1'-0"

- General Notes (Windows):
- ALL EXTERIOR GLAZING SHALL BE SCHEDULED IN PROJECT MANUAL.
  - CONTRACTOR TO COORDINATE SILL HEIGHTS AND VERIFY ALL CORNER CONDITIONS WITH ELEVATIONS AND WALL SECTIONS.
  - CONTRACTOR TO VERIFY ALL WINDOW COUNTS AND TYPES.
  - PROVIDE SAFETY GLAZING IN ALL OPERABLE OR FIXED PANELS WHERE REQUIRED.

Window Jamb Detail @ L6 Furred CMU Wall 3' x 1'-0"

Window Jamb Detail @ L3 Existing Window 3' x 1'-0"

Glazing Schedule - Basic	
Mark	Description
GL01	3/8" CLEAR Laminated_Low-E coating
GL02	3/8" CLEAR (Tempered) Monolithic
IGU01	5/8" INSULATED GLASS (Tempered)_Low-E coating
IGU02	1" INSULATED GLASS (ULTRACLEAR)

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON  
IMPACT HUB  
CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
430 W. Washington Street  
Phoenix, AZ 85003  
602.253.2173  
www.phoenix.gov

architect:  
Multistudio  
121 South 3rd Street #200  
Phoenix, AZ 85004  
602.253.5361  
multistudio

mechanical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

historic preservation:  
Ryden Architects  
402 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5361  
www.rydenarchitects.com

landscape architect:  
Floor Associates  
1415 N. 1st Street #1007  
Phoenix, AZ 85004  
602.462.1415  
www.floorassociates.com

structural engineer:  
BDA design  
7047 E. Greenway Plaza #250  
Scottsdale, AZ 85254  
480.318.7729  
www.bdaengine.com

food service:  
Design-Tec Food Facilities  
8344 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.



REVISIONS		
Number	DESCRIPTION	DATE
1	Delta 1 - CIP 1st Review Comments	03/15/2023

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

Exterior Window  
Schedule, Types &  
Details

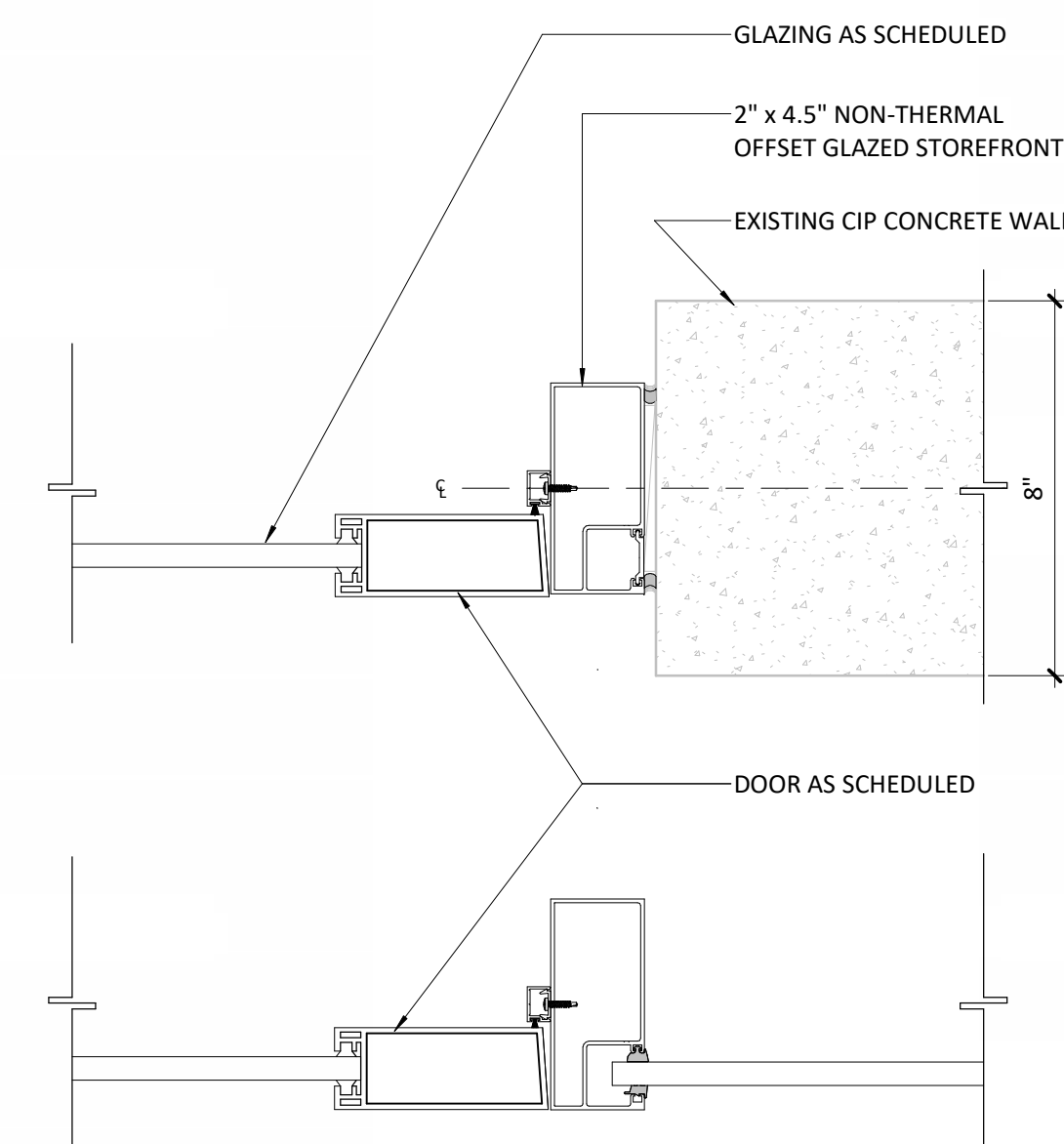
A030  
BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	11	117



### Glazing Schedule - Basic

Mark	Description
GL01	3/8" CLEAR Laminated_Low-E coating
GL02	3/8" CLEAR (Tempered) Monolithic
IGU01	5/8" INSULATED GLASS (Tempered)_Low-E coating
IGU02	1" INSULATED GLASS (ULTRACLEAR)



Storefront Door Jamb @ CIP Concrete Wall J3  
3" = 1'-0"

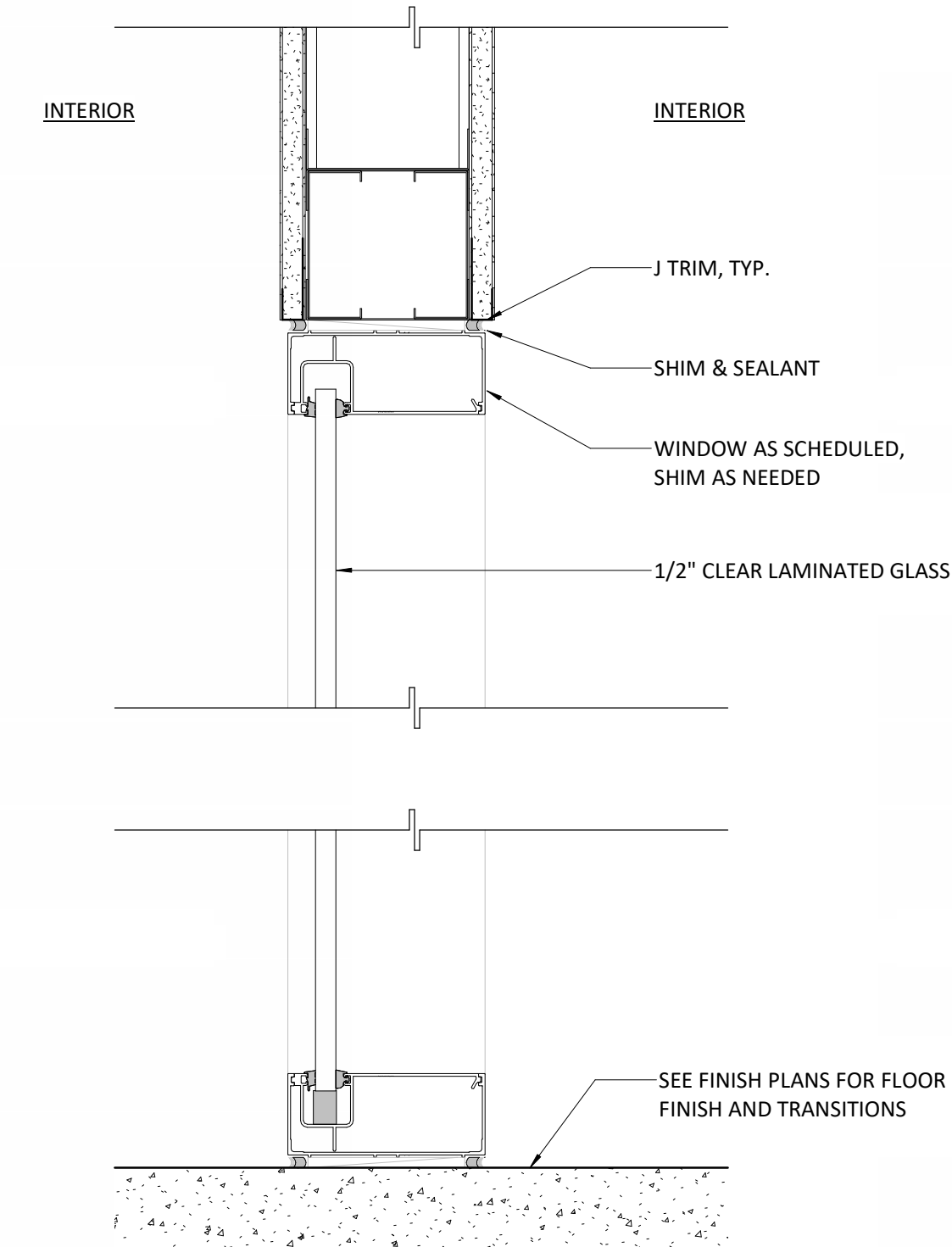
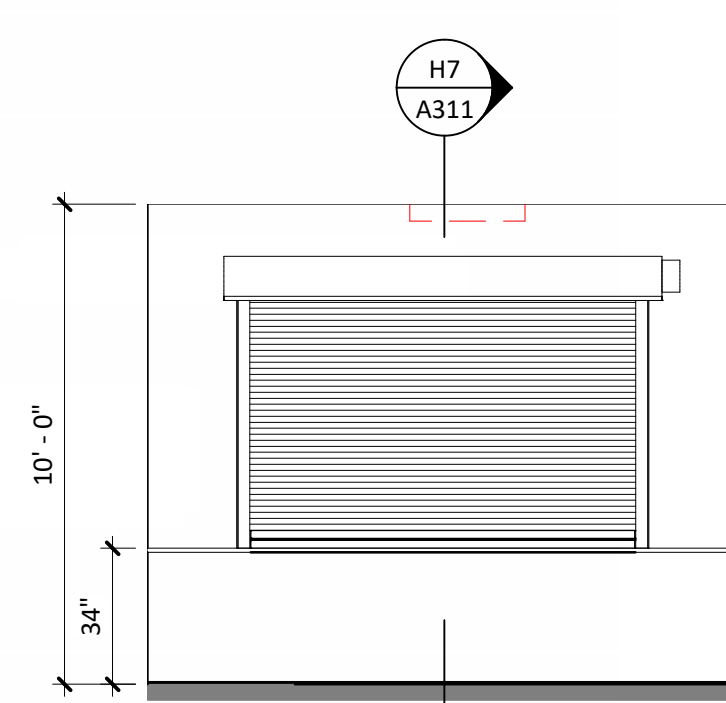
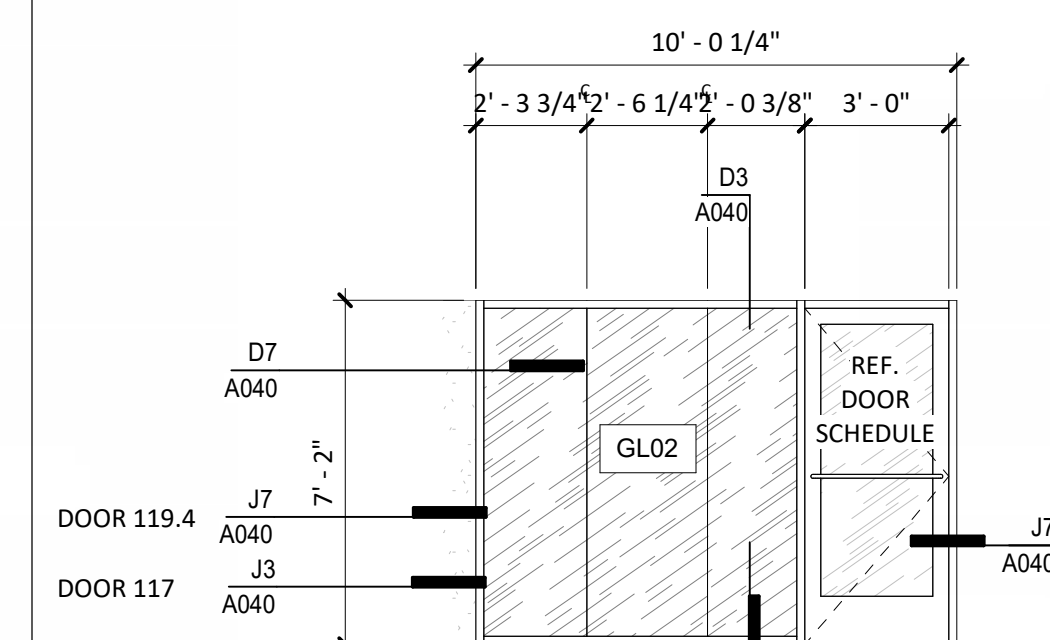


Diagram illustrating the assembly of a window unit, showing the sealant and the 1/2" CLEAR LAMINATED GLASS. The sealant is applied to the edge of the glass, and the maximum thickness of the sealant is indicated as 3/8" max.



Reception Desk (from Office) **D11**  
1/4" = 1'-0"

Storefront Head/Sill Typ. **D3**  
3" = 1'-0"

Type Q1 A3  
1/4" = 1'-0"

REGISTERED ARCHITECT  
 CERTIFICATE NO.  
 29563  
 JIMMIE R.  
 MILLER JR.  
 Date Signed: 08/18/2024  
 ARIZONA, U.S.A.  
 Expires: 09.30.2025

REVISIONS		
Number	DESCRIPTION	DATE

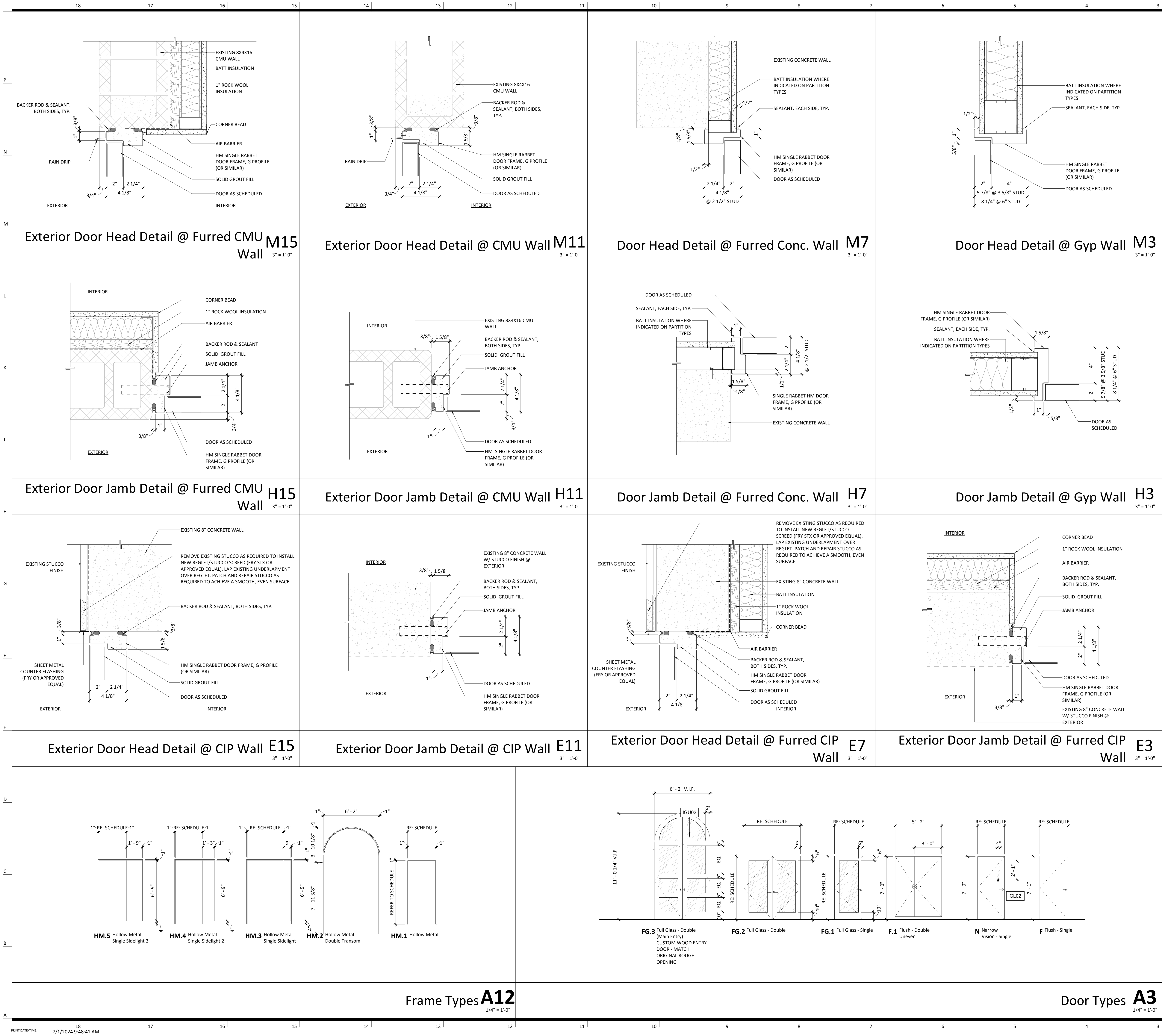
PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

A040

BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	12	117





**General Notes (Door Schedule):**

- THRESHOLDS SHALL COMPLY WITH ACCESSIBILITY REGULATIONS.
- ALL DOOR FRAMES ARE TO BE WELDED.
- EDGE CLEARANCES IN ACCORDANCE WITH AWI QUALITY STANDARDS.
- DOORS LOCATED IN CORNERS ARE TO HAVE THE INSIDE FACE OF JAMB LOCATED 4 INCHES FROM THE ADJACENT WALL FINISH (8 INCHES IN MASONRY WALLS) UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING AT ALL WALL MOUNTED DOOR STOPS.
- GLAZING STOPS IN WOOD DOORS: SAME SPECIES AS DOOR FACE, MITERED CORNERS, CONCEALED FASTENERS.
- FACTORY FINISH WOOD DOORS.
- ALL EXIT DOORS SHALL BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT AND SHALL BE LABELED "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS." THIS SIGN SHALL BE IN LETTERS NOT LESS THAN ONE INCH HIGH ON A CONTRASTING BACKGROUND. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE, MANUALLY OPERATED. FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED. DOORS LOCATED IN CORNERS ARE TO HAVE THE INSIDE FACE OF JAMB LOCATED 4 INCHES FROM THE ADJACENT WALL FINISH (8 INCHES IN MASONRY WALLS) UNLESS NOTED OTHERWISE.
- PROVIDE CLOSERS AT ALL FIRE RATED AND EXTERIOR DOORS. COORDINATE WITH HARDWARE SETS.
- PROVIDE SAFETY GLAZING IN ALL DOORS AND ASSOCIATED ACTIVE/FIXED PANELS.
- PROVIDE SAFETY GLAZING IN FIXED OR OPERABLE PANELS WHERE WITHIN 24 INCHES OF EITHER EDGE OF A OPERABLE DOOR.
- PROVIDE SAFETY GLAZING IN FIXED OR OPERABLE PANELS WHERE WITHIN 18 INCHES FROM AND RAMP/STAIR LANDING OR HAND/GUARDRAIL.
- ANY DOOR CARRYING A U.L. RATING SHALL BE INSTALLED IN A U.L. RATED FRAME CARRYING THE SAME DESIGNATION.
- PROVIDE FIRE RATED GLAZING IN PANELS LOCATED WITHIN A RATED WALL.
- CONTRACTOR TO COORDINATE SILL HEIGHTS WITH ELEVATIONS AND WALL SECTIONS.
- PAINT METAL DOORS AND FRAMES TO MATCH ADJACENT WALLS UNLESS OTHERWISE NOTED. REFER TO FINISH LEGEND FOR ADDITIONAL INFORMATION.
- REFER TO "PROJECT MANUAL" FOR HARDWARE SETS AND ADDITIONAL DOOR REQUIREMENTS.

**DOOR LEGEND:**

AL	ALUMINUM
CA	CARD ACCESS DEVICE
CL	CLOSER
FRP	FIBERGLASS
GL	GLASS
HC	HOLLOW CORE
HM	HOLLOW METAL
L	LOUVER
PF	PRE-FINISHED/FACTORY FINISHED
PH	PANIC HARDWARE
PR	PAIR
PTD	PAINTED
SD	SMOKE & DRAFT CONTROL
SS	STAINLESS STEEL
STL	STEEL
T	TEMPERED GLASS
V	VISION
WD	WOOD

**HARDWARE/OPERATION:**

- CARD READER TYPE 01
- DOOR MONITOR
- ELECTRIC LOCK & MONITOR - EACH LEAF IF PAIR
- VIDEO MONITOR - DOOR STATION WALL MOUNT
- ADA PUSH BUTTON ON PEDESTAL
- ADA PUSH BUTTON ON MULLION
- ADA PUSH BUTTON ON WALL
- ACOUSTICAL DOOR AND FRAME
- AUTOMATIC DOOR OPENER BOTH SIDES

**MATERIALS/FINISHES:**

- PAINT FRAME TO MATCH ADJACENT WALL
- PAINT DOOR AND FRAME TO MATCH ADJACENT WALL

**Glazing Schedule - Basic**

Mark	Description
GL01	3/8" CLEAR Laminated, Low-E coating
GL02	3/8" CLEAR (Tempered) Monolithic
IGU01	5/8" INSULATED GLASS (Tempered), Low-E coating
IGU02	1" INSULATED GLASS (ULTRACLEAR)

**REVISIONS**

Number	DESCRIPTION	DATE

**PROJECT NO:** 0520-0020  
**DATE:** MAY 12, 2023

**Door Types & Details**

**A080**

**BID SET - NEW CONSTRUCTION PHASE**

Project Number	NO.	Total
AH20300003-2	13	117

**multistudio**

kansas city • lawrence • new orleans  
phoenix • san francisco

**EDISON IMPACT HUB CONSTRUCTION**

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

**Owner:** City of Phoenix  
320 W. Washington Street  
Phoenix, AZ 85003  
602.258.2612  
www.phoenix.gov

**Civil engineer:** Wilson & Company  
420 N. 4th Street Suite 450  
Phoenix, AZ 85008  
602.288.2770  
www.wilsonco.com

**mechanical engineer:** Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

**architect:** Multistudio  
1215 South 3rd Street #200  
Phoenix, AZ 85004  
602.234.1440  
multistudio

**Historic preservation:** Ryden Architects  
902 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

**landscape architect:** Floor Associates  
1457 N. 1st Street #1007  
Phoenix, AZ 85004  
602.462.1475  
www.floorassociates.com

**structural engineer:** BDA design  
7047 E. Greenway Plaza #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaeng.com

**food service:** Design-Tec Food Facilities  
8344 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.

**REGISTERED ARCHITECT**  
29563  
JAMIE R. MILLER JR.  
ARCHITECT  
Expires: 09.30.2025

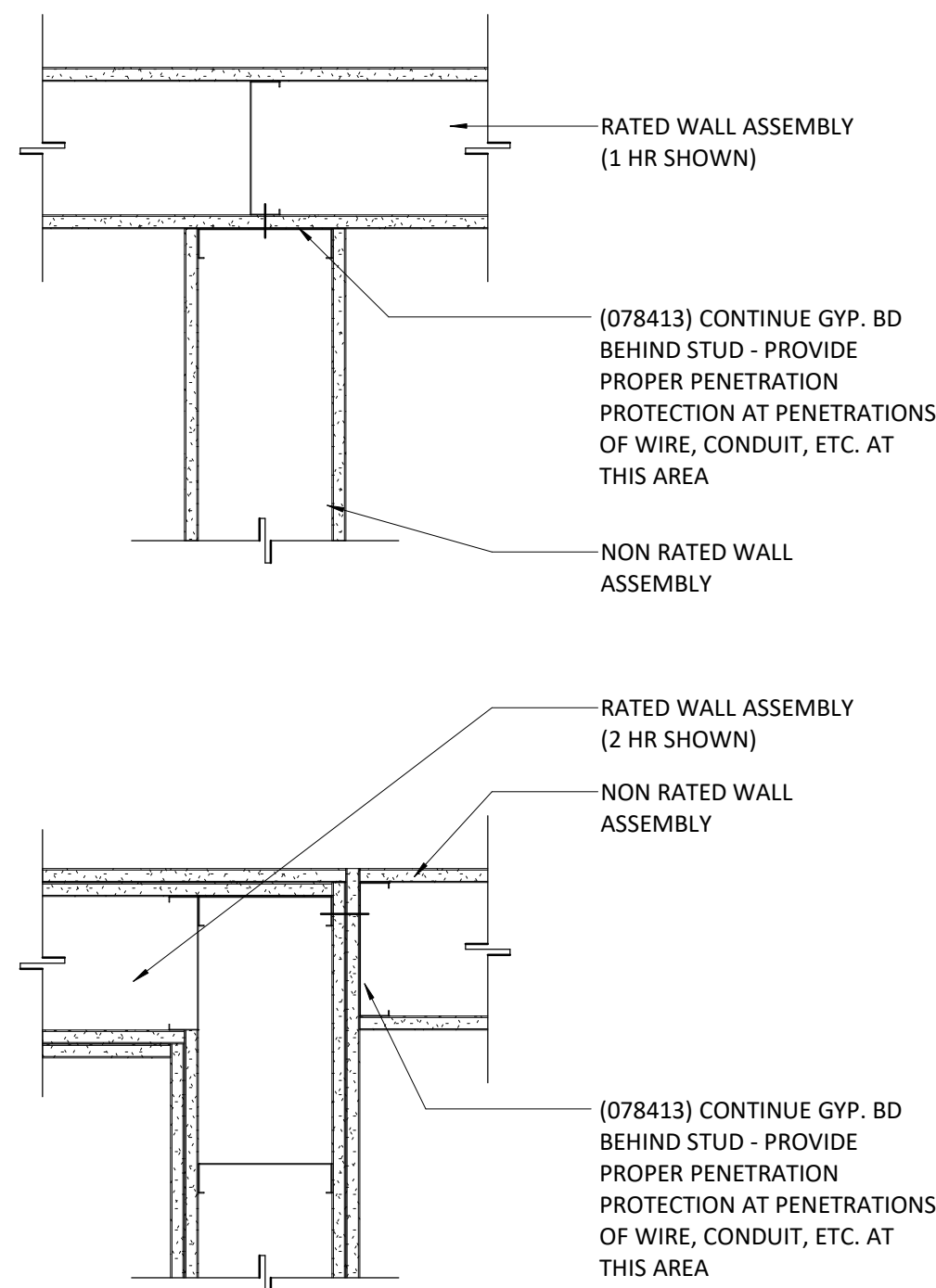
**PRINT DATE/TIME:** 7/1/2024 9:48:41 AM

AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION. Q.S.11-31









NOTES:

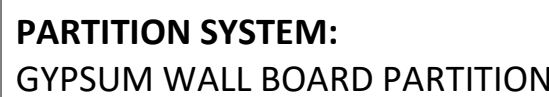
1. CONFIRM STUD SPACING WITH STRUCTURAL
2. WALLS AT EXTERIOR MUST EXTEND TO STRUCTURE TO MAINTAIN THERMAL BARRIER.



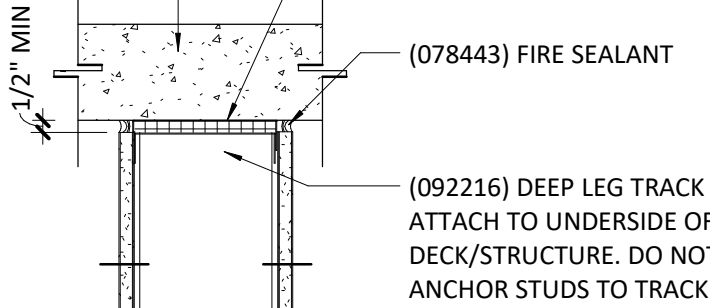
PARTITION IDENTIFICATION PLAN SYMBOL	F1	F3	F4
BASE PARTITION THICKNESS	2 1/4"	3 1/8"	4 1/4"
STUD SPACING (O.C.)	16"	16"	16"
STUD SIZE	1 5/8"	2 1/2"	3 5/8"
GWB THICKNESS	5/8"	5/8"	5/8"
FIRE RATING (HRS)	-	-	-
FIRE TEST NUMBER	-	-	-
FIRE TEST NUMBER (HEAD OF WALL)	-	-	-
FIRE RESISTIVE JOINTS (079500)	-	-	-
ACOUSTIC RATING (STC)	-	-	-
ACOUSTICAL TEST NUMBER	-	-	-
RESILIENT CHANNELS	-	-	-
INSULATION THICKNESS	-	-	-
(079219) ACOUSTICAL JOINTS	-	-	-
TO 6" ABOVE CEILING	NO	NO	NO
GWB STRUCTURE ABOVE	YES	YES	YES
STUDS TO STRUCTURE ABOVE	YES	YES	YES
REMARKS:			



FIRE RATING (HRS)
FIRE TEST NUMBER
FIRE TEST NUMBER (HEAD OF WALL)
(078443) FIRE RESISTIVE JOINTS



PARTITION TO UNDERSIDE OF DECK RATED **A12**  
1 1/2" = 1'-0"



## INTERIOR PARTITION TYPES **A3**

1. REFER TO PLANS/CODE PLANS FOR PARTITION TYPE LOCATIONS.
2. PARTITION TYPES DESIGNATED ON PLANS SHALL RUN FROM CORNER TO CORNER UNLESS OTHERWISE NOTED.
3. PARTITIONS SHALL EXTEND TO STRUCTURE ABOVE AND SHALL BE CONSTRUCTED TO ACCOMMODATE DEFLECTION UNLESS OTHERWISE NOTED.
4. FIRE-RATED PARTITION TYPES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REFERENCED ASSEMBLY DESCRIPTION. REFER TO CODE PLANS FOR MORE INFORMATION.
5. PARTITION TYPES SHALL BE IDENTIFIED BY PROTECTED OPENINGS SHALL BE PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION. SUCH SIGNAGE SHOULD BE ABOVE ACCESSIBLE CEILINGS AND/OR BELOW ACCESSIBLE FLOORS.
6. WHERE DIFFERENT PARTITION TYPES INTERSECT, THE PARTITION TYPE WITH THE GREATER FIRE-RESISTANCE RATING SHALL CONTINUE WITHOUT INTERRUPTION.
7. PENETRATION OF FIRE-RESISTANCE-RATED ASSEMBLIES SHALL BE PROVIDED WITH FIRE-RATED PENETRATION PROTECTION IN ACCORDANCE WITH AN APPROVED UNDERWRITERS LABORATORY SYSTEM.
8. FIRE DOORS OR FIRE DOORS SHALL BE PROVIDED WHERE AIR DUCTS OR OPENINGS PENETRATE FIRE-RATED PARTITIONS.
9. AT ALL WET AREAS AND LOCATIONS TO RECEIVE TIE, COORDINATE THE SUBSTRATE MATERIAL WITH THE PROJECT ARCHITECT. EXTEND THE TIE TO A MINIMUM OF 4'-0" BEYOND THE WET AREA.
10. USE ACoustICAL SEALANT AROUND ALL PIPES, DUCTS, CONDUIT, JUNCTION BOXES, ETC. ON BOTH SIDES OF PARTITION. COORDINATE WITH ARCHITECT WITH ACoustICAL RATING, COLOR MATCH SEALANT TO THE ADJACENT WALL COLOR.
11. PROVIDE IMPACT RESISTANT TRIM OR CASING AT ALL EDGES OF PLASTER AND GYPSUM BOARD SURFACES TO BE IMMEDIATELY ADJACENT TO OTHER MATERIAL, UNLESS NOTED OTHERWISE
12. PROVIDE IMPACT RESISTANT CORNER BEADS AT ALL OUTSIDE CORNERS OF PLASTER AND GYPSUM BOARD SURFACES, UNLESS NOTED OTHERWISE.
13. CONTINUE TO PROVIDE WOOD BLOCKING BEHIND ALL TOILET ROOM ACCESSORIES, GRAB BARS, HANDRAILS, WOOD TRIM, AND WALL MOUNTED FIXTURES.
14. INSTALL CONTROL JOINTS IN GYPSUM BOARD CONSTRUCTION AS SHOWN ON THE DRAWINGS AND IN PARTITIONS AND WALL FURRING RUNS EXCEEDING 30 FEET. SPACING CONTROL JOINTS NOT MORE THAN 30 FEET C.C. VERIFY LOCATIONS WITH ARCHITECT. INSTALL CONTROL JOINTS IN CURBED ASSEMBLIES WHERE CONTROL JOINTS OCCUR IN BASE ELEMENT WALL.

**Interior Partition Naming Convention**

— PARTITION MATERIAL TYPE  
— NOMINAL STUD/PARTITION THICKNESS  
— INSULATION MODIFIER

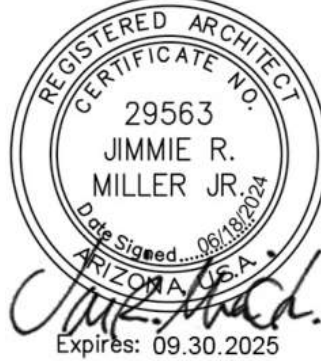
architect: **Multistudio**  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

mechanical engineer: **Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

historic preservation: **Ryden Architects**  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
[www.rydenarchitects.com](http://www.rydenarchitects.com)

structural engineer: <b>BDA design</b> 7047 E. Greenway Pkwy #250 Scottsdale, AZ 85254 480.398.7729 <a href="http://www.bdadesign.com">www.bdadesign.com</a>	food service: <b>Design-Tec Food Facilities</b> 8346 N. 50th Street Phoenix, AZ 85020 602.273.0222
---	--

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.



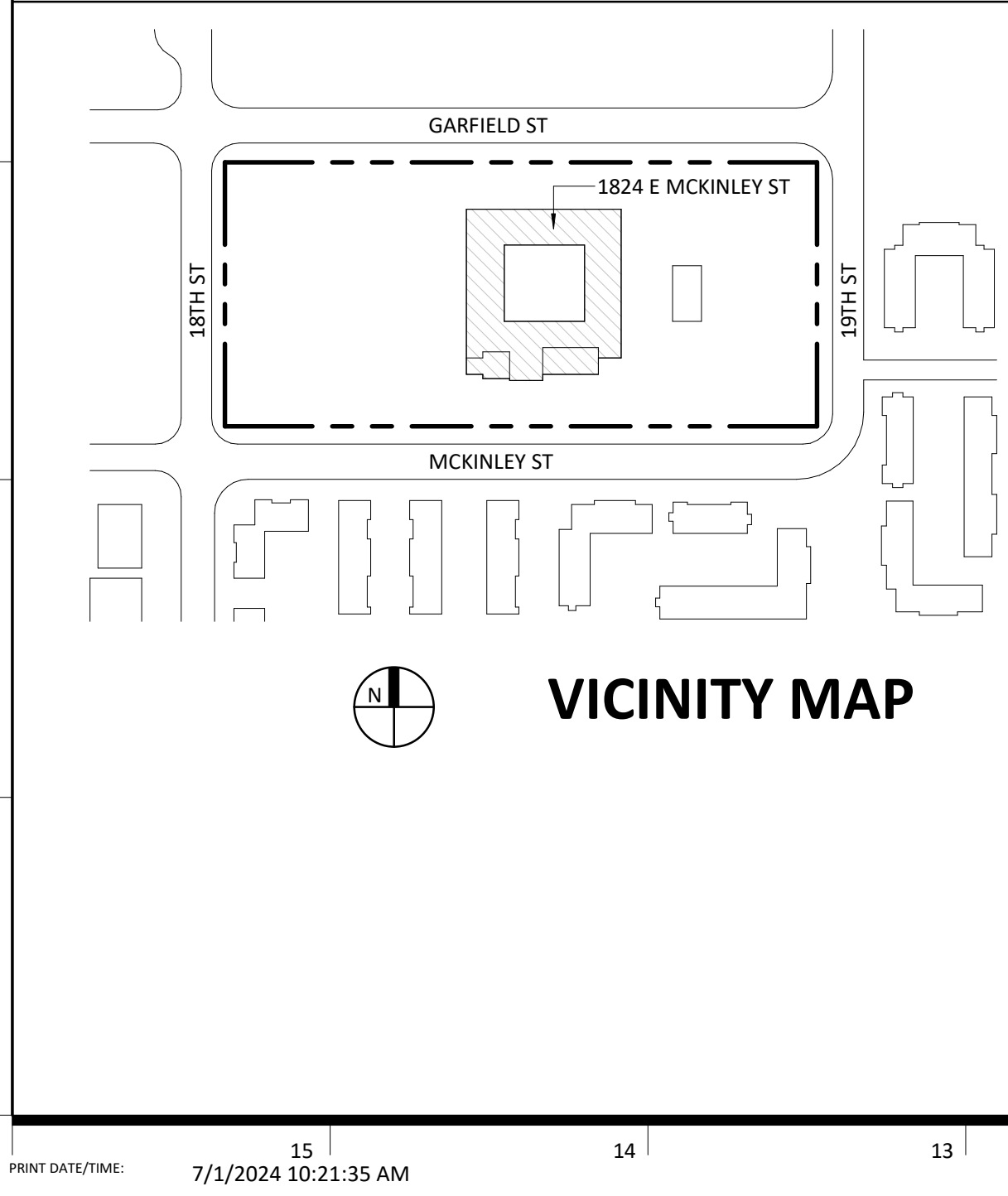
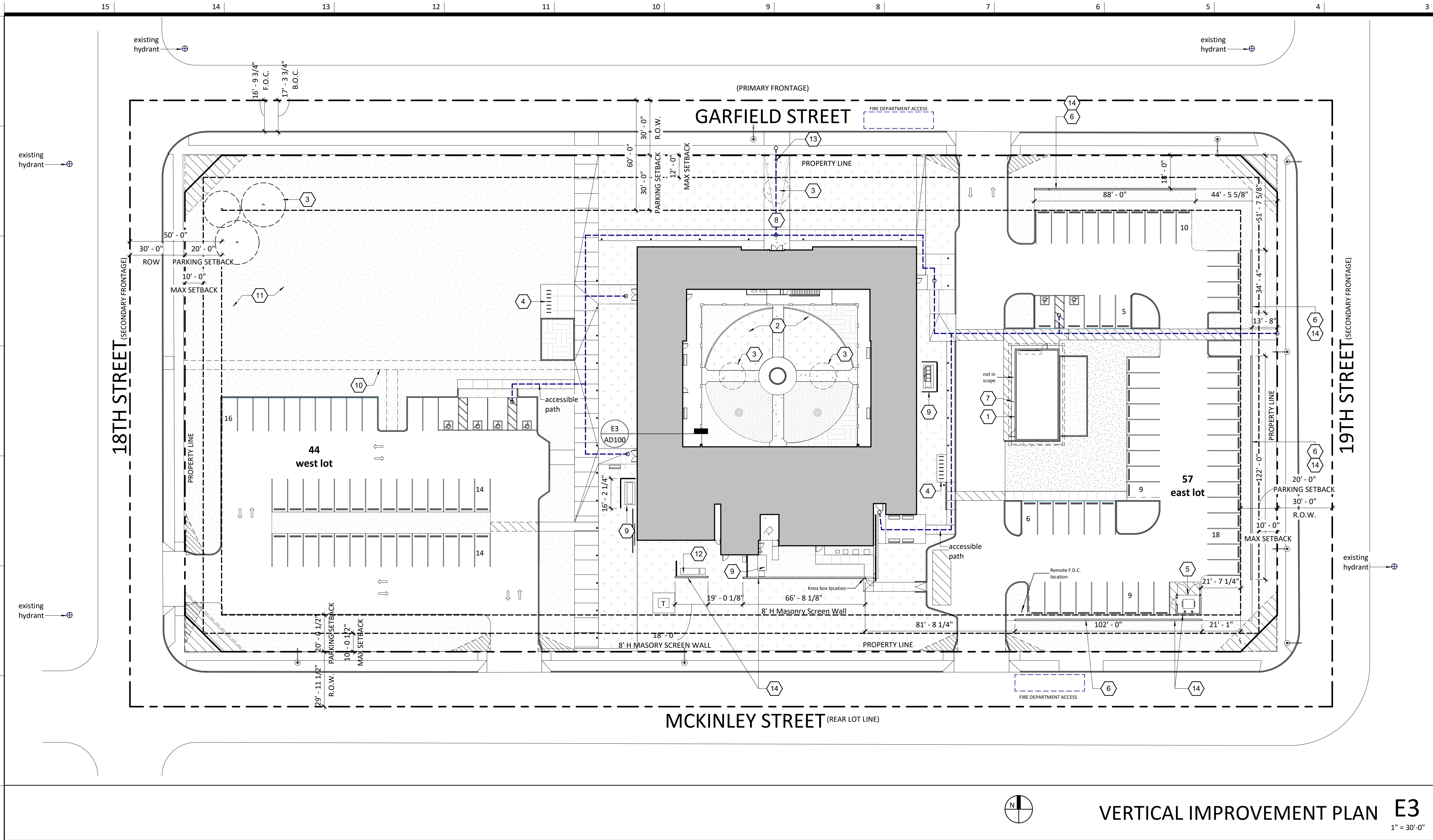
Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	15	117





### SITE PLAN NOTES

- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAY ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'-0".
- STRUCTURE AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' X 33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'-0".
- ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR OR MIGRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE.
- OWNER OF PROPERTY ADJACENT TO THE PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHT-OF-WAY, IN ACCORDANCE WITH APPROVED PLANS.
- ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCS, TRANSFORMERS, BACK-FLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
- BARBED, RAZOR OR CONCERTINA WIRE (OR SIM) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
- ALL SIGNAGE REQUIRES SEPARATE REVIEWS, APPROVALS, AND PERMIT. NO SIGNS ARE APPROVED PER THIS PLAN.

### DEFERRED SUBMITTALS

**PER IBC SECTION 107.3.4 :** GOULD EVANS ASSOCIATES, THE REGISTERED DESIGN PROFESSIONAL IN CHARGE (AND THEIR CONSULTANTS) SHALL BE RESPONSIBLE FOR REVIEWING AND COORDINATING SUBMITTAL DOCUMENTS PREPARED BY OTHERS, INCLUDING PHASED AND DEFERRED SUBMITTAL ITEMS, FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING.

**PER IBC SECTION 107.3.4.1:** SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING.

#### DELEGATED DESIGN / DEFERRED SUBMITTALS LIST:

- FIRE SPRINKLER SYSTEMS PER 2019 NFPA 13
- FIRE ALARM SYSTEM PER 2019 NFPA 72
- FIRE DEPARTMENT AMERGENCY ACCESS
- FIRE LANE MARKING (IFC 503.3)

### OTHER REQUIRED PERMITS

SEPARATE F481 EMERGENCY ACCESS PERMIT REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY. THIS PERMIT INCLUDES, BUT IS NOT LIMITED TO, ITEMS SUCH AS ADDRESS LOCATION, AND LOCK BOX LOCATION. AN APPROVED SITE PLAN IS REQUIRED TO SUBMIT FOR THIS PERMIT.

#### Vertical Improvement Keynotes

- EXISTING DETACHED STRUCTURE TO REMAIN/NOT IN SCOPE- PROTECT IN PLACE
- EXISTING COURTYARD
- COMMUNITY ART INSTALLATION- BY OTHERS AS PART OF A SEPARATE PROJECT
- BIKE PARKING- PER COP ZONING REQ.
- REFUSE ENCLOSURE- PER COP STANDARDS
- 3' HIGH MASONRY SCREEN WALL
- EXISTING FIRE RISER/EQUIP. TO REMAIN
- RAMPED BUILDING ENTRY. BROOM FINISHED CONCRETE FOR SLIP RESISTANCE FOR ADA, COLOR TO MATCH EXISTING PATHWAY
- MECHANICAL EQUIPMENT w/ SCREENING
- STABILIZED DECOMPOSED GRANITE PEDESTRIAN PATH
- LANDSCAPED AREA- REF. LANDSCAPE SHEETS
- SES EQUIPMENT w/ SCREENING PER COP REQ.
- EXISTING FLAGPOLE TO REMAIN
- PROVIDE ANTI-GRAFFITI COATING - REF. SPECIFICATIONS

City Approval  
KIVA # 21-2575  
SDEV # 2100269  
QS #11-31

## VERTICAL IMPROVEMENT PLAN E3

1" = 30'-0"

#### General Notes (Site Plan):

##### GENERAL NOTES:

- COORDINATE ALL SPOT ELEVATIONS AND DIMENSIONS WITH CIVIL/LANDSCAPE/STRUCTURAL DRAWINGS
- PROVIDE POSITIVE DRAINAGE OF 1% MINIMUM & 2% MAXIMUM AT ALL EXTERIOR PAVED PEDESTRIAN AREAS SUCH AS SIDEWALKS, PATIOS, STAIRS, ETC. UNLESS NOTED OTHERWISE
- PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING OF 5% FOR A DISTANCE OF 10 FEET UNLESS NOTED OTHERWISE.
- FINISH GRADE SLOPES SHALL BE NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL UNLESS NOTED OTHERWISE.
- REFER TO CIVIL DRAWING FOR LOCATION OF ALL EXISTING TO REMAIN AND PROPOSED UTILITIES.

##### PROJECT OVERVIEW:

**Project Name:** Edison Impact Hub

##### Existing Property:

Crippled Children's Hospital (DES Offices)  
1824 E. McKinley Street  
Phoenix, Arizona 85006  
Year Built: 1941

**Owner:** City of Phoenix  
215 W. Washington  
Phoenix, Arizona 85003

**APN:** 116-11-001C  
116-11-002

**Zoning:** WU- TS-2 (Walkable Urban Code Transect TS:2 District)  
COP Transit Eastlake Garfield Character Area, Historic Preservation

**Zoning Case:** Z-21-20 with stipulations.

**PREVIOUS BUILDING USE:** B OCCUPANCY  
**NEW BUILDING USE:** B (BUSINESS)

##### LOT COVERAGE CALCULATIONS: (BASED ON C.O.P. ZONING CODE AND DEFINITIONS)

NET LOT AREA (Internal to Prop. Line): 161,363 SF  
GROSS LOT AREA (Net Lot + R.O.W.): 181,694 SF  
Allowable Building Area (PER IBC, table 506.2): 36,000 gsf (one story) or 27,000 gsf (two stories)  
\*Existing building is sprinklered, but will require reconfiguration following demolition of west addition.

##### Actual Building Area:

First Floor (original Historic Property) 13,370 sf  
Second Floor (original Historic Property) 880 sf  
Covered walkway @ Courtyard perimeter: 2,166 sf  
South Building additions: 2,200 sf  
West Building addition: 19,785 (to be demolished)  
East freestanding building: 1,200 sf (not in scope)

Total Building area to remain: ~16, 450 sf  
(36,000 sf allowable per IBC).  
Lot Coverage: 16,450/ 161,028 = 10.2%

##### SPRINKLER SYSTEM: YES

**EXISTING PARKING SPACES:**  
175 INCLUDING 8 SPACES FOR ADA

##### NEW PARKING REQUIREMENTS:

Parking Required  
(Per PHX/WU code TS district; table 1307.1):  
16,450 SF/ 300 (B-Business Occ.) = 55 spaces total (required)  
Parking Provided: (East Lot) 57 spaces + (West lot) 44 spaces = 101 spaces total (provided)  
Accessible Parking required (per table 1106.1): 5 ADA spaces (required & provided)  
Loading space required: 1 (per table 1307.2)

Bicycle Parking required: to be located within 50'-0" of building entry point  
1:25 Parking spaces = 101 (parking spaces provided)/25 = 5 Bicycle parking spots required

Parking Setback Requirements (Per PHX/WU code TS district, section 1305):  
Rear and Side(s) of Corner Lot: 20'-0"  
Primary Frontage: 30'-0"

\*East lot to accommodate all required spaces.  
\*West lot to be for community/ recreational use.

##### SCOPE OF WORK:

SCOPE OF WORK INCLUDES DEMOLITION OF THE WEST BUILDING ADDITION IN IT'S ENTIRETY, RESTORING THE HISTORIC PORTION OF THE PROPERTY, AND RETROFITTING THE PROPERTY TO ACCOMMODATE OFFICE USE, FOR THE CITY OF PHOENIX. BUILDING IMPROVEMENTS ARE TO INCLUDE, BUT ARE NOT LIMITED TO: NEW HVAC SYSTEMS/CONTROLS, NEW ELECTRICAL AND LIGHTING, ROOF REPAIR/REPLACEMENT, INTERIOR FINISH REJUVENATION/REPLACEMENT, UPDATED PLUMBING SYSTEMS, RESTORATION OF HISTORIC COMPONENTS AS DICTATED BY THE HISTORIC PRESERVATION DEPARTMENT AND ENERGY CODE UPGRADES AS REQUIRED BY THE IECC AND THE CITY OF PHOENIX. PROPOSED PROGRAM IS TO INCLUDE: OFFICE SUITES, COMMUNITY COMPUTER LAB, COMMUNITY CLASSROOMS, COMMUNITY HEALTH CLINIC TI SPACE, AND COMMUNITY KITCHEN SPACE.

SITE IMPROVEMENTS ARE TO INCLUDE: RE-CONFIGURED PARKING/VEHICLE ENTRIES TO COMPLY WITH CURRENT COP CODES AND STANDARDS, UPDATED LIGHTING (AS REQUIRED), UPDATED LANDSCAPE AND HARDSCAPE ELEMENTS, BUILDING ENTRY UPGRADES TO COMPLY WITH CURRENT ADA STANDARDS.

# multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

**owner:**  
**City of Phoenix**  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

**architect:**  
**Multistudio**  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multistudio

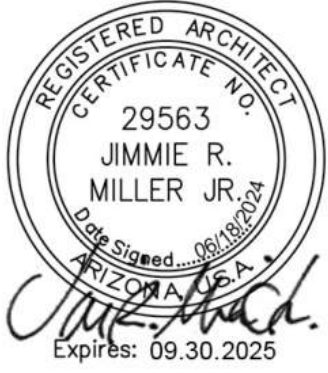
**historic preservation:**  
**Ryden Architects**  
902 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

**structural engineer:**  
**BDA design**  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaesign.com

**food service:**  
**Design-Tec Food Facilities**  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



#### REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

3

**PROJECT NO:** 0520-0020  
**DATE:** MAY 12, 2023

Vertical Improvement  
Plan

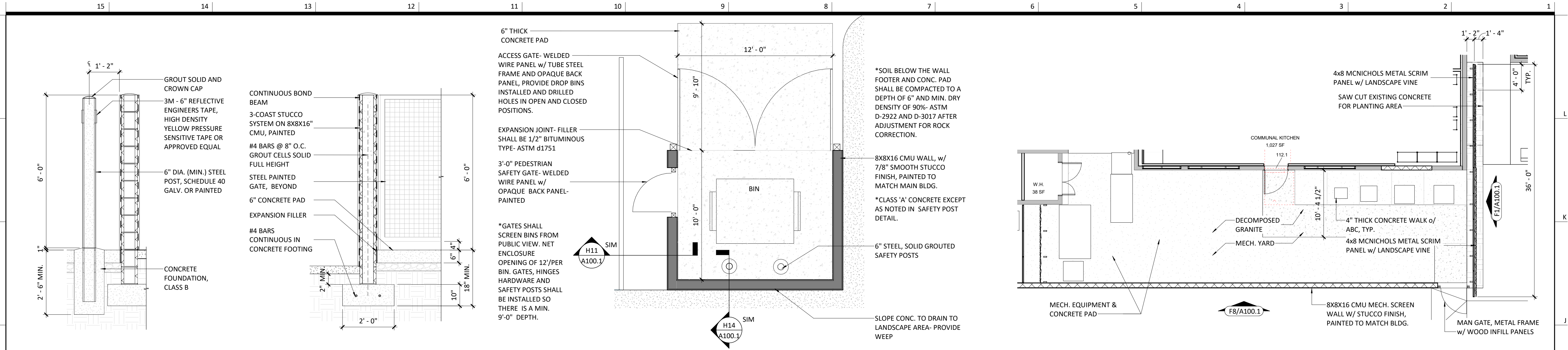
# A100

BID SET - NEW

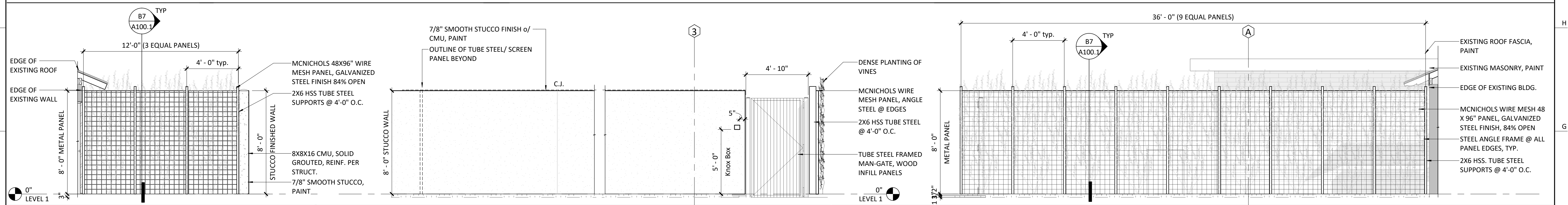
#### CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	16	117

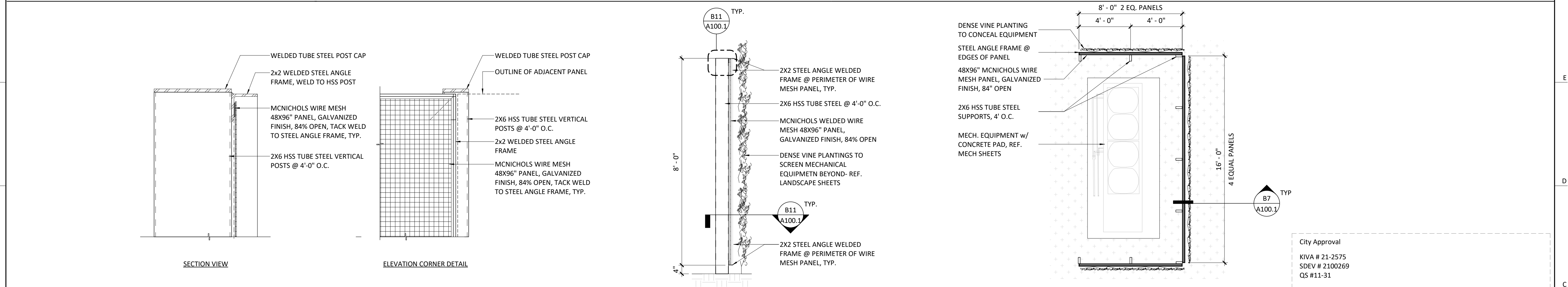




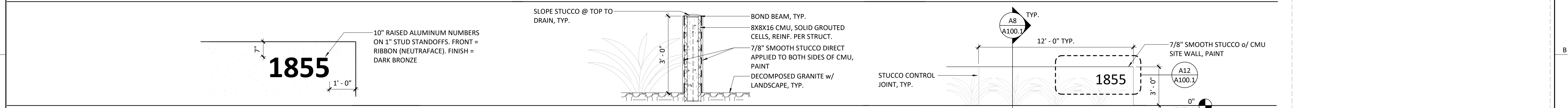
BOLLARD @ REFUSE H14 1/2" = 1'-0"  
MASONRY @ REFUSE H11 1/2" = 1'-0"  
COP REFUSE ENCLOSURE\_PLAN H6 1/4" = 1'-0"  
MECH. YARD ENLARGED PLAN\_ H1 1/8" = 1'-0"



MECH. YARD\_WEST ELEV F13 1/4" = 1'-0"  
MECH. YARD @ SOUTH ELEVATION F8 1/4" = 1'-0"  
MECH. YARD @ EAST ELEVATION F1 1/4" = 1'-0"



SCREEN DETAIL @ WIRE MESH PANEL(S) B11 3" = 1'-0"  
WIRE MESH SCREEN & LNDSCP B7 1/2" = 1'-0"  
MECH. SCREEN WALL\_PLAN B3 1/4" = 1'-0"



ADDRESS SIGNAGE A12 1/2" = 1'-0"  
SITE WALL MASONRY SECTION A8 1/2" = 1'-0"  
SITE WALL\_ELEV. A3 1/4" = 1'-0"

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

# EDISON IMPACT HUB CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
**City of Phoenix**  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

civil engineer:  
**Wilson & Company**  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.883.7701  
www.wilsonco.com

architect:  
**Multistudio**  
525 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
www.multistudio.com

mechanical engineer:  
**Applied Engineering**  
3300 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

historic preservation:  
**Ryden Architects**  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

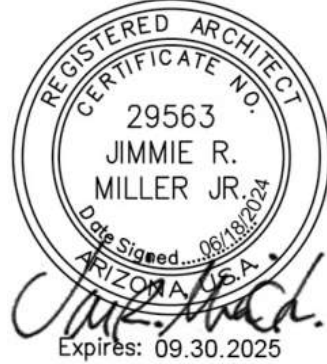
landscape architect:  
**Floor Associates**  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

structural engineer:  
**BDA design**  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

food service:  
**Design-Tec Food Facilities**  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.279.0223

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



## REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

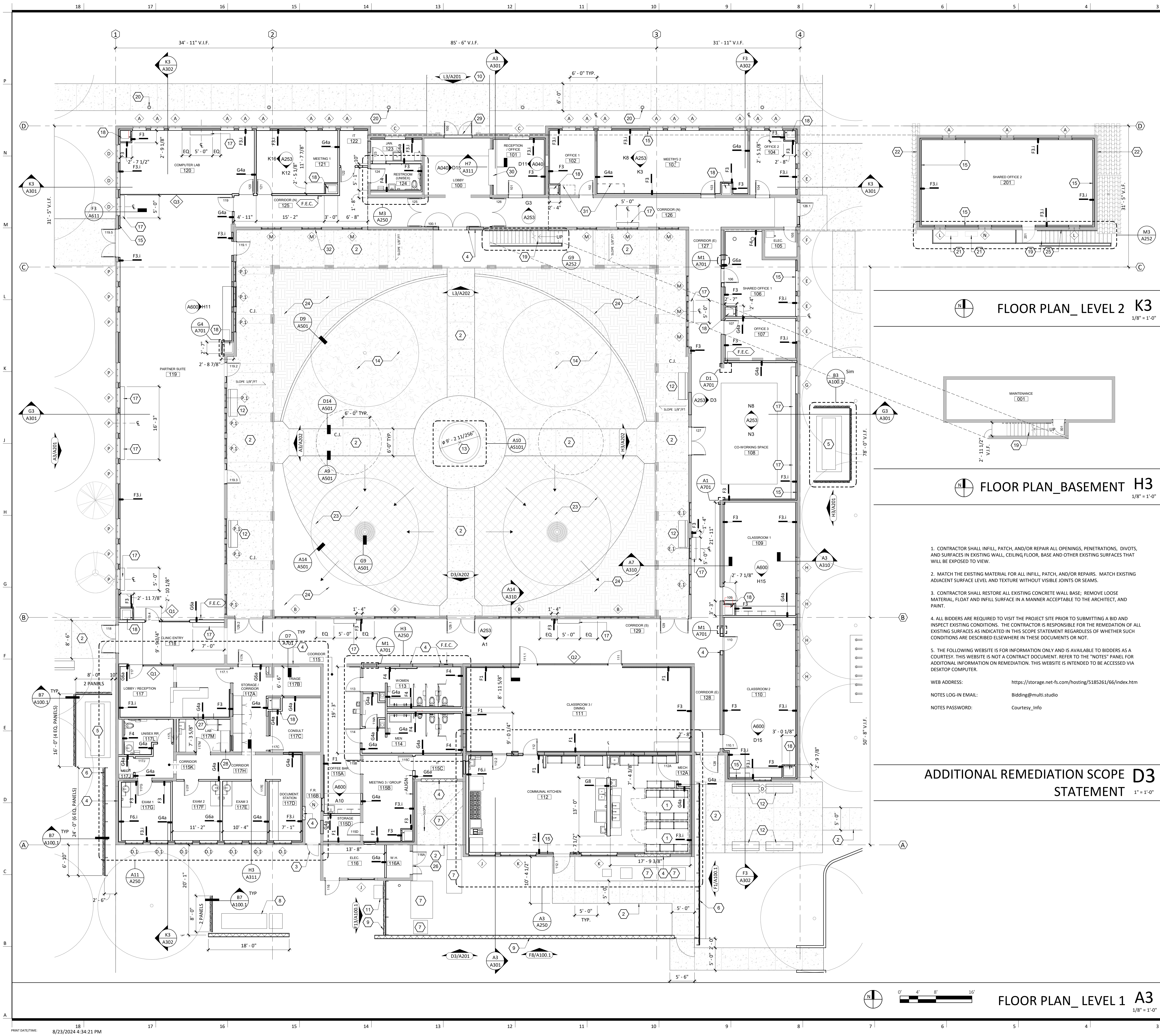
Vertical Improvement  
Plan Details

A100.1

BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	17	117





- General Notes (Floor Plans):**
- ALL WALL TYPES TO BE G4, UNLESS OTHERWISE NOTED.
  - ALL WALL DIMENSIONS ARE TO FACE OF WALL UNLESS OTHERWISE NOTED.
  - MASONRY WALLS ARE NOMINALLY CENTERED ON GRID LINES AND MASONRY DIMENSIONS ARE NOMINAL UNLESS OTHERWISE NOTED.
  - EXISTING BUILDING GRIDLINES CAN ONLY BE APPROXIMATED AND VERIFIED BY THE CONTRACTOR.
  - DOORS IN STUD WALLS NEAR PERPENDICULAR WALLS ARE LOCATED 4" OFF FACE OF PERPENDICULAR WALL UNLESS OTHERWISE NOTED.
  - DOORS IN MASONRY WALLS ARE LOCATED IN ROUGH OPENINGS DIMENSIONED ON SHEET.
  - REFER TO ACCESSIBILITY STANDARDS ON SHEET A002 FOR FUTURE & ACCESSORY MOUNTING HEIGHTS AND PARTITION LOCATIONS.
  - CONTRACTOR TO FIELD VERIFY ALL MEASUREMENTS AND CONDITIONS NEW AND EXISTING. NOTIFY THE ARCHITECT/OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
  - ENLARGED PLANS MAY BE ROTATED OR MIRROR COORDINATE WITH MAIN FLOOR PLAN.
  - CONTRACTOR TO PROVIDE 4'-0" HIGH PLYWOOD BACKER BOARD IN ALL MECHANICAL AND ELECTRICAL ROOMS MOUNTED 3'-6" A.F.F. FOR PERIMETER OF ROOM.
  - FURNITURE, EQUIPMENT AND APPLIANCES ARE SHOWN FOR REFERENCE ONLY. O.F.O.

- Floor Plan Keynotes**
- |    |  |
|----|--|
| 1  | NEW RECESSED AND INSULATED SLAB  |
| 2  | NEW CONCRETE WALKWAY   |
| 3  | MAN GATE @ EXISTING OPENING  |
| 4  | INFILL EXISTING OPENING. PROVIDE CMU INFILL AT EXISTING WALLS. PROVIDE INFILL PER M1/A701 AT INTERIOR LOCATIONS  |
| 5  | MECHANICAL EQUIPMENT ON CONCRETE PAD-SCREENING PER COP REQUIREMENTS  |
| 6  | NEW METAL SCREEN w/ DENSE LANDSCAPING  |
| 7  | MECHANICAL EQUIPMENT ON CONCRETE PAD-REF.  |
| 8  | NEW ELECTRICAL SERVICE ENTRANCE SECTION (SES) - REF. ELEC. SHEETS  |
| 9  | MECHANICAL SCREEN WALL- PER COP REQUIREMENTS   |
| 10 | CONCRETE PEDESTRIAN RAMP   |
| 11 | GAS METER LOCATION- SEE PLUMBING SHEETS  |
| 12 | SITE BENCHES- O.F.C.I.   |
| 13 | COURTYARD FOUNTAIN TO BE REHABILITATED (DELEGATED DESIGN) COMMUNITY ARTIST INVOLVEMENT ELEMENT   |
| 14 | TURF LANDSCAPE AREA. REF. LANDSCAPE SHEETS   |
| 15 | FURRED EXTERIOR WALLS TO RECEIVE 1" ROCKWOOL INSULATION, 2-1/2" METAL STUD AND 5/8" GYP. BOARD FINISH @ INTERIOR FACE. PAINT   |
| 17 | GROUND MOUNTED FAN COIL UNIT, 5" WIDE BASE CABINET CENTERED ON UNIT. SOLID SURFACE TOP @ SUPPLY LEDGE. PER DETAIL F3/A611  |
| 18 | MECHANICAL UNIT- REF. MECHANICAL SHEETS  |
| 19 | EXISTING CONCRETE STAIR TO REMAIN- REPLACE GUARDRAIL AND PROVIDE HANDRAIL ON BOTH SIDES. REFER TO STRUCTURAL DETAIL 5.0.2 FOR GUARDRAIL ASSEMBLY. PROVIDE TRAFFIC COATING ON TREADS, RISER AND LANDING- PROVIDE ABRASIVE NOSING AT ALL TREADS  |
| 20 | EXTERIOR LIGHT BOLLARDS @ PEDESTRIAN PATH, TYP.  |
| 21 | CONDENSING UNIT, REF. MECH. SHEETS   |
| 22 | PROVIDE NEW/REPAIRED FLASHING @ EXISTING STUCCO, TYP.  |
| 23 | CONCRETE PAVERS @ COURTYARD. REF. LANDSCAPE SHEETS   |
| 24 | PLANTING AREA. REF. LANDSCAPE SHEETS   |
| 25 | STEEL WALL MOUNTED HANDRAIL ANCHORED INTO EXISTING WALL  |
| 26 | TIE IN MASONRY @ LINTEL ABOVE DOOR   |
| 27 | VACCINE REFRIGERATOR/FREEZER - O.F.O.I. B.O.D. - AMERICAN BIOTECH ABT-RFT-20A  |
| 28 | ADA HEIGHT UNDERCOUNTER LAB REFRIGERATOR - O.F.C.I. B.O.D. - AMERICAN BIOTECH ABT-HC-UCFS-0504W.   |
| 29 | REMOVE WALL INFILL AND RECONSTRUCT ORIGINAL ROUND TOP OPENING FOR NEW ROUNDTOP DOOR  |
| 30 | PROVIDE STEEL CHANNEL LINTEL ON EAST WALL FACE PER STRUCTURAL DWG  |
| 31 | INFILL FLOOR OPENING. FOR BIDDING PURPOSES ONLY. ASSUME 4" COMPOSITE DECK CONSISTING OF 1.5" STEEL "B" DECK WITH 4" CONCRETE TOPPING, WITH 2.5" STEEL LEDGER ANGLE ALL AROUND, ANCHORED INTO EXISTING CONCRETE 5.0.G. DO NOT COMMENCE WORK UNTIL THE STRUCTURAL ENGINEER OF RECORD PROVIDES A FINAL ENGINEERED SKETCH VIA A.S.I. |
| 32 | PROVIDE CAST IN PLACE CONCRETE WALL INFILL TO MATCH EXISTING BELOW NEW WINDOW IN EXISTING DOOR OPENING   |

- CONTRACTOR SHALL INFILL, PATCH, AND/OR REPAIR ALL OPENINGS, PENETRATIONS, DIVOTS, AND SURFACES IN EXISTING WALL, CEILING FLOOR, BASE AND OTHER EXISTING SURFACES THAT WILL BE EXPOSED TO VIEW.
  - MATCH THE EXISTING MATERIAL FOR ALL INFILL, PATCH, AND/OR REPAIRS. MATCH EXISTING ADJACENT SURFACE LEVEL AND TEXTURE WITHOUT VISIBLE JOINTS OR SEAMS.
  - CONTRACTOR SHALL RESTORE ALL EXISTING CONCRETE WALL BASE; REMOVE LOOSE MATERIAL, FLOAT AND INFILL SURFACE IN A MANNER ACCEPTABLE TO THE ARCHITECT, AND PAINT.
  - ALL BIDDERS ARE REQUIRED TO VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID AND INSPECT EXISTING CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR THE REMEDIATION OF ALL EXISTING SURFACES AS INDICATED IN THIS SCOPE STATEMENT REGARDLESS OF WHETHER SUCH CONDITIONS ARE DESCRIBED ELSEWHERE IN THESE DOCUMENTS OR NOT.
  - THE FOLLOWING WEBSITE IS FOR INFORMATION ONLY AND IS AVAILABLE TO BIDDERS AS A COURTESY. THIS WEBSITE IS NOT A CONTRACT DOCUMENT. REFER TO THE "NOTES" PANEL FOR ADDITIONAL INFORMATION ON REMEDIATION. THIS WEBSITE IS INTENDED TO BE ACCESSED VIA DESKTOP COMPUTER.
- WEB ADDRESS: <https://storage.net-fs.com/hosting/5185261/66/index.htm>
- NOTES LOG-IN EMAIL: [Bidding@multi-studio](mailto:Bidding@multi-studio)
- NOTES PASSWORD: Courtesy\_Info

### ADDITIONAL REMEDIATION SCOPE D3 STATEMENT 1" = 1'-0"

**Floor Plan Legend**

	EXISTING WALL
	NEW WALL/ WALL INFILL/ FURRING WALL
	EXISTING DOOR
	NEW WALL/ DOOR

# multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

**Owner:**  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.263.0612  
www.phoenix.gov

**Architect:**  
Multistudio  
125 South 3rd Street #200  
Phoenix, AZ 85004  
602.234.1440  
multistudio

**Historic Preservation:**  
Ryden Architects  
402 W. McDowell Road  
Phoenix, AZ 85007  
602.233.5361  
www.rydenarchitects.com

**Structural Engineer:**  
BDA design  
7047 E. Greenway Plaza #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaengine.com

**Civil Engineer:**  
Wilson & Company  
420 N. 4th Street Suite 400  
Phoenix, AZ 85006  
480.968.3070  
www.wilsonco.com

**Mechanical Engineer:**  
Applied Engineering  
2800 S. Rural Road #101  
Phoenix, AZ 85021  
480.968.3070  
www.appliedengineering.com

**Landscaping Architect:**  
Floor Associates  
1425 N. 1st Street #1007  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

**Food Service:**  
Design-Tec Food Facilities  
8344 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

**REVISIONS**

Number	DESCRIPTION	DATE
1	Delta 1 - COP 2nd Review Comments	03/15/2023
5	Delta 5 - Field Conditions	05/28/2024

**PROJECT NO:** 0520-0020  
**DATE:** MAY 12, 2023

**Floor Plan**  
**A101**  
**BID SET - NEW  
CONSTRUCTION PHASE**

Project Number	NO.	Total
AH20300003-2	18	117



EDISON  
IMPACT HUB  
CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner: <b>City of Phoenix</b> 200 W. Washington Street Phoenix, AZ 85003 602.262.6011 <a href="http://www.phoenix.gov">www.phoenix.gov</a>	civil engineer: <b>Wilson &amp; Company</b> 410 N 44th Street Suite 460 Phoenix, AZ 85008 602.283.2701 <a href="http://www.wilsonco.com">www.wilsonco.com</a>
---	--

architect:  
**Multistudio**  
521 South 3rd Street #100  
Phoenix, AZ 85034  
602.234.1140  
multi.studio

mechanical engineer:  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
[www.appliedengineering.com](http://www.appliedengineering.com)

historic preservation:  
**Ryden Architects**  
 902 W McDowell Road  
 Phoenix, AZ 85007  
 602.253.5381  
[www.rydenarchitects.com](http://www.rydenarchitects.com)

structural engineer:  
**BDA design**  
7047 E. Greenway Pliny #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

food service:  
**Design-Tec Food Facilities**  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.



REVISIONS		
Number	DESCRIPTION	DATE
1	Delta 1 - COP 1st Review Comments	02/25/2022

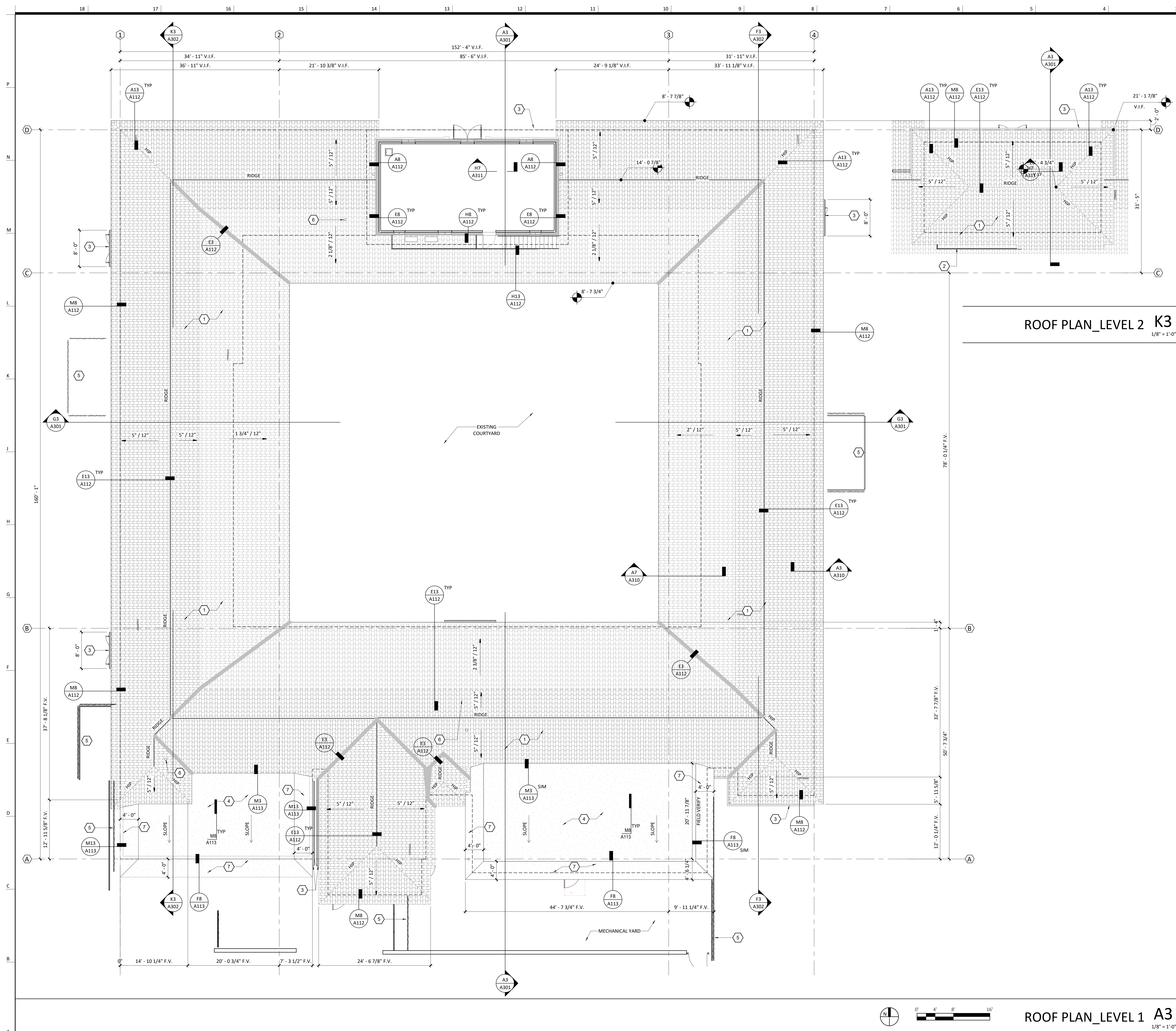
PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

## Roof Plan

A111

**BID SET - NEW  
CONSTRUCTION PHASE**

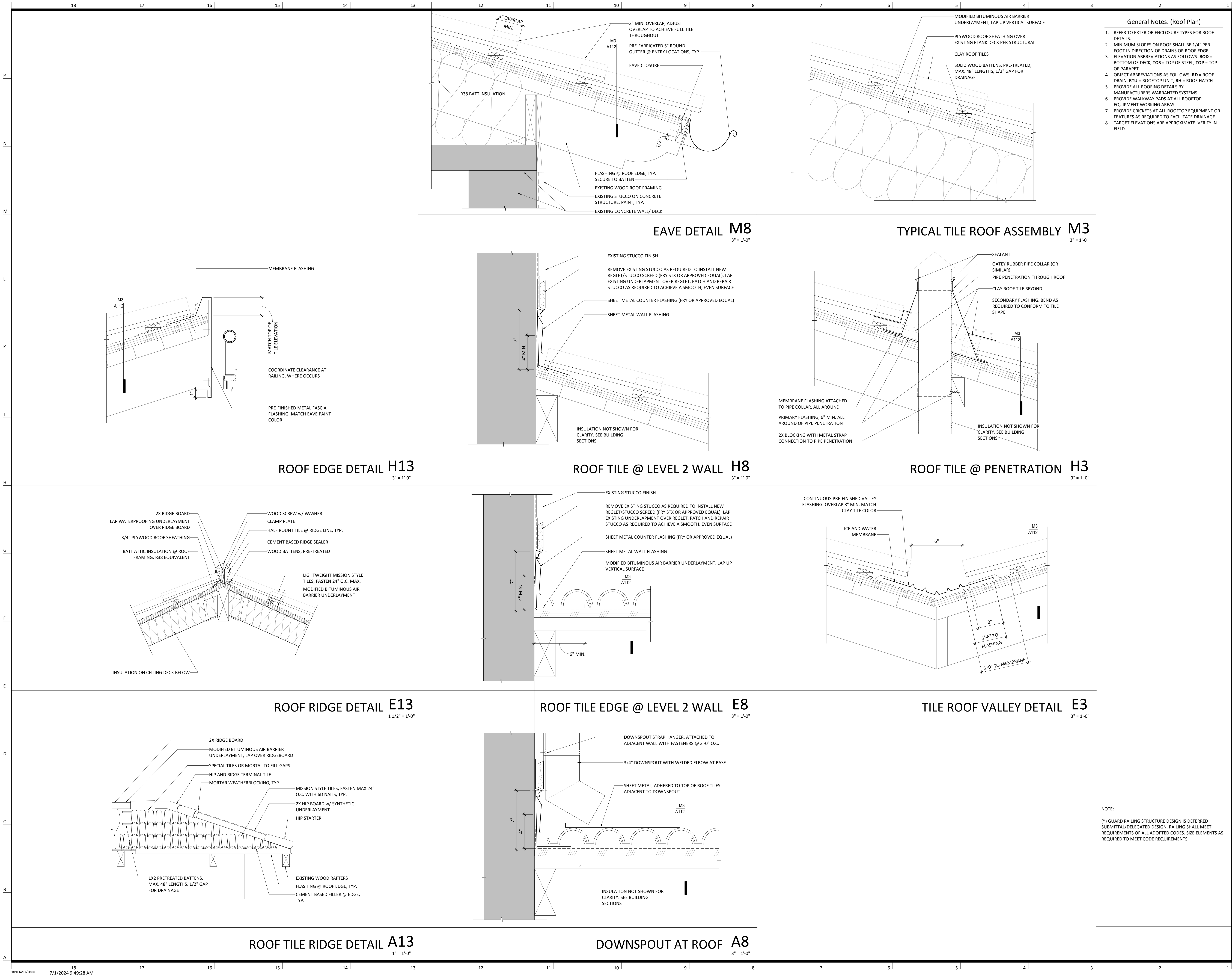
Project Number	NO.	Total
AH20300003-2	19	117



PRINT DATE/TIME: 7/1/2024 9:49:25 AM

AH20300003-2 : EDISON IMPACT HUB CONSTRUCTION. Q.S.11-31





- General Notes: (Roof Plan)
- REFER TO EXTERIOR ENCLOSURE TYPES FOR ROOF DETAILS
  - MINIMUM SLOPES ON ROOF SHALL BE 1/4" PER FOOT IN DIRECTION OF DRAINS OR ROOF EDGE
  - ELEVATION ABBREVIATIONS AS FOLLOWS: **BOD** = BOTTOM OF DECK, **TOS** = TOP OF STEEL, **TOP** = TOP OF PARAPET
  - OBJECT ABBREVIATIONS AS FOLLOWS: **RD** = ROOF DRAIN, **RTU** = ROOFTOP UNIT, **RH** = ROOF HATCH
  - PROVIDE ALL ROOFING DETAILS BY MANUFACTURERS WARRANTED SYSTEMS.
  - PROVIDE WALKWAY PADS AT ALL ROOFTOP EQUIPMENT WORKING AREAS.
  - PROVIDE CRICKETS AT ALL ROOFTOP EQUIPMENT OR FEATURES AS REQUIRED TO FACILITATE DRAINAGE.
  - TARGET ELEVATIONS ARE APPROXIMATE. VERIFY IN FIELD.

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON  
IMPACT HUB  
CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
**City of Phoenix**  
420 W. Washington Street  
Phoenix, AZ 85003  
602.258.2171  
www.phoenix.gov

architect:  
**Multistudio**  
1111 South 3rd Street #200  
Phoenix, AZ 85004  
602.234.1440  
multistudio

mechanical engineer:  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85281  
480.968.3070  
www.appliedengineering.com

historic preservation:  
**Ryden Architects**  
902 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5361  
www.rydenarchitects.com

landscape architect:  
**Floor Associates**  
1415 N. 1st Street #507  
Phoenix, AZ 85004  
602.462.1415  
www.floorassociates.com

structural engineer:  
**BDA design**  
7047 E. Greenway Plaza #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaengine.com

food service:  
**Design-Tec Food Facilities**  
3344 N. 5th Street  
Phoenix, AZ 85007  
602.273.0222

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR REPRESENTATION



REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

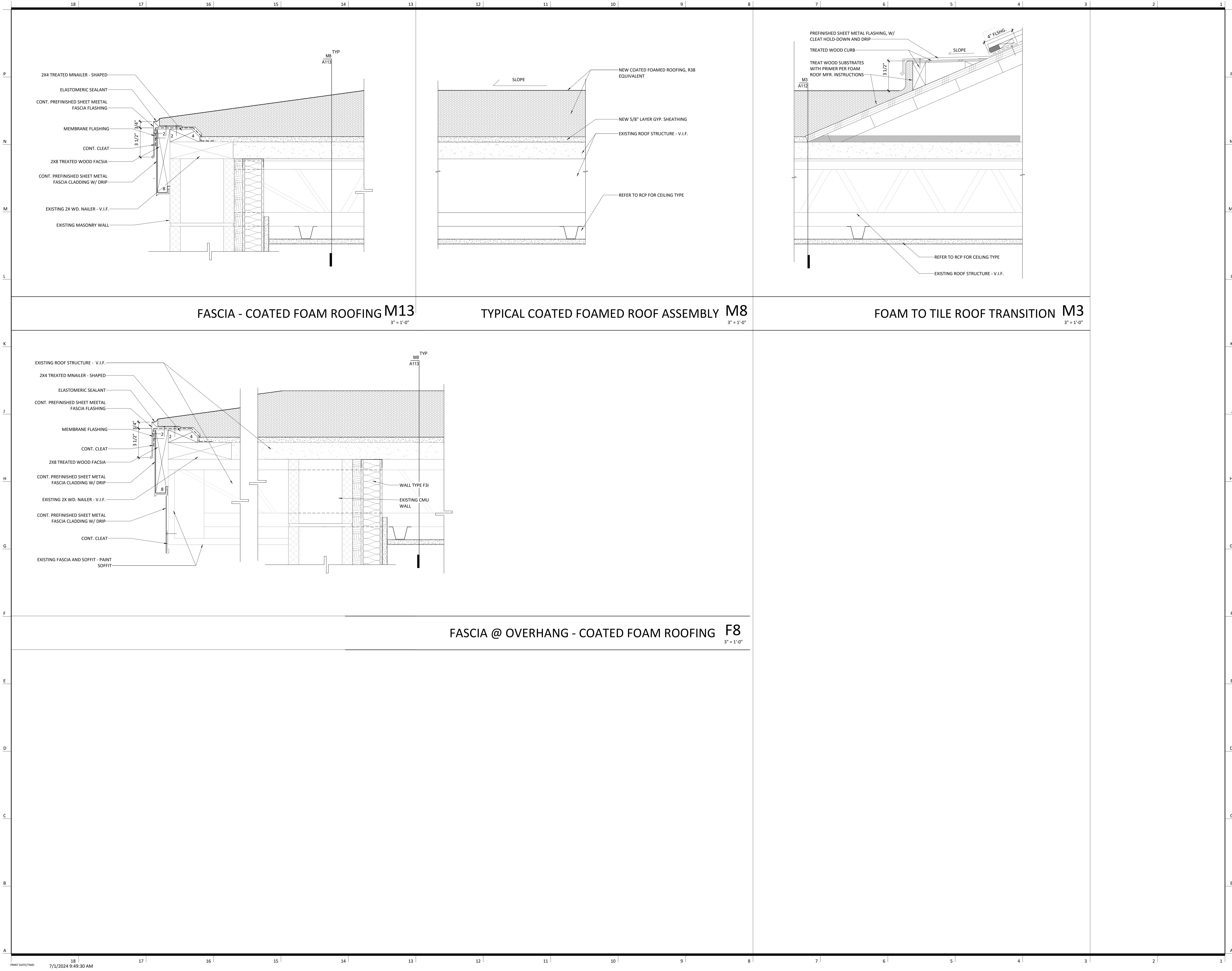
Tile Roof Details

A112  
BID SET - NEW

CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	20	117





**EDISON  
IMPACT HUB  
CONSTRUCTION**

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
**City of Phoenix**  
420 W. Washington Street  
Phoenix, AZ 85003  
602.258.2111  
www.phoenix.gov

civil engineer:  
**Wilson & Company**  
420 W. Washington Street  
Phoenix, AZ 85008  
602.258.2111  
www.wilsonco.com

architect:  
**Multistudio**  
111 South 3rd Street #200  
Tempe, AZ 85281  
602.234.1140  
multistudio

mechanical engineer:  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85281  
480.968.3070  
www.appliedengineering.com

historic preservation:  
**Ryden Architects**  
402 W. McDowell Road  
Phoenix, AZ 85004  
602.253.5361  
www.rydenarchitects.com

landscape architect:  
**Floor Associates**  
1415 N. 1st Street #100  
Phoenix, AZ 85004  
602.462.1415  
www.floorassociates.com

structural engineer:  
**BDA design**  
7047 E. Greenway Plaza #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaengine.com

food service:  
**Design-Tec Food Facilities**  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.



REVISIONS		
Number	DESCRIPTION	DATE

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023



EDISON  
IMPACT HUB  
CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

**owner:**  
**City of Phoenix**  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
[www.phoenix.gov](http://www.phoenix.gov)

**civil engineer:**  
**Wilson & Company**  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.283.2701  
[www.wilsonco.com](http://www.wilsonco.com)

architect:  
**Multistudio**  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
osullivan@multistudio.com

mechanical engineer:  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

historic preservation:  
**Ryden Architects**  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5181  
[www.natlenarchitects.com](http://www.natlenarchitects.com)

landscape architect:  
**Floor Associates**  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
[www.floorassociates.com](http://www.floorassociates.com)

structural engineer: **BDA design**  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729

food service: **Design-Tec Food Facilities**  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222













General Notes (Reflected Ceiling Plans):

1. ALL CEILING AND SOFFIT HEIGHTS ARE GIVEN ABOVE FINISHED FLOOR ELEVATION (EL. 0'-0").
2. GENERALLY ONLY CEILING MOUNTED FIXTURES ARE SHOWN. DIMENSIONS ARE GIVEN WITH COORDINATES. SEE PLANS FOR ADDITIONAL INFORMATION.
3. SOME OR ALL SPRINKLERS MAY NOT BE SHOWN ON THIS PLAN. COORDINATE WITH MEP DRAWINGS FOR LOCATION OF ORIENTATION. COORDINATE WITH OTHER HEADS TO BE CENTERED ON CEILING TILE, TYP.
4. VERIFY LOCATIONS OF ALL CEILING ACCESS PANELS WITH MEP DRAWINGS. COORDINATE LOCATIONS OF PANELS WITH ARCHITECT'S DRAWINGS. COORDINATE ACCESS PANEL FIRE RATINGS MUST MATCH CEILING ASSEMBLY FIRE RATINGS.
5. LIGHTING FIXTURES TO BE CENTERED AND SPACED UNLESS OTHERWISE NOTED.
6. LIGHT FIXTURES ARE SHOWN FOR DIMENSIONAL PURPOSES ONLY COORDINATE WITH ELECTRICAL DRAWINGS FOR FIXTURE DESIGNATIONS.
7. IF PHOTOMETRIC VALUES ARE PROVIDED, LIGHT FIXTURES LOCATED IN RATED CEILING ASSEMBLIES ARE TO BE TESTED OR OTHERWISE NOTED TO MATCH THE CEILING.
8. GYP. CEILINGS SHALL BE PAINTED PT-01, TYP.
9. ALL UTILITIES SHALL BE RUN CONCEALED. RUN ALL SPRINKLER PIPING IN ATTIC AND CROU THROUGH CONCEALING AT THE CEILING.
10. DIFFUSERS AND OTHER CEILING MOUNTED EQUIPMENT TO BE CENTERED IN SPACE OR IN A CEILING TILE, UNLESS OTHERWISE NOTED.
11. COORDINATE WITH MECHANICAL FOR FIXTURE DESIGNATIONS.

## RCP Keynotes

- |    |   |
|----|---|
| 1  | EXISTING EXPOSED CONCRETE CEILING, PAINT  |
| 2  | WOOD DECK/RAFTERS TO RECEIVE NEW PAINT  |
| 3  | EXISTING EXPOSED CONCRETE BEAMS @ LOCATION  |
| 4  | OF CONCRETE DECK, FIELD VERIFY ALL UNDOES A   |
| 5  | PAINT   |
| 6  | PAINT EXISTING EXTERIOR SOFFIT, ROOF FASCIA, WOOD   |
| 7  | PATCH/ REPAIR EXISTING STUCCO SOFFIT, PAINT AND FASCIA PANEL  |
| 8  | STRIP, PATCH, SAND AND REPAINT ORIGINAL PORCELAIN FLOORING, INCLUDE UP TO 15% REPLACEMENT OF SHEATHING BOARDS.  |
| 9  | LIGHTING FIXTURE TO BE MAINTAINED DIRECTLY ON JOIST, NOT EXPOSE CONDUIT ON JOIST.   |
| 10 | EXISTING EXISTING ACCESS OPENING. PROVIDE CIL CONCRETE ACCESS DOOR, SIZE DOOR TO FIT IN EXISTING OPENING. PATCH EXISTING CONCRETE CEILING AROUND OPENING AS REQUIRED FOR SMOOTH FINISH. REF. STRUCTURAL FOR REINFORCEMENT DETAIL. |
| 11 | NEW 22" x 30" ACCESS PANEL OPENING CUT INTO EXISTING SLAB. MAINTAIN 30" VERTICAL CLEARANCE ABOVE OPENING IN ATTIC, V.I.F., REF. STRUCTURAL FOR REINFORCEMENT DETAIL.  |
| 12 | PROVIDE CONCRETE PATCH TO MATCH EXISTING CONCRETE SURFACE   |

Ceiling Legend:

- |   |   |
|---|---|
|  | 2X2 FLUORESCENT   |
|  | SURFACE MOUNTED LINEAR LED  |
|  | SURFACE MOUNTED 5" DOWNLIGHT                                      |
|  | RECESSED 5" DOWNLIGHT   |
|  | LARGE PENDANT LIGHT   |
|  | LED STRIP LIGHT   |
|  | ACOUSTIC CEILING PANEL (ACP-01)                                   |
|  | ACOUSTIC CEILING PANEL (ACP-02)                                   |
|  | GYP. BOARD CEILING (GYP-01)                                       |
|  | DIFFUSER - SEE MECHANICAL   |
|  | DUCT PENETRATION IN EXISTING SLAB - SEE MECHANICAL AND STRUCTURAL |
|  | DUCT PENETRATION AND DIFFUSER - SEE MECHANICAL AND STRUCTURAL     |

City of Phoenix City Code Chapter 2,  
these plans are for official use only  
not be shared with others except as  
to fulfill the obligations of your  
contract with the City of Phoenix.



## REVISIONS

Number	DESCRIPTION	DATE
1	Delta 1 - COP 1st Review Comments	02/25/2021
3	Coordination Items	

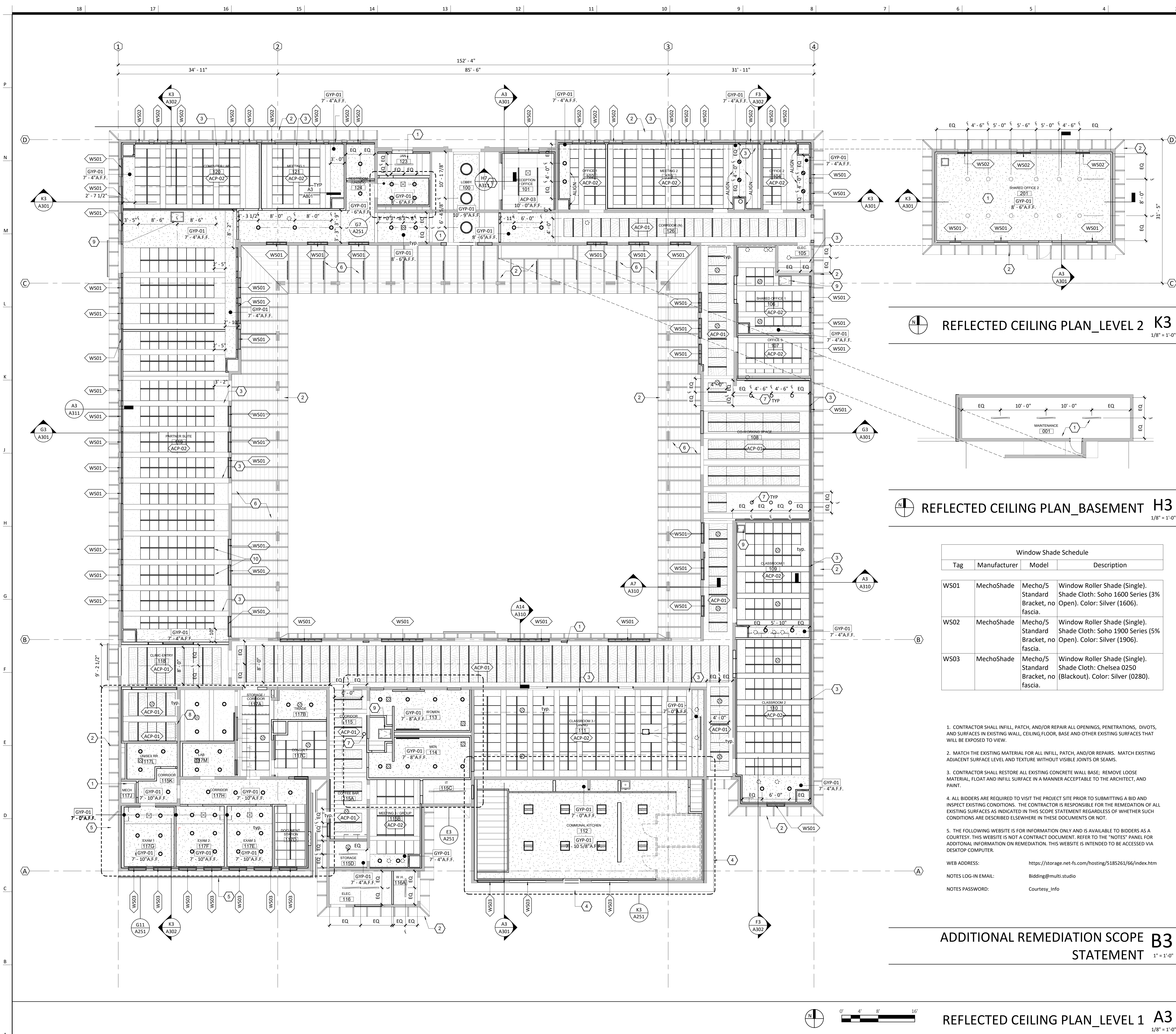
PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

Reflected Ceiling Plan

# A151

BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	22	117



PRINT DATE/TIME: 8/23/2024 4:34:25 PM

AW303000003 3 - EDISON IMPACT W/IB CONSTRUCTION 0 5 11 31



EDISON  
IMPACT HUB  
CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

**owner:**  
**City of Phoenix**  
 200 W. Washington Street  
 Phoenix, AZ 85003  
 602.262.6011  
[www.phoenix.gov](http://www.phoenix.gov)

architect:  
**Multistudio**  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

mechanical engineer:  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
[www.appliedengineering.com](http://www.appliedengineering.com)

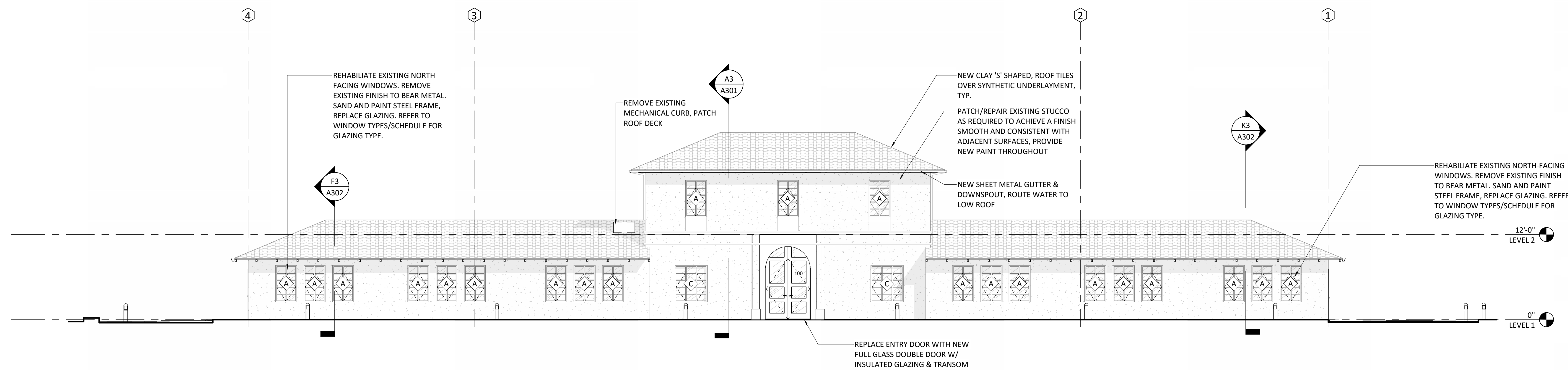
historic preservation: **Ryden Architects**  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5181  
[www.rydenarchitects.com](http://www.rydenarchitects.com)

structural engineer:  
**BDA design**  
7047 E. Greentree Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
[www.bdaesign.com](http://www.bdaesign.com)

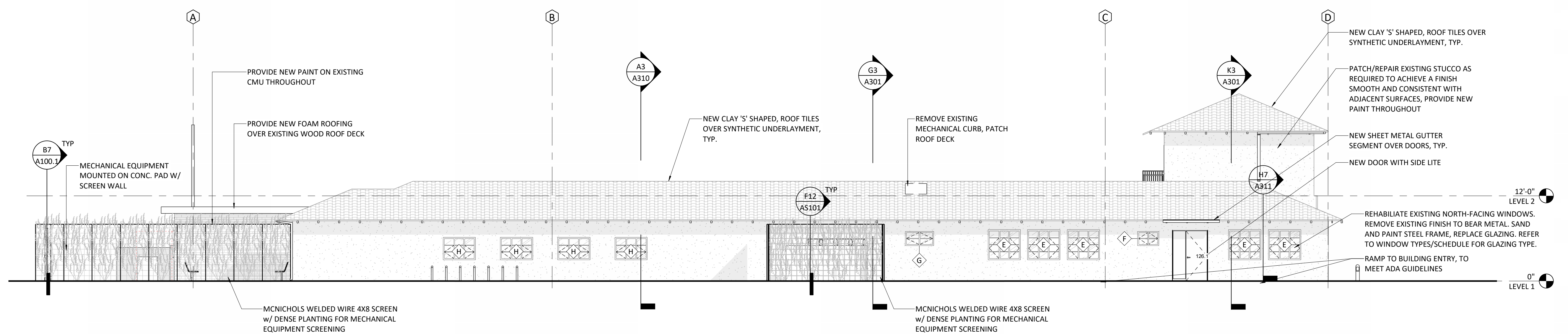
food service:  
**Design-Tec Food Facilities**  
8346 N. 50th Street  
Phoenix, AZ 85020  
602.273.0222

General Notes (Exterior Elevations):

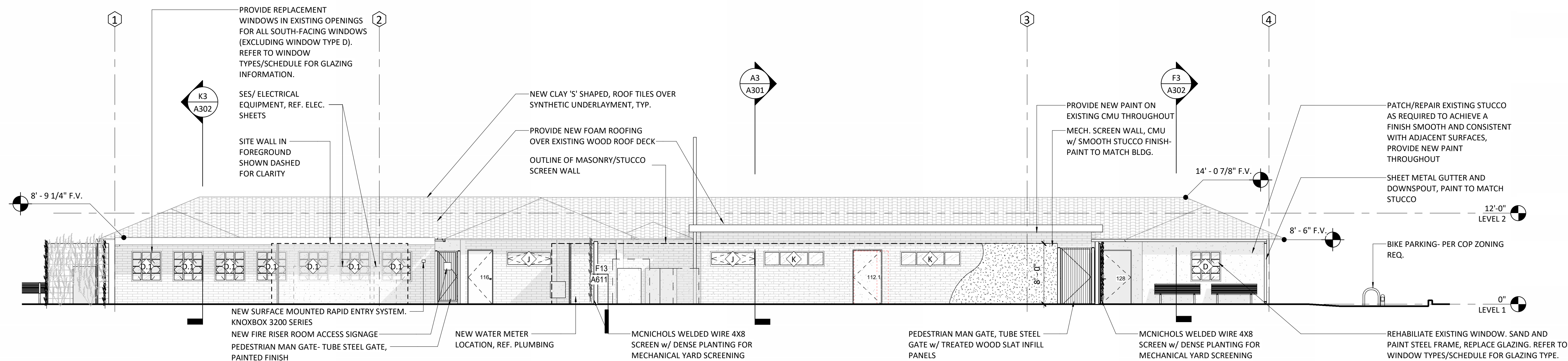
1. MATERIALS AND FINISHES INDICATED APPLY TO ALL SIMILAR ELEMENTS.
2. COORDINATE EXTERIOR LIGHTING FIXTURE TYPES AND LOCATIONS WITH ELECTRICAL DRAWINGS.



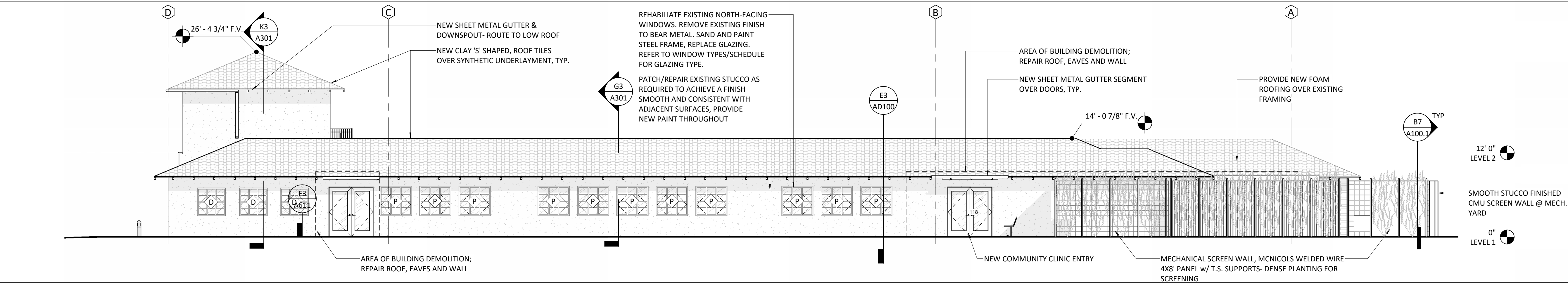
EXTERIOR ELEVATION - NORTH **L3**  
1/8" = 1'-0"



EXTERIOR ELEVATION - EAST H3  
1/8" = 1'-0"

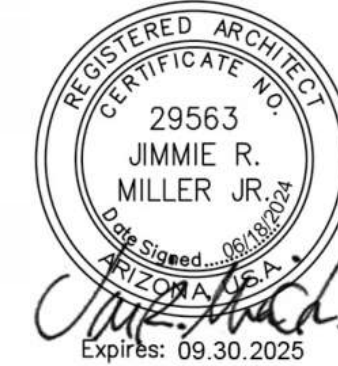


EXTERIOR ELEVATION - SOUTH **D3**  
1/8" = 1'-0"



EXTERIOR ELEVATION - WEST **A3**  
1/8" = 1'-0"

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.



REVISIONS		
Number	DESCRIPTION	DATE

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

## Exterior Elevations

A201

**BID SET - NEW  
CONSTRUCTION PHASE**

Project Number	NO.	Total
AH20300003-2	23	117









multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON  
IMPACT HUB  
CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
420 N. Washington Street  
Phoenix, AZ 85003  
602.253.2773  
www.phoenix.gov

architect:  
Multistudio  
1215 South 3rd Street #200  
Phoenix, AZ 85004  
602.253.1440  
multistudio.com

mechanical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

historic preservation:  
Ryden Architects  
802 W. McDowell Road  
Scottsdale, AZ 85264  
480.318.7729  
www.rydenarchitects.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1007  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

structural engineer:  
BDA design  
7047 E. Greenway Plaza #250  
Scottsdale, AZ 85254  
480.318.7729  
www.bdaesign.com

food service:  
Design-Tec Food Facilities  
8344 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.



REVISIONS

Number	DESCRIPTION	DATE
1	Delta 1 - CIP 1st Review Comments	03/15/2023
5	Delta 5 - Field Conditions	05/28/2024

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

Enlarged Plans & Int.  
Elevations

A250

BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	25	117



EDISON  
IMPACT HUB  
CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner: <b>City of Phoenix</b> 200 W. Washington Street Phoenix, AZ 85003 602.262.6011 <a href="http://www.phoenix.gov">www.phoenix.gov</a>	civil engineer: <b>Wilson &amp; Company</b> 410 N 44th Street Suite 460 Phoenix, AZ 85008 602.283.2701 <a href="http://www.wilsonco.com">www.wilsonco.com</a>
---	--

architect:  
**Multistudio**  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

mechanical engineer:  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

historic preservation: **Ryden Architects**  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
[www.rydenarchitects.com](http://www.rydenarchitects.com)

landscape architect: **Floor Associates**  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
[www.floorassociates.com](http://www.floorassociates.com)

structural engineer: **BDA design**  
 7047 E. Greenway Pkwy #250  
 Scottsdale, AZ 85254  
 480.398.7729  
[www.bdadesign.com](http://www.bdadesign.com)

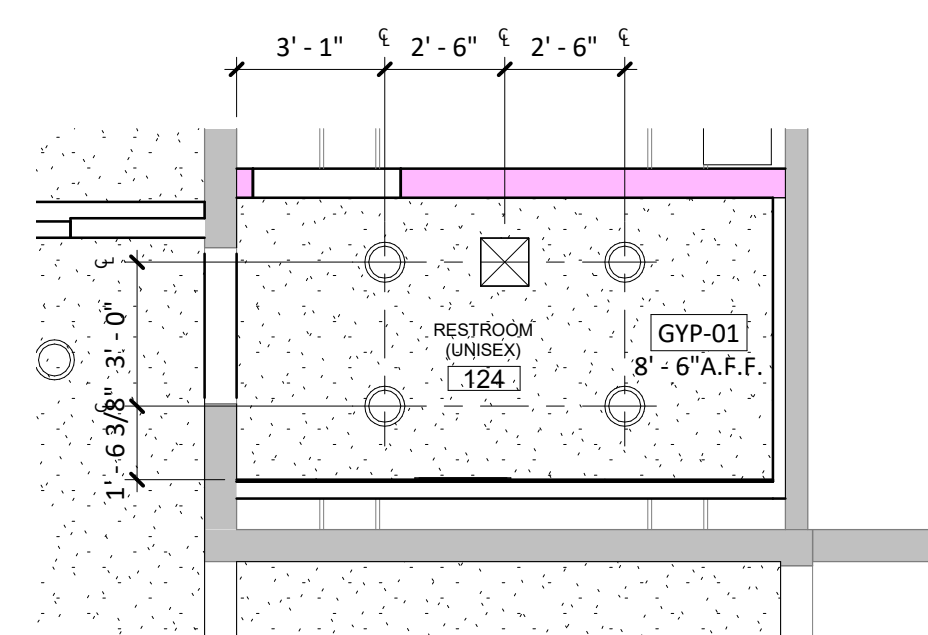
General Notes (Reflected Ceiling Plans):

1. ALL CEILING AND SOFFIT HEIGHTS ARE GIVEN ABOVE FINISHED FLOOR ELEVATION. (ELL "0'-0")
2. GENERAL: ALL CEILING MOUNTED FIXTURES ARE TO BE SHOWN ON THIS PLAN. COORDINATE WITH MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
3. SOME OR ALL SPRINKLERS MAY NOT BE SHOWN ON THIS PLAN. COORDINATE WITH MECHANICAL PLANS FOR ADDITIONAL INFORMATION. SPRINKLER HEADS TO BE INSTALLED ON CEILING TIE. VERIFY LOCATIONS OF ALL CEILING ASSEMBLY PANELS AND LIGHT FIXTURES WITH MECHANICAL PLANS WITH ARCHITECT PRIOR TO INSTALLATION. ASSEMBLY PANEL FIRE RATINGS MUST MATCH CEILING ASSEMBLY FIRE RATINGS.
4. LIGHT FIXTURES TO BE CENTERED AND SPACED EQUALLY UNLESS NOTED OTHERWISE.
5. LIGHT FIXTURES ARE SHOWN FOR DIMENSIONAL PURPOSES ONLY COORDINATE WITH ELECTRICAL DRAWINGS FOR FIFTEEN FOOT SPACING.
6. IF PROJECT INCLUDES FIRE RATED CEILINGS, LIGHT FIXTURES LOCATED IN RATED CEILING ASSEMBLIES ARE TO BE TESTED OR OTHERWISE RATED TO MATCH THE CEILING.
7. GYP. CEILINGS SHALL BE PAINTED PT-01, TYPE 1. ALL UTILITIES SHALL BE RUN CONCEALED. RUN ALL SPRINKLER PIPING IN ATTIC AND CRO THROUGH CEILING PLUMBING AT EACH FLOOR.
8. DIFFUSERS AND OTHER CEILING MOUNTED EQUIPMENT TO BE CENTERED IN SPACE OR IN A CEILING TIE, UNLESS OTHERWISE NOTED. COORDINATE WITH MECHANICAL FOR FIRE PROTECTION DESIGNATIONS.

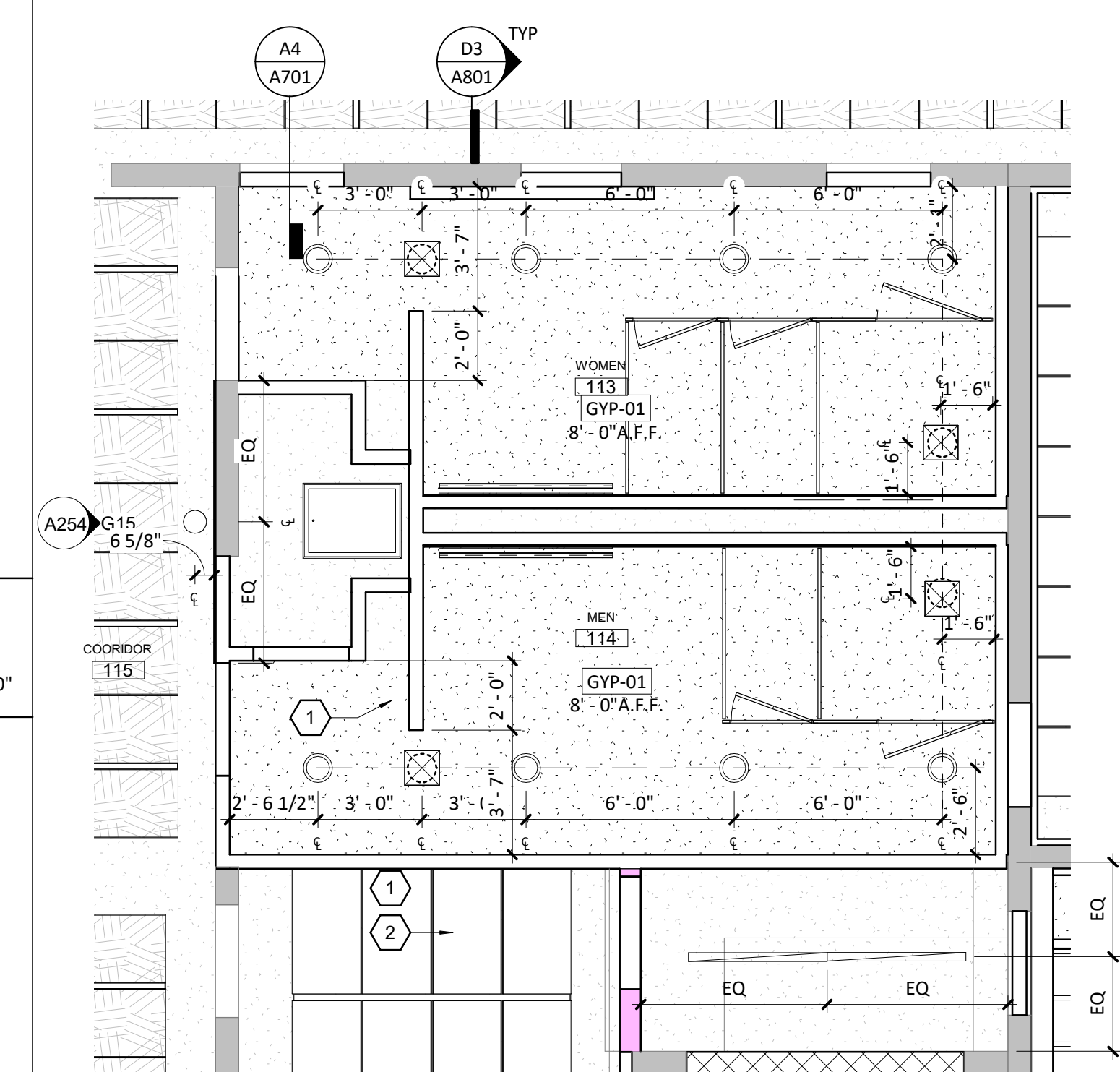
## Enlarged RCP Keynotes

- |   |   |
|---|---|
| 1 | EXISTING CONCRETE DECK, PAINT                                       |
| 2 | GYP. BOARD FRAMED SOFFIT FOR MECH. DISTRIBUTION<br>REF. MECH SHEETS |

RCP\_COMMUNAL KITCHEN K3  
1/4" = 1'-0"







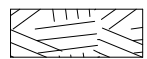

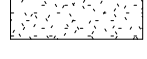





RCP\_UNISEX RESTROOM **G7**  
1/4" = 1'-0"



ENLARGED RCP\_RESTROOM E3  
1/4" = 1'-0"

Ceiling Legend:

- |   |   |
|---|---|
|  | 3X2 FLUORESCENT   |
|  | SURFACE MOUNTED LINEAR LED  |
|  | SURFACE MOUNTED 5" DOWNLIGHT                                      |
|  | RECESSED 5" DOWNLIGHT   |
|  | LARGE PENDANT LIGHT   |
|  | LED STRIP LIGHT   |
|  | ACOUSTIC CEILING PANEL (ACP-01)                                   |
|  | ACOUSTIC CEILING PANEL (ACP-02)                                   |
|  | GYP. BOARD CEILING (GYP-01)                                       |
|  | DIFFUSER - SEE MECHANICAL   |
|  | DUCT PENETRATION IN EXISTING SLAB - SEE MECHANICAL AND STRUCTURAL |
|  | DUCT PENETRATION AND DIFFUSER - SEE MECHANICAL AND STRUCTURAL     |

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.



## REVISIONS

Number	DESCRIPTION	DATE
1	Delta 1 - COP 1st Review Comments	02/25/2021
5	Delta 5 - Field Conditions	05/28/2021

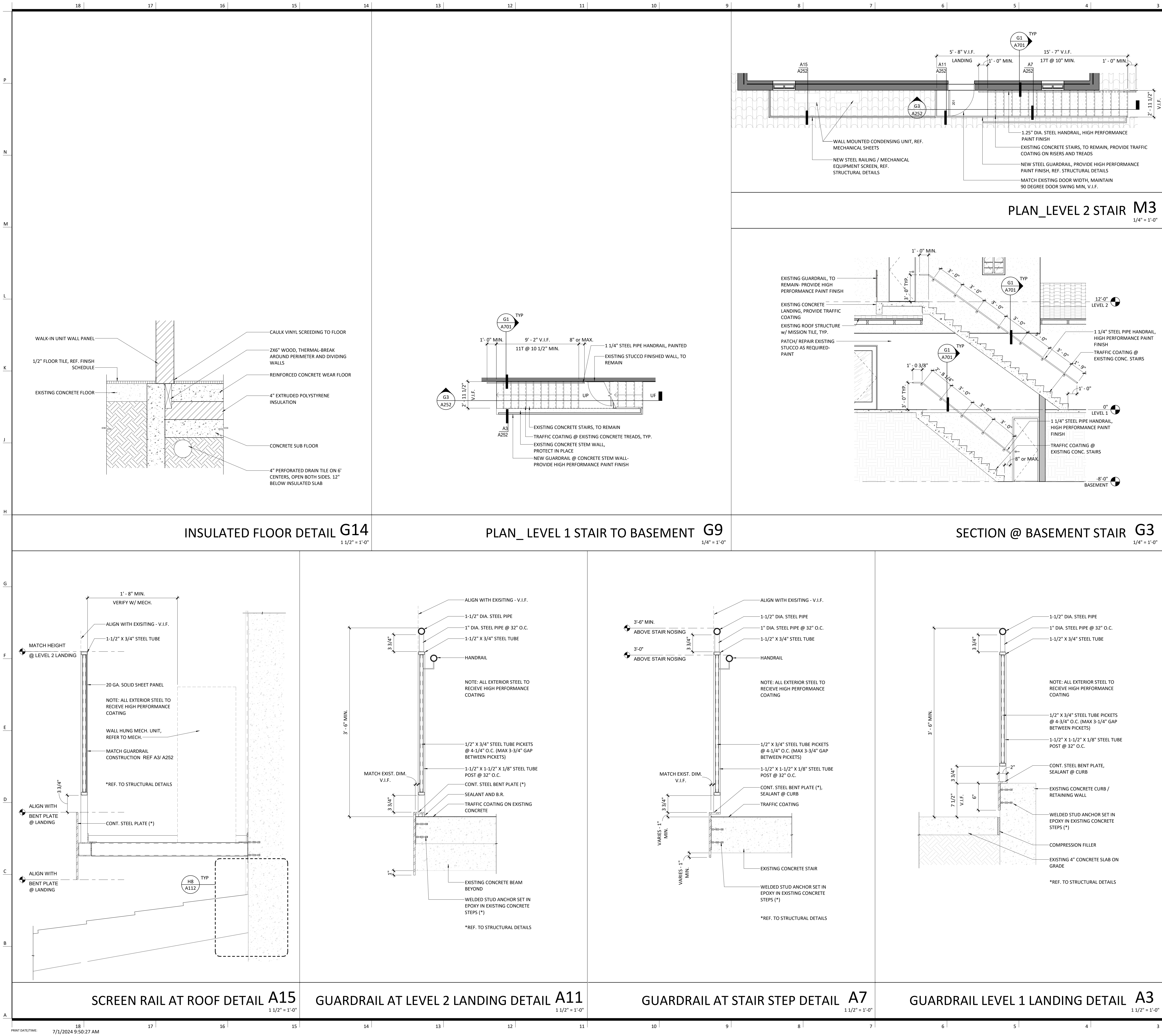
PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

### Enlarged RCPs

**A251**  
BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	26	117





- General Architectural Drawing Notes:
- THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED ONLY TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INDICATED RESULTS.
  - ORGANIZATION OF THE SPECIFICATIONS INTO DIVISIONS, SECTIONS AND ARTICLES, AND ARRANGEMENT OF DRAWINGS SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE.
  - DRAWINGS, SPECIFICATIONS, GENERAL AND SUPPLEMENTARY CONDITIONS ARE ESSENTIAL PARTS OF THE CONTRACT. IN THE EVENT OF ANY DISCREPANCY BETWEEN A DRAWING AND FIGURES WRITTEN THEREON, THE FIGURES, UNLESS OBVIOUSLY INCORRECT, ARE TO GOVERN OVER SCALED DIMENSIONS. IN THE CASE OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE SPECIFICATIONS ARE TO GOVERN. IF THERE IS A DISCREPANCY BETWEEN LARGE AND SMALL SCALE DETAILS, THE LARGER SCALE DETAILS ARE TO GOVERN. SUPPLEMENTARY CONDITIONS SHALL GOVERN OVER SPECIFICATIONS, DRAWINGS AND GENERAL CONDITIONS. THE CONTRACTOR SHALL ADVISE THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS BETWEEN CONTRACT DOCUMENTS AS SOON AS THEY ARE DISCOVERED.
  - NOTWITHSTANDING THE ABOVE, IN THE CASE OF INCONSISTENCY BETWEEN DRAWINGS AND SPECIFICATIONS, OR WITHIN EITHER DOCUMENT NOT CLARIFIED BY ADDENDUM OR BY ARCHITECT'S SUPPLEMENTAL INSTRUCTION, THE BETTER QUALITY OR GREATER QUANTITY SHALL BE PROVIDED.
  - DRAWINGS SHALL NOT BE SCALED TO DETERMINE DIMENSIONS. IF DIMENSIONS APPEAR TO BE INSUFFICIENT OR INCORRECT, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT.
  - WHENEVER CONTRACT DOCUMENTS REASONABLY IMPLY MATERIALS OR INSTALLATION AS NECESSARY TO PRODUCE THE INTENDED RESULTS, BUT DO NOT FULLY DETAIL OR SPECIFY SUCH MATERIALS, THE CONTRACTOR SHALL PROVIDE THE MATERIALS AND LABOR REQUIRED FOR INSTALLATION NONETHELESS.
  - PROVIDE ALL WORK INDICATED UNLESS SPECIFICALLY INDICATED AS "NOT IN CONTRACT" (NIC), "FURNISHED BY OTHERS" (FBO) OR "EXISTING" (NIC), "FURNISHED BY OTHERS" (FBO) OR "EXISTING".
  - CONTRACT DOCUMENTS ARE INTENDED TO CONVEY DESIGN INTENT ONLY. PROVIDE PRODUCTS COMPLETE WITH ACCESSORIES, TRIM, FINISH, FASTENERS, AND OTHER ITEMS NEEDED FOR A COMPLETE INSTALLATION AND INDICATED USE AND EFFECT.
  - THESE NOTES ARE NOT INTENDED TO LIMIT THE RESPONSIBILITIES OF THE CONTRACTOR AS DEFINED ELSEWHERE IN THE CONTRACT DOCUMENTS
  - VERIFY DIMENSIONS AND EXISTING CONDITIONS BEFORE COMMENCING WORK. REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH AFFECTED WORK.
  - BUILDING FLOOR PLAN DIMENSIONS ARE REFERENCED FROM STRUCTURAL GRID, FACE OF CONCRETE, FACE OF MASONRY, OR FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE.
  - REFLECTED CEILING PLAN DIMENSIONS ARE REFERENCED FROM FINISHED SURFACES UNLESS NOTED OTHERWISE. CEILING HEIGHTS ARE DIMENSIONED FROM FLOOR TO FINISHED CEILING HEIGHT.
  - CASEWORK, PLUMBING FIXTURES, TOILET PARTITIONS, AND OTHER FIXTURES AND EQUIPMENT ARE DIMENSIONED FROM FINISHED SURFACES UNLESS NOTED OTHERWISE.
  - DIMENSIONS NOTED AS "FIELD VERIFY" SHALL BE CHECKED AT THE SITE BY THE CONTRACTOR AND REVIEWED WITH THE ARCHITECT BEFORE INCORPORATING INTO THE WORK.
  - DIMENSIONS NOTED AS "CLEAR" REQUIRE SPECIFIC COORDINATION BETWEEN DISCIPLINES AND/OR MANUFACTURERS.
  - DRAWINGS NOTED AT "N.T.S." ARE NOT TO SCALE.
  - DO NOT SCALE DRAWING. WRITTEN DIMENSIONS TAKE PRECEDENCE. IF CLARIFICATION IS REQUIRED IN ORDER TO DETERMINE THE INTENT OF THE CONTRACT DOCUMENTS, CONTACT THE ARCHITECT.
  - NOTES OR DIMENSIONS LABELED "TYPICAL" SHALL APPLY TO SITUATIONS THAT ARE THE SAME OR SIMILAR.

NOTE:

(\*) GUARD RAILING STRUCTURE DESIGN IS DEFERRED SUBMITTAL/DELEGATED DESIGN. RAILING SHALL MEET REQUIREMENTS OF ALL ADOPTED CODES. SIZE ELEMENTS AS REQUIRED TO MEET CODE REQUIREMENTS.

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON  
IMPACT HUB  
CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

Owner:  
**City of Phoenix**  
200 W. Washington Street  
Phoenix, AZ 85003  
602.258.2773  
www.phoenix.gov

Civil engineer:  
**Wilson & Company**  
420 W. 1st Street Suite 400  
Phoenix, AZ 85003  
602.258.2773  
www.wilsonco.com

Architect:  
**Multistudio**  
121 South 3rd Street #200  
Tempe, AZ 85281  
602.234.1440  
multistudio

Mechanical engineer:  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85281  
480.968.3070  
www.appliedengineering.com

Historic preservation:  
**Ryden Architects**  
402 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

Landscape architect:  
**Floor Associates**  
1457 N. 1st Street #1007  
Phoenix, AZ 85004  
602.462.1471  
www.floorassociates.com

Structural engineer:  
**BDA design**  
7047 E. Greenway Plaza #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaengine.com

Food service:  
**Design-Tec Food Facilities**  
8344 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

NOTE: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

REGISTERED ARCHITECT  
29563  
JIMMIE R. MILLER JR.  
PHOENIX, ARIZONA  
Expires: 09.30.2025

REVISIONS

Number	DESCRIPTION	DATE
1	Delta 1 - CDP 1st Review Comments	03/25/2023

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

Enlarged Plans & Details

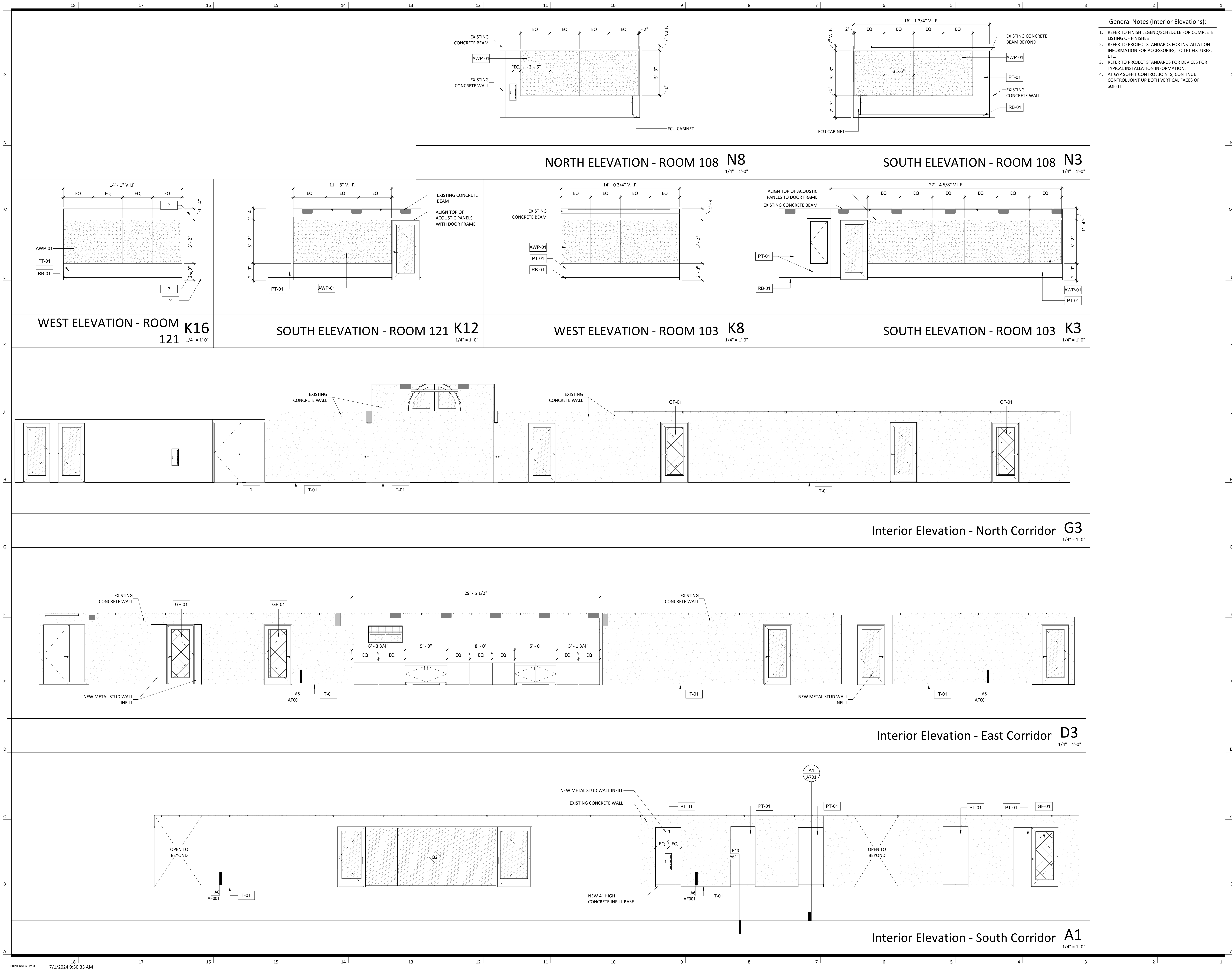
A252

BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	27	117

AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION. Q.S.11-31





- General Notes (Interior Elevations):
- REFER TO FINISH LEGEND/SCHEDULE FOR COMPLETE LISTING OF FINISHES
  - REFER TO PROJECT STANDARDS FOR INSTALLATION INFORMATION FOR ACCESSORIES, TOILET FIXTURES, ETC.
  - REFER TO PROJECT STANDARDS FOR DEVICES FOR TYPICAL INSTALLATION INFORMATION.
  - AT GYP SOFFIT CONTROL JOINTS, CONTINUE CONTROL JOINT UP BOTH VERTICAL FACES OF SOFFIT.

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
**City of Phoenix**  
420 W. Washington Street  
Phoenix, AZ 85003  
602.262.2112  
www.phoenix.gov

architect:  
**Multistudio**  
121 South 3rd Street #200  
Phoenix, AZ 85004  
602.234.1440  
multistudio

historic preservation:  
**Ryden Architects**  
802 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5361  
www.rydenarchitects.com

structural engineer:  
**BDA design**  
7047 E. Greenway Plaza #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaesign.com

food service:  
**Design-Tec Food Facilities**  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

mechanical engineer:  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

landscape architect:  
**Floor Associates**  
1425 N. 1st Street #1007  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR REPRESENTATION



### REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

Interior Elevations

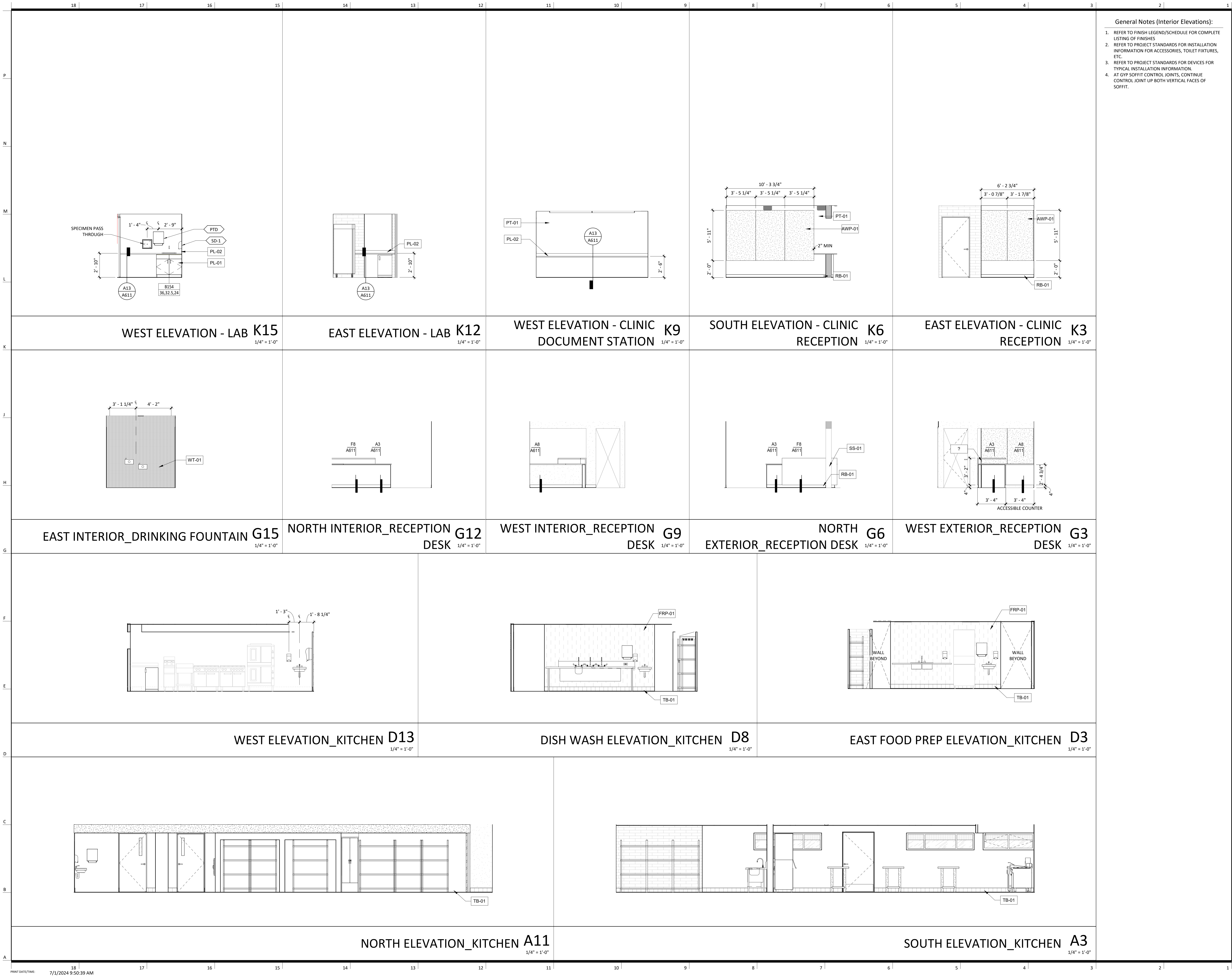
# A253

BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	28	117

AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION, Q.S.11-31





- General Notes (Interior Elevations):
- REFER TO FINISH LEGEND/SCHEDULE FOR COMPLETE LISTING OF FINISHES
  - REFER TO PROJECT STANDARDS FOR INSTALLATION INFORMATION FOR ACCESSORIES, TOILET FIXTURES, ETC.
  - REFER TO PROJECT STANDARDS FOR DEVICES FOR TYPICAL INSTALLATION INFORMATION.
  - AT GYP SOFFIT CONTROL JOINTS, CONTINUE CONTROL JOINT UP BOTH VERTICAL FACES OF SOFFIT.

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
420 W. Washington Street  
Phoenix, AZ 85003  
602.253.2711  
www.phoenix.gov

architect:  
Multistudio  
111 South 3rd Street #200  
Phoenix, AZ 85004  
602.253.1440  
multistudio

historic preservation:  
Ryden Architects  
402 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5361  
www.rydenarchitects.com

structural engineer:  
BDA design  
7047 E. Greenway Plaza #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaesign.com

mechanical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

landscape architect:  
Floor Associates  
1415 N. 1st Street #1007  
Phoenix, AZ 85004  
602.462.1415  
www.floorassociates.com

food service:  
Design-Tec Food Facilities  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR REPRESENTATION.



REVISIONS		
Number	DESCRIPTION	DATE
5	Delta 5 - Field Conditions	09/18/2024

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

Interior Elevations

# A254

BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	29	117

AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION, Q.S.11-31



EAST/WEST SECTION B **G3**  
3/16" = 1'-0"

NORTH/ SOUTH BUILDING SECTION A **A3**  
3/16" = 1'-0"

REGISTERED ARCHITECT  
 CERTIFICATE NO.  
 29563  
 JIMMIE R.  
 MILLER JR.  
 Date Signed: 09/30/2025  
 ARIZONA  
*Jim Miller*  
 Expires: 09.30.2025

REVISIONS		
Number	DESCRIPTION	DATE
1	Delta 1 - CIP 1st Review Comments	02/25/2002

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

## Building Sections

# A301

---

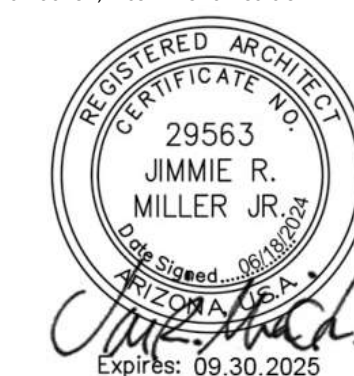
BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	30	117



N/S BUILDING SECTION\_ EAST FACING F3  
3/16" = 1'-0"

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS  
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR  
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



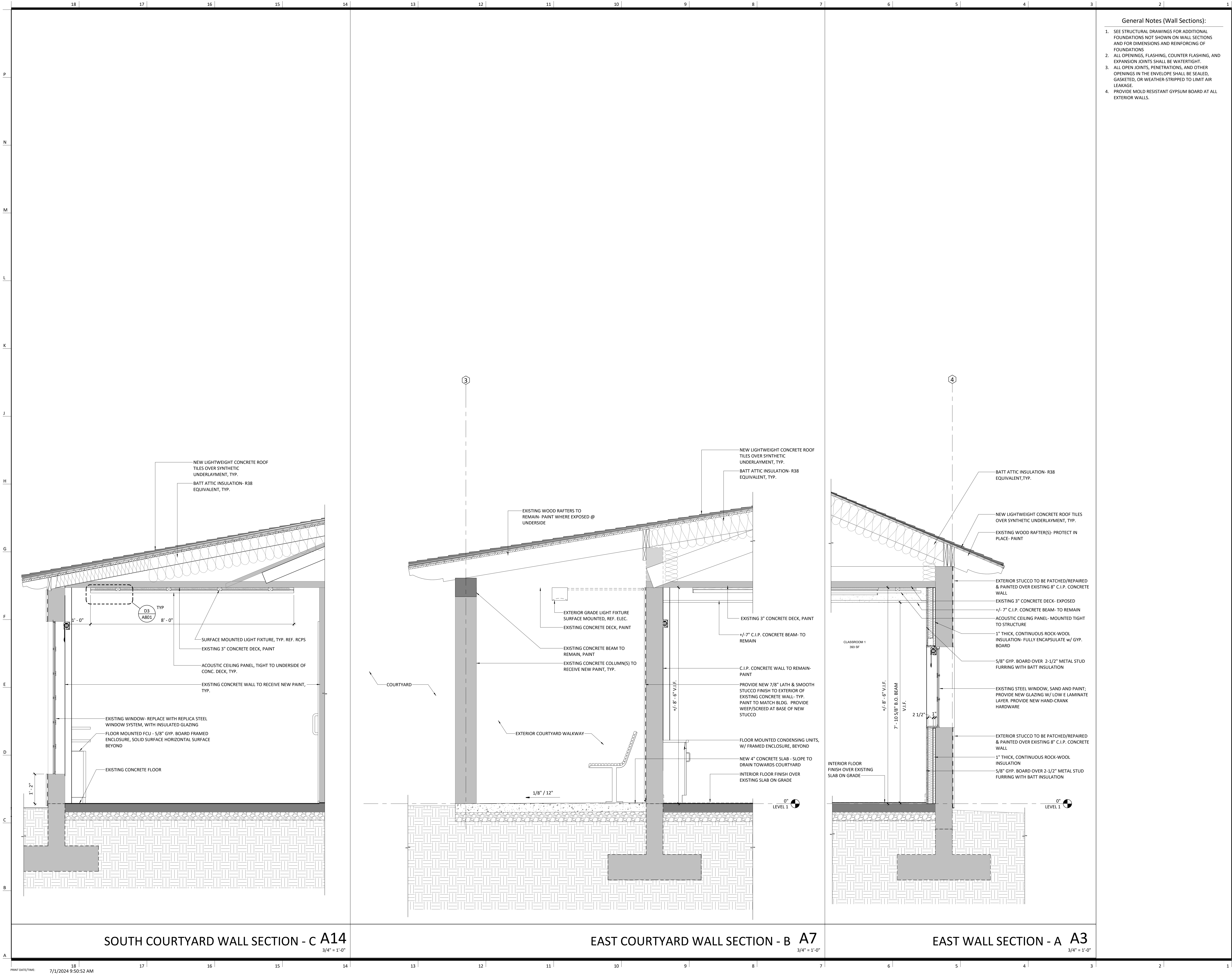
REVISIONS		
Number	DESCRIPTION	DATE
1	Delta 1 - CIP 1st Review Comments	02/25/2002

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	31	117





- General Notes (Wall Sections):
- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL FOUNDATIONS NOT SHOWN ON WALL SECTIONS AND FOR DIMENSIONS AND REINFORCING OF FOUNDATIONS
  - ALL OPENINGS, FLASHING, COUNTER FLASHING, AND EXPANSION JOINTS SHALL BE WATER TIGHT.
  - ALL OPEN JOINTS, PENETRATIONS, AND OTHER OPENINGS IN THE ENVELOPE SHALL BE SEALED, GASKETED, OR WEATHER-STRIPPED TO LIMIT AIR LEAKAGE
  - PROVIDE MOLD RESISTANT GYPSUM BOARD AT ALL EXTERIOR WALLS.

**multistudio**

kansas city • lawrence • new orleans  
phoenix • san francisco

**EDISON  
IMPACT HUB  
CONSTRUCTION**

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
**City of Phoenix**  
420 W. Washington Street  
Phoenix, AZ 85003  
602.283.2773  
www.phoenix.gov

civil engineer:  
**Wilson & Company**  
420 W. Washington Street  
Phoenix, AZ 85008  
602.283.2773  
www.wilsonco.com

architect:  
**Multistudio**  
111 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1440  
multistudio

mechanical engineer:  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85281  
480.968.3070  
www.appliedengineering.com

historic preservation:  
**Ryden Architects**  
802 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

landscape architect:  
**Floor Associates**  
1415 N. 1st Street #100  
Phoenix, AZ 85004  
602.462.1415  
www.floorassociates.com

structural engineer:  
**BDA design**  
7047 E. Greenway Place #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaengine.com

food service:  
**Design-Tec Food Facilities**  
8344 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.



**REVISIONS**

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

Wall Sections

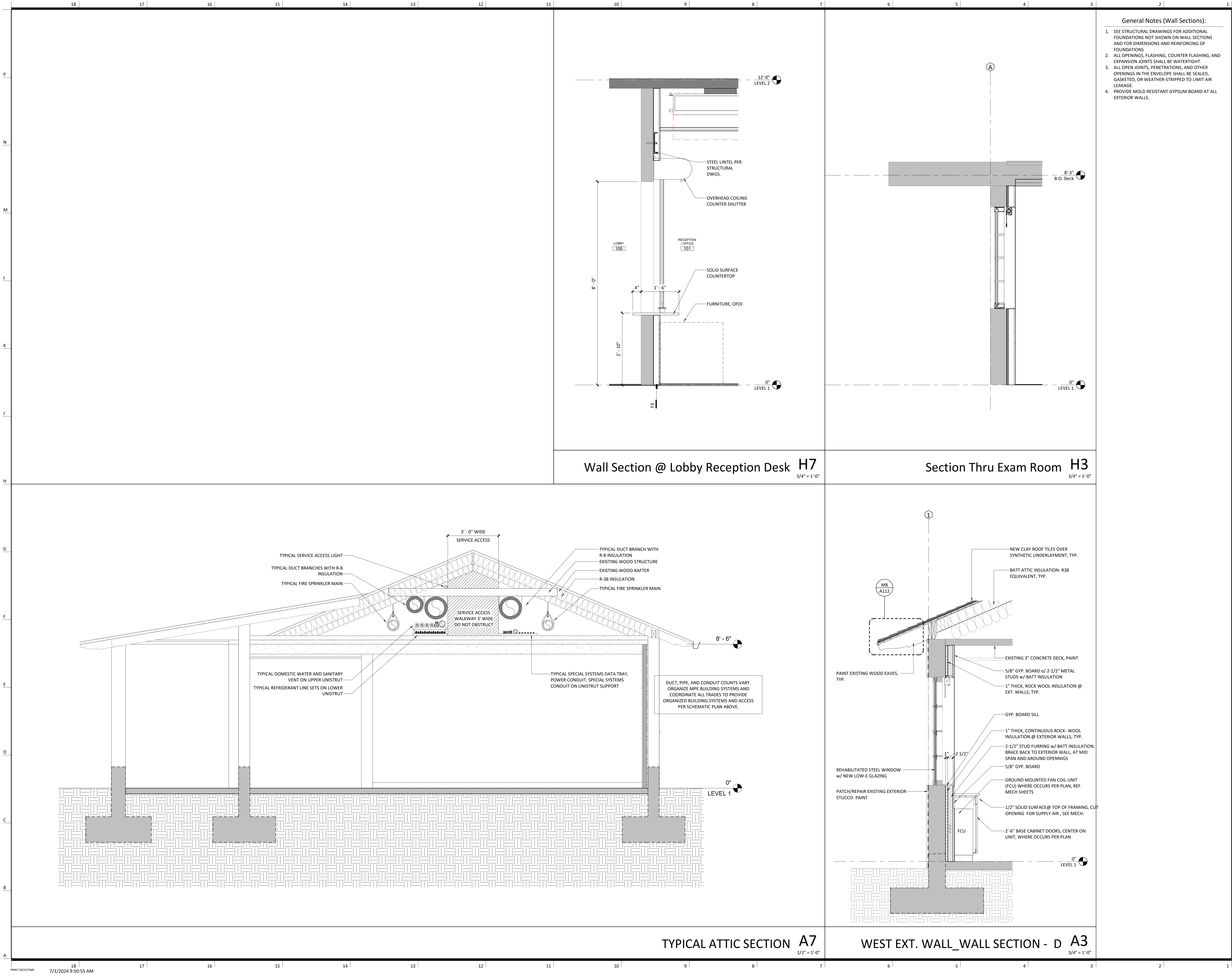
**A310**

BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	32	117

AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION, Q.S.11-31





multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON

IMPACT HUB

CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:

City of Phoenix  
420 W. Washington Street  
Phoenix, AZ 85003  
602.258.2711  
www.phoenix.gov

civil engineer:

Wilson & Company  
420 W. Washington Street  
Phoenix, AZ 85008  
602.258.2711  
www.wilsonco.com

architect:

Multistudio  
111 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1440  
multistudio

mechanical engineer:

Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85281  
480.968.3070  
www.appliedengineering.com

historic preservation:

Ryden Architects  
802 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

landscape architect:

Floor Associates  
1415 N. 1st Street #100  
Phoenix, AZ 85004  
602.462.1470  
www.floorassociates.com

structural engineer:

BDA design  
7047 E. Greenway Place #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaengine.com

food service:

Design-Tec Food Facilities  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.

REGISTERED ARCHITECT  
29563  
JAMIE R. MILLER JR.  
ARCHITECT  
Expires: 09.30.2025

REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT NO: 0520-0020

DATE: MAY 12, 2023

Wall Sections

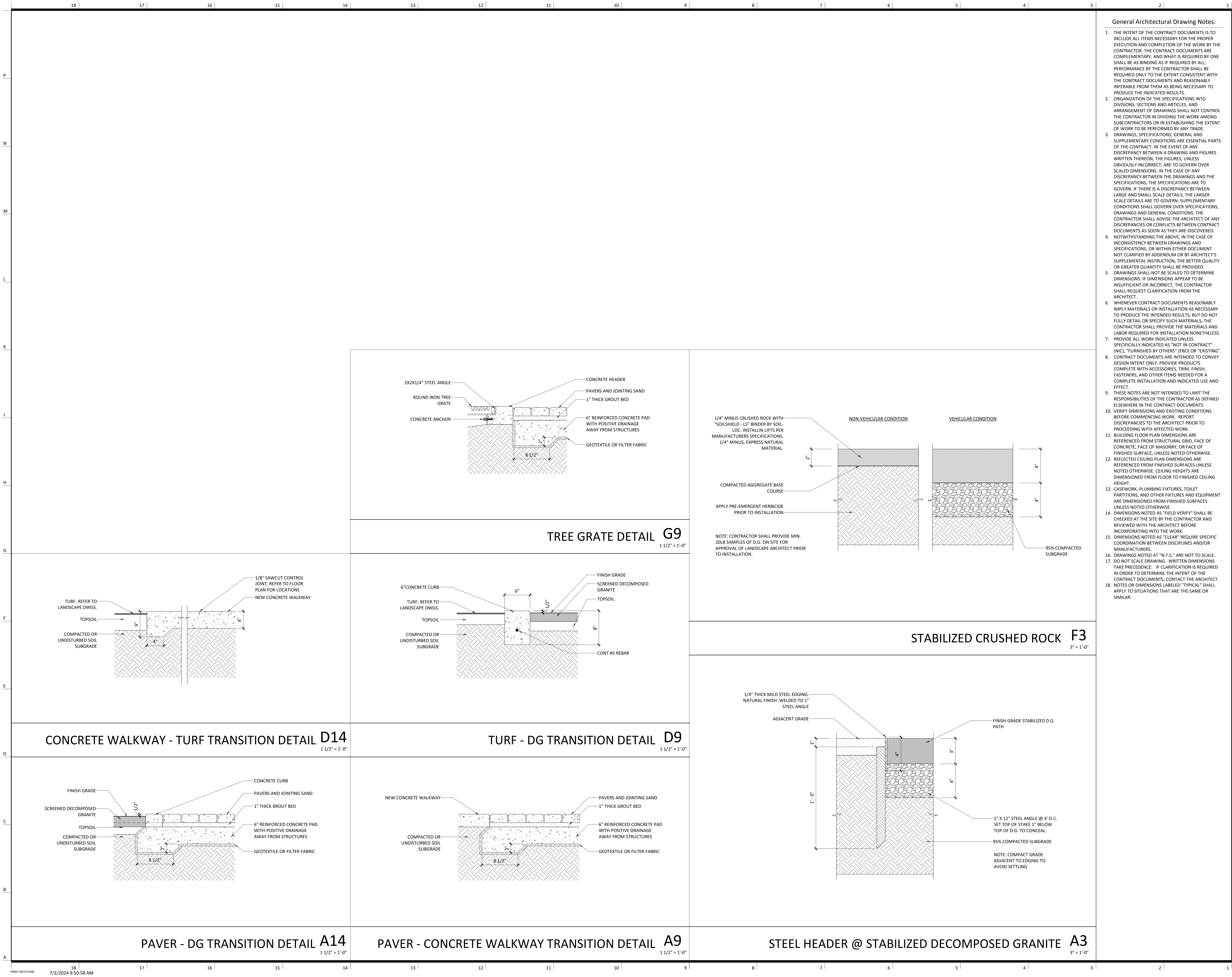
A311

BID SET - NEW CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	33	117

AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION, Q.S.11-31





EDISON  
IMPACT HUB  
CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.258.2712  
www.phoenix.gov

civil engineer:  
Wilson & Company  
420 W. 4th Street Suite 400  
Phoenix, AZ 85008  
602.258.2712  
www.wilsonco.com

architect:  
Multistudio  
121 South 3rd Street #200  
Tempe, AZ 85281  
602.224.1440  
multistudio

mechanical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85281  
480.968.3070  
www.appliedengineering.com

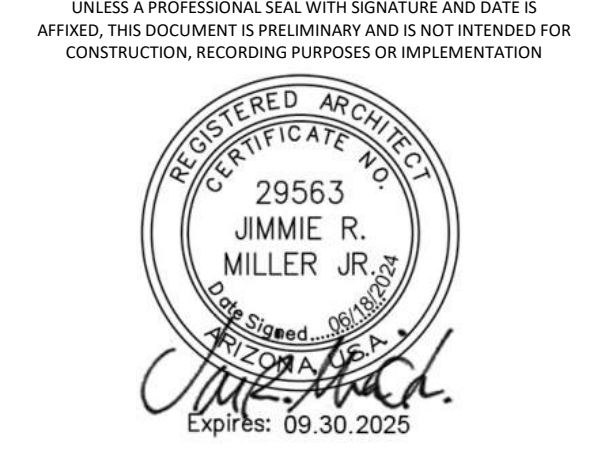
historic preservation:  
Ryden Architects  
802 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1007  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

structural engineer:  
BDA design  
7047 E. Greenway Plaza #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaengine.com

food service:  
Design-Tec Food Facilities  
8344 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.



REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

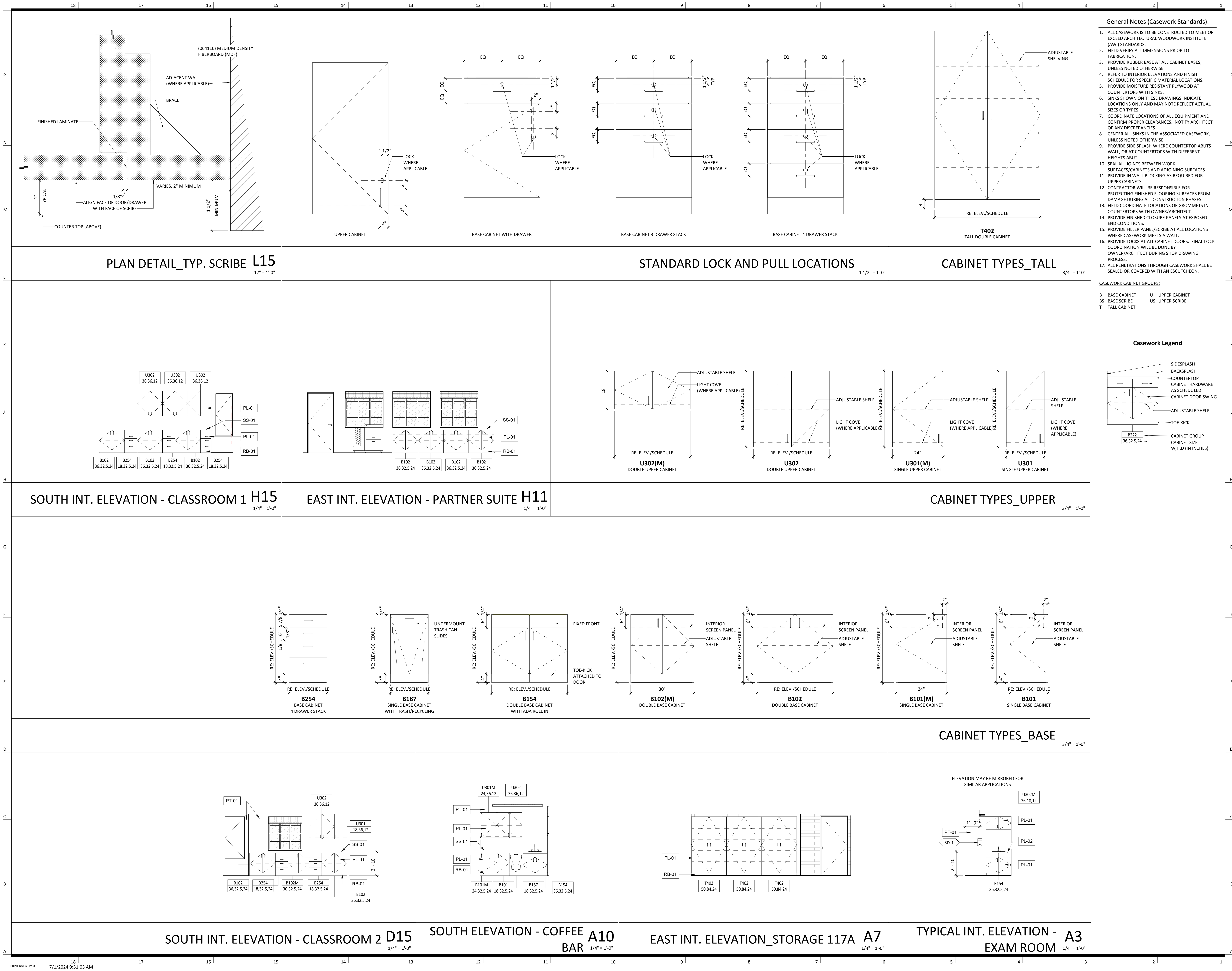
PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

Exterior Details

A501  
BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	34	117





multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON

IMPACT HUB

CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
420 W. Washington Street  
Phoenix, AZ 85003  
602.258.2112  
www.phoenix.gov

civil engineer:  
Wilson & Company  
420 W. Washington Street  
Phoenix, AZ 85008  
602.258.2112  
www.wilsonco.com

architect:  
MultiStudio  
1215 South 3rd Street #200  
Phoenix, AZ 85004  
602.224.1440  
multistudio

mechanical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

historic preservation:  
Ryden Architects  
902 W. McDowell Road  
Scottsdale, AZ 85254  
602.253.5381  
www.rydenarchitects.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1007  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

structural engineer:  
BDA design  
7047 E. Greenway Plaza #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaengine.com

food service:  
Design-Tec Food Facilities  
8344 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

Casework Standards & Elevations

A600

BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	35	117

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR REPLACEMENT.

REGISTERED ARCHITECT  
29563  
JIMMIE R. MILLER JR.  
PHOENIX, ARIZONA  
Expires: 09.30.2025

REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

NOTE: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR REPLACEMENT.

AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION. Q.S.11-31



EDISON  
IMPACT HUB  
CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
420 W. Washington Street  
Phoenix, AZ 85003  
602.258.2773  
www.phoenix.gov

architect:  
Multistudio  
111 South 3rd Street #200  
Phoenix, AZ 85004  
602.234.1440  
multistudio

historic preservation:  
Ryden Architects  
402 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5361  
www.rydenarchitects.com

structural engineer:  
BDA design  
7047 E. Greenway Plaza #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaesign.com

civil engineer:  
Wilson & Company  
420 W. Washington Street #50  
Phoenix, AZ 85008  
602.283.2773  
www.wilsonco.com

mechanical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85281  
480.968.3070  
www.appliedengineering.com

landscape architect:  
Floor Associates  
1415 N. 1st Street #1007  
Phoenix, AZ 85004  
602.462.1415  
www.floorassociates.com

food service:  
Design-Tec Food Facilities  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.



REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

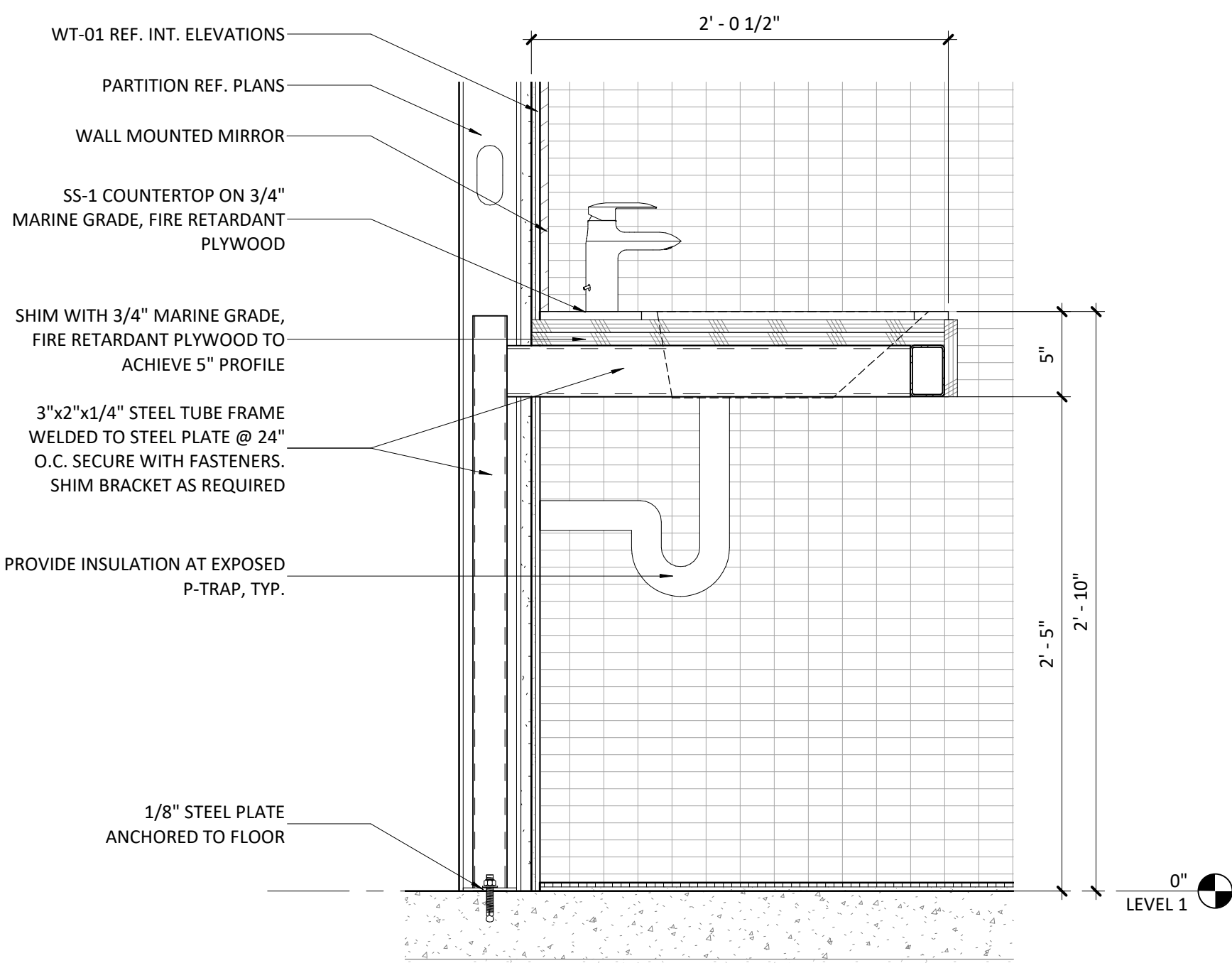
PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

Millwork Details

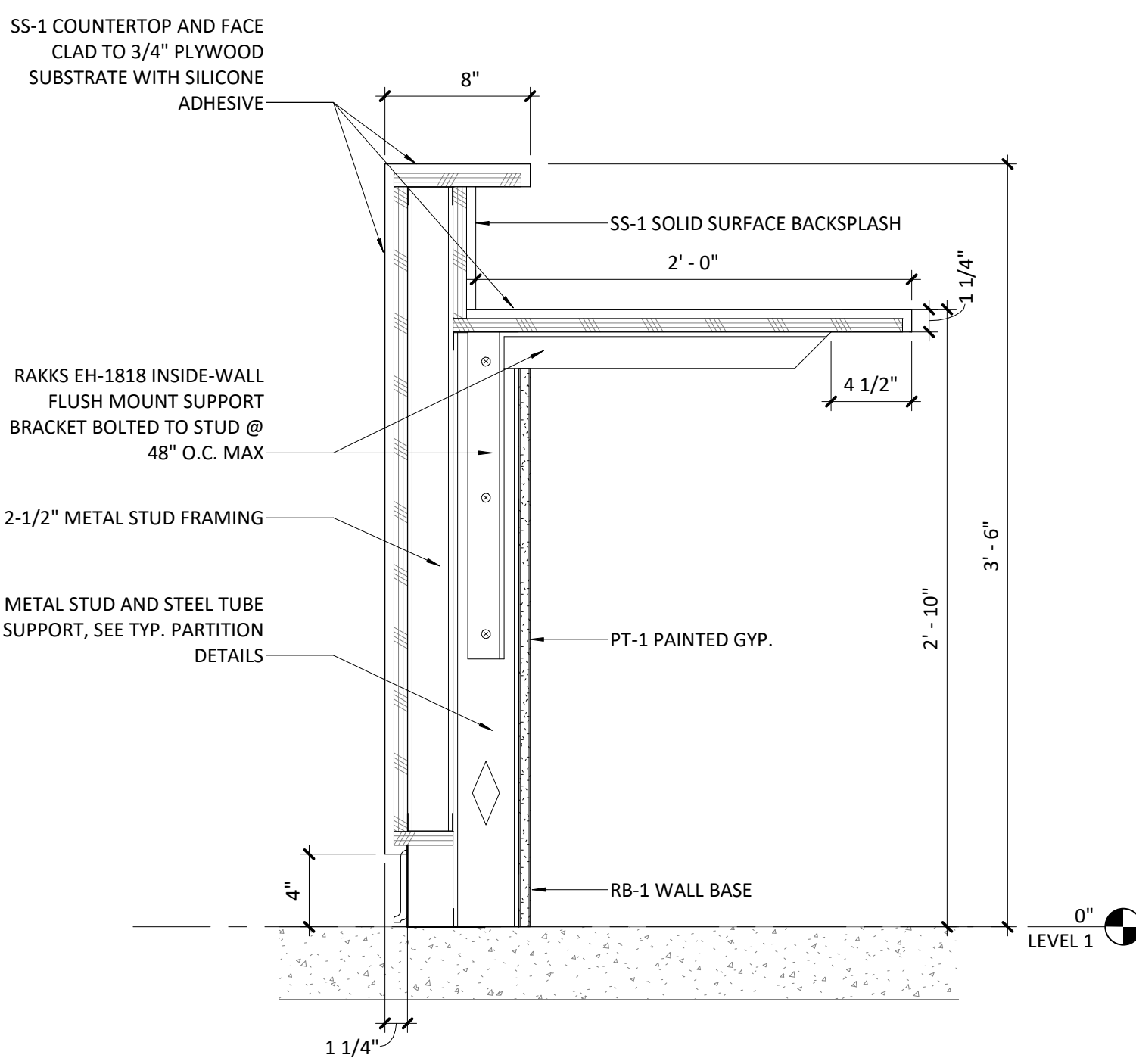
A611

BID SET - NEW  
CONSTRUCTION PHASE

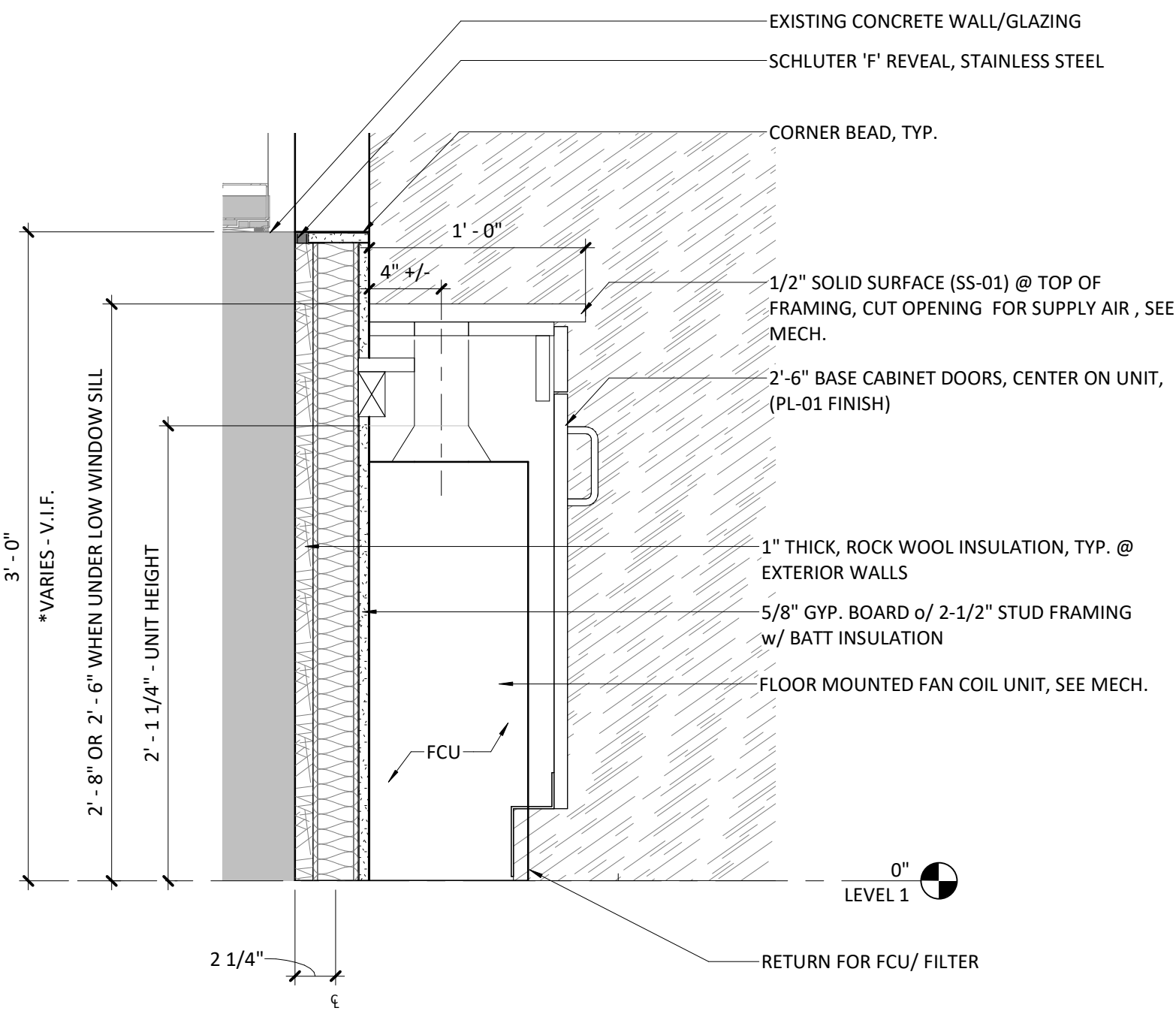
Project Number	NO.	Total
AH20300003-2	36	117



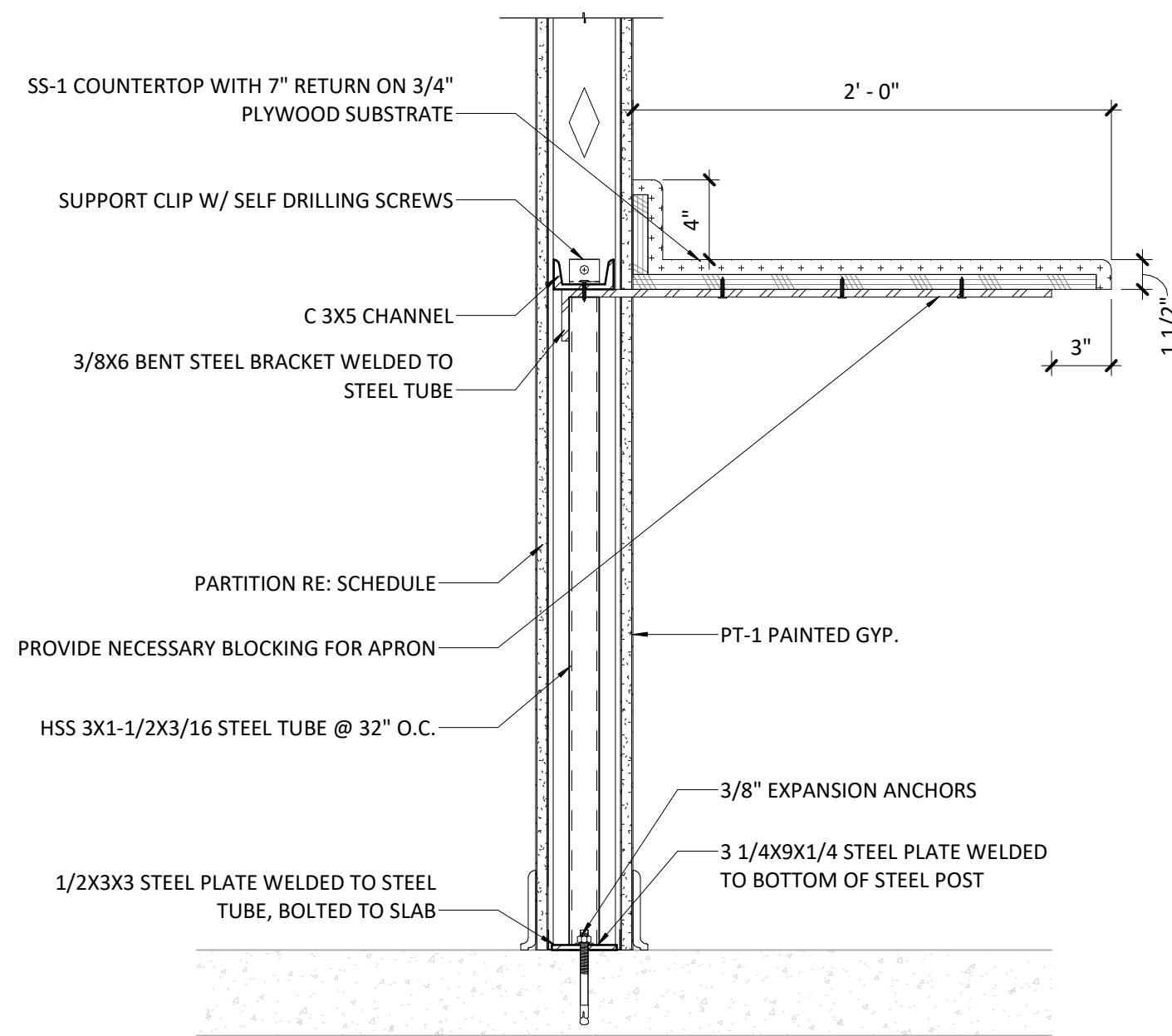
SECTION @ CANTILEVER SINK F13  
1 1/2" = 1'-0"



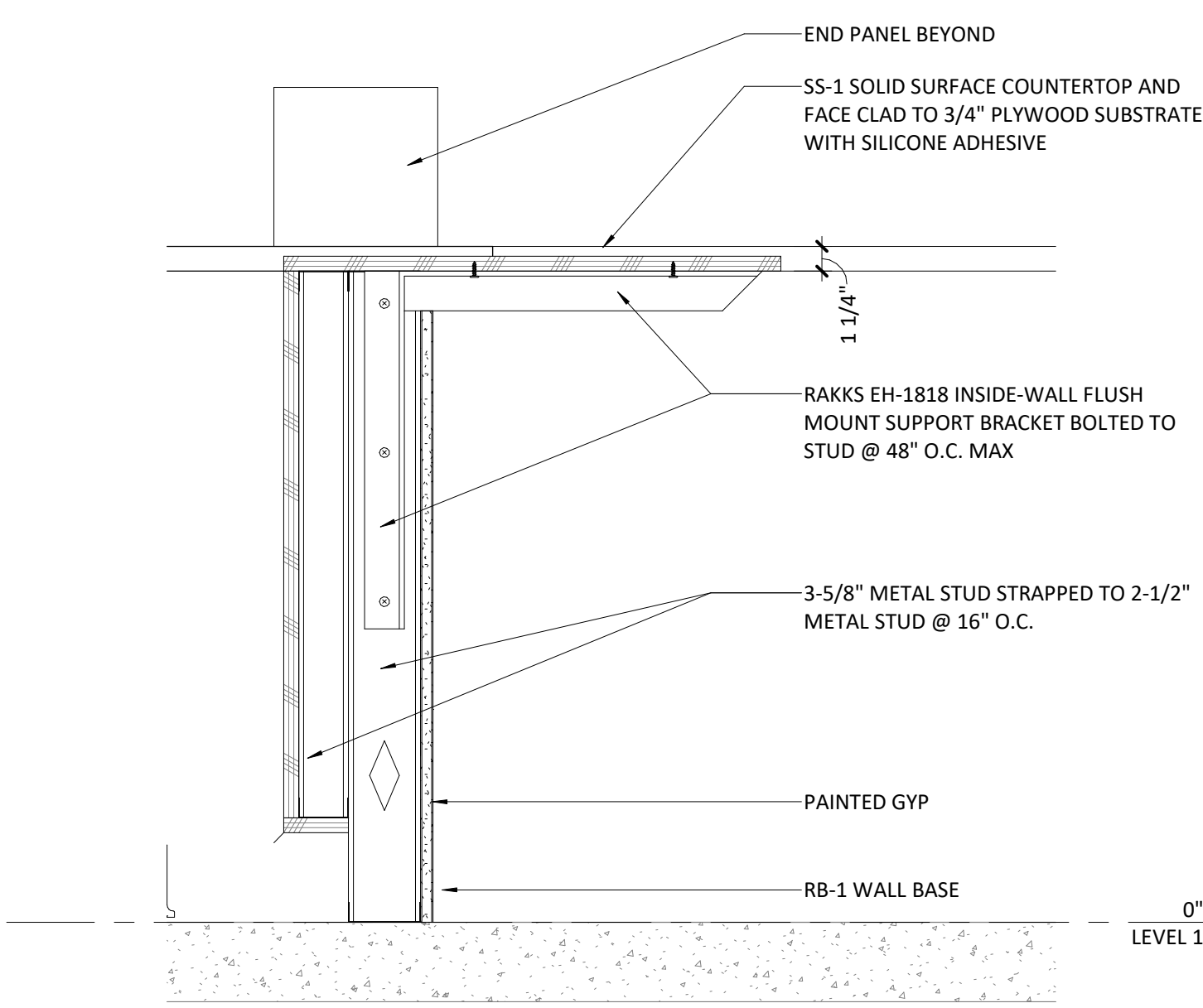
SECTION @ REC. DESK F8  
1 1/2" = 1'-0"



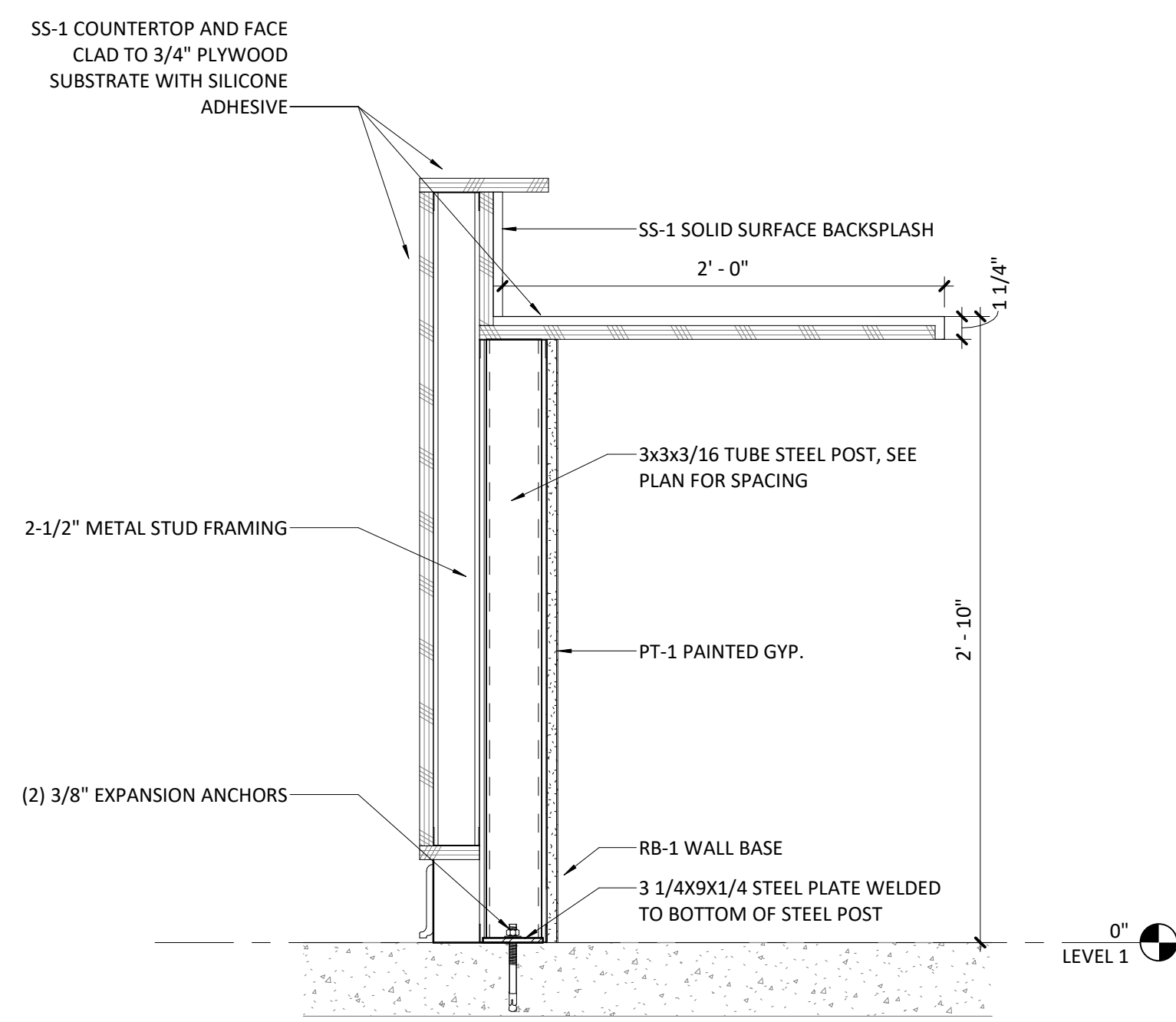
FCU CABINET DETAIL F3  
1 1/2" = 1'-0"



TYPICAL COUNTERTOP DETAIL A13  
1 1/2" = 1'-0"



SECTION @ REC. DESK ADA A8  
1 1/2" = 1'-0"



SECTION @ REC. DESK AT STEEL POST A3  
1 1/2" = 1'-0"



EDISON  
IMPACT HUB  
CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

**owner:**  
**City of Phoenix**  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
[www.phoenix.gov](http://www.phoenix.gov)

**civil engineer:**  
**Wilson & Company**  
410 N 44th Street Suite 450  
Phoenix, AZ 85008  
602.283.2701  
[www.wilsonco.com](http://www.wilsonco.com)

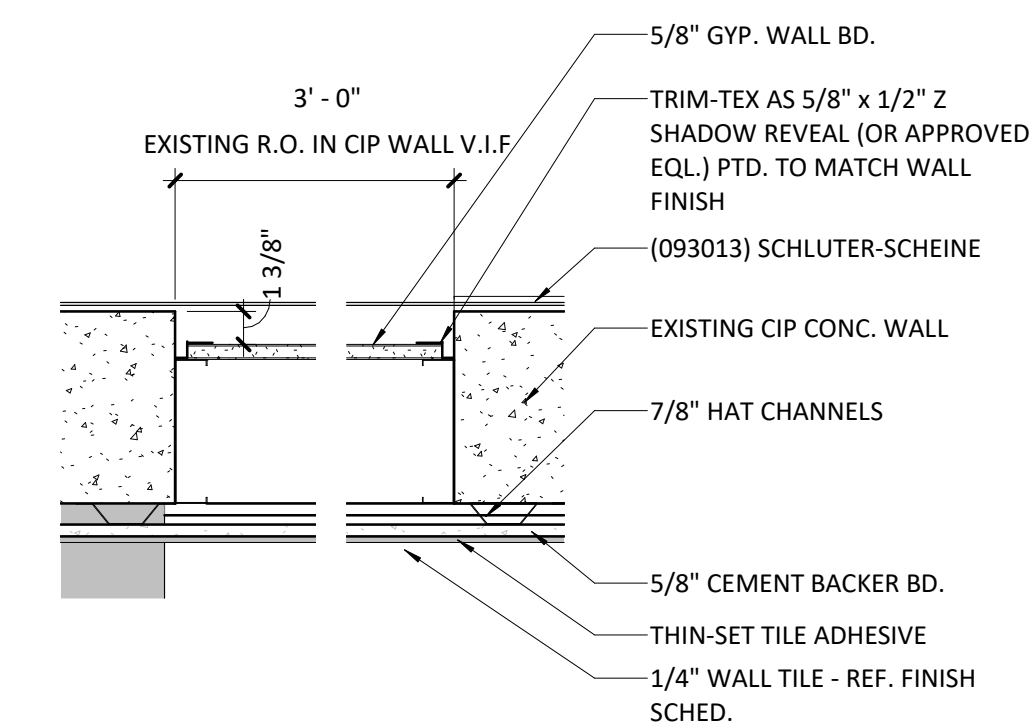
architect:  
**Multistudio**  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

mechanical engineer:  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

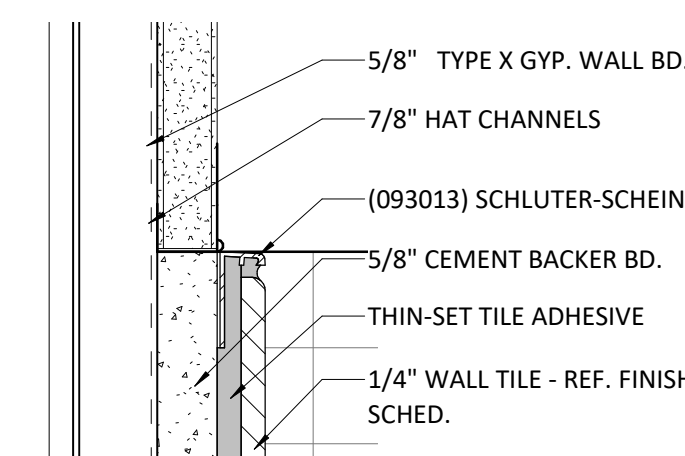
historic preservation: **Ryden Architects**  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
[www.rydenarchitects.com](http://www.rydenarchitects.com)

landscape architect: **Floor Associates**  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
[www.floorassociates.com](http://www.floorassociates.com)

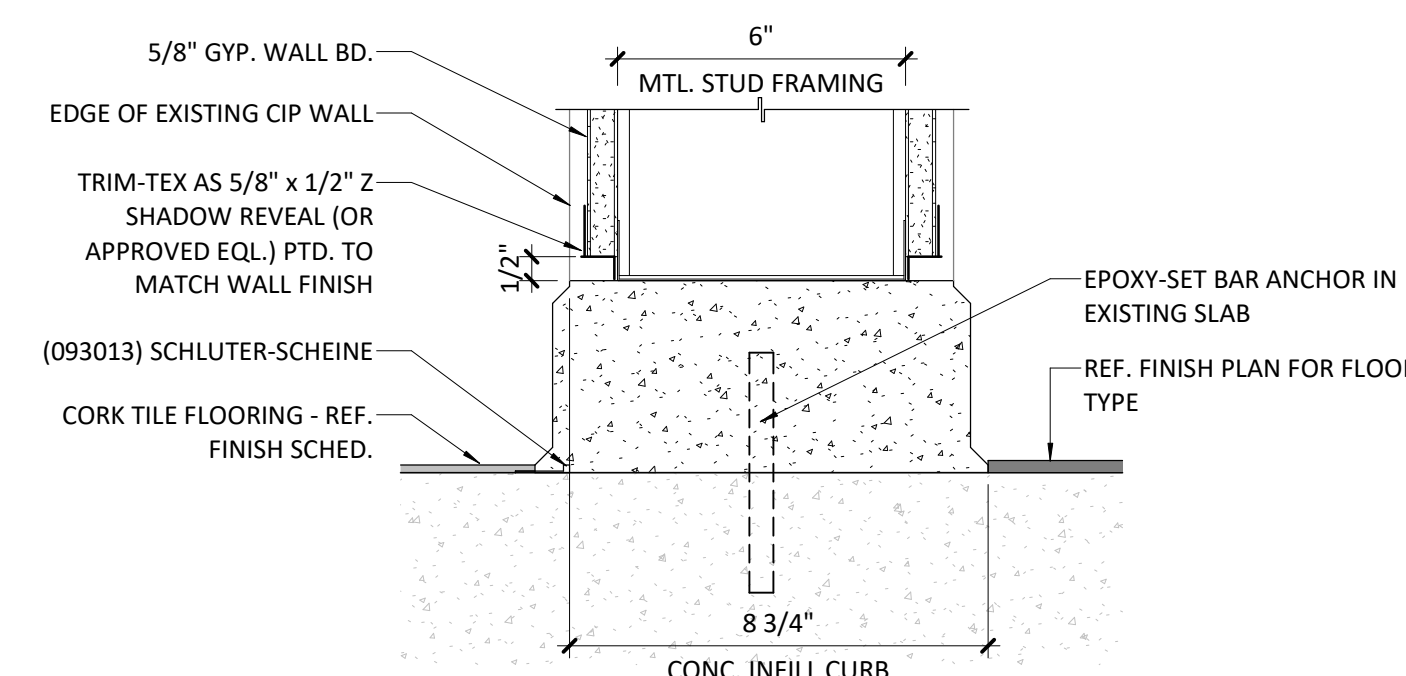
structural engineer: **BDA design**  
 7047 E. Greenway Pkwy #250  
 Scottsdale, AZ 85254  
 480.398.7729  
[www.bdadesign.com](http://www.bdadesign.com)



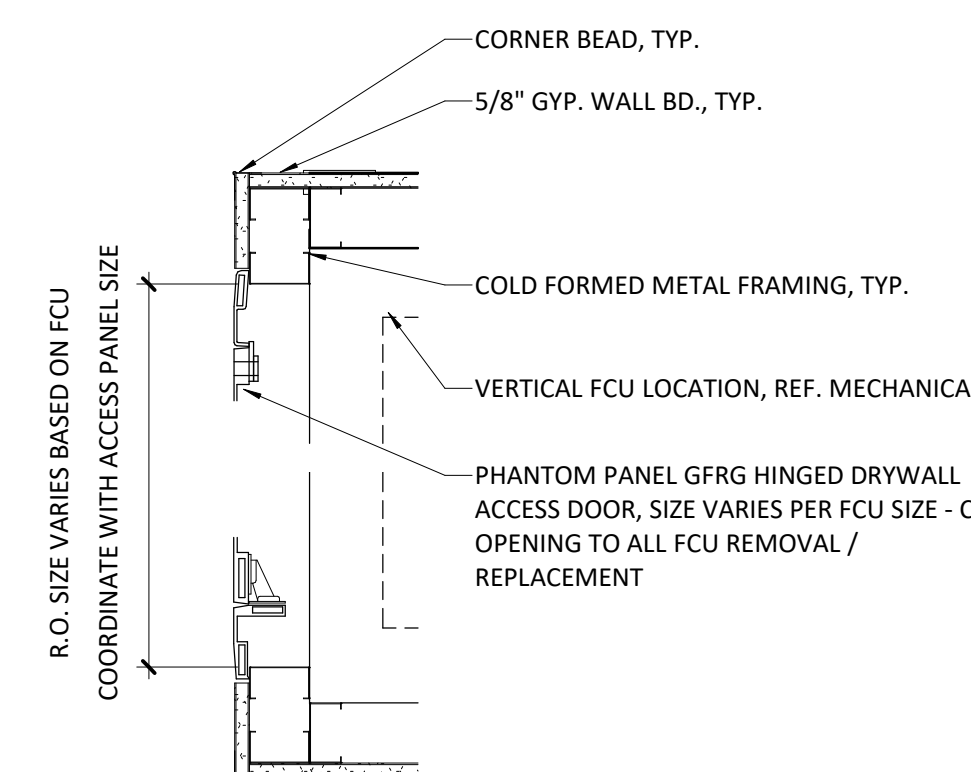
PLAN DETAIL - INFILL AT WM  
RESTROOM WALL



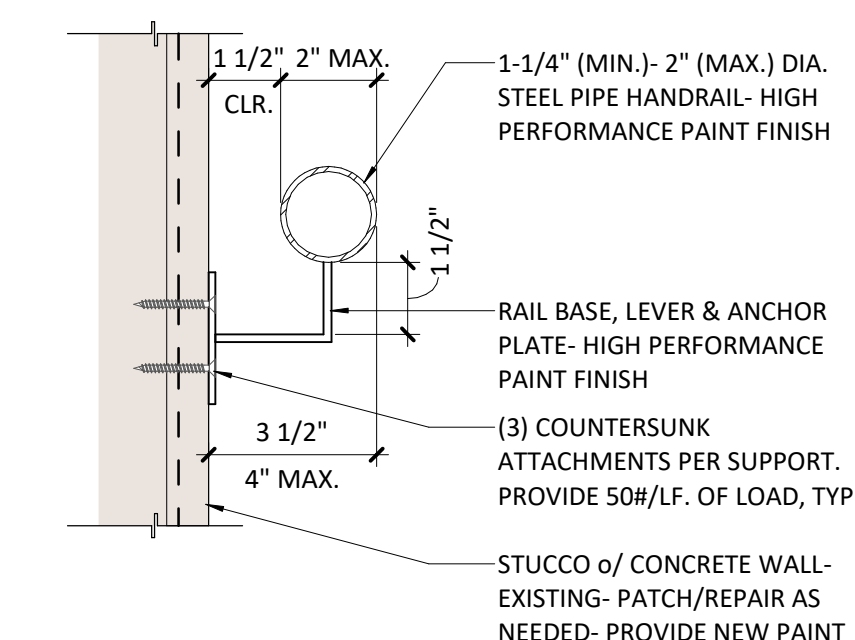
WALL TILE TO GYP.  
TRANSITION **K1**  
6" = 1'-0"



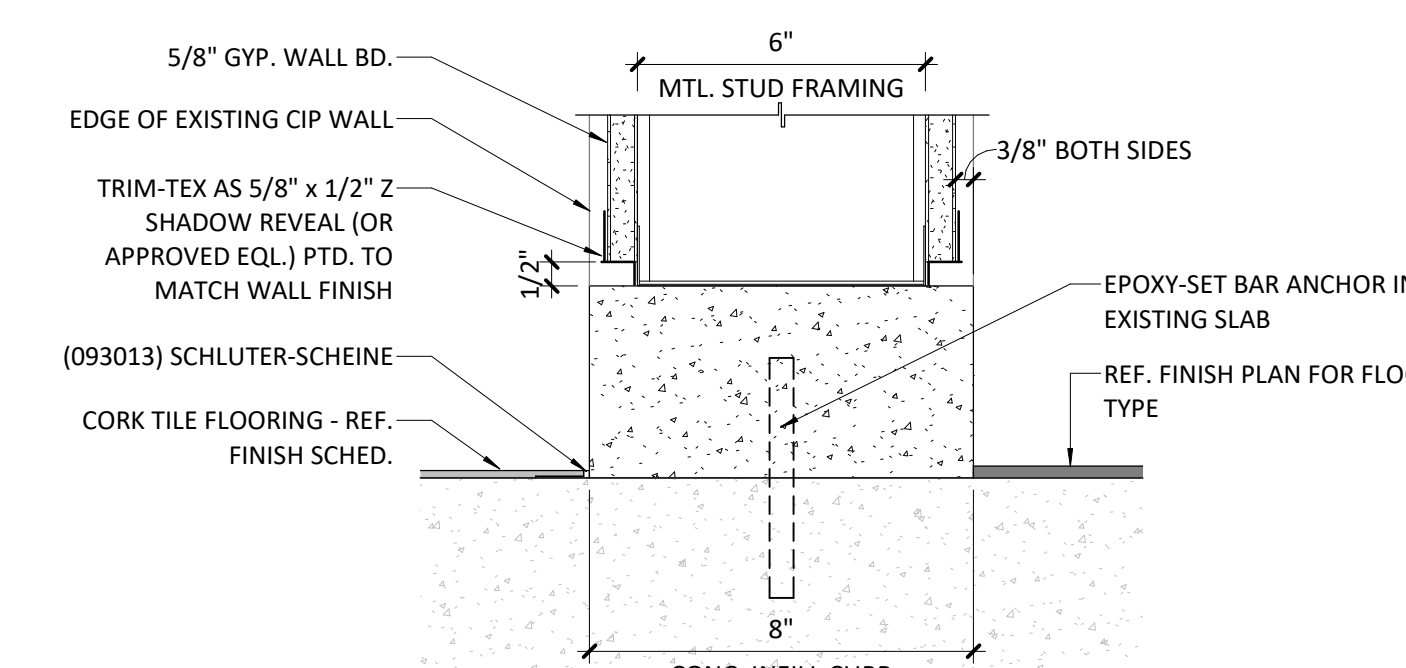
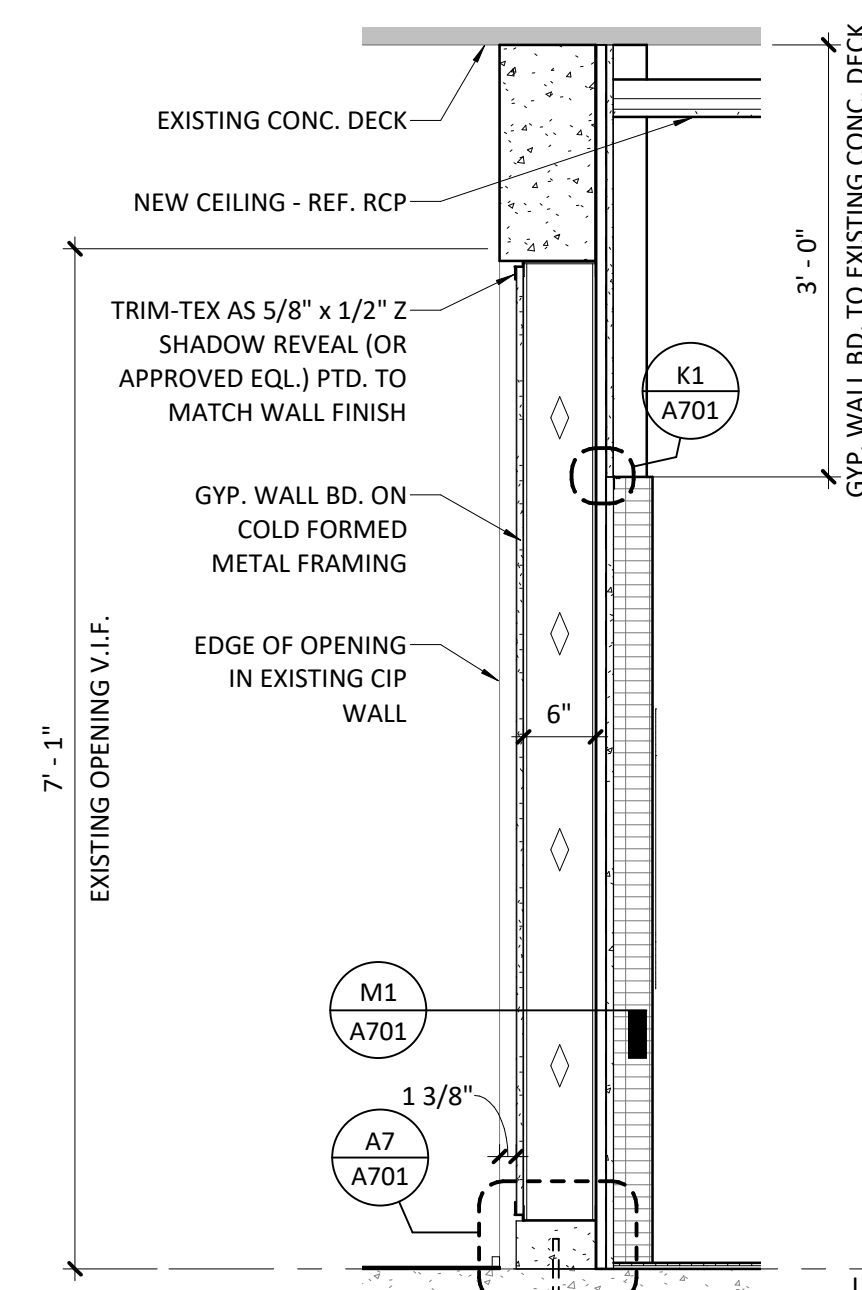
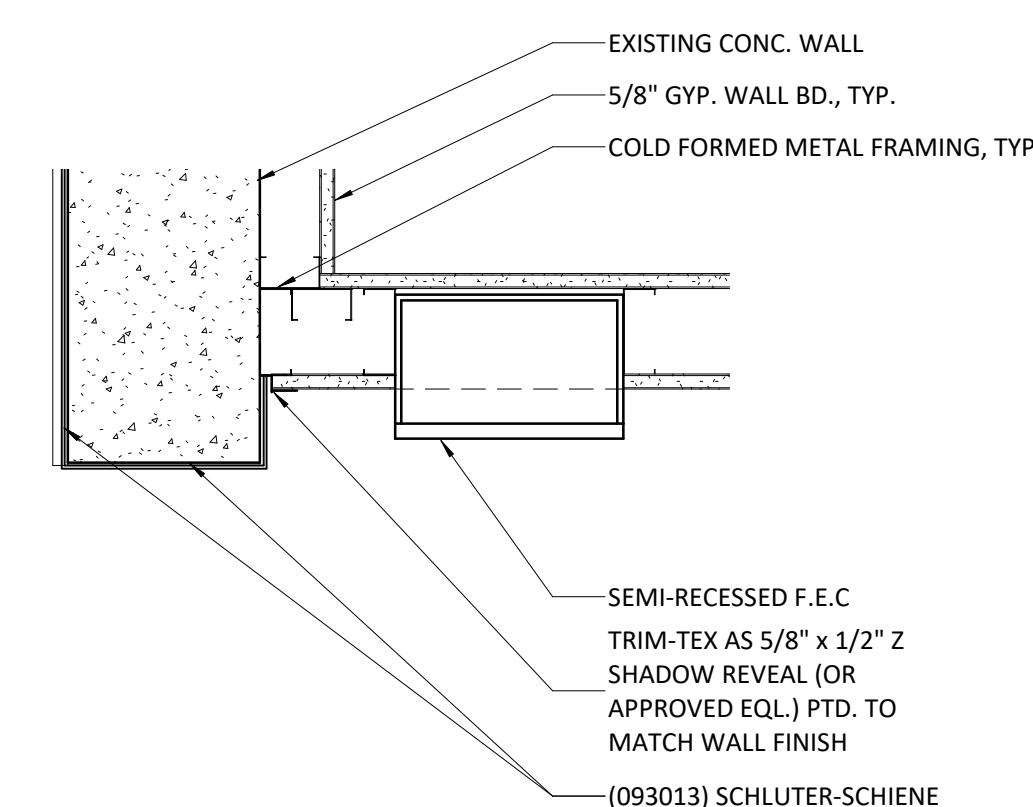
TYPICAL WALL SECTION @ COORIDOR W/ CURB 1  
3" = 1'-0"



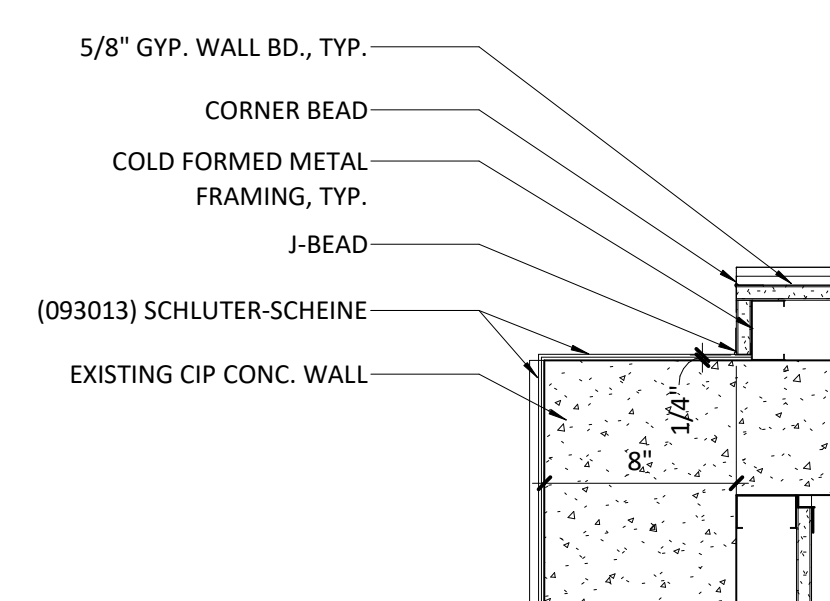
TYP. ACCESS PANEL IN GYP. WALL **G4**  
1 1/2" = 1'-0"



HANDRAIL DETAIL, TYP. **G1**  
3" = 1'-0"

TYPICAL WALL SECTION @ COORIDOR D7  
3" = 1'-0"WALL SECTION @ WOMEN'S  
RESTROOMS A4  
3/4" = 1'-0"

EXIST CONC. WALL TO  
PARTITION @ CORNER



FURRED SOUTH CORNER AT  
CO-WORKING SPACE **A1**  
 $1\ 1/2'' = 1'-0''$

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.



## REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

## Interior Details

A701

BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	37	117

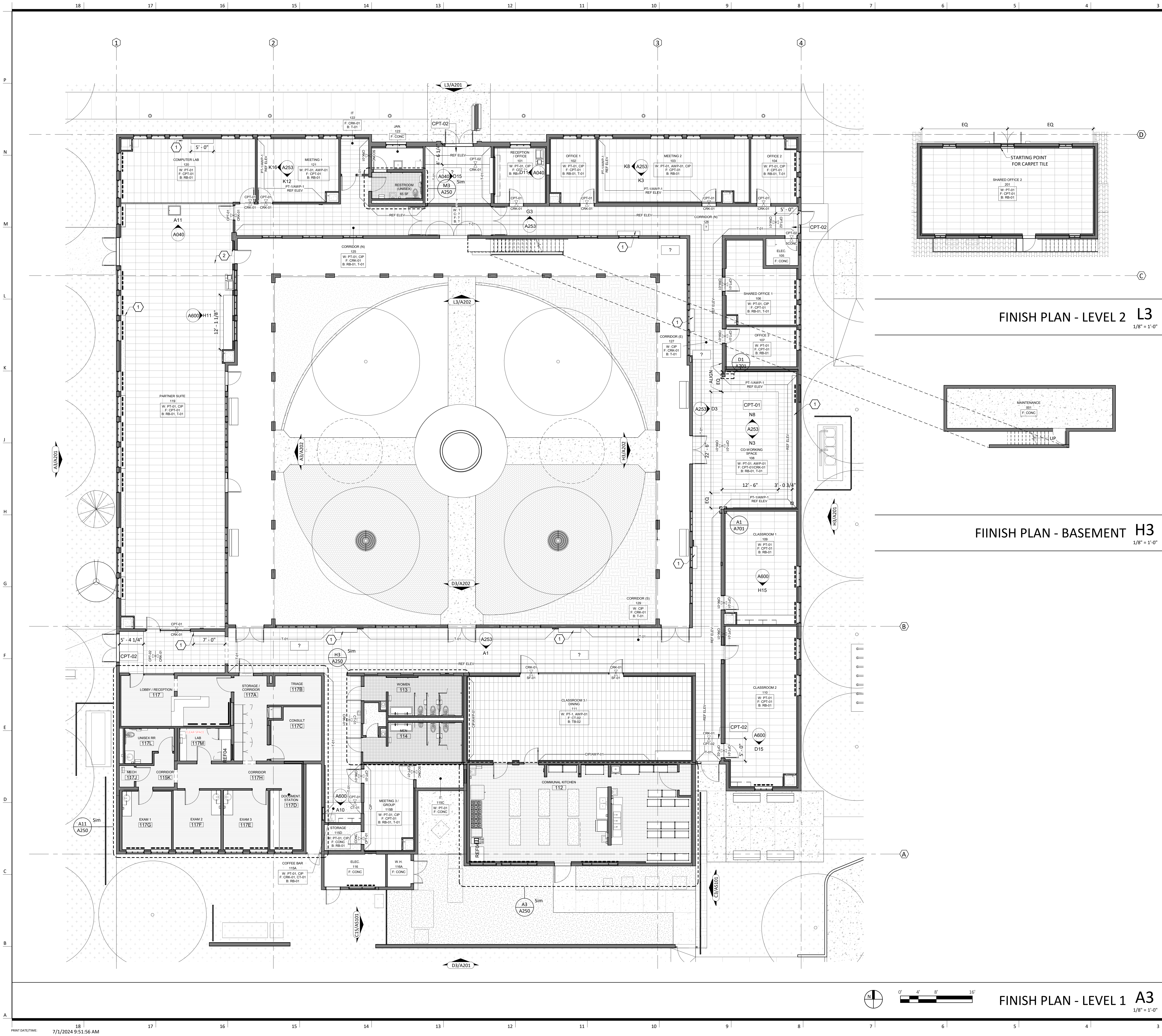












- General Notes (Finishes):
1. ALL FINISH MATERIALS MUST MEET THE FLAME SPREAD RATINGS PER THE BUILDING CODE.
  2. REFER TO INTERIOR ELEVATIONS FOR SPECIFIC MATERIAL LOCATIONS.
  3. REFERENCED FLOOR/WALL/CEILING TYPES ARE FOR TOP FINISH LAYER DETAILS ONLY. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FLOOR FLOOR/WALL CEILING ASSEMBLY DETAILS PER LOCATION.
  4. REFER TO TYPICAL FLOORING TRANSITION DETAILS FOR ALL FLOORING MATERIALS.
  5. FLOORING TRANSITIONS AT DOORS SHOULD BE LOCATED UNDER THE DOOR IN THE CLOSED POSITION, UNLESS NOTED OTHERWISE.
  6. CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTING FINISHED FLOORING SURFACES FROM DAMAGE DURING ALL CONSTRUCTION PHASES.
  7. PROVIDE BULLNOSE TRIM AT TRANSITIONS FROM CERAMIC WALL TILE TO OTHER MATERIAL, UNLESS NOTED OTHERWISE.
  8. REFER TO REFLECTED CEILING PLANS FOR CEILING HEIGHTS.
  9. ALL ELECTRICAL DEVICE COVERS ARE TO BE WHITE UNLESS NOTED OTHERWISE.
  10. CARPET PATTERNS TO RUN AS SHOWN IN FINISH PLAN.
  11. ALL HOLLOW METAL DOOR FRAMES TO BE PAINTED TO MATCH ADJACENT WALL COLOR.
  12. ALL NEW GYP. WALLS AND CEILINGS SHALL BE PAINTED PT-01. GYP. WALLS TO RECEIVE RB-01 BASE U.N.O.
  13. ALL EXISTING CONCRETE WALLS SHALL HAVE A PAINTED FINISH. CONCRETE WALLS TO RECEIVE T-01 BASE AT AREAS MEETING CARPET TILE AND CORK TILE FLOORING U.N.O.

Finish Plan Keynotes	
1	SOLID SURFACE CONTINUOUS "LEDGE" AT THE TOP OF FRAMED FCU UNIT
2	EXISTING CONCRETE FLOORING TO BE CLEANED AND SEALED.

FINISH LEGEND	
	CIP EXISTING CONCRETE WALLS. REMOVE AND/OR ABATE EXISTING FINISH, PAINT
	CRK-01 CORK FLOOR TILE
	CPT-01 18"x36" CARPET TILE
	CPT-02 24"x24" WALK-OFF CARPET TILE
	SF-01 RESILIENT SHEET FLOORING
	CT-01 CERAMIC FLOOR TILE
	CT-01 CERAMIC FLOOR TILE
	RS MANUAL ROLLER SHADES REF. RCP

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB CONSTRUCTION

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
320 W. Washington Street  
Phoenix, AZ 85003  
602.261.2112  
www.phoenix.gov

architect:  
Multistudio  
1215 South 3rd Street #200  
Phoenix, AZ 85004  
602.234.1440  
multistudio

mechanical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85281  
480.968.3070  
www.appliedengineering.com

historical preservation:  
Ryden Architects  
402 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5361  
www.rydenarchitects.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1007  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

structural engineer:  
BDA design  
7047 E. Greenway Plaza #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaengine.com

food service:  
Design-Tec Food Facilities  
8344 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR REPRESENTATION.



REVISIONS		
Number	DESCRIPTION	DATE

3

PROJECT NO: 0520-0020  
DATE: MAY 12, 2023

Finish Plan

AF101

BID SET - NEW  
CONSTRUCTION PHASE

Project Number	NO.	Total
AH20300003-2	40	117



5. WOOD NAILING SCHEDULE: (SELECT AS APPROPRIATE)

- ALL REINFORCING IS TO EXTEND A MINIMUM OF 20" BEYOND THE JAMB AND TO BE GROUDED SOLD TO THE ENTIRE DEPTH OF THE CONCRETE. ALL CONCRETE MASONRY UNITS USED IN THE LENGTH ARE TO BE "OPENEND" TYPE, TO INSURE PROPERLY GROUDED HEAD JOINTS.
- ALL LINTELS ARE TO BE PROPERLY SHORED FOR THEIR WEIGHT PLUS ANY CONSTRUCTION LOADS AND LATERALLY BRACED TO PREVENT EXCESSIVE LATERAL MOVEMENT FOR A MINIMUM OF 7 DAYS AFTER GROUTING, UNLESS NOTED OTHERWISE.
- MASONRY GROUTING PROCEDURES:**
- GROUTED MASONRY SHALL BE CONSTRUCTED IN SUCH A MANNER THAT ALL ELEMENTS OF THE MASONRY ACT TOGETHER AS A STRUCTURAL ELEMENT.
  - PRIOR TO GROUTING, THE GROUT SPACE SHALL BE CLEANED SO THAT ALL SPACES TO BE FILLED WITH GROUT DO NOT CONTAIN MORTAR OR CONCRETE DROPPINGS OR OTHER FOREIGN MATERIAL.
  - GROUT MATERIALS AND WATER CONTENT SHALL BE MONITORED TO PREVENT EXCESSIVE FLUIDITY FOR PLACEMENT, WITHOUT SEGREGATION OF THE CONSTITUENTS AND TO PREVENT MIXED THOROUGHLY. SEGREGATION OF THE GROUT MATERIALS AND DAMAGE TO THE MASONRY SHALL BE AVOIDED DURING THE GROUTING PROCESS.
  - THE GROUTING OF ANY SECTION OF WALL SHALL BE COMPLETED IN ONE DAY WITH NO INTERRUPTIONS GREATER THAN ONE HOUR.
  - BETWEEN GROUT POURS, A HORIZONTAL CONSTRUCTION JOINT SHALL BE FORMED BY STOPPING ALL WYTHES AT THE SAME ELEVATION AND WITH THE GROUT STOPPING A MINIMUM OF 12 INCHES BELOW THE TOP OF THE NEXT LIFT AT THE TOP OF THE WALL, WHERE BOND BEAMS OCCUR. STOP GROUT POUR A MINIMUM OF 1/2 INCH BELOW THE TOP OF THE MASONRY.
  - ALL CELLS AND SPACES CONTAINING REINFORCING BARS SHALL BE FILLED WITH GROUT. GROUT SHALL BE PLACED IN ALL SPACES TO BE GROUDED TO NOT CONTAIN VOIDS.
  - GROUT SHALL BE CONSOLIDATED BY MECHANICAL VIBRATION DURING PLACING BEFORE LOSS OF PLASTICITY IN A MANNER TO PREVENT THE GROUT POUR PLACING TO BE GREATER THAN 12 INCHES SHALL BE RECONSOLIDATED BY MECHANICAL VIBRATION TO MINIMIZE VOIDS DUE TO GROUT LOSS. GROUT POURS 12 INCHES OR LESS IN HEIGHT SHALL BE MECHANICALLY VIBRATED, OR PUDDLED.
  - WHERE GROUT POURS EXCEED 5 FEET, CLEANOUTS SHALL BE PROVIDED IN THE BOTTOM COURSE AT EVERY VERTICAL BAR LOCATION BUT SHALL NOT BE SPACED MORE THAN 10 FEET ON CENTER FOR SOLD GROUTED MASONRY. GROUT SHALL BE PLACED IN A CONTINUOUS POUR NOT EXCEEDING 10 FEET IN HEIGHT AND IN GROUT LIFTS NOT TO EXCEED 6 FEET.
  - REINFORCING SHALL BE CONTINUOUS THE FULL HEIGHT OF THE GROUT POUR PLUS 10 FEET. REINFORCING SHALL BE SECURED AGAINST DISPLACEMENT PRIOR TO INSTALLATION BY VIBROSTAKES OR OTHER SUITABLE DEVICES AT INTERVALS NOT TO EXCEED 200 BAR DIAMETERS NOR 10 FEET.
  - SEPARATION FOR REINFORCING TUBES IN WALLS AND FLEXURAL ELEMENTS SHALL BE PLUS OR MINUS 12 INCH FOR "4" EQUAL TO 8 INCHES OR LESS, PLUS OR MINUS ONE INCH FOR "6" EQUAL TO 24 INCHES OR LESS BUT GREATER THAN 8 INCHES, PLUS OR MINUS 1 1/4 INCH FOR "8" GREATER THAN 24 INCHES.
- STRUCTURAL AND MISCELLANEOUS:**
- MATERIAL PROPERTIES:**
- ALL PLATES, ANGLES, AND CHANNELS TO BE ASTM A 36 UNLESS NOTED OTHERWISE. ALL PLATES IN CONNECTIONS, UNLESS OTHERWISE NOTED, SHALL BE 50 KI SI STEEL.
  - ALL W SHAPES TO BE ASTM A 992 (Fy = 50 KSI).
  - ALL RECTANGULAR OR ROUND TUBES TO BE ASTM A 500, GRADE B, Fy = 46 KSI.
  - ALL STEEL TO BE DESIGNED, FABRICATED AND WELDED IN ACCORDANCE WITH AISC 360 SPECIFICATIONS, LATEST EDITION.
- WELDING:**
- FOR STRUCTURAL STEEL TO BE IN ACCORDANCE WITH A.W.S. REQUIREMENTS FOR E70XX ELECTRODES.
- BOLTS:**
- ALL BOLTS TO BE 3/4" DIAMETER ASTM A 307 UNLESS OTHERWISE NOTED.
  - ANCHOR BOLTS SHALL BE ASTM A 307 OR A 36.

- a. JOIST TO SLIP TO GIRDER, TENOAIL 38d  
b. BRIDGING TO JOIST, TENOAIL EACH END 28d  
c. 1"X6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL 28d  
d. 1"X6" SUBFLOOR TO TENOIL, TENOIL EACH JOIST, FACE NAIL 28d  
e. SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL 216d  
f. SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL 216d  
g. TOP PLATE TO STUD, END NAIL 216d  
h. STUD TO SOLE PLATE, TENOAIL 48d & FACE NAIL 216d  
i. BRIDLE STUD TO EACH STUD AND PLATE, FACE NAIL 28d  
j. DOUBLED TOP PLATES, FACE NAIL 16d @ 16" O.C.  
k. TOP PLATES, LAPPS AND INTERSECTIONS, FACE NAIL 216d  
l. CONTINUOUS HEADER, 2 PICES 16d @ 16" O.C.  
m. ALONG 2 EDGES  
n. CEILING JOISTS TO JOIST OR TENOAIL 38d  
o. CONTINUOUS HEADER TO STUD, TENOAIL 48d  
p. CEILING JOIST, LAPS OVER PARTITIONS FACE NAIL 316d  
q. CEILING JOIST TO PARALLEL RATERS FACE NAIL 316d  
r. RATER TO PLATE, TENOAIL 48d  
s. BRACE TO EACH STUD AND PLATE, FACE NAIL 28d  
t. 1"X8" SHEATHING OR LESS TO EACH BEARING, FACE NAIL 28d  
u. WIDER THAN 1"X8" SHEATHING TO EACH BEARING, FACE NAIL 38d  
v. BUILT UP CORNER STUDS 16d @ 24" O.C.  
w. BUILT UP GIRDERS AND BEAMS 20d @ 32" O.C. AT TOP AND BOTTOM AND STAGGERED 220d AT EACH END & SPLICE  
x. PLANKS 216d AT EACH BEARING
6. WOOD CONNECTORS:
- a. ALL LUMBER CONNECTORS SPECIFIED AS "SIMPSON" TYPE TO BE MANUFACTURED BY "SIMPSON STRONG" COMPANY, INC. OR PER-APPROVED EQUIV.
- E. MISCELLANEOUS:
1. EXPANSION AND SCREW ANCHORS: USE STUD TYPE EXPANSION ANCHORS WITH A SINGLE PIECE WEDGE. CONTRACTOR SHALL SUBMIT MANUFACTURERS SIZE AND STRENGTH DATA PRIOR TO USE.  
2. CONCRETE ANCHORS: ANCHORS SHALL HAVE ITZ APPROVAL AND INCLUDE HILTI KWIK BOLT (ESR 2713) OR APPROVED EQUIV.  
3. EPOXY SET ANCHORS IN CONCRETE: ANCHORS SHALL HAVE ICC APPROVAL AND INCLUDE HILTI HIT-RE500 SD (ESR 3814) OR APPROVED EQUIV.  
4. EPOXY SET ANCHORS IN MASONRY: ANCHORS SHALL HAVE ICC APPROVALS AND INCLUDE HILTI HIT HY270 (ESR 4143) OR APPROVED EQUIV.
- F. NOTE TO CONTRACTOR REGARDING PRICING/BIDDING OF PERMIT SUBMITTAL DRAWINGS:  
1. THESE DRAWINGS HAVE BEEN PREPARED FOR PERMIT SUBMITTAL, AND ARE NOT TO BE CONSIDERED 100% CONSTRUCTION DOCUMENTS UNTIL PLANS REVIEW HAS BEEN COMPLETED AND FINAL BUILDING PERMIT HAS BEEN ISSUED.  
2. IF THESE DOCUMENTS ARE TO BE USED FOR PRICING, BID, BUDGET - THE CONTRACTOR SHALL PROVIDE IN THE PROJECT BUDGET A SEPARATE ALLOWANCE FOR POTENTIAL CHANGES BETWEEN THE PERMIT SUBMITTAL DRAWINGS AND THE FINAL BUILDING PERMIT SETS.  
3. THE STRUCTURAL ENGINEER SHALL NOT BE RESPONSIBLE FOR CHANGE ORDERS AND COSTS INCURRED DUE TO BIDDING OR STEEL ORDERS FROM THESE DRAWINGS. CONTACT STRUCTURAL ENGINEER FOR CLARIFICATION IF THE SCOPE AND QUANTITY FOR ALLOWANCE IS NOT CLEAR.
- G. SPECIAL INSPECTION: SPECIAL INSPECTION IS REQUIRED IN ACCORDANCE WITH I.B.C. SECTION 1701 FOR THE FOLLOWING ITEMS:
1. CONCRETE CONSTRUCTION  
2. SPECIAL CASES: EPOXY SET POST INSTALLED ANCHORS  
3. SPECIAL CASES: EXPANSION TYPE POST INSTALLED ANCHORS

A. BUILDING CODE:

1. CITY OF PHOENIX, 2018 I.B.C. W/ AMENDMENTS
- B. LOADINGS:
1. ROOF LIVE LOAD = 20 PSF (ON HORIZONTAL PROJECTION)
  2. SECOND FLOOR LIVE LOAD = 50 PSF + 20 PSF PARTITIONS (OFFICE)
  3. CORRIDOR & STAIR LIVE LOAD = 100 PSF
  4. WIND LIVE LOAD 115 MPH ZONE (ULT) EXPOSURE
  5. WIND IMPORTANCE FACTOR,  $w = 1.0$
  6. INTERNAL PRESSURE COEFFICIENT ( $C_{gp}$ ) = 1.0
  7. WIND VELOCITY PRESSURE,  $q_{p30.1}$  PSF (ULT 25 FT FOR COMPONENTS AND CLADDING)
  8. SEISMIC OCCUPANCY CATEGORY - II
  9. SEISMIC IMPORTANCE FACTOR = 1.0
  10. DESIGN CATEGORY = B
  11. SITE CLASS - S
  12. SEISMIC SDS = 0.192, SD1 = 0.094

1. USING PRESCRIPTIVE VALUES PER CITY OF PHOENIX AMENDED TABLE 1806.2 / R4014 SOIL CLASSIFICATION SC/SM. ALL FOOTINGS ARE TO BE FOUNDATION AT NOT LESS THAN 1'-6" BELOW LOWEST ADJACENT FINISH FLOOR OR FINISH GRADE. UNDISTURBED EXISTING SUBSOILS HAVING A MINIMUM BEARING CAPACITY OF 1500 PSF FOR TOTAL LOAD.

2. ALL FOOTING EXCAVATIONS ARE TO BE REVIEWED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE WHO IS FAMILIAR WITH THE LOCAL SITE CONDITIONS TO VERIFY THE SUITABILITY OF THE DESIGN BEARING PRESSURE USED.

- D. FUTURE EXPANSION: THIS PROJECT IS NOT DESIGNED FOR FUTURE EXPANSION.
- MATERIALS AND EXECUTION:
- A. CONCRETE:
1. CONCRETE MATERIAL PROPERTIES: 28 DAY COMPRESSIVE STRENGTHS ARE TO BE 3000 PSI UNLESS NOTED OTHERWISE. DESIGN BASED ON 2500 PSI. USE TYPE II PORTLAND CEMENT, UNO.



SCHEDULE OF STRUCTURAL SPECIAL INSPECTIONS

1. SPECIAL INSPECTIONS TESTING -  
"SPECIAL STRUCTURAL INSPECTION" SHALL NOT RELIEVE THE OWNER OR THEIR AGENT FROM REQUESTING THE JURISDICTION BUILDING DEPARTMENT INSPECTIONS REQUIRED BY SECTION 110 OF THE IBC.
2. REPORTING FOR SPECIAL INSPECTION -  
SPECIAL INSPECTION AND TESTING REPORTS SHALL BE COMPLETED AND DISTRIBUTED AT THE COMPLETION OF EACH TASK. IF A TASK IS TO TAKE LONGER THAN (3) DAYS, PROVIDE REPORTS FOR EACH DAY. PROVIDE COPIES OF REPORTS TO: CONTRACTOR, OWNER, ARCHITECT AND STRUCTURAL ENGINEER OF RECORD. SPECIAL INSPECTOR TO KEEP A NON-COMPLIANCE LIST DOCUMENTING ITEMS INSPECTED NOT MEETING APPROVED CONSTRUCTION DOCUMENTS AND VVIEN / HOW RESOLVED.
3. SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING CONSTRUCTION DOCUMENTS FOR ADDITIONAL NONSTRUCTURAL SPECIAL INSPECTION ITEMS. IN ACCORDANCE WITH IBC CHAPTER 17, THE FOLLOWING TYPES OF WORK REQUIRE SPECIAL INSPECTIONS AND TESTING:

SPECIAL INSPECTION AND VERIFICATION OF SOILS				
SPECIAL INSPECTION REQUIRED Y/N	VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED	IBC REFERENCE
Y	1. VERIFY MATERIALS BELOW FOOTINGS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.	-----	X	1704.7
Y	2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	-----	X	1704.7
Y	3. PERFORM CLASSIFICATION AND TESTING OF CONTROLLED FILL MATERIALS.	-----	X	1704.7
Y	4. VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESS DURING PLACEMENT AND COMPACTION OF CONTROLLED FILL.	X	-----	1704.7
Y	5. PRIOR TO PLACEMENT OF CONTROLLED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.	-----	X	1704.7

SPECIAL INSPECTION AND VERIFICATION OF CONCRETE CONSTRUCTION					
SPECIAL INSPECTION REQUIRED Y/N	VERIFICATION AND INSPECTION	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED	IBC SECTION	REFERENCED STANDARD
Y	1. INSPECTION OF REINFORCING STEEL, INCLUDING PRESTRESSING TENDONS AND PLACEMENT.	-----	X	1913.4	ACI 318: 3.5, 7.1-7.7
Y	2. INSPECTION OF REINFORCING STEEL WELDING IN ACCORDANCE WITH TABLE 1704.3, ITEM 5b.	-----	-----	-----	AWS D1.4 ACI 318: 5.5.2
Y	3. INSPECT BOLTS AND ANCHOR PLATES WITH ATTACHED HEADED STUDS, OR REBAR TO BE INSTALLED IN CONCRETE PRIOR TO AND DURING PLACEMENT OF CONCRETE WHERE ALLOWABLE LOADS HAVE BEEN INCREASED.	X	-----	1911.5	-----
Y	4. INSPECTION OF ANCHORS INSTALLED IN HARDENED CONCRETE.	-----	X	1912.1	ACI 318: 3.8.6, 8.1.3, 21.2.8
Y	5. VERIFYING USE OF REQUIRED DESIGN MIX	-----	X	1904.2.2, 1913.2, 1913.3	ACI 318: CH 4, 5.2-5.4
Y	6. AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE ASTM C 172 SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS AND DETERMINE THE TEMPERATURE OF THE CONCRETE.	X	-----	1913.10	ASTM C 172 ASTM C 31 ACI 318: 5.6, 5.8
Y	7. INSPECTION OF CONCRETE AND SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES.	X	-----	1913.6, 1913.7, 1913.8	ACI 318: 5.9, 5.10
Y	8. INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.	-----	X	1913.9	ACI 318: 5.11, 5.13
Y	9. INSPECTION OF PRESTRESSED CONCRETE.	-----	-----	-----	-----
Y	a. APPLICATION OF PRESTRESSING FORCES.	X	-----	-----	ACI 318: 18.20 ACI 318: 18.18.4
Y	b. GROUTING OF BONDED PRESTRESSING TENDONS IN THE SEISMIC-FORCE-RESISTING SYSTEM.	X	-----	-----	-----
Y	10. GROUTING OF BONDED PRESTRESSING TENDONS IN THE SEISMIC-FORCE-RESISTING SYSTEM.	-----	X	-----	ACI 318: CH 16
Y	11. VERIFICATION OF IN-SITU CONCRETE STRENGTH, PRIOR TO STRESSING OF TENDONS IN POST-TENSIONED CONCRETE AND PRIOR TO REMOVAL OF SHORING AND FORMS FROM BEAMS AND STRUCTURAL SLABS.	-----	X	-----	ACI 318: 6.2
Y	12. INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.	-----	X	-----	ACI 318: 6.1.1
Y	13. INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.	-----	X	-----	-----

SPECIAL INSPECTION AND VERIFICATION OF MASONRY - LEVEL #1						
SPECIAL INSPECTION REQUIRED Y/N	VERIFICATION AND INSPECTION	FREQUENCY OF INSPECTION		REFERENCE FOR CRITERIA		
		CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED	IBC SECTION	ACI 530/ASCE 5/TMS 402	ACI 530/ASCE 6/TMS 602
Y	1. COMPLIANCE WITH REQUIRED INSPECTION PROVISIONS OF THE CONSTRUCTION DOCUMENTS AND THE APPROVED SUBMITTALS SHALL BE VERIFIED.	-----	X	-----	-----	ART. 1.5
Y	2. VERIFICATION OF F <sub>m</sub> AND F <sub>ac</sub> PRIOR TO CONSTRUCTION EXCEPT WHERE SPECIFICALLY EXEMPTED BY THIS CODE.	-----	X	-----	-----	ART. 1.4B
Y	3. VERIFICATION OF SLUMP FLOW AND VSI AS DELIVERED TO THE SITE FOR SELF-CONSOLIDATING GROUT.	X	-----	-----	-----	ART. 1.5B.1.b3
Y	4. AS MASONRY CONSTRUCTION BEGINS, THE FOLLOWING SHALL BE VERIFIED TO ENSURE COMPLIANCE:	-----	-----	-----	-----	-----
Y	a. PROPORTIONS OF SITE-PREPARED MORTAR.	-----	X	-----	-----	ART. 2.6A
Y	b. CONSTRUCTION OF MORTAR JOINTS.	-----	X	-----	-----	ART. 3.3B
Y	c. VERIFICATION OF SLUMP FLOW AND VSI AS DELIVERED TO THE SITE FOR SELF-CONSOLIDATING GROUT.	-----	X	-----	-----	ART.3.4, 3.6A
Y	d. PRESTRESSING TECHNIQUE	-----	X	-----	-----	ART. 3.6B
Y	e. GRADE AND SIZE OF PRESTRESSING TENDONS AND ANCHORAGES.	-----	X	-----	-----	ART.2.4B, 2.4H
Y	5. THE INSPECTION PROGRAM SHALL VERIFY.	-----	-----	-----	-----	-----
Y	a. SIZE AND LOCATION OF STRUCTURAL ELEMENTS.	-----	X	-----	-----	ART. 3.F
Y	b. TYPE, SIZE AND LOCATION OF ANCHORS, INCLUDING OTHER DETAILS OF ANCHORAGE OF MASONRY TO STRUCTURAL MEMBERS, FRAMES OR OTHER CONSTRUCTION.	-----	X	-----	SEC. 1.2.2(e), 1.16.1	-----
Y	c. SPECIFIED SIZE, GRADE AND TYPE OF REINFORCEMENT, ANCHOR BOLTS, PRESTRESSING TENDONS AND ANCHORAGES.	-----	X	-----	SEC. 1.15	ART.2.4, 3.4
Y	d. WELDING OF REINFORCING BARS.	X	-----	-----	SEC. 2.1.9.7.2, 3.3.3.4(b)	-----
Y	e. PREPARATION, CONSTRUCTION AND PROTECTION OF MASONRY DURING COLD WEATHER (TEMPERATURE BELOW 40° F) OR HOT WEATHER (TEMPERATURE ABOVE 90° F)	-----	X	SECTION 2104.3, 2104.4	-----	ART. 1.8C, 1.8D
Y	f. APPLICATION AND MEASUREMENT OF PRESTRESSING FORCES.	X	-----	-----	-----	ART. 3.6B
Y	6. PRIOR TO GROUTING, THE FOLLOWING SHALL BE VERIFIED TO ENSURE COMPLIANCE:	-----	-----	-----	-----	-----
Y	a. GROUT SPACE IS CLEAN.	-----	X	-----	-----	ART. 3.2D
Y	b. PLACEMENT OF REINFORCEMENT, CONNECTORS AND PRESTRESSING TENDONS AND ANCHORAGES.	-----	X	-----	SEC. 1.13	ART. 3.4
Y	c. PROPORTIONS OF SITE-PREPARED GROUT AND PRESTRESSING GROUT FOR BONDED TENDONS.	-----	X	-----	-----	ART. 2.6B
Y	d. CONSTRUCTION OF MORTAR JOINTS.	-----	X	-----	-----	ART. 3.3B
Y	7. GROUT PLACEMENT SHALL BE VERIFIED TO ENSURE COMPLIANCE WITH CODE AND CONSTRUCTION DOCUMENT PROVISIONS.	X	-----	-----	-----	ART. 3.5
Y	a. GROUTING OF PRESTRESSING BONDED TENDONS	X	-----	-----	-----	ART. 3.6C
Y	8. PREPARATION OF ANY REQUIRED GROUT SPECIMENS, MORTAR SPECIMENS AND/OR PRISMS SHALL BE OBSERVED.	-----	X	SECTION 2105.2.2, 2105.3	-----	ART. 1.4

SPECIAL INSPECTION AND VERIFICATION OF COLD FORMED METAL FRAMING				
SPECIAL INSPECTION REQUIRED Y/N	VERIFICATION AND INSPECTION TASK	FREQUENCY OF INSPECTION		REFERENCE FOR CRITERIA
		CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED	IBC SECTION
Y	1. SEATING OF STUDS IN TRACK.	-----	X	-----
Y	2. WELDING OF ELEMENTS.	-----	X	1704.7
Y	3. SCREW ATTACHMENTS, BOLTING, ANCHORING, AND OTHER FASTENING OF COMPONENTS.	-----	X	1704.7
Y	4. STEEL STUD BRIDGING SPACING AND END ATTACHMENT.	-----	X	1704.7
Y	5. WELDED CONNECTIONS ARE TOUCHED UP WITH PAINT.	-----	X	1704.7
Y	6. VERIFY STRUCTURAL STUD SIZE, DEPTH, AND GAGE.	-----	X	1704.7

STRUCTURAL TESTING FOR SEISMIC RESISTANCE				
SPECIAL INSPECTION REQUIRED Y/N	VERIFICATION AND INSPECTION TASK	FREQUENCY OF INSPECTION		REFERENCE FOR CRITERIA
		CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED	IBC SECTION
Y	1. VERIFICATION OF F <sub>m</sub> AND F <sub>ac</sub> BY UNIT STRENGTH METHOD FOR ENGINEERED MASONRY IN OCCUPANCY CATEGORY I, II, OR III.	-----	X	1708.1.3
Y	2. VERIFICATION OF F <sub>m</sub> AND F <sub>ac</sub> BY UNIT STRENGTH METHOD PRIOR TO CONSTRUCTION & FOR EVERY 5,000 SQUARE FEET PLACED DURING CONSTRUCTION & VERIFICATION OF PROPORTIONS OF MATERIALS IN MORTAR AND GROUT AS DELIVERED TO THE JOB SITE FOR ENGINEERED MASONRY IN OCCUPANCY CATEGORY IV.	-----	X	1708.1.4
Y	3. REINFORCING STEEL CERTIFIED MILL TEST REPORTS SHALL BE PROVIDED FOR EACH SHIPMENT OF REINFORCING STEEL.	-----	X	1708.2 & 1708.3
Y	4. STRUCTURAL STEEL	AS REQUIRED BY AISC 341	AS REQUIRED BY AISC 341	1708.2 & 1708.4

SPECIAL INSPECTION AND VERIFICATION OF STEEL CONSTRUCTION					
SPECIAL INSPECTION REQUIRED Y/N	VERIFICATION AND INSPECTION	FREQUENCY OF INSPECTION		REFERENCE FOR CRITERIA	
		CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED	IBC SECTION	REFERENCED STANDARD
	1. MATERIAL VERIFICATION OF HIGH-STRENGTH BOLTS, NUTS AND WASHERS:				
Y	a. IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS.	-----	X	-----	APPLICABLE ASTM MATERIAL SPECIFICATIONS; AISC 360 SECTION A3.3
Y	b. MANUFACTURER'S CERTIFICATE OF COMPLIANCE REQUIRED	-----	X	-----	-----
	2. INSPECTION OF HIGH-STRENGTH BOLTING.				
Y	a. SNUG-TIGHT JOINTS	-----	X		
Y	b. PRETENSIONED AND SLIP CRITICAL JOINTS USING TURN-OF-NUT WITH MATCHMARKING, TWIST-OFF BOLT OR DIRECT TENSION INDICATOR METHODS OF INSTALLATION	-----	X	1704.3.3	AISC 360, SECTION M2.5
Y	c. PRETENSIONED AND SLIP CRITICAL JOINTS USING TURN-OF-NUT WITHOUT MATCHMARKING OR CALIBRATED WRENCH METHODS OF INSTALLATION	X	-----		
	3. MATERIAL VERIFICATION OF STRUCTURAL STEEL AND COLD FORMED STEEL DECK.				
Y	a. FOR STRUCTURAL STEEL, IDENTIFICATION MARKINGS TO CONFORM TO AISC 360	-----	X		AISC 360 SECTION M5.5
Y	b. FOR OTHER STEEL, IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS	-----	X		APPLICABLE ASTM MATERIAL STANDARDS
Y	c. MANUFACTURERS CERTIFIED TEST REPORTS	-----	X		
	4. MATERIAL VERIFICATION OF WELD FILLER MATERIALS:				
Y	a. IDENTIFICATION MARKINGS TO CONFORM TO AWS SPECIFICATION IN THE APPROVED CONSTRUCTION DOCUMENTS.	-----	-----	-----	AISC 360, SECTION A3.5
Y	b. MANUFACTURER'S CERTIFICATE OF COMPLIANCE REQUIRED	-----	-----	-----	-----
	5. INSPECTION OF WELDING: a. STRUCTURAL STEEL.				
Y	1) COMPLETE AND PARTIAL PENETRATION GROOVE WELDS.	X	-----		
Y	2) MULTIPASS FILLET WELDS.	X	-----		
Y	3) SINGLE-PASS FILLET WELDS > 5/16"	X	-----		
Y	4) PLUG & SLOT WELDS	X	-----		
Y	5) SINGLE-PASS FILLET WELDS < 5/16"	-----	X		
Y	6) FLOOR AND ROOF DECK WELDS.	-----	X	-----	AWS D1.3
Y	b. REINFORCING STEEL:	-----	-----		
Y	1) VERIFICATION OF WELDABILITY OF REINFORCING STEEL OTHER THAN ASTM A 706.	-----	X		
Y	2) REINFORCING STEEL-RESISTING FLEXURAL AND AXIAL FORCES IN INTERMEDIATE AND SPECIAL MOMENT FRAMES, AND BOUNDARY ELEMENTS OF SPECIAL REINFORCED CONCRETE SHEAR WALLS AND SHEAR REINFORCEMENT.	X	-----	-----	AWS D1.4 ACI 318 3.5.2
Y	3) SHEAR REINFORCEMENT	X	-----		
Y	4) OTHER REINFORCING STEEL	-----	X		
Y	6. INSPECTION OF STEEL FRAME JOINT DETAIL FOR COMPLIANCE WITH APPROVED CONSTRUCTION DOCUMENTS.				
Y	a. DETAILS SUCH AS BRACING AND STIFFENING.	-----	X	1704.3.2	-----
Y	b. MEMBER LOCATIONS.	-----	X		
Y	c. APPLICATION OF JOINT DETAILS AT EACH CONNECTION.	-----	X		

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.263.6011  
www.phoenix.gov

civil engineer:  
Wilson & Company  
420 N. 4th Street Suite 400  
Phoenix, AZ 85008  
602.263.2703  
www.wilsonco.com

architect:  
Multistudio  
525 South 3rd Street #200  
Phoenix, AZ 85004  
480.964.3070  
multistudio.com

mechanical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.964.3070  
www.appliedengineering.com

historic preservation:  
Ryden Architects  
903 W McDowell Road  
Phoenix, AZ 85007  
602.253.5361  
www.rydenarchitects.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1473  
www.floorassociates.com

structural engineer:  
BDA design  
8540 N. Greenway Plaza #350  
Scottsdale, AZ 85254  
480.388.7729  
www.bdaesign.com

food service:  
Design-Tec Food Facilities  
1425 N. 1st Street #1607  
Phoenix, AZ 85002  
602.375.0222

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR REPRESENTATION



REVISIONS

Number DESCRIPTION DATE

PROJECT NO: 0520-0020  
DATE: February 25, 2022

SPECIAL INSPECTION

S0.1

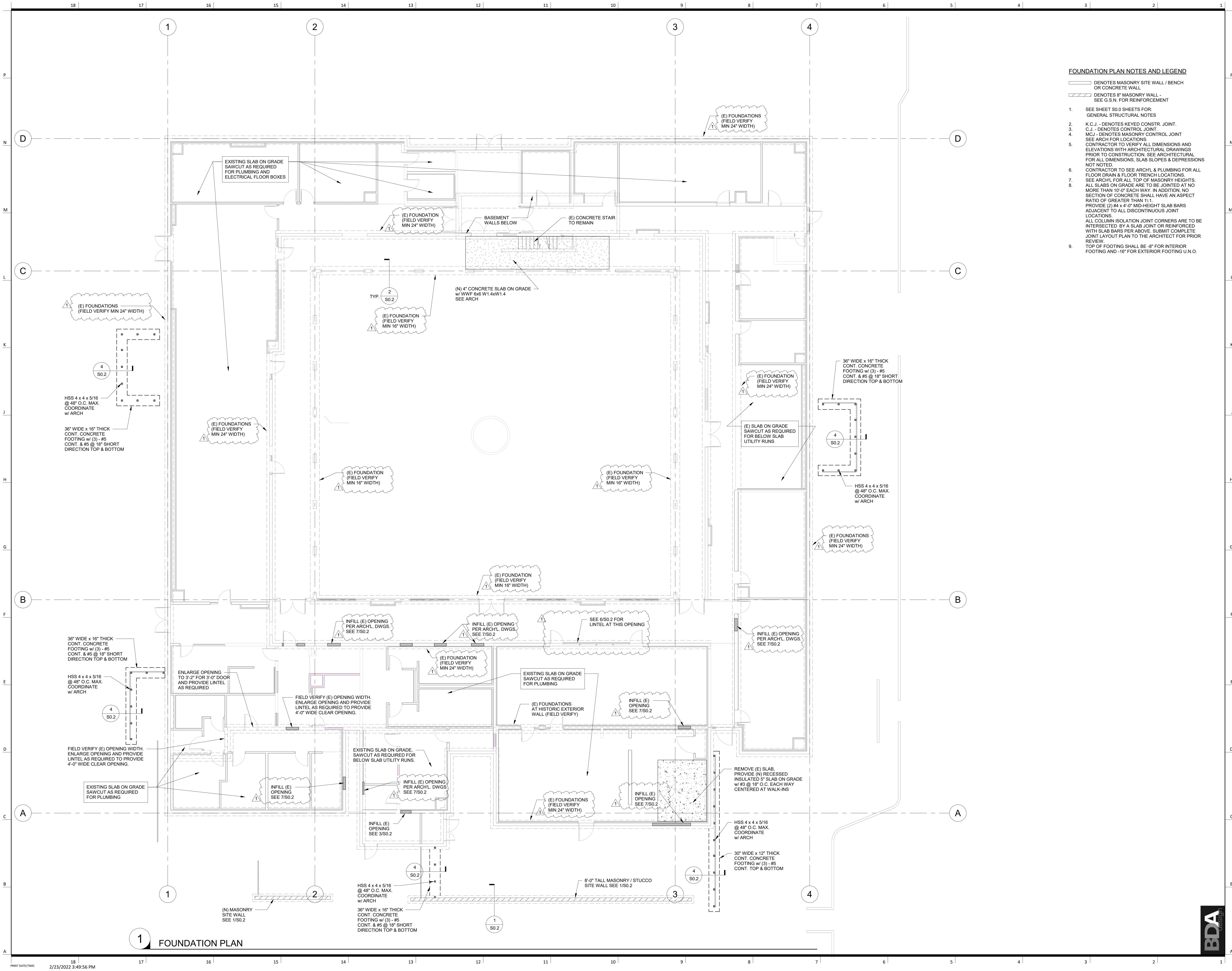
2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	42	117









FOUNDATION PLAN NOTES AND LEGEND

- DENOTES MASONRY SITE WALL / BENCH OR CONCRETE WALL  
— DENOTES 8" MASONRY WALL - SEE G.S.N. FOR REINFORCEMENT
- SEE SHEET S0.0 SHEETS FOR: GENERAL STRUCTURAL NOTES
  - K.C.J. - DENOTES KEVED CONSTR. JOINT. C.J. - DENOTES CONTROL JOINT. MCJ - DENOTES MASONRY CONTROL JOINT SEE ARCH FOR LOCATIONS.
  - CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. SEE ARCHITECTURAL FOR ALL DIMENSIONS, SLAB SLOPES & DEPRESSIONS NOT NOTED.
  - CONTRACTOR TO SEE ARCH'L & PLUMBING FOR ALL FLOOR DRAIN & FLOOR TRENCH LOCATIONS. SEE ARCH'L FOR ALL TOP OF MASONRY HEIGHTS. ALL SLABS ON GRADE ARE TO BE JOINTED AT NO MORE THAN 10'-0" EACH WAY. IN ADDITION, NO SECTION OF CONCRETE SHALL HAVE AN ASPECT RATIO OF GREATER THAN 1:1.
  - PROVIDE (2) #4 x 4'-0" MID-HEIGHT SLAB BARS ADJACENT TO ALL DISCONTINUOUS JOINT LOCATIONS. ALL COLUMN ISOLATION JOINT CORNERS ARE TO BE INTERSECTED BY A SLAB JOINT OR REINFORCED WITH SLAB BARS PER ABOVE. SUBMIT COMPLETE JOINT LAYOUT PLAN TO THE ARCHITECT FOR PRIOR REVIEW.
  - TOP OF FOOTING SHALL BE -3" FOR INTERIOR FOOTING AND -16" FOR EXTERIOR FOOTING U.N.O.

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner: City of Phoenix  
420 N. Washington Street  
Phoenix, AZ 85003  
602.253.2701  
www.phoenix.gov

civil engineer: Wilson & Company  
420 N. Washington Street  
Phoenix, AZ 85003  
602.253.2701  
www.wilsonco.com

architect: Multistudio  
313 South 3rd Street #100  
Phoenix, AZ 85004  
602.254.1440  
multistudio.com

mechanical engineer: Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

historic preservation: Ryden Architects  
903 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

landscape architect: Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

structural engineer: RDA design  
1501 N. Greenway Plaza #350  
Scottsdale, AZ 85254  
480.388.7709  
www.rdadesign.com

food service: Design-Tec Food Facilities  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.design-tec.com

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR REPRESENTATION



REVISIONS		
Number	DESCRIPTION	DATE
1	Delta 1 - top 1st Review Comments	02-23-2022

PROJECT NO: 0520-0020  
DATE: February 25, 2022

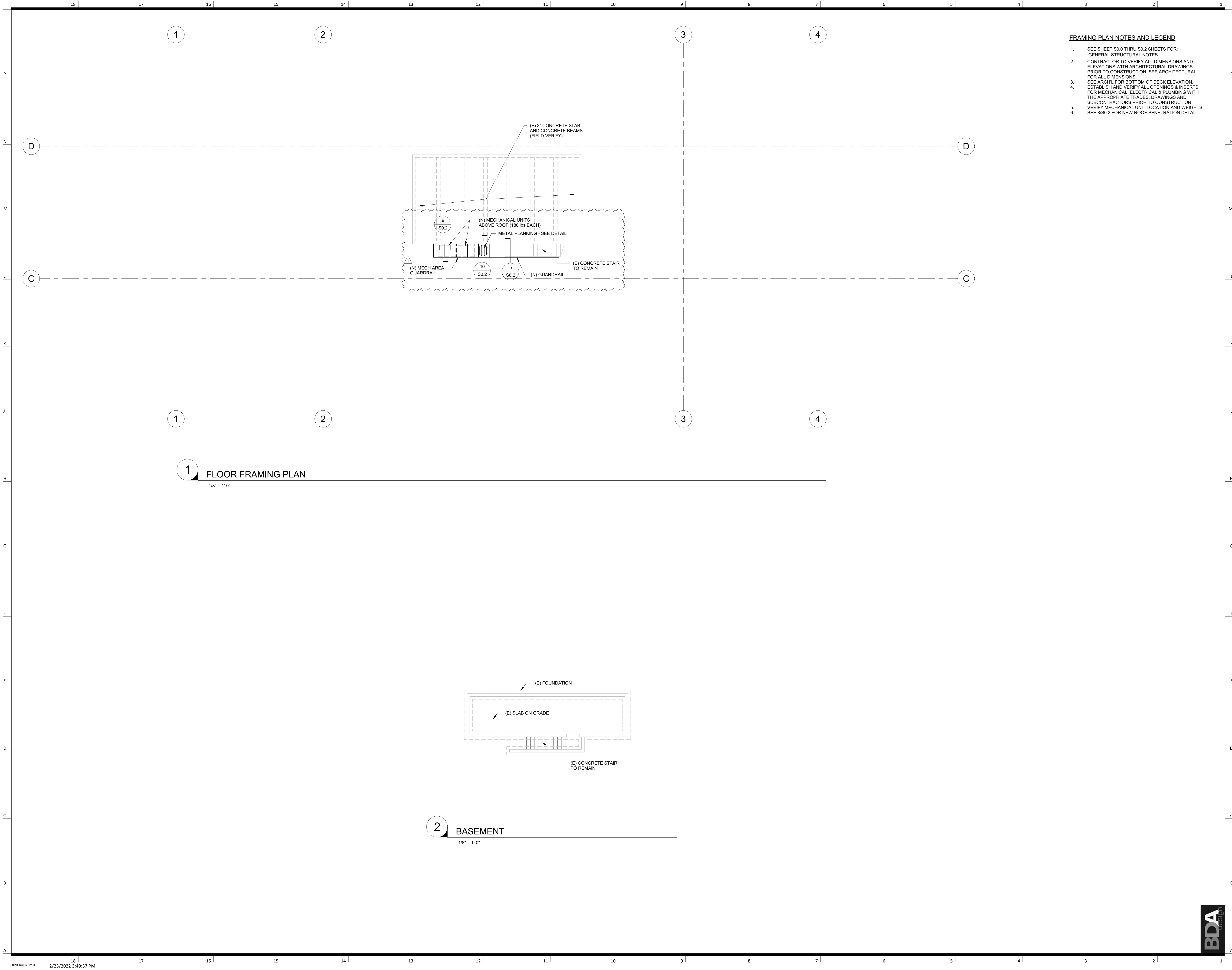
FOUNDATION PLAN

S1.1

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	44	117





- FRAMING PLAN NOTES AND LEGEND**
- SEE SHEET S0.0 THRU S0.2 SHEETS FOR: GENERAL STRUCTURAL NOTES
  - CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. SEE ARCHITECTURAL FOR ALL DIMENSIONS.
  - SEE ARCHT. FOR BOTTOM OF DECK ELEVATION. ESTABLISH AND VERIFY ALL OPENINGS & INSERTS FOR MECHANICAL, ELECTRICAL & PLUMBING WITH THE APPROPRIATE TRADES, DRAWINGS AND SUBCONTRACTORS PRIOR TO CONSTRUCTION.
  - VERIFY MECHANICAL UNIT LOCATION AND WEIGHTS. SEE S/S0.2 FOR NEW ROOF PENETRATION DETAIL.

**multistudio**

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

**owner:**  
City of Phoenix  
400 W. Washington Street  
Phoenix, AZ 85003  
602.253.6011  
www.phoenix.gov

**civil engineer:**  
Wilson & Company  
420 N. 4th Street Suite 460  
Phoenix, AZ 85008  
602.283.2703  
www.wilsonco.com

**architect:**  
Multistudio  
525 South 3rd Street #100  
Phoenix, AZ 85004  
602.244.1440  
multistudio.com

**mechanical engineer:**  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

**historic preservation:**  
Ryden Architects  
903 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5361  
www.rydenarchitects.com

**landscape architect:**  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

**structural engineer:**  
BDA design  
8540 N. Greenway Plaza #350  
Scottsdale, AZ 85254  
480.388.7709  
www.bdadesign.com

**food service:**  
Design-Tec Food Facilities  
Phoenix, AZ 85020  
602.375.0222

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.



REVISIONS		
Number	DESCRIPTION	DATE
1	Delta 1 - top 1st Review Comments	02-25-2022

PROJECT NO: 0520-0020  
DATE: February 25, 2022

FLOOR FRAMING PLAN

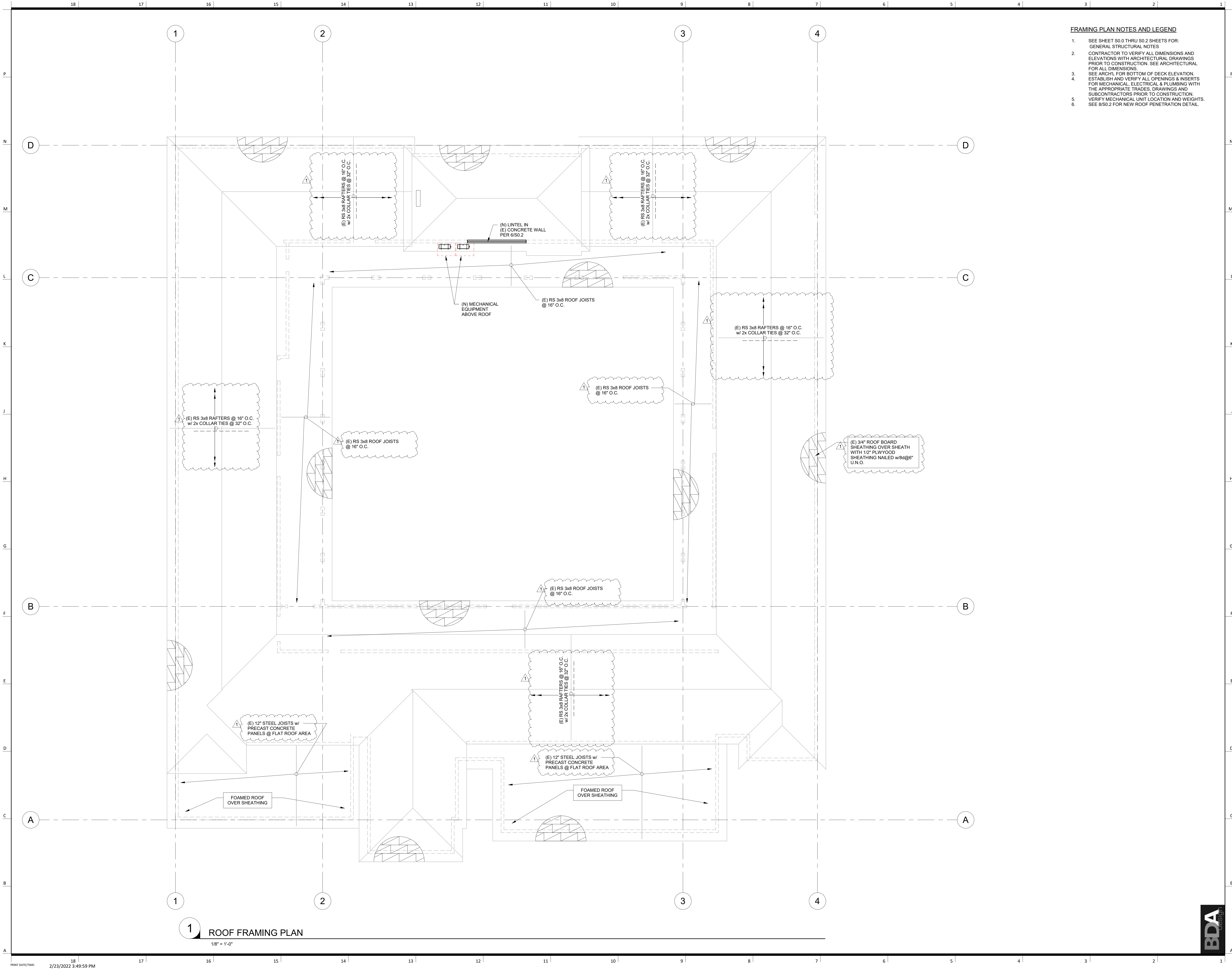
**S1.2**

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	45	117

**BDA**  
design





FRAMING PLAN NOTES AND LEGEND

- SEE SHEET S0.0 THRU S0.2 SHEETS FOR: GENERAL STRUCTURAL NOTES
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. SEE ARCHITECTURAL FOR ALL DIMENSIONS.
- SEE ARCHT. FOR BOTTOM OF DECK ELEVATION. ESTABLISH AND VERIFY ALL OPENINGS & INSERTS FOR MECHANICAL, ELECTRICAL & PLUMBING WITH THE APPROPRIATE TRADES. DRAWINGS AND SUBCONTRACTORS PRIOR TO CONSTRUCTION.
- VERIFY MECHANICAL UNIT LOCATION AND WEIGHTS. SEE SSS.2 FOR NEW ROOF PENETRATION DETAIL.

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
400 W. Washington Street  
Phoenix, AZ 85003  
602.263.6011  
www.phoenix.gov

architect:  
Multistudio  
3125 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1340  
multistudio.com

historical preservation:  
Ryden Architects  
903 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5181  
www.rydenarchitects.com

structural engineer:  
BDA design  
8346 N. Greenway Plaza #350  
Scottsdale, AZ 85254  
480.388.7709  
www.bdadesign.com

civil engineer:  
Wilson & Company  
420 N. 4th Street Suite 460  
Phoenix, AZ 85003  
602.283.2703  
www.wilsonco.com

mechanical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

food service:  
Design-Tec Food Facilities  
8346 N. Greenway Plaza #350  
Scottsdale, AZ 85254  
480.388.7709  
www.dtecdesign.com

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR REPRESENTATION.



REVISIONS		
Number	DESCRIPTION	DATE
1	Delta 1 - rev 1st Review Comments	02-25-2022

PROJECT NO: 0520-0020  
DATE: February 25, 2022

ROOF FRAMING PLAN

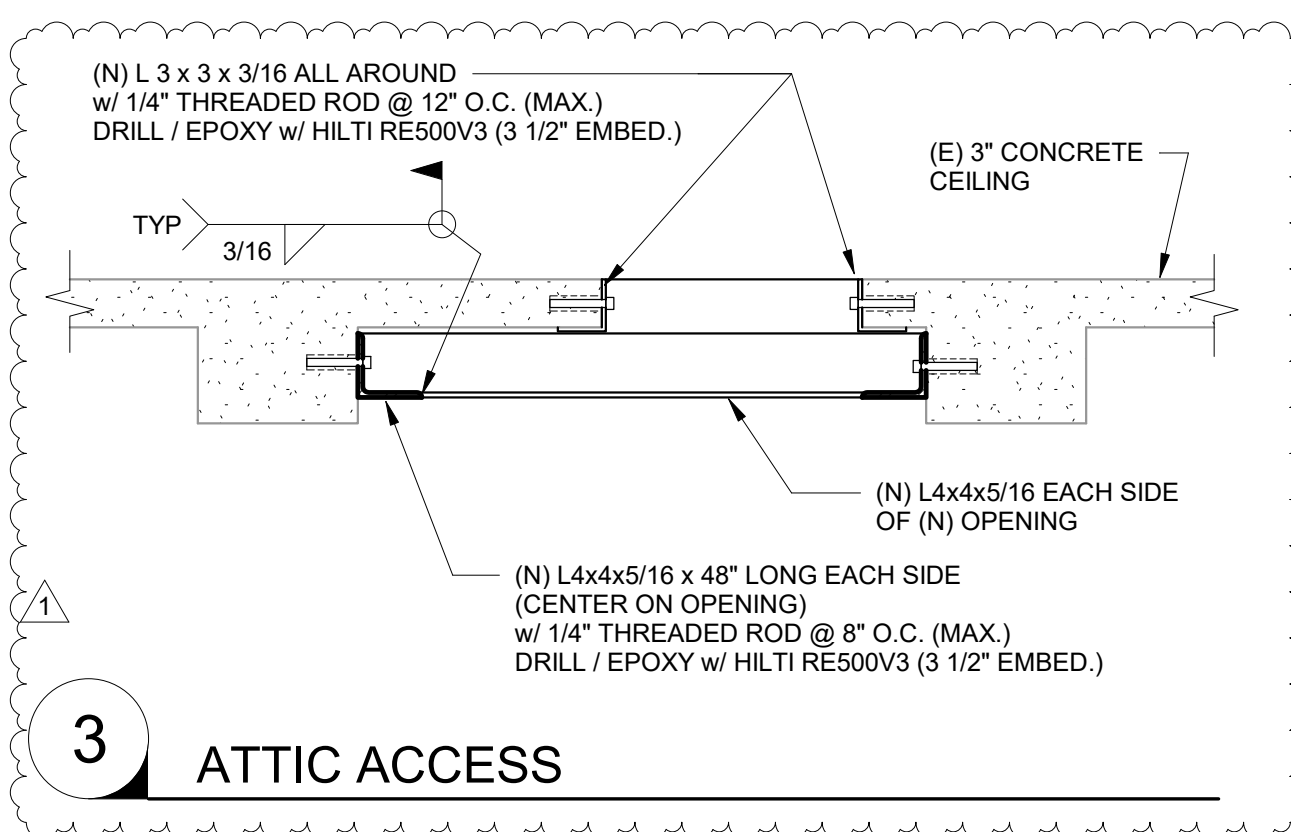
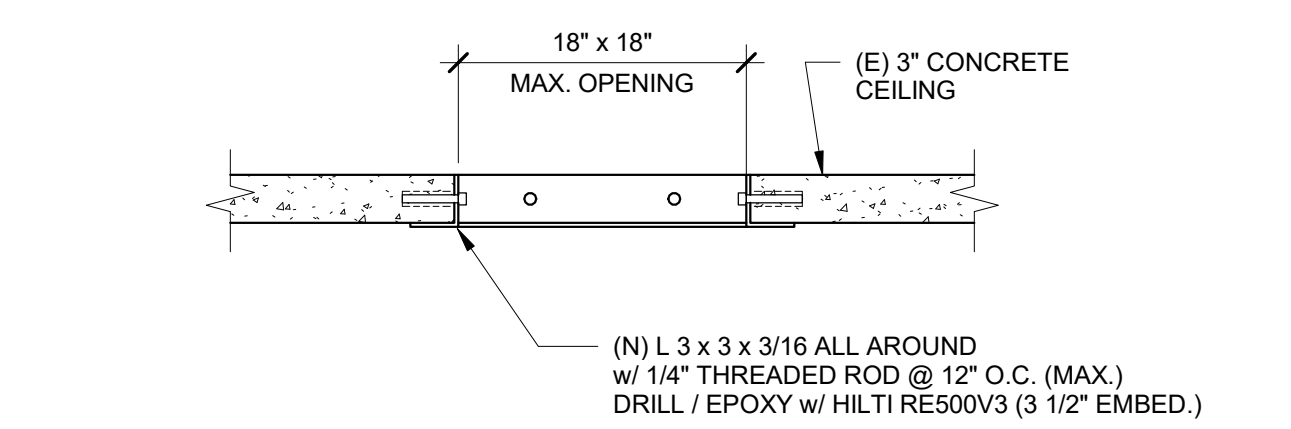
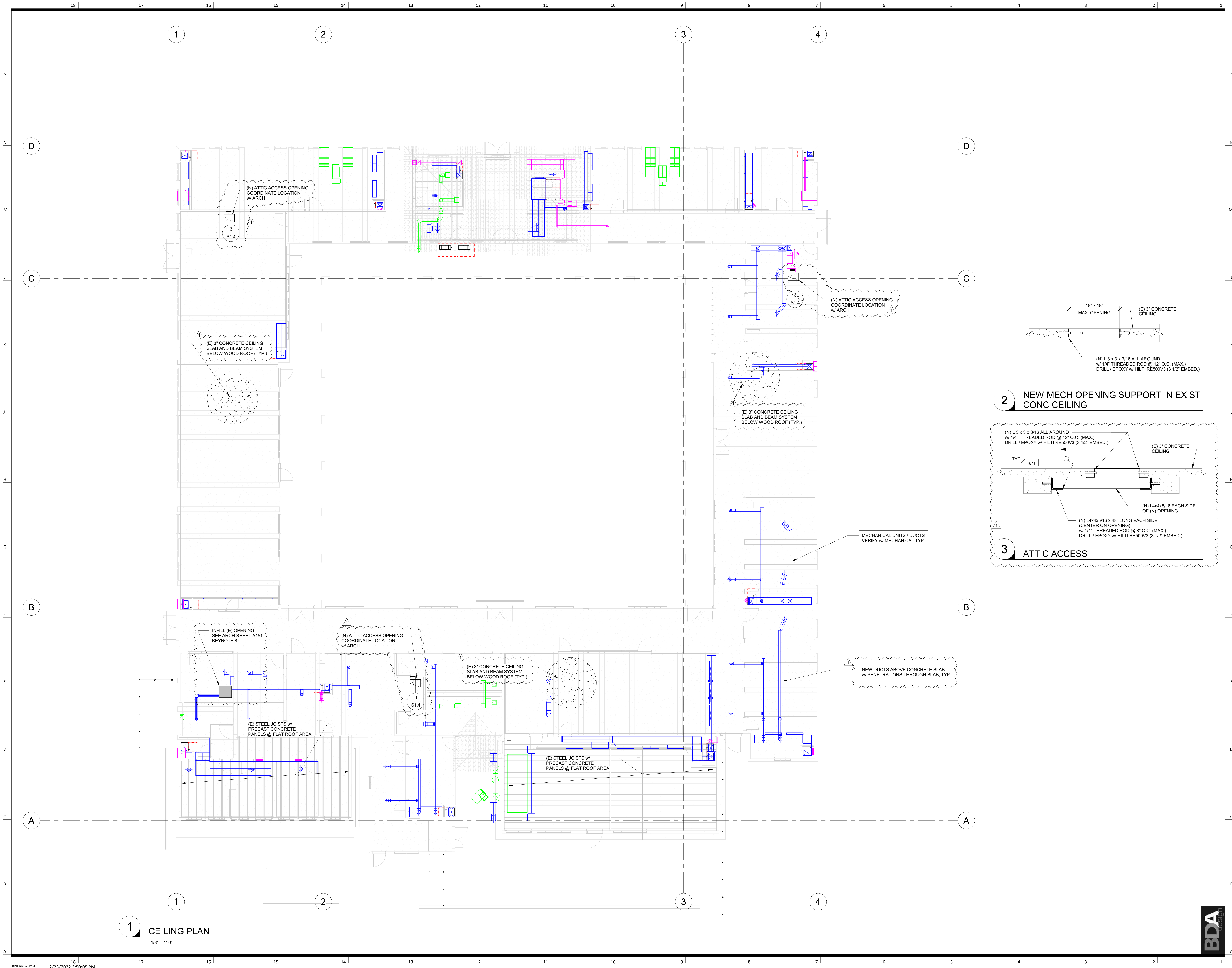
S1.3

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	46	117

AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION, Q.S.11-31





multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
420 N. Washington Street  
Phoenix, AZ 85003  
602.263.6011  
www.phoenix.gov

architect:  
Multistudio  
3125 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1340  
multistudio.com

historical preservation:  
Ryden Architects  
902 W. McDowell Road  
Phoenix, AZ 85007  
602.233.5361  
www.rydenarchitects.com

structural engineer:  
BDA design  
8340 N. Greenway Plaza #350  
Scottsdale, AZ 85254  
480.388.7709  
www.bdadesign.com

civil engineer:  
Wilson & Company  
420 N. Washington Street  
Phoenix, AZ 85003  
602.263.6011  
www.wilsonco.com

mechanical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

food service:  
Design-Tec Food Facilities  
8340 N. Greenway Plaza #350  
Scottsdale, AZ 85254  
480.388.7709  
www.dtsff.com

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.



REVISIONS		
Number	DESCRIPTION	DATE
1	Delta 1 - rev 1st Review Comments	02-23-2022

PROJECT NO: 0520-0020  
DATE: February 25, 2022

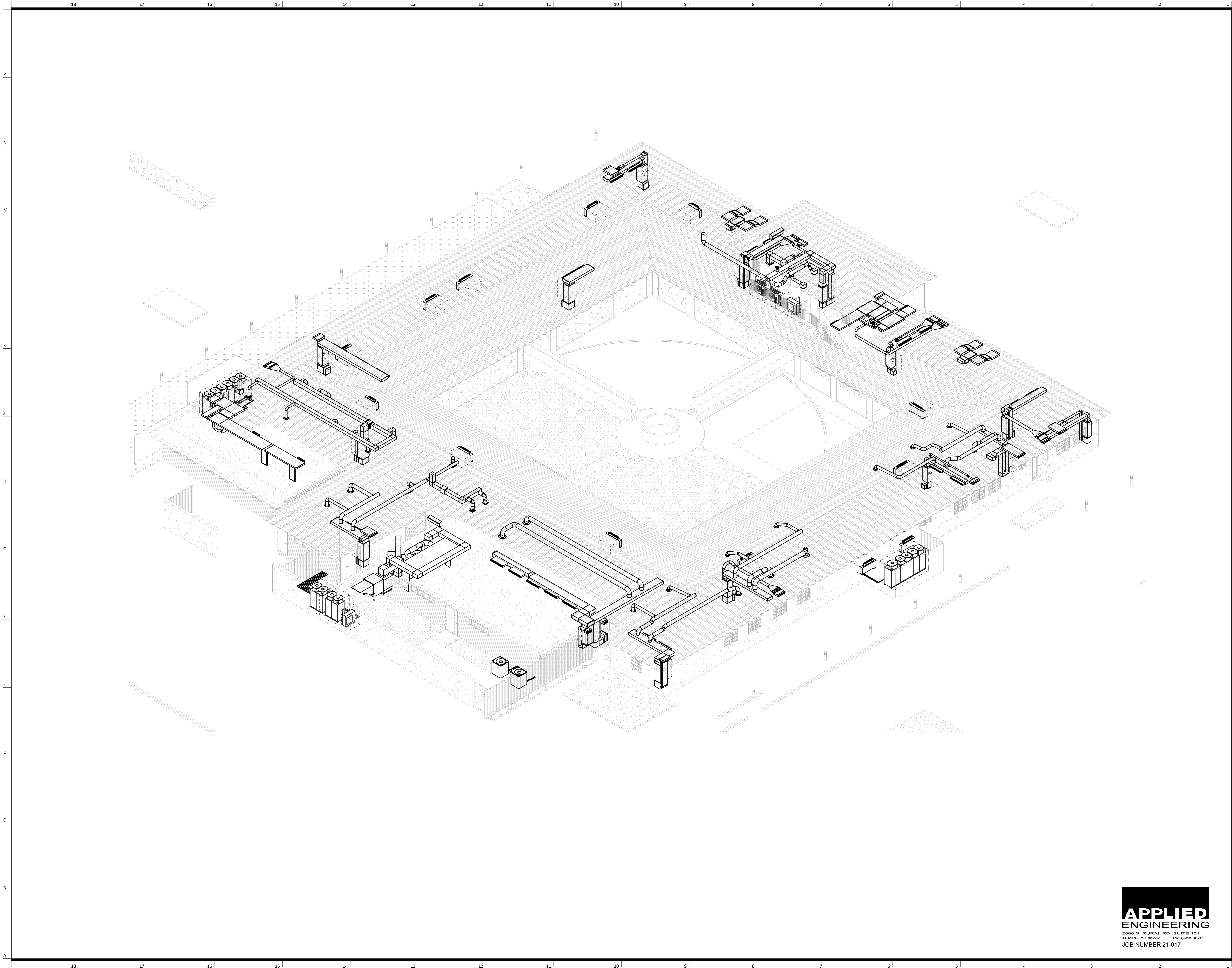
CEILING PLAN

S1.4

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	47	117





multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
Owner's Name  
123 Anystreet  
Anytown, USA 00000  
000.000.0000  
www.website.com

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
Ryden Architects  
902 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

structural engineer:  
Structural Engineer  
123 Anystreet  
Anytown, USA 00000  
000.000.0000  
www.website.com

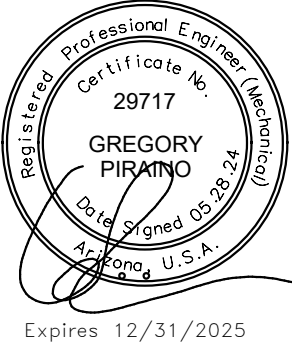
civil engineer:  
Civil Engineer  
123 Anystreet  
Anytown, USA 00000  
000.000.0000  
www.website.com

mechanical/electrical engineer:  
MEP Engineer  
123 Anystreet  
Anytown, USA 00000  
000.000.0000  
www.website.com

landscape architect:  
Landscape Architect  
123 Anystreet  
Anytown, USA 00000  
000.000.0000  
www.website.com

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.



Applied Engineering  
Arizona License No.: 29717  
Gregory Pirano  
Engineer Date: 05/28/2024

### REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT NO: 0520-0020  
DATE: May 28, 2024

3D MECHANICAL BIM

M000

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	48	117

**APPLIED  
ENGINEERING**  
2800 S. RURAL RD., SUITE 101  
TEMPE, AZ 85282 (480) 968-3070  
JOB NUMBER 21-017

AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION, Q.S.11-31



MECHANICAL ABBREVIATIONS			
ABBV	DESCRIPTION	ABBV	DESCRIPTION
ABFV	ABOVE FINISHED FLOOR	KW	KILOWATT
AD	AIR ACCESS DOOR	LAT	LEAVING AIR TEMPERATURE
AC	AIR CONDITIONING UNIT	LWT	LEAVING WATER TEMPERATURE
AHU	AIR HANDLING UNIT	LTG	LIGHTING
ALT	ALTERNATE	MFR	MANUFACTURER
AP	ACCESS PANEL	MAX	MAXIMUM
CAS	BUILDING AUTOMATION SYSTEM	MECH	MECHANICAL
BD	BACKDRIFT DAMPER	MC	MECHANICAL CONTRACTOR
BOT	BOTTOM	MBH	THOUSAND BTU/ HOUR
BOT	BOTTOM OF DUCT	MIN	MINIMUM
BOP	BOTTOM OF PIPE	MAT	MIXED AIR TEMPERATURE
BHP	BRAKE HORSEPOWER	MOC	MOTOR CONTROL CENTER
BLDG	BUILDING	NEG	NEGATIVE
CB	CAPACITY	NO	NORMALLY CLOSED
CLG	CEILING	NO	NORMALLY OPEN
CV	CONSTANT VOLUME	NA	NOT APPLICABLE
CW	COLD WATER	NIC	NOT IN CONTRACT
CONN	CONNECTION	NTS	NOT TO SCALE
CONT	CONTINUED	OAT	OUTSIDE AIR TEMPERATURE
CO	COOLING COIL	OB	OPPOSED BLADE DAMPER
CT	CHILLING TOWER	PBD	PARALLEL BLADE DAMPER
CFM	CUBIC FEET PER MINUTE	POS	POSITIVE
DET	DETAIL	PSI	POUNDS PER SQUARE INCH
DIA	DIAMETER	PRES	PRESSURE
DIFF	DIFFUSER	PD	PRESSURE DROP
DIM	DIMENSION	PRV	PRESSURE REDUCING VALVE
DIS	DIS. AIR TEMPERATURE	P	PUMP
DG	DOOR GRILLE	QTY	QUANTITY
DWG	DRAWINGS	RA	RETURN AIR
DS	DUCT SMOKE DETECTOR	RAT	RETURN AIR TEMPERATURE
DTR	DUCT THROUGH ROOF	RF	RETURN FAN
EA	EACH	REF	REFERENCE
EC	ELECTRICAL CONTRACTOR	RHC	REHEAT COIL
EL	ELEVATION	REQD	REQUIRED
EMER	EMERGENCY	REV	REVISION
ENT	ENTERING AIR TEMPERATURE	REV	REVISION
EWT	ENT. WATER TEMPERATURE	SCH	SCHEDULE
EQUIP	EQUIPMENT	SECT	SECTION
EXH	EXHAUST	SHT	SHEET
EXIST	EXISTING	SA	SOUND ATTENUATOR
FC	FAN COIL	SAT	SUPPLY AIR TEMPERATURE
FD	FIRE DAMPER	SD	SMOKE DAMPER
FD	FD FLAT ON BOTTOM	SPEC	SPECIFICATION
FLT	FLAT ON TOP	SS	STAINLESS STEEL
FPM	FEET PER MINUTE	STD	STANDARD
FLEX	FLEXIBLE	STM	STEAM
FLR	FLOOR	STL	STEEL
FLD	FLOOR DRAIN	SF	SQUARE FEET
FSD	FIRE / SMOKE DAMPER	SQFT	SQUARE FEET
GPM	GALLONS PER MINUTE	SW	SWITCH
GALV	GALVANIZED	TR	TRAP
GR	GRATE	TAB	TEST AND-BEAL
GR	GRILLE	TEMP	TEMPERATURE
HC	HEATING COIL	TYP	TYPICAL
HV	HEATING/VENTILATING UNIT	UL	UNDERWRITERS LABORATORY
HVAC	HEATING/VENTILATING/AC	UH	UNIT HEATER
HGT	HEIGHT	VAV	VARIABLE AIR FREQUENCY
HOR	HORIZONTAL	VFD	VARIABLE FREQUENCY DRIVE
HP	HORSEPOWER	VENT	VENTILATION
HW	HOT WATER	VD	VOLUME DAMPER
H	HUMIDIFIER	VV	VARIABLE VOLUME
IN	INCH	WG	WATER GAGE

\*\*\* NOT ALL ABBREVIATIONS ARE APPLICABLE FOR THIS PROJECT \*\*\*

MECHANICAL SYMBOLS LEGEND		
SINGLE LINE DUCTWORK	DOUBLE LINE DUCTWORK	DESCRIPTION
		MECHANICAL EQUIPMENT TAG
		GRILLE, REGISTER OR DIFFUSER TAG WITH CFM AND NECK SIZE
		MECHANICAL SECTION TAG
		GRILLES REGISTERS AND DIFFUSERS
		RECTANGULAR AND ROUND DUCT. DUCT SIZES ARE IN INCHES. DUCT SIZES REPRESENT INSIDE DIMENSIONS OF DUCTWORK.
		45° TAP USED AT BRANCH DUCTS ONLY.
		CONICAL TAP USED AT ROUND BRANCH DUCTS.
		90° ELBOW WITH SINGLE RADIUS TURNING VANE OR CURVED ELBOW (MIN. RADIUS R = 1.5 WIDTH)
		FLEXIBLE DUCT CONNECTION
		SPRIN-IN FLEX DUCT TAKE-OFF WITH MANUAL BALANCE DAMPER. FLEX DUCT NOT TO EXCEED 8'-0"
		BALANCING DAMPER (USE OBD IN RECTANGULAR DUCTS AND PLATE DAMPER IN ROUND DUCTS UNLESS OTHERWISE NOTED)
		MOTORIZED DAMPER
		BACKDRAFT DAMPER / MANUAL VOLUME DAMPER
		ACCESS PANEL
		SMOKE DAMPER, FIRE DAMPER, AND COMBINATION FIRE SMOKE DAMPER WITH ACCESS PANEL
		DUCTWORK DOWN
		DUCTWORK UP
		ROUND DUCTWORK.
		DUCT TRANSITION
		DUCT SMOKE DETECTOR / CO2 SENSOR
		THERMOSTAT / ZONE SENSOR, TEMPERATURE SENSOR, HUMIDISTAT, EVAP CONTROL, REMOTE SENSOR, CO SENSOR, CO2 SENSOR, OCCUPANCY SENSOR, CENTRAL CONTROL PANEL
		(MOUNT ALL ROOM SENSORS AT 48 IN AFF)

\*\*\* NOT ALL SYMBOLS ARE APPLICABLE FOR THIS PROJECT \*\*\*

# MECHANICAL SPECIFICATIONS

1. ALL WORK SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, LAWS, ACTS AND ALL AUTHORITIES HAVING JURISDICTION INCLUDING, BUT NOT LIMITED TO THE 2018 IRC, 2018 IEBC, 2018 IECG, AND AMENDMENTS AND CITY OF PHOENIX BUILDING STANDARDS AND REVIEW PROCESS AS ADOPTED BY PHOENIX, AZ.
2. WORK SHALL INCLUDE ALL MATERIALS, LABOR, SERVICES AND EQUIPMENT NECESSARY TO PROVIDE AN OPERATING SYSTEM AS SHOWN ON THE PLANS. PLANS ARE SCHEMATIC AND INTENDED TO SPECIFY ALL INSTALLED HARDWARE OR IDENTIFY ALL OFFSETS OR DIFFICULTIES WHICH MAY BE ENCOUNTERED IN THE COURSE OF COMPLETING THE PROJECT. DO NOT SCALE THE PLANS. CONTRACTORS SHALL FIELD MEASURE AND CREATE SHOP DRAWINGS FOR DUCT FABRICATION.
3. FIELD VERIFY ALL CLEARANCES PRIOR TO FABRICATION OR ORDERING DUCTWORK. CONTRACTOR SHALL NOT CHARGE OWNER, ARCHITECT, GENERAL CONTRACTOR, ENGINEER OR OTHERS FOR ADJUSTMENT DUE TO FIELD CONDITIONS. CONTRACTOR MUST INCLUDE IN FEE TO COMPLETE PROJECT MISCELLANEOUS DUCT FITTINGS TOP/IRON HANDLERS, TRANSITION UNITS, DUCTS REQUIRING OFFSETS, SPECIAL FITTINGS, ARCHED BEAMS, COLUMNS OR STRUCTURAL BRACES. FIELD VERIFICATION AND INSTALLATION SHALL BE CONSIDERED INCLUDED IN BASE SCOPE OF WORK. VERIFY ADDITIONAL COMPENSATION FEES. MECHANICAL CONTRACTOR SHALL OBTAIN ARCHITECTURAL PLANS AND VERIFY INTENDED CEILING HEIGHTS, SOFFIT LOCATIONS, AND OTHER ARCHITECTURAL FEATURE LOCATIONS AND SHALL ROUTE DUCTWORK ACCORDINGLY TO ALLOW CONSTRUCTION OF ELEMENTS OF BUILDING TO BE UNOBSTRUCTED. MECHANICAL CONTRACTOR SHALL LOCATE ALL DUCTS TO PROVIDE SUFFICIENT CLEARANCE FOR CEILING HARDWARE, ALL LIGHTS, AND ANY ARCHITECTURAL FEATURES IN CEILINGS. DUCT ROUTING MAY NEED TO BE FIELD ADJUSTED FROM PLANS FOR FIELD CONDITIONS AND FITTINGS PROVIDED TO SUIT. AIR FLOW TOTAL CROSS SECTIONAL AREA SHALL BE MAINTAINED THROUGH SUCH FITTINGS.
4. DISCREPANCIES ON MECHANICAL PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION PRIOR TO SUBMISSION OF BID TO CONSTRUCT MECHANICAL SYSTEMS. THEREAFTER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCY AFTER SUBMISSION OF BID IS ACCEPTED. MINIMUM PIVOT RODS SIZE IS 3/8". DAMPER BLADES IF AT LEAST 2 GAUGES HEAVIER THAN THE DUCT IN WHICH THEY ARE INSTALLED AND NO LIGHTER THAN 22 GAUGE. DAMPERS SHALL FEATURE TIGHT FITTING SYNTHETIC BUSHINGS AND BEARING AS PIVOTS PRIOR TO HOUSING CONTACT. DAMPERS SHALL BE MANUAL QUADRANT LOOKING TYPE WITH A STANDOFF TO ALLOW ROOM FOR INSULATION. "JIFFY" DAMPERS RELYING UPON A WING NUT ON THE PIVOT ROD AXIS ARE NOT ACCEPTABLE. DAMPER INSTALLATIONS SHALL BE FREE OF OBJECTIONABLE VIBRATION AND NOISE. ACCEPTABLE MANUFACTURERS: GREENHECK, DAYTON, OR EQUAL.
7. FIELD VERIFY EXACT LOCATIONS OF STRUCTURE AND INSTALL NEW EQUIPMENT ACCORDINGLY. FIELD VERIFY TO CLEARANCE BETWEEN ALL BUILDING AIR INTAKES AN BUILDING AIR EXHAUSTS, MECHANICAL VENTS, AND PLUMBING VENTS PER CODE.
8. PROVIDE AS-BUILT DRAWINGS AND ALL EQUIPMENT INSTALLATION AND OPERATIONS MANUALS TO OWNER FOLLOWING PROJECT COMPLETION.
9. ALL HVAC EQUIPMENT SHALL BE UL LISTED AND INSTALLED PER MANUFACTURERS INSTRUCTIONS.
10. COORDINATE WITH ELECTRICAL CONTRACTOR TO PROVIDE COURTESY 120V OUTLET IN WEATHER-PROOF ENCLOSURE FOR MECHANICAL EQUIPMENT SERVICE. HARDWARE AND INSTALLATION BY ELECTRICAL CONTRACTOR. PROVIDE 1 RECEPTACLE WITHIN 2' OF EACH REF, MFG, MAIL, AND FCOU UNIT.
11. MECHANICAL CONTRACTOR SHALL PROVIDE ALL CONTROLS SYSTEMS / EQUIPMENT. SEE CONTROLS SPECIFICATIONS AND SEQUENCE OF OPERATIONS.
12. PROVIDE INTERLOCKS WHERE REQUIRED. INTERLOCKS MAY BE REQUIRED BETWEEN EXHAUST FANS, SUPPLY FANS, MOTORIZED DAMPERS, OR OTHER EQUIPMENT AS SPECIFIED ON PLANS. INTERLOCK OF TWO DEVICES SHALL REQUIRE BOTH MECHANICAL CONTRACTOR'S CONTROL OR UNLESS OTHERWISE SPECIFIED.
13. PROVIDE THERMOSTATS OR ZONE SENSORS PER CONTROL SPECIFICATIONS. FURNISH INSULATED SUB-FANS WHEN MOUNTING THERMOSTATS ON EXTERIOR WALLS. TEMPERATURE CONTROL MUST BE CAPABLE OF THE FOLLOWING: SETBACK-TIME TO 55°F DURING UNOCCUPIED HEATING AND SETUP TIME TO 85°F DURING UNOCCUPIED COOLING. AUTOMATIC SHUT OFF DURING UNOCCUPIED HOURS USING 7 DIFFERENT DAY SCHEDULES. ACCESSIBLE 2-HOUR OCCUPANT-OPERATED BATTERY BACKUP CAPABLE OF MAINTAINING PROGRAMMED SETTINGS FOR AT LEAST 10 HOURS WITHOUT LINE POWER. THERMOSTAT OR ZONE SENSOR SHALL BE MOUNTED ON WALL AT A HEIGHT OF 48" ABOVE FINISHED FLOOR.
14. CONDENSATE PIPING: SEE PLUMBING PLANS FOR CONDENSATE PIPING.
15. SEE STRUCTURAL PLANS FOR EQUIPMENT SUPPORT AND BRACING. DO NOT CUT STRUCTURAL MEMBERS.
16. PROVIDE PHENOLOC ID LABEL FOR EACH PIECE OF HVAC EQUIPMENT NEAR DISCONNECT. LABEL SHALL IDENTIFY ALL MECHANICAL EQUIPMENT WITH 1" HIGH STENCILED LETTERS OF CONTRASTING COLOR. HANDWRITTEN LABELS WITH MARKERS SHALL NOT BE ALLOWED. LABEL SHALL IDENTIFY EACH PIECE OF EQUIPMENT PER PLAN IDENTIFICATION NUMBER.
17. PROVIDE EACH DUCT SUPPLY BRANCH WITH OWNER ADJUSTABLE VOLUME CONTROL USING A LOCKING BRANCH DAMPER 18" FROM MAIN TAKEOFF OR OBD IN DEVICE IF BRANCH IS INACCESSIBLE. PROVIDE AUTOMATIC SHUTOFF DAMPERS ON EXHAUST SYSTEMS AND SUPPLY SYSTEMS WITH AIRFLOW GREATER THAN 3000 CFM. SEE PLANS FOR MOTORIZED DAMPERS LOCATIONS, SIZES, AND REQUIREMENTS. OUTSIDE AIR SYSTEMS SHALL BE CAPABLE OF REDUCING OUTSIDE AIR GPM TO THE CODE REQUIRED OUTSIDE AIR GPM REQUIRED BY ITEM #1 ABOVE. PROVIDE YOUNG REGULATORS FOR DAMPERS LOCATED ABOVE INACCESSIBLE CEILINGS.
18. CONTRACTOR TO PROVIDE SIGNED AND SEALED TEST AND BALANCE REPORT. TEST AND BALANCE OF SYSTEM TO BE PERFORMED BY AN AABC OR NEBB CONTRACTOR CERTIFIED IN THE STATE OF ARIZONA. PRIOR TO FINAL INSPECTION, PROVIDE A COPY OF THE SIGNED AND SEALED AIR-BALANCE REPORT TO THE MECHANICAL ENGINEER FOR FINAL APPROVAL. IN ACCORDANCE WITH NEBB TEST AND BALANCE PROCEDURE, THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE TEST AND BALANCE REPORT. THE CITY INSPECTOR SHALL RECEIVE A COPY OF A THIRD PARTY CERTIFIED AIR BALANCE REPORT CONDUCTED IN ACCORDANCE WITH AABC OR NEBB TESTING STANDARDS PRIOR TO THE ISSUE OF THE CERTIFICATE OF OCCUPANCY IN ACCORDANCE WITH IMC 403.7.
19. EQUIPMENT AND DEVICES SHOWN ON PLANS ARE DIAGRAMMATIC AND MAY NOT ACCOUNT FOR ALL CONFLICTS THAT ARISE IN THE FIELD DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES AND LOCATE EQUIPMENT AND COMPONENTS INCLUDING BUT NOT LIMITED TO DAMPERS, ACTUATORS, FAN COILS, ETC SUCH THAT THEY ARE ACCESSIBLE. SUPPORTS AND HANGERS SHALL BE PROVIDED FOR EQUIPMENT SERVICE, REPAIR, AND REPLACEMENT.
20. PENETRATIONS INTO OR THROUGH FIRE-RISTANT RATED WALL ASSEMBLIES INCLUDING FIRE WALLS, FIRE BARRIERS, SMOKE BARRIER WALLS AND FIRE PARTITIONS SHALL COMPLY WITH IBC. THROUGH PENETRATIONS SHALL BE PROTECTED BY AN APPROVED FIRE STOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E 814 or UL 1479 AND SHALL HAVE AN F-RATING OF NOT LESS THAN THE REQUIRED FIRE RESISTANCE RATING OF THE WALL PENETRATED. SEE ARCHITECTURAL LIFE SAFETY PLANS FOR PENETRATION DETAILS. DUCT PENETRATIONS THAT REQUIRE DAMPERS SHALL COMPLY WITH IMC.
21. MECHANICAL CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL LADDER RACK INSTALLER TO AVOID CONFLICTS WITH MECHANICAL EQUIPMENT IN THE SERVER ROOM.

**DEFINITIONS:**  
PROVIDE - FURNISH AND INSTALL.  
FURNISH - DELIVER EQUIPMENT AND/OR MATERIALS TO SITE.  
INSTALL - PHYSICALLY PLACE IN POSITION AND PUT INTO OPERATION.

# COMMISSIONING SPECIFICATIONS

## PER 2018 IECC

A THIRD PARTY COMMISSIONING CONTRACT, OTHER THAN THE ENGINEER OF RECORD, SHALL BE PROVIDED BY THE GENERAL CONTRACTOR FOR MEETING THE COMMISSIONING REQUIREMENTS OF THE 2018 IECC SECTION C406 REQUIREMENTS. COMMISSIONING SHALL INCLUDE TESTING AND VERIFICATION, INCLUDING CONDUCTING FIELD INSTALLATION VERIFICATION, OPERATIONAL PERFORMANCE TESTS, AND FUNCTIONAL PERFORMANCE TESTS. THE CONTRACTOR SHALL PROVIDE RECORDS OF TESTING AND VERIFICATION OF THE SYSTEMS, INCLUDING BALANCING, PROVIDING QUALIFIED PERSONNEL FOR PARTICIPATION IN ALL COMMISSIONING TESTS, AND PROVIDING ALL LABOR AND EQUIPMENT NECESSARY TO CORRECT ANY DEFICIENCIES FOUND DURING THE COMMISSIONING PROCESS. CONTRACTOR SHALL ALSO INCLUDE A LINE ITEM IN THE BIDDING PRICE TO COVER THE COST OF THE COMMISSIONING REQUIREMENTS. COMMISSIONING AGENT SHALL BE AN NEBB OR AABC CERTIFIED COMMISSIONING MANAGER.

# SUMMARY OF COOLING LOAD CALCULATIONS

LOAD CALCULATIONS FOR THIS PROJECT HAVE BEEN COMPLETED IN ACCORDANCE WITH HVAC 2018 SECTION 9.12, 2018 IECC, AND 2007 ASHRAE STANDARD 183 AND AS SUMMARIZED BELOW:

LOAD CALCULATIONS HAVE BEEN PERFORMED USING TRANE TRACE 700 VERSION 6.3.5.S, AN INDUSTRY STANDARD LOAD CALCULATION SOFTWARE. THE COOLING LOAD ESTIMATE USES THERM 14A, ASHRAE DESIGN WEATHER FOR PHOENIX (CLIMATE ZONE 2B) HAS BEEN USED AS FOLLOWS:

DESIGN COOLING: 110.2° DB, 70° Fb, 75° INDOOR DB.  
DESIGN WIND: 97.2° DB, 70° Fb

THE OUTPUT CAPACITY OF HEATING AND COOLING EQUIPMENT SCHEDULED IS NOT GREATER THAN THAT OF THE SMALLEST AVAILABLE EQUIPMENT SIZE THAT EXCEEDS THE LOADS CALCULATED IN ACCORDANCE WITH THE IMC, IECC, AND ASHRAE STANDARD REQUIREMENTS.

# SPECIAL REQUIREMENTS AND TEST

<p>MECHANICAL CONTRACTOR TO PROVIDE DUCT SMOKE DETECTORS THAT MEET THE CITY OF PHOENIX REQUIREMENTS WITH L.E.D.'S AT CEILING LEVEL. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE ELECTRICAL CONTRACTOR TO PROVIDE THE ELECTRICAL CONTRACTOR TO CONNECT POWER TO THE DUCT SMOKE DETECTOR. THE ELECTRICAL CONTRACTOR SHALL LOCATED OUTDOORS SHALL BE NEMA 4X RATED FOR USE OUTDOORS.</p> <p>WHERE THE BUILDING IS EQUIPPED WITH A FIRE ALARM SYSTEM OR IF A SYSTEM IS INSTALLED, DUCT SMOKE DETECTORS ARE TO BE CONNECTED TO THE FIRE ALARM SYSTEM. THE DETECTION CIRCUIT OF SMOKE SHALL ACTIVATE A VISIBLE AND AUDIBLE SUPERVISORY SIGNAL AT A CONSTANTLY ATTENDED LOCATION AS REQUIRED BY IMC. SMOKE DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF PHOENIX ELECTRICAL CODE. COORDINATE WITH THE FIRE ALARM SYSTEM INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ELECTRICAL CONTRACTOR TO PROVIDE THE ELECTRICAL CONTRACTOR TO CONNECT POWER TO THE DUCT SMOKE DETECTOR. THE ELECTRICAL CONTRACTOR SHALL LOCATED OUTDOORS SHALL BE NEMA 4X RATED FOR USE OUTDOORS.</p> <p>CONSTANTLY SUPERVISED LOCATION TRIGGERED BY THE ACTIVATION OF A DUCT SMOKE DETECTOR. INCLUDE THE AIR DUCT DETECTOR CONTROLLER. THE SPECIAL INSPECTOR TESTING AGENCY SHALL BE AN INDEPENDENT THIRD PARTY INDIVIDUAL OR FIRM AND SHALL NOT BE THE INSTALLING CONTRACTOR. THE THIRD PARTY SPECIAL INSPECTOR FURNISHED BY M.C.O. SHALL BE A SEPARATE SIGNED AND SEALED REPORT TO THE MECHANICAL INSPECTOR PRIOR TO ISSUANCE OF FINAL INSPECTION APPROVAL.</p> <p>CONDITIONAL OCCUPANCY APPROVAL.</p>
--

## SUBMITTAL PROCESS SPECIFICATIONS

PRIOR TO ORDERING, SUBMITTALS REVIEWED BY THE ENGINEER ARE REQUIRED FOR ALL ITEMS LISTED ON THE MECHANICAL SCHEDULES, AND AS FOLLOWS:

ALL SUBMITTALS AND RESUBMITTALS SHALL USE THE FOLLOWING FORMAT OR SHALL BE RETURNED FOR CORRECTIONS UNTIL FORMATTED AS FOLLOWS:

1. SUBMITTED AS A SINGLE ELECTRONIC PDF FILE IDENTIFIED AS A FIRST SUBMITTAL, OR AS REVISED SUBMITTAL WITH THE CORRESPONDING SUBMITTAL NUMBER IDENTIFIED AS "RESUBMITTAL #", BEGINNING WITH "RESUBMITTAL 1" AND CONTINUING WITH SEQUENTIAL NUMBERING ON ANY RESUBMITTALS.
2. ALL EQUIPMENT ON THE MECHANICAL SCHEDULES SHALL BE SUBMITTED COMBINED INTO A SINGLE PDF FILE. PARTIAL SUBMITTALS WILL BE RETURNED.
3. SUBMITTAL PRODUCT DATA SHALL BE LABELED IN RED BOLDFACE TEXT IN THE TOP RIGHT HAND CORNER OF THE FIRST PAGE WITH THE EQUIPMENT IDENTIFICATION TAG AS LABELED ON THE MECHANICAL SCHEDULES. ALL OTHER DATA WILL BE RETURNED.
4. REQUIRED OPTIONS LISTED ON THE CONSTRUCTION DOCUMENT SCHEDULES SHALL BE CLEARLY IDENTIFIED WITH EACH OPTION ON THE SUBMITTAL, MARKED WITH A RED BOX, CIRCLE, CHECK, OR OTHER SIMILAR CONSPICUOUS INDICATION THAT THE SUBMITTED DEVICES OPTIONS MATCH THE PLAN SCHEDULE NOTES (GENERIC EQUIPMENT DATA THAT HAS UNIDENTIFIED OPTIONS WILL BE RETURNED).
5. CONTRACTOR/SUPPLIER SUBMITTAL IS A PRESENTATION TO THE ENGINEER THAT THE EQUIPMENT SUBMITTED IS EQUIVALENT TO THAT SPECIFIED ON THE CONSTRUCTION DOCUMENTS. EQUIPMENT SUBSTITUTIONS WHICH INCLUDE OR REQUIRE DEVIATIONS FROM THE CONSTRUCTION DOCUMENT REQUIREMENTS SHALL BE CLEARLY IDENTIFIED BY THE CONTRACTOR/SUPPLIER ON THE SUBMITTAL WITH A CLEAR EXPLANATION OF THE REASONS FOR NON-EQUIVALENCE OR EQUIVALENCE WITH EQUIPMENT SCHEDULES. FAILURE OF SUBSTITUTED EQUIPMENT TO PERFORM TO THE LEVEL SPECIFIED IN THE EQUIPMENT SCHEDULE MAY REQUIRE REPLACEMENT OF SUBSTITUTED EQUIPMENT IF DEVIATIONS ARE NOT CLEARLY IDENTIFIED.
6. ALL RESUBMITTALS OF EQUIPMENT OR MATERIALS PREVIOUSLY REJECTED BY THE ENGINEER SHALL BE RESUBMITTED AS A SINGLE ELECTRONIC PDF FILE. ALL RESUBMITTALS SHALL INCLUDE OUT SHEETS OF ONLY THE ITEMS THAT HAVE BEEN RETURNED/REJECTED BY THE ENGINEER ON THE FIRST SUBMITTAL. (COMPLETE RESUBMITTALS OF ALL PROJECT EQUIPMENT WILL BE RETURNED TO BE REDUCED DOWN TO RESUBMITTAL ITEMS ONLY).
7. ALL RESUBMITTALS SHALL INCLUDE OUT SHEET AND PRODUCT DATA UPDATES TO SHOW CONFORMANCE TO CONSTRUCTION DOCUMENT REQUIREMENTS AND AS INDICATED AND REQUIRED BY THE ENGINEER IN THE PREVIOUS SUBMITTAL REVIEWS.
8. ON ALL RESUBMITTALS, CLEARLY IDENTIFY ANY CHANGES MADE OTHER THAN THOSE REQUESTED BY THE ENGINEER IN THE PREVIOUSLY RETURNED/REJECTED SUBMITTAL. PROVIDE A STATEMENT EXPLAINING ANY CHANGES WHICH WERE NOT PROMPTED BY THE ENGINEERS PREVIOUS REVIEW.

## CONTRACTOR COORDINATION SPECIFICATIONS

AREAS ABOVE CEILINGS HAVE RESTRICTED SPACE LIMITATIONS. CONTRACTOR SHALL REVIEW PLANS AND FIELD CONDITIONS, ATTEND COORDINATION MEETINGS WITH ALL TRADES PRESENT, AND SET ALL DUCT, FIRE SPRINKLER PIPE, PLUMBING, DAMPER, ELECTRICAL, CABLE TRAY, AND CONDUIT ROUTES TO ACCOMMODATE ALL TRADES, ALL BUILDING ELEMENTS, LIGHTING, FIRE, AND EQUIPMENT. FIELD VERIFY ALL REQUIRED CLEARANCES AND EQUIPMENT LOCATIONS PRIOR TO COMMENCING PROJECT, FABRICATING OR INSTALLING SYSTEMS. TRADES SHALL NOTATTEMPT TO MAKE ANY FIELD ADJUSTMENTS OR DEVIATIONS PRIOR TO COORDINATION MEETINGS. FIELD COORDINATE ROUTING TO AVOID CONFLICTS. CONTRACTOR SHALL NOT CHARGE OWNER, ARCHITECT, GENERAL CONTRACTOR, ENGINEER OR OTHERS FOR FIELD ADJUSTMENT DUE TO FIELD CONDITIONS. CONTRACTOR MUST INCLUDE IN FEE TO COMPLETE PROJECT MISCELLANEOUS DUCT, TRANSITIONS, AND OFFSETS. PRIOR CLOSE COORDINATION SHALL BE CONSIDERED INCLUDED IN BASE SCOPE OF WORK WITHOUT ADDITIONAL COMPENSATION FEE. VERIFY ALL ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE SPRINKLER PLANS AND VERIFY INTENDED EQUIPMENT LOCATIONS, CEILING HEIGHTS, AND OTHER ARCHITECTURAL FEATURE LOCATIONS. CONTRACTOR SHALL INSTALL AND ROUTE SYSTEMS ACCORDINGLY TO ENSURE EQUIPMENT FITS AND THAT EQUIPMENT SERVICE ACCESS IS UNOBSTRUCTED. FIELD ROUTINGS OF SYSTEMS MAY NEED TO BE ADJUSTED FROM THESE SCHEMATIC PLANS, AND ANY REQUIRED FITTINGS SHALL BE PROVIDED TO SUIT.

OUTSIDE AIR FILTER BANKS AND FILTERS

\*PROVIDE SCHEDULED OR APPROVED EQUAL EQUIPMENT BY OTHER MANUFACTURERS

FRAME DATA						FILTER DATA				NOTES
MARK	MANUFACTURER	HOUSING	FILTER SIZE (QUANTITY) FILTERS HIGH X FILTERS WIDE	CABINET SIZE (HxWxD)	MAX CFM	(QUANTITY) / W x H x D (IN)	MAX PAGE VEL	EFFICIENCY	MAX INITIAL P.D.	
1	CUSTOM	FLATBANK	SEE NOTE 2	26" x 26" x 4"	2,000	(1) / 24x24x2	500 FPM	MERV 10	0.3" W.G.	1-5

NOTES:  
1. INSTALL IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS.  
2. PROVIDE CUSTOM FLAT BANK HOUSING EQUIPPED FOR (1) 24" X 24" X 2" PLEATED FILTER.  
3. PROVIDE HOUSING WITH 16 GAUGE GALVANIZED STEEL CONSTRUCTION, HINGED SIDE ACCESS WITH MANUAL LATCHING HANDLE, DOOR GASKETS (DOOR TO FILTER), FILTER TRAIL SEALS, AND ALUMINUM FILTER GUIDES. ALL FILTERS TO BE ACCESSIBLE FROM AT LEAST ONE SIDE. SUPPORT HOUSING SECURELY TO STRUCTURE, SUPPORT PROVIDED BY MECHANICAL CONTRACTOR.  
4. PROVIDE PHENOLIC LABEL BELOW HOUSING ON THE ROOM SIDE CEILING STATING "FRESH AIR FILTERS ABOVE REPLACE PERIODICALLY."  
5. PROVIDE WITH (2) SETS OF PLEATED FILTERS, INSTALL FIRST SET DURING CONSTRUCTION, AND REPLACE WITH FINAL SET PRIOR TO TEST AND BALANCE AND OCCUPANCY.

DUCT TYPE		INSULATION TYPE	INSULATION MINIMUM R VALUE	NOTES
CONCEALED SUPPLY, RETURN, AND OUTSIDE AIR DUCTS IN THE UNCONDITIONED SPACE INSIDE THE BUILDING ENVELOPE		EXTERNALLY WRAPPED WITH FOIL BACKED INSULATION	R-6	1-9
CONCEALED SUPPLY, RETURN, AND OSA DUCTS LOCATED OUTSIDE THE BUILDING ENVELOPE OR WITHIN EXTERIOR COMPONENTS (E.G., FLOORS, ATTICS, ROOFS, SOFFITS, OR EXPOSED EXTERIOR) BETWEEN THE DUCT AND BUILDING EXTERIOR		EXTERNALLY WRAPPED WITH FOIL BACKED INSULATION	R-8	1-9
EXPOSED EVAP COOLER MAKE-UP AIR PLENUM IN KITCHEN		UN-INSULATED STAINLESS STEEL	N/A	1-10
RESTROOM EXHAUST DUCTS IN UNCONDITIONED SPACE AND PLenums		EXTERNALLY WRAP THE FIRST 15' UPSTREAM AND DOWNSTREAM FROM FAN ONLY (FOR NOISE ABATEMENT)	R-6	1-10

- ALL DUCT DIMENSIONS SHOWN ON PLANS ARE NET INSIDE DIMENSIONS. CONTRACTOR SHALL INCREASE DIMENSIONS FOR INTERNALLY UNIED DUCT TO ACCOUNT FOR THE THICKNESS OF INSULATION.
- ALL DUCTWORK SHALL BE LOOK FORMED QUALITY STEEL WITH EXCEPTION OF FLEXIBLE DUCT BRANCH ENDS ONLY. ALL DUCTS WITH A DIMENSION OVER 16" SHALL BE FLANGED TYPE CONNECTION. CONCEALED DUCT BRANCHES SHALL BE ROUND STEEL. ALL DUCTS SHALL BE SUSPENDED FROM STRUCTURE OF BUILDING PER CODE
- DUCT SEAMS AND FLANGES SHALL BE TIGHT AND WITHOUT VISIBLE GAPS.
- DUCT CONNECTIONS SHALL BE SHADONA CLASS A "TRANSVERSE JOINTS, LONGITUDINAL SEAMS, AND DUCT WALL PENETRATIONS SHALL BE SEALED. ALL SEAMS ON HIDDEN RIGID DUCTS SHALL BE SEALED USING UL 1814 OR 181B MATS, EXCEPT CONTINUOUSLY WELDED AND LOOKING-TYPE LONGITUDINAL JOINTS.
- ALL WORK OUTDOORS OR ON ROOF SHALL BE VALUE SEALED AND WATER TIGHT.
- ACQUITION FLEXIBLE AIR DUCTS SHALL BE UL 181 LISTED, CLASS 1, WITH AN INNER CORE OF STEEL, WIRE HELIX WRAPPED IN FIBERGLASS AND SHEATHED IN A DOUBLE LAMINATION OF POLYESTER. FLEX DUCT SHALL HAVE A MINIMUM R VALUE OF 6.0 AND SHALL BE RATED FOR 4" WG POSITIVE AND 75" WG NEGATIVE PRESSURES (MINIMUM). UP TO 2 FEET MAXIMUM U.L. LISTED FLEXIBLE DUCT OF 18" OR SMALLER BRANCH ENDS IN CONCEALED LOCATIONS ONLY. ALL FLEXIBLE DUCTWORK SHALL BE INSTALLED PER CODE FULLY EXTENDED WITHOUT CRIMPING OR RESTRICTIVE SHORT RADIIUS BENDS.
- PROVIDE TURNING VANES AT ALL RECTANGULAR ELBS AND TEES PER DETAILS ON PLANS.
- ALL DUCTS AND FITTINGS SHALL BE FABRICATED PER LATEST EDITION SMACNA.
- ALL MATERIALS EXPOSED WITHIN DUCTS OR INSULATION INSIDE DUCTS SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE DEVELOPMENT RATING OF NOT MORE THAN 50. UL LISTING REQUIRED.
- DUCTS EXPOSED AND VISIBLE TO OCCUPANTS SHALL BE SUPPORTED USING ALL-THREAD RODS. ROUND DUCTS SHALL BE SUPPORTED ABOVE THE DUCT CENTERLINE WITH ALL-THREAD RODS AND STEEL BANDS FULLY ENROLLING THE DUCT. ALL EXPOSED DUCTS SHALL BE CLEAN, FREE OF DENTS, SCRATCHES, SCUFFS, TAGS, AND SHALL BE WIRED CLEAN AT JOB COMPLETION. PRIME D PAINT COLOR PER ARCHITECT.

</



SPLIT SYSTEM SCHEDULE																*PROVIDE SCHEDULED OR APPROVED EQUAL EQUIPMENT BY OTHER MANUFACTURERS									
AIR HANDLING UNIT (FAN COIL "FC" - INDOOR UNIT)												CONDENSING UNIT "CU" (OUTDOOR UNIT)						COOLING (NET)			HEATING		NOTES		
MARK	MFR	MODEL	NOM TONS	CFM	ESP	VOLTS	PH	MCA	MOCP	FAN HP	WT (LB)	MODEL	VOLTS	PH	MCA	MOCP	WT (LB)	TOTAL MBH	SENSIBLE MBH	MIN. SEER	TOTAL MBH	MIN. HSPF			
5 & 6	TRANE	TEMA60A0GH51	5	2,000	0.6	208/230	1	9.0	15	3/4	200	4TWR7048	208/230	1	37	60	400	52.5	40.1	(16.25)	42.1	9.0	1-12		
<p>NOTES:</p> <p>1. PROVIDE AND INSTALL INDOOR AND OUTDOOR UNITS PER MANUFACTURERS WRITTEN INSTRUCTION AND DETAILS ON PLANS.</p> <p>2. NET COOLING CAPACITY BASED ON 115°F AMBIENT AND 80°F DBS, 67°F EWB. NET HEATING CAPACITY BASED ON 32°F AMBIENT, 70 EDB. PROJECT ELEVATION IS 1,180, PHOENIX, AZ.</p> <p>3. PROVIDE UNIT WITH R-410A REFRIGERANT.</p> <p>4. EXTERNAL STATIC PRESSURE SHALL INCLUDE DUCT AND DUCT-MOUNTED COMPONENTS SHOWN ON DRAWINGS ONLY. VENDOR SHALL CALCULATE INTERNAL STATIC PRESSURES FOR SUCH ACCESSORIES AS DAMPERS, COILS, HEATERS, DISCHARGE AND RETURN, PLENUMS, ETC.</p> <p>5. PROVIDE WITH LOCAL BACNET THERMOSTAT SENSOR WITH LOCAL TEMPERATURE ADJUSTMENT AND AFTER-HOUR OVERRIDE, AND INTEGRATE WITH BUILDING CONTROL SYSTEM. SEE SEQUENCE OF OPERATIONS FOR CONTROL. SEE ELECTRICAL PLANS FOR DISCONNECTS.</p> <p>6. SEE MANUFACTURERS DOCUMENTATION FOR MAXIMUM LENGTH OF REFRIGERANT LINES AND APPROPRIATE SIZING. PROVIDE LONG RADIUS ELBOWS. PROVIDE LONG LINE KIT IF REQUIRED. INSULATE BOTH SUCTION AND LIQUID REFRIGERANT LINES.</p> <p>7. REFRIGERANT LINES LOCATED OUTDOORS SHALL BE WRAPPED IN AN ALUMINUM JACKET WITH STAINLESS STEEL BANDING CLAMPS.</p> <p>8. TESTING AND BALANCE CONTRACTOR TO SET OSA TO DESIGN CFM INDICATED. SEE OSA VENTILATION CALCULATIONS.</p> <p>9. INSTALL AIR HANDLER AND CONDENSING UNIT WITH CLEARANCE FOR OPERATION AND SERVICE ACCESS IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.</p> <p>10. PROVIDE TWO SETS OF NEW MERV 10 PLATED FILTERS, ONE DURING CONSTRUCTION, ONE PRIOR TO TAB AND OCCUPANCY. INSTALL FILTER IN RETURN AIR GRILLES AS INDICATED ON PLANS.</p> <p>11. AIR HANDLER SHALL BE INSTALLED IN A CLOSET IN A VERTICAL UPRIGHT POSITION. INSTALL ON A 24" METAL SUPPORT STAND WITH WELDED CONSTRUCTION.</p> <p>12. PROVIDE UNITS WITH 2-STAGE OF COOLING AND HEATING.</p> <p>13. INSTALL OUTDOOR UNIT ON A 4" HOUSEKEEPING PAD. HOUSEKEEPING PAD SHALL EXTEND PAST UNIT BY 6" ON ALL 4 SIDES.</p> <p>14. PROVIDE WITH CONDENSATE OVERFLOW SWITCH.</p>																									

## CONTROL SPECIFICATIONS AND SEQUENCE OF OPERATIONS

**GENERAL WORK INCLUDED:**  
PROVIDE ALL CONTROLS, PROGRAMMING, AND HARDWARE COMPLETE TO PROVIDE A COMPLETE BUILDING AUTOMATION AND CONTROL SYSTEM (BAS). INTEGRATE CONTROL OF NEW EQUIPMENT IN ACCORDANCE WITH THE CITY OF PHOENIX 'COP' BUILDING STANDARDS, REQUIREMENTS, AS INDICATED IN THESE PLANS, AND AS INDICATED BELOW. NEW CONTROLS, GRAPHICS, SCHEDULING, AND PROGRAMMING SHALL MEET THE COP REQUIREMENTS. SYSTEMS SHALL USE DIRECT DIGITAL, FULLY AUTOMATIC NATIVE BAGNET (BTL-CERTIFIED) CONTROLS. THE BAS SHALL BE OPEN-PROTOCOL WEB-BASED AND HOSTED ON A COP SERVER. CONTROLS SCOPE OF WORK SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR AND SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICE NECESSARY FOR A COMPLETE AND OPERABLE HVAC CONTROL SYSTEM. CONTROL SYSTEM AND COMPONENTS SHALL BE ALL-INCLUSIVE. SYSTEM SHALL INCLUDE ALL BUS, SENSOR WIRING (SHIELDED CABLES), RACEWAYS, SENSORS, CONTROLLERS, INTERLOCKS, RELAYS, TRANSFORMERS, ACTUATORS, CONNECTIONS, AND PROGRAMMING. PROVIDE RIGID METAL CONDUIT FOR ALL CONTROL WIRING WHEN LOCATED AT THE BUILDING EXTERIOR. PROVIDE EMT FOR ALL CONTROL CONDUIT LOCATED INSIDE THE BUILDING WHERE EXPOSED AND VISIBLE TO OCCUPANTS. PROVIDE IN-WALL CONDUIT FOR EACH THERMOSTAT ZONE SENSOR AND ROUTE CONDUIT CONCEALED IN WALL BEHIND SENSOR AND RISE TO AREA ABOVE CEILING. CONTROL WIRING LOCATED ABOVE CEILING SHALL BE SUPPORTED WITH APPROVED HANGERS, J-HOOKS, ETC. MECHANICAL CONTROLS CONTRACTOR IS RESPONSIBLE FOR ALL INTERLOCK WIRING UNLESS SPECIFICALLY NOTED OTHERWISE.

**CONTROL SUBMITTALS:** PROVIDE PROJECT SPECIFIC CONTROL DIAGRAMS, SEQUENCES OF OPERATION, POINTS LISTS, BILL OF MATERIALS, AND SCHEDULE OF ALL CONTROL HARDWARE AND EQUIPMENT FOR REVIEW. INCLUDE MANUFACTURERS TECHNICAL LITERATURE FOR EACH CONTROL DEVICE.

**NEW EQUIPMENT CONTROLLED:**

- EF- EXHAUST FANS AS SCHEDULED.
- VRF EQUIPMENT: VARIABLE REFRIGERANT FLOW SYSTEM MONITORING VIA BAGNET INTERFACE INCLUDED WITH THE VRF SYSTEM.
- FOCU: SPLIT SYSTEM HEAT PUMP
- IUOU: DUCTLESS SPLIT UNIT TO BE SUPPLIED WITH A BAGNET INTERFACE (SEE SCHEDULE) FOR INTEGRATION TO THE BAS. THE SERVER ROOM SHALL INCLUDE A HIGH TEMPERATURE SPACE ALARM. ALTERNATELY A BAGNET THERMOSTAT SHALL BE USED.

**VARIABLE REFRIGERANT SYSTEM (CU/FC) UNIT GENERAL REQUIREMENTS AND SEQUENCE OF OPERATION:**

- VRF SYSTEM SHALL INCLUDE FACTORY CONTROLS BY THE VRF MANUFACTURER, MITSUBISHI OR EQUAL, AND SHALL INCLUDE A BAGNET INTERFACE AS SCHEDULED FOR INTEGRATION TO THE BAS. LOCATE THE CONTROL PANEL IN SERVER ROOM, CONFIRM FINAL LOCATION IN FIELD WITH OWNER AND IT EQUIPMENT SUPPLIER TO AVOID CONFLICTS.
- VRF CONTROLS SHALL INCLUDE PROGRAMMABLE OCCUPIED/UNOCCUPIED 7 DIFFERENT DAY SCHEDULING FOR EACH UNIT. DURING UNOCCUPIED MODE THE CONTROL SYSTEM MUST BE CAPABLE (PER CODE) TO SETBACK EACH ZONES TEMPERATURE TO 55°F DURING UNOCCUPIED HEATING AND SETUP TEMPERATURE TO 85°F DURING UNOCCUPIED COOLING MODE. OPTIMAL START: THE SYSTEM SHALL INCLUDE OPTIMAL START CONTROLS FOR MORNING WARM UP OR MORNING COOL DOWN. OSA DAMPERS AT ALL UNITS SHALL BE SHUT DURING OPTIMAL START OPERATION. CONFIRM PREFERRED OCCUPIED AND UNOCCUPIED SCHEDULE AND TEMPERATURE SET-POINTS REQUIREMENTS FOR EACH ZONE WITH OWNER PRIOR TO PROGRAMMING.
- PROVIDE EACH NEW FC UNIT WITH A COMPATIBLE ZONE SENSOR/THERMOSTAT. ZONE SENSORS SHALL INCLUDE AFTER-HOUR OCCUPIED OVERRIDE CAPABILITY. DURING OCCUPIED MODE SUPPLY FANS SHALL OPERATE CONTINUOUSLY, DURING UNOCCUPIED HOURS FANS SHALL CYCLE ON/OFF AS REQUIRED TO MEET SET-BACK/SET-UP TEMPERATURES. OUTDOOR CONDENSING UNITS SHALL OPERATE IN ACCORDANCE WITH FACTORY ON-BOARD CONTROLS AND SHALL MODULATE AS REQUIRED TO MAINTAIN INDOOR TEMPERATURE SETPOINTS DURING COOLING AND HEATING MODES.
- MOTORIZED DAMPERS AND OUTSIDE AIR CONTROL. FAN COIL UNITS WITH OSA SHALL BE EQUIPPED WITH A 2-POSITION MOTORIZED LOW LEAKAGE CONTROL DAMPER AND MOTORIZED ACTUATOR AS SCHEDULED. DURING UNOCCUPIED MODE OSA DAMPERS SHALL BE OPEN TO DESIGN MINIMUM POSITION (AS DETERMINED BY THE TAB CONTRACTOR). DURING UNOCCUPIED MODE OSA DAMPERS SHALL BE CLOSED.
- CONDENSATE PAN OVERFLOW SWITCH: UPON ACTIVATION OF THE HIGH LEVEL CONDENSATE FLOAT SWITCH, THE UNIT FC UNIT SHALL SHUT DOWN.

**EXHAUST FANS (EF):**

- EF-1 THE IN-LINE FAN SERVING RESTROOMS SHALL INCLUDE START, STOP, AND STATUS POINTS. THIS FAN SHALL OPERATE CONTINUOUS DURING OCCUPIED HOURS AND BE OFF DURING UNOCCUPIED HOURS PER OWNER PROVIDED SCHEDULE.
- EF-2-4 THE CEILING EXHAUST FAN SHALL BE INTERLOCKED TO THE LIGHTING, SUCH THAT IT IS ALWAYS ON DURING OCCUPIED HOURS, WHENEVER ANY OF THE ROOM LIGHTS ARE ON IN COMPLIANCE WITH IMC 403.3.

**ATTIC VENTILATION CONTROLS (EF-5 & 6):**

- EF-5 & 6 SHALL OPERATE TO MAINTAIN THE ATTIC RELATIVE HUMIDITY BELOW 60%. FANS SHALL BE CONTROLLED BY AN ATTIC HUMIDISTAT TO MEET SET-POINT RELATIVE HUMIDITY, 60%RH MINIMUM.

**FOCU-4 & 5 AND IUOU-1 SPLIT SYSTEMS:**

- PROVIDE FOCU-4 & 5 AND IUOU-1 WITH A BAGNET CONTROLLER, CONTROLS, SENSORS, AND PROGRAMMING COMPLETE. PROVIDE ZONE SENSORS WITH LOCAL LED DISPLAY, SET-POINT ADJUSTMENT, AFTER-HOUR OCCUPIANT OVERRIDE, AND CONFIGURE SYSTEM TO OWNER TEMPERATURE, SET-BACK, AND SCHEDULING REQUIREMENTS. FC UNIT SUPPLY FANS SHALL BE CONFIGURED TO OPERATE CONTINUOUSLY DURING OCCUPIED HOURS AND TO CYCLE ON/OFF WITH LOADS ONLY DURING UNOCCUPIED SETUP/SETBACK HOURS. PROVIDE OPTIMAL START CONTROLS FOR MORNING WARM UP OR COOL DOWN PER CODE. 2-POSITION MOTORIZED OUTSIDE AIR DAMPERS SHALL BE PROVIDED AS SCHEDULED AND CONFIGURED SO THEY ARE OPEN TO MINIMUM AIR BALANCED OSA POSITION DURING OCCUPIED HOURS, AND CLOSED DURING UNOCCUPIED HOURS AND OPTIMAL START. UNITS SHALL STAGE AS REQUIRED TO MEET THE ROOM SETPOINT TEMPERATURE AS READ AT THE UNITS ZONE TEMPERATURE SENSOR. SEE SCHEDULE FOR STAGING REQUIREMENTS. UNITS SHALL SHUT DOWN UPON ACTIVATION OF THE CONDENSATE OVERFLOW SWITCH IN THE UNIT AND/OR IN THE DRAIN PAN.

**IUOU-3 DUCTLESS SPLIT SYSTEMS SERVING THE SERVER ROOM:**

- IUOU-3 SHALL COME WITH A FACTORY BAGNET INTERFACE FOR INTEGRATION TO THE BAS AND A COMPATIBLE HARD WIRED T-STAT. ROOM SETPOINT CONTROL SHALL BE MONITORED AND CONTROLLED THROUGH THE BAS. UPON HIGH ROOM TEMPERATURE 85°F (ADJ.) ANNUNCIATE AN ALARM AND NOTIFY MAINTENANCE PERSONNEL. ALTERNATELY A BAGNET THERMOSTAT MAY BE USED IN LIEU OF A BAGNET INTERFACE.


**GRAPHICS, SCHEDULES, ALARMS AND TRENDS:**

- FOR ALL DEVICES THAT INTEGRATE TO THE BAS, PROVIDE A GRAPHIC SCREEN SHOWING ALL EQUIPMENT MONITORING POINTS AND ACTIVE DATA POINTS WITH OVERRIDE CAPABILITY OF ALL OUTPUTS AND RESET CAPABILITY OF ALL SETPOINTS. PROVIDE SCHEDULE SCREEN FOR SETTING AND CHANGING UNIT OCCUPIED AND UNOCCUPIED SCHEDULES. PROVIDE ACTIVE ALARMS FOR FAN FAILURE, AND OVER TEMPERATURE FROM SETPOINTS. PROVIDE CONTINUOUS TRENDED FOR HP POINTS AT A 5 MINUTE INTERVAL. THE CONTROLS CONTRACTOR SHALL ADJUST THE ALARM SETTINGS AND TIME DELAYS TO REMOVE ANY NUISANCE AND FALSE ALARMS.

**TRAINING:**

- PROVIDE A MINIMUM 6 HOURS OF TRAINING IN THE FIELD FROM A QUALIFIED INSTRUCTOR FOR UP TO (4) OWNER ASSIGNED TRAINEES. SUBMIT INSTRUCTORS SOFTWARE SPECIFIC TRAINING QUALIFICATIONS TO ENGINEER FOR PRIOR APPROVAL. PROVIDE SIGN IN SHEET AND SIGNATURE OF ALL TRAINEES COMPLETING 6 HOURS OF TRAINING.

AIR DEVICE SCHEDULE										*PROVIDE SCHEDULED OR APPROVED EQUAL EQUIPMENT BY OTHER MANUFACTURERS
MARK	DEVICE TYPE	MANUFACTURER	MODEL	SIZE / FACE OR BORDER	MATERIAL	MAX NC LEVEL	FRONTAL BLADES	DEVICE DAMPER	NOTES	
CD1	CEILING DIFFUSER	TITUS	TMR-AA	SEE PLAN / SURFACE	ALUMINUM	25	LOUVERED	OBD	1-6	
CD2	CEILING DIFFUSER	TITUS	MCD-AA	SEE PLAN / TYPE 1	ALUMINUM	25	LOUVERED	OBD	1-6	
CD3	CEILING DIFFUSER	TITUS	OMNI-AA	SEE PLAN / SURFACE	ALUMINUM	25	PLAQUE	OBD	1-6	
SR1	SUPPLY REGISTER	TITUS	300FL	SEE PLAN / TYPE 1	ALUMINUM	25	LOUVERED	OBD	1-6	
KS1	KITCHEN HOOD SUPPLY	TITUS	8F	SEE PLAN / TYPE 1	ALUMINUM	25	PERFORATED	OBD	1-6	
LD1	LINEAR DIFFUSER	TITUS	FL-20 JT	1-SLOT/SEE PLAN / TYPE 11	ALUMINUM	25	LOUVERED	OBD	1-6	
LD2	LINEAR DIFFUSER	TITUS	FL-30 JT	1-SLOT/SEE PLAN / TYPE 11	ALUMINUM	25	LOUVERED	OBD	1-6	
LD3	LINEAR DIFFUSER	TITUS	FL-20 HT	1-SLOT/SEE PLAN / TYPE 11	ALUMINUM	25	LOUVERED	OBD	1-6	
LD4	LINEAR DIFFUSER	TITUS	CT-480	SEE PLAN / TYPE 11	ALUMINUM	25	LOUVERED	OBD	1-6	
RG1	RETURN GRILLE	TITUS	355FL	SEE PLAN / SURFACE	ALUMINUM	25	LOUVERED	NONE	1-6	
TG1	TRANSFER GRILLE	TITUS	355FL	SEE PLAN / SURFACE	ALUMINUM	25	LOUVERED	NONE	1-6	
ER1	EXHAUST REGISTER	TITUS	355FL	SEE PLAN / TYPE 1	ALUMINUM	25	LOUVERED	OBD	1-6	
FD1	FLOOR DIFFUSER	SAS	ELAN-08R-360	8"Ø / FLOOR MOUNT	ALUMINUM	25	LOUVERED	OBD	1-6	
BDD	BACKDRAFT DAMPER	GREENHECK	BD-300	DUCT MOUNT	STEEL	NA	NA	NA	1, 2, 7	
NOTES: 1. INSTALL PER MANUFACTURERS INSTALLATION REQUIREMENTS AND SUGGESTIONS. 2. PROVIDE SQUARE TO ROUND ADAPTER AS REQUIRED 3. SEE ARCHITECTURAL DRAWINGS FOR CEILING TYPE AND PROVIDE CORRESPONDING BORDER TYPE. 4. PROVIDE DAMPER AT THE TAKE-OFF FROM THE MAIN DUCT FOR ALL LAY-IN TYPE DIFFUSERS OR GRILLES. PROVIDE OBD'S AT THE DIFFUSER OR REGISTER WHEN FLANGED TYPE. 5. ALL AIR DEVICE COLORS SHALL BE PRE-COORDINATED WITH OWNER AND ARCHITECT PRIOR TOP ORDER. 6. PERFORMANCE NOT TO EXCEED 25 NC AND 0.08" S.P. 7. PROVIDE LOW LOSS COUNTERBALANCED BACKDRAFT DAMPER WITH ALUMINUM BLADES, SYNTHETIC AXLES, AND VINYL BLADE SEALS. DAMPER MUST BE CAPABLE OF OPERATING IN THE RANGE OF 0.01 START OPEN TO 0.05 FULL OPEN. DAMPERS THAT DO NOT MEET THIS REQUIREMENT ARE NOT ACCEPTABLE. PROVIDE A DUCT ACCESS PANEL TO ALLOW FOR DAMPER WEIGHT ADJUSTMENT.										



LOUVER SCHEDULE

MARK

TYPE

MAKE

MODEL

SIZE

VOLUME (CFM)

FREE AREA

MAXIMUM STATIC PRESSURE (IN WG.)

NOTES

1

INTAKE

GREENHECK

BVE

28x4.75

MAX 200

271

0.05

1-4

2

INTAKE

GREENHECK

EDJ-401

16x8

MAX 205

263

0.05

1-4

3

EXHAUST

GREENHECK

BVE

28x4.75

MAX 200

271

0.05

1-4

4

INTAKE

GREENHECK

BVE

28x4.75

MAX 200

271

0.05

1-4

NOTES:


1. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

2. PROVIDE WITH ALUMINUM BIRD SCREEN.

3. COLOR TO MATCH EXTERIOR OF BUILDING. REFER TO ARCHITECTURAL PLANS FOR FINAL LOCATION, HEIGHT, AND COLOR.

4. FIELD CONFIRM ALL LOUVER DIMENSIONS CLEAR EXISTING OBSTRUCTIONS AND STRUCTURE BEFORE ORDERING LOUVERS.

</

<div> ROOF EXHAUST VENT SCHEDULE</div>								*PROVIDE SCHEDULED OR APPROVED EQUAL EQUIPMENT BY OTHER MANUFACTURERS	
MARK	TYPE	MAKE	MODEL	DAMPER	VOLUME (CFM)	MAXIMUM STATIC PRESSURE (IN.WG.)	NOTES		
1	EXHAUST	PRIMEX	RVL28	NONE	300	0.05	1-3		
NOTES: 1. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. SEE DETAIL 2M301. 2. PROVIDE LOW-PROFILE ROOF VENT WITH ALUMINUM BIRD SCREEN. 3. COLOR TO BE DETERMINED BY ARCHITECT.									

VARIABLE REFRIGERANT FLOW (VRF) CONDENSING SYSTEM (HEAT PUMPS)															*PROVIDE SCHEDULED OR APPROVED EQUAL EQUIPMENT BY OTHER MANUFACTURERS									
UNIT INFORMATION					MINIMUM COOLING CAPACITY AT ALL CONNECTED UNITS				HEATING CAPACITY				ELECTRICAL				WEIGHT (LBS)							
MARK	MANUFACTURER	MODEL	NOMINAL TONS	UNIT TYPE	EER AHRI	TOTAL MBH	AMBIENT TEMP DB	COP (47°F)	TOTAL MBH	AMBIENT DB / WBET	VOLTS / PH	MCA	MOCP	REC FUSE										
CU-1	MITSUBISHI	PUHY-P312YSNU-A	26	OUTDOOR VRF HEAT PUMP	11.65	261.4	115°F	3.56	246.7	32°F / 28°F	460 / 3	19/19/1	30/30/5	25/25/15	1,770									
CU-2	MITSUBISHI	PUHY-P36YSNU-A	28	OUTDOOR VRF HEAT PUMP	11.75	277.4	115°F	3.53	261.8	32°F / 28°F	460 / 3	19/19/1	30/30/5	25/25/15	1,863									
CU-3 & 4	MITSUBISHI	PUHY-P120YNU-A	10	OUTDOOR VRF HEAT PUMP	12.8	106.6	115°F	3.87	98.12	32°F / 28°F	460 / 3	19	30	25	629									

VRF INDOOR FAN COIL SCHEDULE															
AIR HANDLING UNIT (INDOOR FAN COIL)															
CONNECTED TO CU SYSTEM		MINFR.	MARK	MODEL	NOMINAL TONS	UNIT TYPE	SUPPLY CFM	ESP (IN WG)	OSA CFM	TOTAL (ASH)	SENS (BSEN)	TOTAL (MBH)	ELECTRICAL		MAX W/T (LBS)
													VOLTS / PHASE	MCA (AMPS)	MCOF (AMPS)
CU-1	MITSUBISHI	1A	PVFY-P24NMAU-E	4.0	MULTI-POSITION FAN COIL	980-1,400	0.5	200	41	25.9	38.8	208-230 / 1	5.63	15.0	125
		1B	PVFY-P26NMAU-E	3.0	MULTI-POSITION FAN COIL	757-1,095	0.5	130	30.8	19.8	26.8	208-230 / 1	5.63	15.0	125
		1C & 1D	PFYF-P24NRMU-E	2.0	FLOOR MOUNTED FAN COIL	353-494	0.5	N/A	20.5	12	19.4	208-230 / 1	0.64	15.0	125
		1E	PVFY-P12NMAU-E	1.0	MULTI-POSITION FAN COIL	280-400	0.5	25	10.3	7.2	9.7	208-230 / 1	3	15.0	125
		1F	PVFY-P24NMAU-E	2.0	MULTI-POSITION FAN COIL	515-735	0.5	165	20.5	13.2	19.4	208-230 / 1	3	15.0	125
		1G	PVFY-P18NMAU-E	1.5	MULTI-POSITION FAN COIL	410-585	0.5	25	15.4	10.4	14.4	208-230 / 1	3	15.0	125
		1H	PVFY-P26NMAU-E	3.0	MULTI-POSITION FAN COIL	757-1,095	0.5	150	30.8	19.8	26.8	208-230 / 1	5.63	15.0	125
		1I	PVFY-P12NMAU-E	1.0	MULTI-POSITION FAN COIL	280-400	0.5	25	10.3	7.2	9.7	208-230 / 1	3	15.0	125
		1J, 1K, 1L	PFYF-P24NRMU-E	2.0	FLOOR MOUNTED FAN COIL	353-494	0.5	N/A	20.5	12	19.4	208-230 / 1	0.64	15.0	125
		2A	PVFY-P24NMAU-E	4.0	MULTI-POSITION FAN COIL	980-1,400	0.5	190	41.1	25.9	38.8	208-230 / 1	5.63	15.0	125
CU-2	MITSUBISHI	2B, 2D, 2E	PVFY-P24NRMU-E	2.0	FLOOR MOUNTED FAN COIL	353-494	0.5	N/A	20.5	12	19.4	208-230 / 1	0.64	15.0	125
		2H	PVFY-P24NMAU-E	4.0	MULTI-POSITION FAN COIL	980-1,400	0.5	200	41.1	25.9	38.8	208-230 / 1	5.63	15.0	125
		2I	PVFY-P24NRMU-E	2.0	FLOOR MOUNTED FAN COIL	353-494	0.5	N/A	20.5	12	19.4	208-230 / 1	0.64	15.0	125
		2J	PVFY-P24NMAU-E	3.0	MULTI-POSITION FAN COIL	757-1,095	0.5	100	30.8	19.8	26.8	208-230 / 1	5.63	15.0	125
		2K	PVFY-P12NRMU-E	1.0	FLOOR MOUNTED FAN COIL	247-317	0.5	N/A	10.3	6.2	9.7	208-230 / 1	0.38	15.0	125
		2L	PVFY-P24NMAU-E	2.0	MULTI-POSITION FAN COIL	515-735	0.5	105	20.5	13.2	19.4	208-230 / 1	3	15.0	125
		2M	PVFY-P24NMAU-E	2.0	MULTI-POSITION FAN COIL	515-735	0.5	50	20.5	13.2	19.4	208-230 / 1	3	15.0	125
		2N	PFYF-P12NRMU-E	1.0	FLOOR MOUNTED FAN COIL	247-317	0.5	N/A	10.3	6.2	9.7	208-230 / 1	0.38	15.0	125
		3A & 3B	PVFY-P24NRMU-E	2.0	FLOOR MOUNTED FAN COIL	353-494	0.5	N/A	23	13	24.3	208-230 / 1	0.64	15.0	125
		3C	PVFY-P24NMAU-E	4.0	MULTI-POSITION FAN COIL	980-1,400	0.5	50	46	27.8	48.7	208-230 / 1	5.63	15.0	125
CU-4	MITSUBISHI	4A	PVFY-P24NMAU-E	4.0	MULTI-POSITION FAN COIL	980-1,400	0.5	125	46	27.8	48.7	208-230 / 1	5.63	15.0	125
		4B	PVFY-P24NMAU-E	4.0	MULTI-POSITION FAN COIL	980-1,400	0.5	60	46	27.8	48.7	208-230 / 1	5.63	15.0	125



MAKE-UP AIR UNIT FOR KITCHEN HOOD - EVAP COOLER											*PROVIDE SCHEDULED OR APPROVED EQUAL EQUIPMENT BY OTHER MANUFACTURERS							
MARK	MAKE	MODEL	BLOWER	HOUSING	AIRFLOW (CFM)	ESP	RPM	HP	ELECTRICAL			EVAPORATIVE COOLER SECTION				WEIGHT (LB)	NOTES	
									VOLTS/PH	FLA	MCA	MOCP	ENT DB	ENT WB	LEAVING DB			LEAVING WB
1	CAPTIVE AIRE	A2-20D	20MF-2-MOD	A2	2,700	0.5	1142	1.5	208/3	6.6	8.3	15	108°F	70°F	86°F	70°F	850	1-10
NOTES: 1. INSTALL PER MANUFACTURER'S INSTRUCTIONS AND DETAILS ON PLANS. 2. FAN AND HEATER SHALL BE SIZED AND CONFIGURED FOR OPERATION AT 1,180 FT ELEVATION, PHOENIX, AZ. 3. INSTALL MAKE-UP AIR UNIT ON A 4" THICK (MIN) CONCRETE HOUSEKEEPING PAD. 4. PROVIDE SUPPORT PER STRUCTURAL PLANS. 5. PROVIDE WATER BLEED RATE AS RECOMMENDED BY MANUFACTURER. 6. PROVIDE EVAP COOLER WITH FREEZE PROTECTION DRAIN KIT. 7. PROVIDE EVAP COOLER WITH FAN ON/OFF CONTROL SWITCH. 8. PROVIDE UNIT WITH FACTORY MOTORIZED BACKDRAFT DAMPER. 9. MAX SONES 14.2. 10. UNIT TO BE UL CLASSIFIED. MANUFACTURER CONTACT: KELLY RYAN 480-926-6810																		

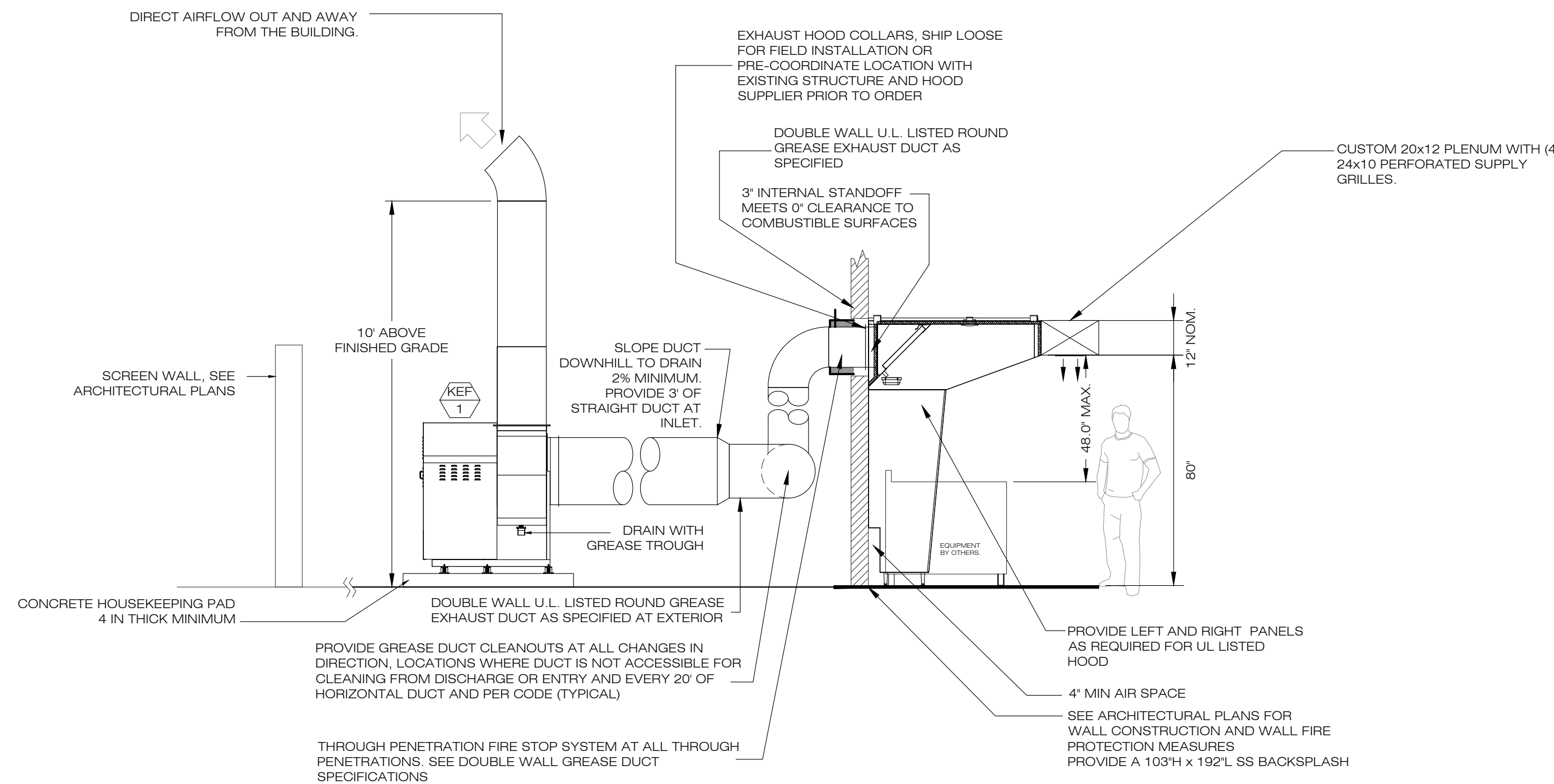
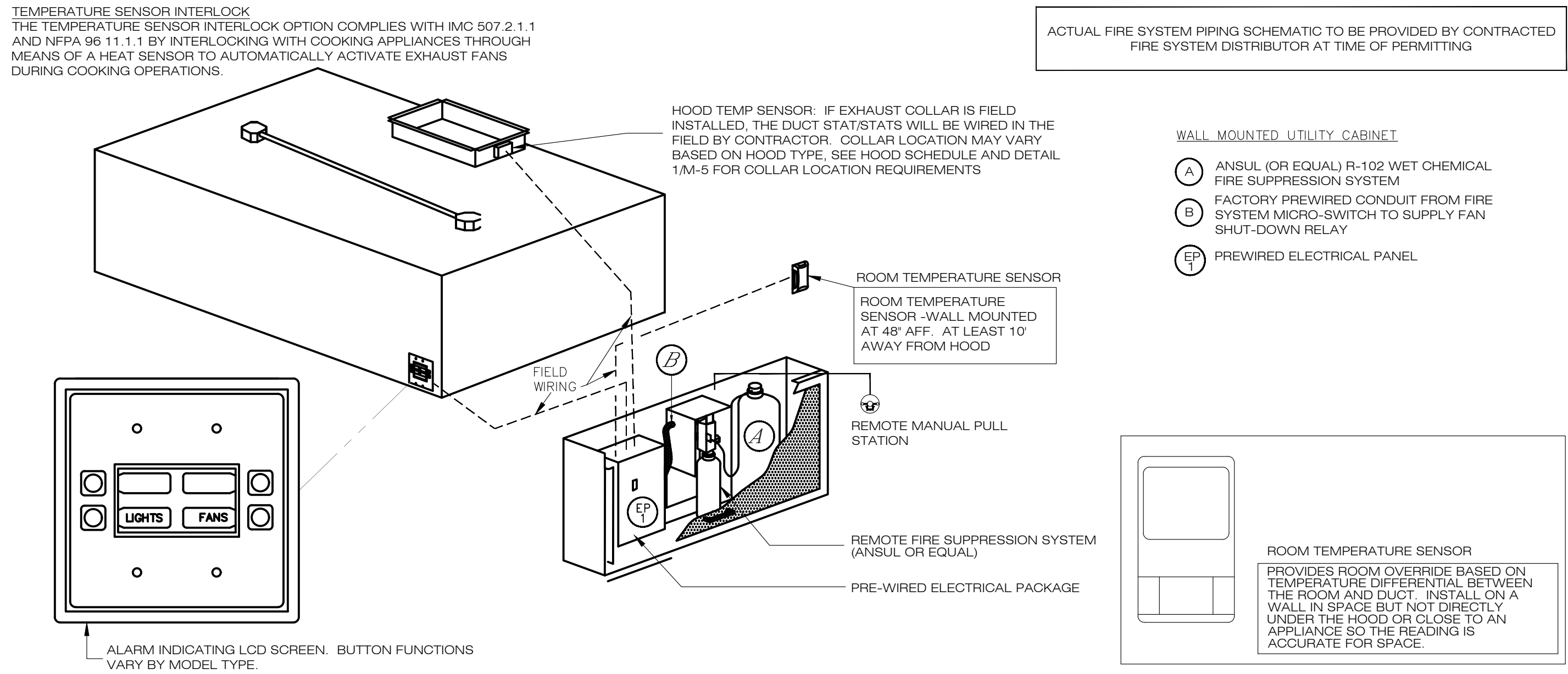
KITCHEN EXHAUST FAN SCHEDULE											*PROVIDE SCHEDULED OR APPROVED EQUAL EQUIPMENT BY CAPTIVE/ARE OR OTHER MANUFACTURERS	
MARK	SERVICE	MANUFACTURER	MODEL	CFM	ESP	RPM	VOLTS/PHASE	HP (FLA)	DISCHARGE VELOCITY (FPM)	WT	MAX SOUND	NOTES
1	KH-1 TYPE I HOOD	CAPTIVE AIRE	USB18DD-FM	3,360	1.5	1,372	208 3	3 (9.5)	1,722	450	21 SONES	1-11
NOTES: 1. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS AND DETAILS ON PLANS. 2. FAN SIZED FOR 1,180 FT ELEVATION, PHOENIX, AZ. 3. PROVIDE UL LISTED (UL705 AND UL762) UTILITY SET EXHAUST FAN WITH UP DISCHARGE FOR RESTAURANT COMMERCIAL KITCHEN GREASE EXHAUST. FAN SHALL BE AMCA SOUND AND AIR CERTIFIED. 4. PROVIDE WITH DISCONNECT, NEMA 3R OR SUPERIOR WITH WIRING FROM MOTOR TO DISCONNECT 5. PROVIDE UTILITY SET EXHAUST FANS FOR GROUND MOUNTING ON A 4 IN THICK (MINIMUM) CONCRETE HOUSEKEEPING PAD. 6. PROVIDE WITH PREMIUM EFFICIENCY DIRECT DRIVE ELECTRONICALLY COMMUTATED MOTOR. 7. PROVIDE WITH SPRING VIBRATION ISOLATORS. 8. PROVIDE FOR HIGH HEAT CONTINUOUS OPERATION. 9. INTERLOCK PER CONTROL SPECIFICATIONS AND SEQUENCE OF OPERATIONS. 10. PROVIDE FAN WITH THE FOLLOWING OPTIONS: 10.4 ELECTRICAL DISCONNECT, NEMA 3R OR SUPERIOR 10.5 2" DRAIN 10.6 DISCHARGE EXTENSION SEE PLANS 11. PROVIDE UL 705 LISTED UTILITY UP-BLAST EXHAUST FAN WITH GALVANIZED STEEL HOUSING, ALUMINUM WHEEL, ADJUSTABLE MOTOR PLATE, NEMA 3R DISCONNECT SWITCH, INLET COLLARS, VARI-GREEN (OR EQUAL) EC MOTOR WITH THERMAL OVERLOAD, DIAL FOR SPEED ADJUSTMENT BY THE TEST AND BALANCE CONTRACTOR, VIBRATION ISOLATORS, ACCESS DOOR, CORROSION RESISTANT FASTENERS, WEATHER GUARD.												

KITCHEN HOOD (TYPE I) SCHEDULE													*PROVIDE SCHEDULED OR APPROVED EQUAL EQUIPMENT BY OTHER MANUFACTURERS	
GENERAL DESCRIPTION														
MARK	MAKE	MODEL	HOOD TYPE	HOOD DIMENSIONS	MAX COOKING TEMP	APPLIANCE DUTY	CFM/LF	TOTAL EXHAUST	EXHAUST CONNECTIONS	AIRFLOW PER CONNECTION	DUCT VELOCITY	SP (IN.W.C.)	HOOD WEIGHT	NOTES
1	CAPTIVE AIRE	6012 SND-2	TYPE I	14'LB87W12'H NOMINAL	600°F	HEAVY	240	3,360	(2) 14"Ø	1,680 CFM (EACH)	1,572 FT/MIN (EACH)	-0.675 (EA)	300 LB	1-17
1. KITCHEN HOOD, KH-1, SPECIFICATIONS: PROVIDE TYPE I LOW PROXIMITY BACKSPLASH HOOD THAT WILL SERVE PROPANE GAS APPLIANCES THAT PRODUCE GREASE OR SMOKE AS FOLLOWS: • (1) 10-BURNER, 2-OVEN NATURAL GAS RANGE • (2) ELECTRIC 15 LB FRYERS • (2) 6 BURNER, NATURAL GAS COOKTOP RANGE • (1) 48 INCH WIDE NATURAL GAS GRIDDLE 2. TYPE HOOD: ASSEMBLY SHALL BE NSF CERTIFIED AND UL710 LISTED WITHOUT FIRE DAMPERS FOR 600°F RATED COOKING APPLIANCES REQUIRING THE AMOUNT OF CFM/LINEAR FT SCHEDULED ABOVE: 3,360 CFM OF EXHAUST PROVIDED EXCEEDS LISTING MINIMUM. 3. PROVIDE WITH EXHAUST COLLARS SHIPPED LOOSE FOR FIELD INSTALLATION, OR FIELD CONFIRM AS-BUILT COLLAR LOCATIONS WITH SUPPLIER PRIOR TO ORDER. 4. PROVIDE 18 GAUGE TYPE 430 STAINLESS STEEL BACKSPLASH HOOD WITH EXTERNAL SEAMS AND JOINTS WELDED LIQUID TIGHT PER NFPA #98 AND ALL SURFACES POLISHED WITH A #4 FINISH. 5. SEE EXHAUST FAN SCHEDULE FOR INTERLOCK REQUIREMENTS. MOUNT BOTTOM OF HOOD AT 71" AFF (SEE DETAILS ON PLANS). WIRING TO CONFORM TO THE LATEST NEC #70 REQUIREMENTS. 6. PROVIDE HOOD WITH ALL OF THE FOLLOWING OPTIONS: 6.1 103 IN HIGH X 192 INCH LONG 430 SS VERTICAL BACKSPLASH 6.2 LEFT AND RIGHT PANELS 6.3 INSULATION FOR TOP OF HOOD, COMBUSTIBLE WOOD CONSTRUCTION IS LESS THAN 12" ABOVE THE HOOD. 6.4 INCLUDE WITH MINIMUM (4) INCANDESCENT LIGHT FIXTURES. PROVIDE VAPOR-PROOF UL LISTED LIGHT FIXTURES, TO BE PRE-WIRED TO JUNCTION BOX. 6.5 PROVIDE WITH 430 STAINLESS STEEL BACKSPLASH BETWEEN THE HOOD AND THE WALL SURFACE OVER AN AREA EXTENDING NOT LESS THAN 18" IN ALL DIRECTIONS FROM THE HOOD PER IMC 507.9 EXCEPTION. CONTRACTOR TO FILED CONFIRM SIZE PRIOR TO ORDER TO AVOID CONFLICTS. 6.6 FILTERS: PROVIDE UL 1046 CLASSIFIED AND ETL LISTED CAPTIVE/ARE CAPTRATE SOLO (OR EQUAL) FILTER. PROVIDE SUFFICIENT NUMBER AND SIZES TO ENSURE OPTIMUM PERFORMANCE AS SPECIFIED BY FILTER MANUFACTURER. FILTER HOUSINGS TO TERMINATE IN A PITCHED FULL-LENGTH GREASE TROUGH THAT DRAINS INTO A REMOVABLE GREASE CONTAINER(S). 6.7 EXHAUST DUCTWORK: PROVIDE FACTORY UL LISTED GREASE DUCT SYSTEM AS SPECIFIED ON PLAN DETAIL. ROUTING OF GREASE DUCT TO MAINTAIN REQUIRED CLEARANCES IN STRICT ACCORDANCE WITH THE PRODUCT LISTING AND INSTRUCTIONS. MAINTAIN 2% MINIMUM PITCH PER 2018 IMC FOR HORIZONTAL GREASE DUCT. PROVIDE CLEANOUTS PER 2018 IMC AT MINIMUM 20' INTERVALS IN HORIZONTAL DUCT RUNS AND AT ALL CHANGES IN DIRECTION. INSTALL DUCTWORK PER 2018 IMC SECTION 506. IF EXPOSED STEEL EXTERIOR DUCTWORK IS INSTALLED, IT SHALL BE WASHED WITH SOAP AND CLEANED TO REMOVE ALL GREASE AND OILS. PROVIDE (1) COAT DTM (DIRECT TO METAL) HIGH TEMPERATURE PRIMER AND (2) COATS DTM HIGH TEMPERATURE PAINT. COLOR DIRECTED BY ARCHITECT. 6.8 PROVIDE REMOTE MOUNT FIRE SUPPRESSION SYSTEM, REMOTE ACTIVATION, AND SMART CONTROLS. PROVIDE ANSUL FIRE SUPPRESSION SYSTEM OR EQUAL FOR REMOTE MOUNTING. OBTAIN SEPARATE FIRE PERMIT FOR FIRE SUPPRESSION SYSTEM. PROVIDE TYPE I GREASE FIRE PROTECTION SYSTEM IN HOOD INCLUDING PIPING, NOZZLES, STORAGE TANK AND RELATED CONTROLS UNDER SEPARATE FIRE PERMIT. FIRE PROTECTION SYSTEM PERMIT AND INSTALLATION SHALL BE PROVIDED. SEE HOOD DETAIL ON THESE PLANS. SYSTEM SHALL FEATURE A DRY CONTACT FOR CONNECTION BY THE CONTRACTOR. 6.9 PROVIDE WITH MANUAL PULL STATION. 6.10 NATURAL GAS CONTROL VALVE: CONTRACTOR TO PROVIDE 1-1/2" AUTOMATIC GAS VALVE AND FURNISH TO PLUMBING CONTRACTOR FOR INSTALLATION. GAS VALVE INSTALLED IN PIRE BY PLUMBING CONTRACTOR. GAS VALVE WIRED BY MECHANICAL CONTRACTOR. 6.11 PROVIDE HOOD WITH FACTORY INSTALLED TEMPERATURE SENSOR FOR AUTOMATIC FAN OPERATION. INSTALL HOOD IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND DETAILS ON PLANS. MECHANICAL CONTRACTOR TO PROVIDE AND INSTALL DUCT TEMPERATURE SWITCH. CONTRACTOR TO PROVIDE AND INSTALL ELECTRIC CONTROL PANEL TO INTERLOCK EPS / MA / FIRE SUPPRESSION SYSTEM. REFERENCE MECHANICAL CONTROL SPECIFICATION. 6.12 CONTRACTOR SHALL FIELD VERIFY CEILING HEIGHT PRIOR TO ORDERING OR INSTALLING HOOD. 6.13 PROVIDE AND INSTALL ALL SUPPORTS COMPLETE, INCLUDING BUT NOT LIMITED TO UNISTRUT (OR EQUAL), THREADED HANGER RODS, CLAMPS, ETC. CONTRACTOR TO PROVIDE ACCESS OPENINGS, HOLES, CORE DRILLING, OR STRUCTURAL SUPPORT FOR INSTALLATION OF EQUIPMENT WHERE NEEDED, REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR SUPPORT DETAILS. 6.14 CONTRACTOR SHALL PROVIDE HOOD, EXHAUST FAN, AND FIRE SUPPRESSION SUBMITTAL DRAWINGS TO ARCHITECT OR ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASE														
MANUFACTURER CONTACT: KELLY RYAN 480-926-6810														

MAKE-UP AIR FOR NEW KITCHEN HOOD: SEE MECHANICAL PLAN FOR SUPPLY DUCT FROM MAKE UP AIR UNIT OUTLET AND ROUTE TO KITCHEN HOOD SUPPLY PLENUM. SEE MECHANICAL PLAN FOR ROUTING AND SIZES. SEE OSA VENTILATION CALCULATIONS FOR AIR BALANCE. PROVIDE CUSTOM FABRICATED MAKE-UP AIR PLENUM THAT WRAPS AROUND THE HOOD. THE PLENUM SHALL HAVE A (3) PERFORATED GRILLES ON THE BOTTOM DIRECTLY IN FRONT OF THE HOOD. THE DUCT AND PLENUM SHALL CONFORM TO THE 2018 IMC 602.2, 602.3, 603.4, 603.9, 603.10, AND 602.12.												
KITCHEN HOOD FIRE SUPPRESSION SPECIFICATION: HOOD CONTRACTOR TO SUBMIT PLANS FOR A COMPLETE HOOD FIRE SUPPRESSION SYSTEM COMPLYING WITH THE 2018 IBC (AND IFD) AND APPLICABLE PORTIONS OF SECTION 904.11 FOR COMMERCIAL COOKING SYSTEMS AND APPLICABLE CITY OF PHOENIX REQUIREMENTS. PLANS SHALL SHOW: HEAD SPACING, MODEL #, LOCATION OF FUSIBLE LINKS, MODEL #, PIPING, ONE LINE SCHEMATIC WITH MANUAL STATION, AUTOMATIC GAS SHUTOFF VALVE, AND ALL PERTINENT EQUIPMENT CODES AND ORDINANCES. KITCHEN HOOD (KH-1) FIRE SUPPRESSION SYSTEM SHALL BE INTERLOCKED WITH THE BUILDING FIRE ALARM SYSTEM. KITCHEN HOOD CONTRACTOR SHALL INSTALL THE COMPLETE FIRE SUPPRESSION SYSTEM PER PLANS AND SPECIFICATIONS INCLUDING COST OF PERMIT.												
HOOD PROTECTIONSURROUNDING CONSTRUCTION SPECIFICATION: (PER 2018 IMC SECTION 507.2.6) NO COMBUSTIBLE CONSTRUCTION WITHIN 18" OF GREASE DUCTS UNLESS GREASE DUCT IS PROTECTED BY (2) LAYERS OF THERMAL CERAMICS FIREMASTER FASTWRAP XL. SUBMIT FIRE WRAP TO ENGINEER AT HOOD. FLASH HOOD TO CEILING WITH 18 GAUGE STAINLESS STEEL. LAY IN CEILING WITHIN 18" OF HOOD OR DUCTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE CONSTRUCTION ONLY. THE HOOD SHALL BE INSTALLED A MINIMUM OF 18" AWAY FROM COMBUSTIBLE CONSTRUCTION, OR, 18" MAY BE REDUCED PER CODE. WALLS AND CEILINGS DESIGNED BY ARCHITECT.												
KH-1 KITCHEN HOOD AND DUCT SPECIFICATIONS: KITCHEN HOOD (KH-1), FILTERS, FIRE SUPPRESSION SYSTEM AND KITCHEN HOOD SUPPLY PLENUMS: TYPE I GREASE HOOD ONLY. SHIP SUPPLY AND EXHAUST COLLARS LOOSE FOR FIELD INSTALL. OR FIELD VERIFY EXISTING JOIST LOCATION AND EXISTING CONDITIONS AND ALL COORDINATE ALL COLLAR LOCATIONS WITH SUPPLIER PRIOR TO ORDER. HOOD PROVIDED BY KITCHEN EQUIPMENT SUPPLIER, INSTALLED BY MECHANICAL CONTRACTOR. REQUIRED TESTS: PROVIDE A GREASE DUCT LEAKAGE TEST PER (IMC 2018 506.3.2.5). PROVIDE A LIGHT TEST BY PASSING A LAMP HAVING A POWER RATING OF NOT LESS THAN 100 WATTS THROUGH THE ENTIRE SECTION OF GREASE DUCT. PROVIDE A PERFORMANCE (IMC 2018 SECTION 507.6) TEST TO VERIFY THE RATE OF EXHAUST AIRFLOW, MAKE-UP AIRFLOW, AND PROPER OPERATION OF ALL HOOD COMPONENTS. PROVIDE A CAPTURE AND CONTAINMENT VISUAL TEST WITH ALL APPLIANCES UNDER THE HOOD AT OPERATING TEMPERATURES, THE MAKE-UP AIR SYSTEM AND KITCHEN EXHAUST ON, AND THE U UNITS ON.												
DOUBLE WALL, FACTORY BUILT GREASE DUCTWORK SPECIFICATION PROVIDE CAPTIVE/ARE (OR EQUAL) UL LISTED FACTORY DOUBLE WALL GREASE DUCT SYSTEM AS FOLLOWS: ALL DUCTWORK IS REQUIRED TO BE INSTALLED WITH THE MAXIMUM SUPPORT SPACING LISTED BELOW. - FOR A COMPLETE LIST OF APPROVED SUPPORT METHODS, SEE THE ENTIRE INSTALLATION AND OPERATION MANUAL. - DUCTWORK SHALL SLOPE NOT LESS THAN 1/16" PER LINEAR FOOT TOWARDS THE HOOD OR AN APPROVED GREASE COLLECTION RESERVOIR. - WHERE HORIZONTAL DUCTS EXCEED 75 FEET IN LENGTH, THE SLOPE SHALL NOT BE LESS THAN 3/16" PER LINEAR FOOT. FURNISH DOUBLE WALL, FACTORY BUILT GREASE DUCT FOR USE WITH TYPE I KITCHEN HOODS, WHICH CONFORMS TO THE REQUIREMENTS OF NFPA-96. PRODUCTS SHALL BE ETL LISTED TO UL-1978 AND UL-2221 FOR VENTING AIR AND GREASE VAPORS FROM COMMERCIAL COOKING OPERATION. MODELS DW-2R, 3R AND 3Z ARE USED FOR GREASE DUCT APPLICATIONS WHEN INSTALLED IN ACCORDANCE WITH THESE INSTRUCTIONS AND NATIONAL FIRE PROTECTION ASSOCIATION "NFPA 96", STANDARD FOR VENTILATION CONTROL AND FIRE PROTECTION OF COMMERCIAL COOKING OPERATIONS. DOUBLE WALL GREASE DUCTS ARE LISTED FOR A CONTINUOUS INTERNAL TEMPERATURE OF 500 DEGREES F AND INTERMITTENT TEMPERATURES OF 2000 DEGREES F. THE DUCT SECTIONS SHALL BE CONSTRUCTED OF AN INNER DUCT WALL AND AN OUTER WALL WITH INSULATION IN BETWEEN. THE INNER DUCT WALL SHALL BE CONSTRUCTED OF 0.036 INCH THICK, 430 TYPE STAINLESS STEEL AND BE AVAILABLE IN DIAMETERS Ø" THROUGH 24". THE OUTER WALL SHALL BE CONSTRUCTED OF STAINLESS STEEL AT A MINIMUM OF 0.024 INCH THICKNESS. THE DUCT, BASED ON MODEL NUMBER, SHALL INCLUDE LAYERS OF SUPER WOOL 607 PLUS INSULATION BETWEEN THE INNER AND OUTER WALL. GREASE DUCT JOINTS SHALL BE HELD TOGETHER BY MEANS OF FORMED V CLAMPS AND SEALED WITH FIRE BARRIER 2000+. THE DUCT WALL ASSEMBLY SHALL BE TESTED AND LISTED AT 1/2" OR ZERO INCH CLEARANCE, ACCORDING TO CLASSIFICATIONS. CLASSIFICATIONS AND CLEARANCES UL 2221: STANDARD FOR FIRE RESISTIVE GREASE DUCT ENCLOSURE ASSEMBLIES. CHAPTER 7 OF THIS STANDARD REFERENCES A TEST LABELED INTERNAL FIRE TEST. SECTION 7.1 REFERENCES TWO INSTALLATION CONDITIONS: CONDITION A AND CONDITION B. CONDITION A REPRESENTS ALL INSTALLATION CONDITION EXCEPT FOR INSTALLATION WITHIN NON-VENTILATED COMBUSTIBLE ENCLOSURES. CONDITION B REPRESENTS INSTALLATION WITHIN A NON-VENTILATED COMBUSTIBLE ENCLOSURE. MODEL DW-2R IS CLASSIFIED UNDER UL2221 (TEST OF FIRE RESISTIVE DUCT ENCLOSURE ASSEMBLIES) AS AN ALTERNATE TO 2-LR. FIRE RESISTIVE SHAFT ENCLOSURES WITH A REDUCED CLEARANCE TO COMBUSTIBLES (SIZES Ø" TO 16" DIAMETER). MODEL 2R IS LISTED IN ACCORDANCE WITH THE REQUIREMENTS FOR DUCT ENCLOSURE CONDITION B.												
TYPICAL HOOD CONTROL SPECIFICATIONS AND DETAILS: NOTES: ALL HOOD/FANMA INTERCONNECTIONS TO BE PROVIDED AND INSTALLED BY HOOD CONTRACTOR. CONTRACTOR TO PROVIDE, INSTALL, AND LAND INTERLOCKING CONTROL WIRING BETWEEN HOOD LIGHTS, HOOD TEMP SENSORS, REMOTE FIRE SUPPRESSION SYSTEM (ANSUL OR EQUAL) MICRO SWITCHES, AND ANY OTHER COMPONENT REQUIRING A ELECTRICAL CONNECTION TO THE HOOD ELECTRICAL PACKAGE. LIGHT BULBS FOR KITCHEN HOODS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.												
TYPICAL HOOD CONTROL SPECIFICATIONS AND DETAILS: NOTES: SEE CONTROL REQUIREMENTS AND SEQUENCE OF OPERATIONS. ALL HOOD/FANMA INTERCONNECTIONS TO BE PROVIDED AND INSTALLED BY HOOD CONTRACTOR. CONTRACTOR TO PROVIDE, INSTALL, AND LAND INTERLOCKING CONTROL WIRING BETWEEN HOOD LIGHTS, HOOD TEMP SENSORS, REMOTE FIRE SUPPRESSION SYSTEM (ANSUL OR EQUAL) MICRO SWITCHES, AND ANY OTHER COMPONENT REQUIRING A ELECTRICAL CONNECTION TO THE HOOD ELECTRICAL PACKAGE. LIGHT BULBS FOR KITCHEN HOODS TO BE PROVIDED AND INSTALLED BY CONTRACTOR. VENTILATION CONTROL - DUCT STAT DETAIL FACTORY INSTALLED TEMPERATURE SENSORS, SENDS SIGNAL TO THE VENTILATION CONTROL PANEL, FOR AUTOMATIC FAN OPERATION. ONE TEMPERATURE SENSOR PER EXHAUST RISER. NOTE: WIRE TEMPERATURE SENSOR CONNECTED TO HOOD CONTROL PANEL SEQUENCE OF OPERATIONS: THE HOOD CONTROL PANEL IS CAPABLE OF OPERATING IN ONE OR MORE OF THE FOLLOWING STATES AT ANY GIVEN TIME: - AUTOMATIC: THE SYSTEM OPERATES BASED ON THE DIFFERENTIAL BETWEEN ROOM TEMPERATURE AND THE TEMPERATURE AT THE HOOD CAVITY OR EXHAUST DUCT COLLAR. FANS ACTIVATE AT A CONFIGURABLE TEMPERATURE DIFFERENTIAL THRESHOLD, DEPENDING ON THE JOB CONFIGURATION EACH FAN ZONE CAN BE CONFIGURED AS STATIC OR DYNAMIC. THESE TERMS REFER TO WHETHER A VARIABLE MOTOR (SUCH AS EC MOTORS OR VFD DRIVEN MOTORS) MODULATE WITH TEMPERATURE. IF THE PANEL IS EQUIPPED WITH TEMPERATURE SENSORS IN EACH FAN ZONE, IT IS DEFINED AS "DYNAMIC". THESE WILL MODULATE WITHIN A USER-DEFINED RANGE BASED ON THE TEMPERATURE DIFFERENTIAL. PANELS EQUIPPED WITH VARIABLE SPEED FANS AND A FAN ZONE DEFINED AS "STATIC", FANS WILL RUN AT A SET SPEED CALCULATED FOR THE DRIVE. DEMAND CONTROL VENTILATION SYSTEMS ARE CAPABLE OF MODULATING EXHAUST AND MAKE UP AIR FAN SPEEDS PER THE REQUIREMENTS OUTLINED IN IECC 403.2.8. - MANUAL: THE SYSTEM OPERATES BASED ON HUMAN INPUT FROM AN HWI. - SCHEDULE: A WEEKLY SCHEDULE CAN BE SET TO RUN FANS FOR A SPECIFIED PERIOD THROUGHOUT THE DAY. THERE ARE THREE OCCUPIED TIMES PER DAY TO ALLOW FOR THE USER TO SET UP A TIME THAT IS SUITABLE TO THEIR NEEDS. ANY TIME THAT IS WITHIN THE DEFINED OCCUPIED TIME, THE SYSTEM WILL RUN AT MODULATION MODE AND FOLLOW THE FAN PROCEEDURE ALGORITHM BASED ON TEMPERATURE DURING THIS TIME. DURING UNOCCUPIED TIME, THE SYSTEM WILL HAVE AN EXTRA OFFSET TO PREVENT UNINTENDED ACTIVATION OF THE SYSTEM DURING A TIME WHERE THE SYSTEM IS NOT BEING OCCUPIED. -OTHER: THE SYSTEM OPERATES BASED ON THE INPUT FROM AN EXTERNAL SOURCE (DDC, BMS OR HARD-WIRED INTERLOCK). - FIRE: UPON ACTIVATION OF THE HOOD FIRE SUPPRESSION SYSTEM, THE EXHAUST FAN WILL COME ON OR CONTINUE TO TO RUN, THE HOOD MAKEUP AIR WILL SHUTDOWN, AND A SIGNAL WILL BE SENT FOR ACTIVATING THE SHUNT TRIP BREAKER PROVIDED BY THE ELECTRICIAN. FUEL GAS WILL SHUT OFF VIA A MECHANICAL/ELECTRICAL GAS VALVE ACTUATED BY THE HOOD FIRE SUPPRESSION SYSTEM.												

1	M003	KITCHEN HOOD EXHAUST SYSTEM DETAIL, CONTROLS, AND SPECIFICATIONS
---	------	--

SCALE: N.T.S.



multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
www.multistudio

historic preservation:  
Ryden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.553.5381  
www.rydenarchitects.com

structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaesign.com

civil engineer:  
Wilson & Company  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.383.3703  
www.wilsonco.com

mechanical/electrical engineer:  
Applied Engineering  
2800 S. Rural Road #301  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.ws

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



Expires 12/31/2025  
Applied Engineer  
Arizona License No. 23717  
Gregory Pinao Date: 05/28/2024  
Engineer

REVISIONS		
Number	DESCRIPTION	DATE
1	CITY COMMENTS	02/25/2022

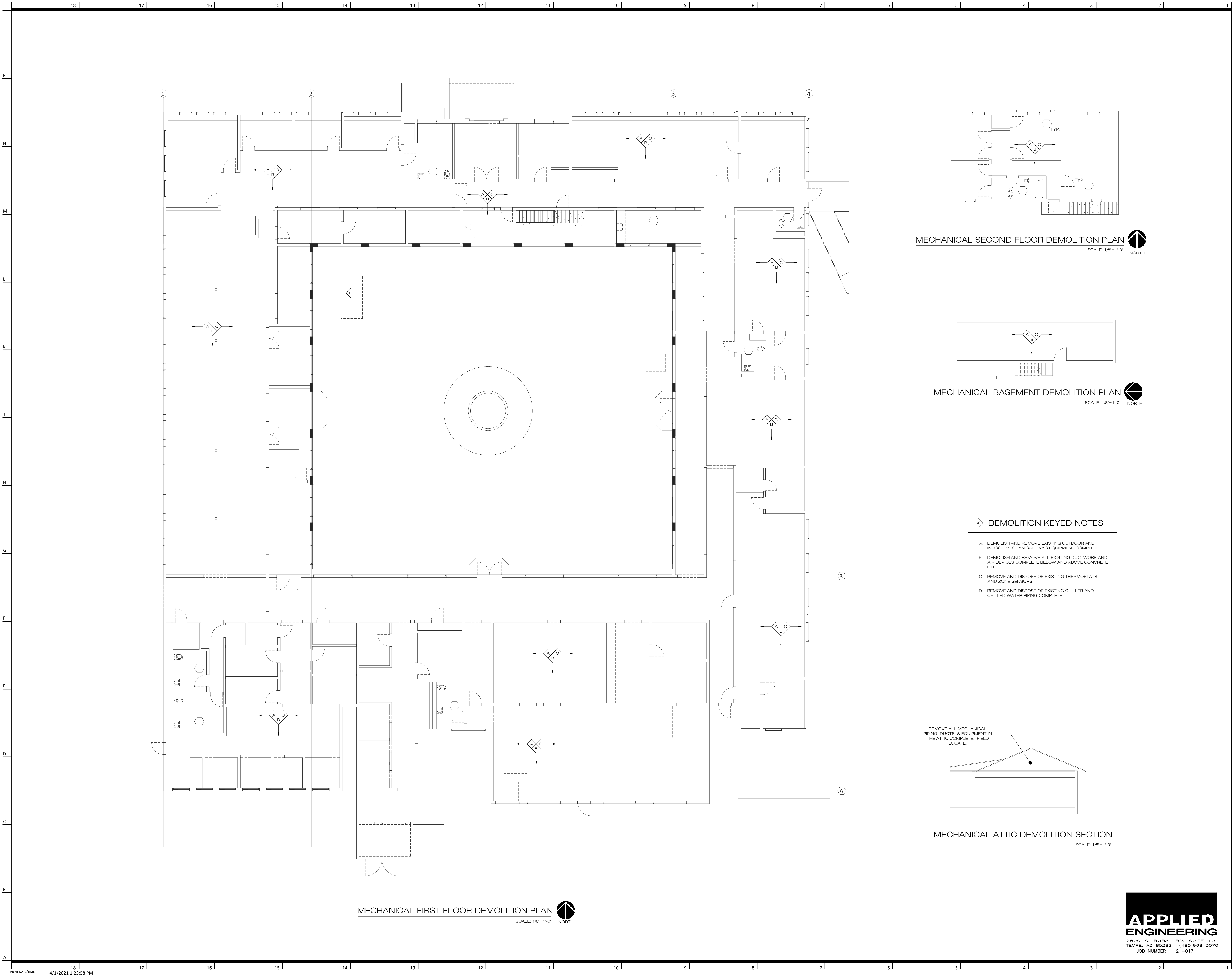
PROJECT NO: 0520-0020  
DATE: May 28, 2024

APPLIED  
ENGINEERING  
2800 S. RURAL RD. SUITE 101  
TEMPE, AZ 85282 (480)968.3070  
JOB NUMBER 21-017

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	51	117

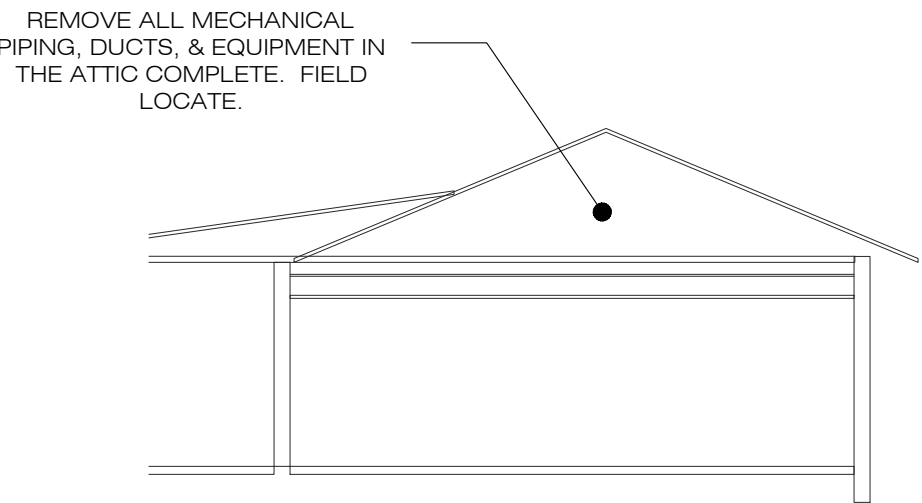




MECHANICAL SECOND FLOOR DEMOLITION PLAN  
SCALE: 1/8"=1'-0" NORTH

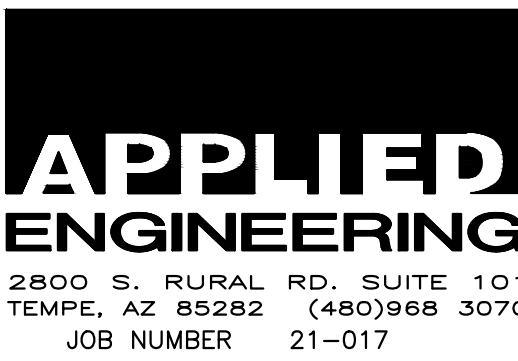
MECHANICAL BASEMENT DEMOLITION PLAN  
SCALE: 1/8"=1'-0" NORTH

- DEMOLITION KEYED NOTES**
- A. DEMOLISH AND REMOVE EXISTING OUTDOOR AND INDOOR MECHANICAL HVAC EQUIPMENT COMPLETE.
  - B. DEMOLISH AND REMOVE ALL EXISTING DUCTWORK AND AIR DEVICES COMPLETE BELOW AND ABOVE CONCRETE LID.
  - C. REMOVE AND DISPOSE OF EXISTING THERMOSTATS AND ZONE SENSORS.
  - D. REMOVE AND DISPOSE OF EXISTING CHILLER AND CHILLED WATER PIPING COMPLETE.



MECHANICAL ATTIC DEMOLITION SECTION  
SCALE: 1/8"=1'-0"

MECHANICAL FIRST FLOOR DEMOLITION PLAN  
SCALE: 1/8"=1'-0" NORTH



multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
Hyden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.ridenarchitects.com

structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

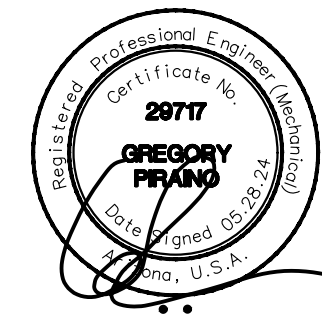
civil engineer:  
Wilson & Company  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.383.5703  
www.wilsonco.com

mechanical/electrical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.ws

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.



Applied Engineering  
Arizona License No. 29717  
Gregory Piraino Date: 05/28/2024  
Engineer

### REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT NO: 0520-0020  
DATE: May 28, 2024

Mechanical  
Demolition  
Floor Plans  
**M100**

### 2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	52	117



## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
Owner's Name  
123 Anystreet  
Anytown, USA 00000  
000.000.0000  
www.website.com

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
Ryden Architects  
902 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

structural engineer:  
Structural Engineer  
123 Anystreet  
Anytown, USA 00000  
000.000.0000  
www.website.com

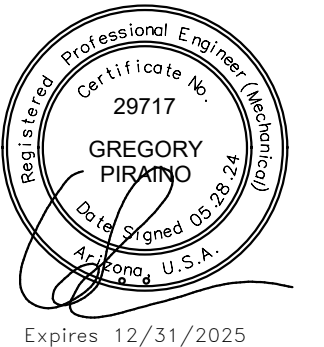
civil engineer:  
Civil Engineer  
123 Anystreet  
Anytown, USA 00000  
000.000.0000  
www.website.com

mechanical/electrical engineer:  
MEP Engineer  
123 Anystreet  
Anytown, USA 00000  
000.000.0000  
www.website.com

landscape architect:  
Landscape Architect  
123 Anystreet  
Anytown, USA 00000  
000.000.0000  
www.website.com

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.



Applied Engineering  
Arizona License No.: 29717  
Gregory Pirano  
Date: 05/28/2024

REVISIONS		
Number	DESCRIPTION	DATE
1	CITY COMMENTS	03/25/2022
2	FIELD CONDITIONS	06/28/2024

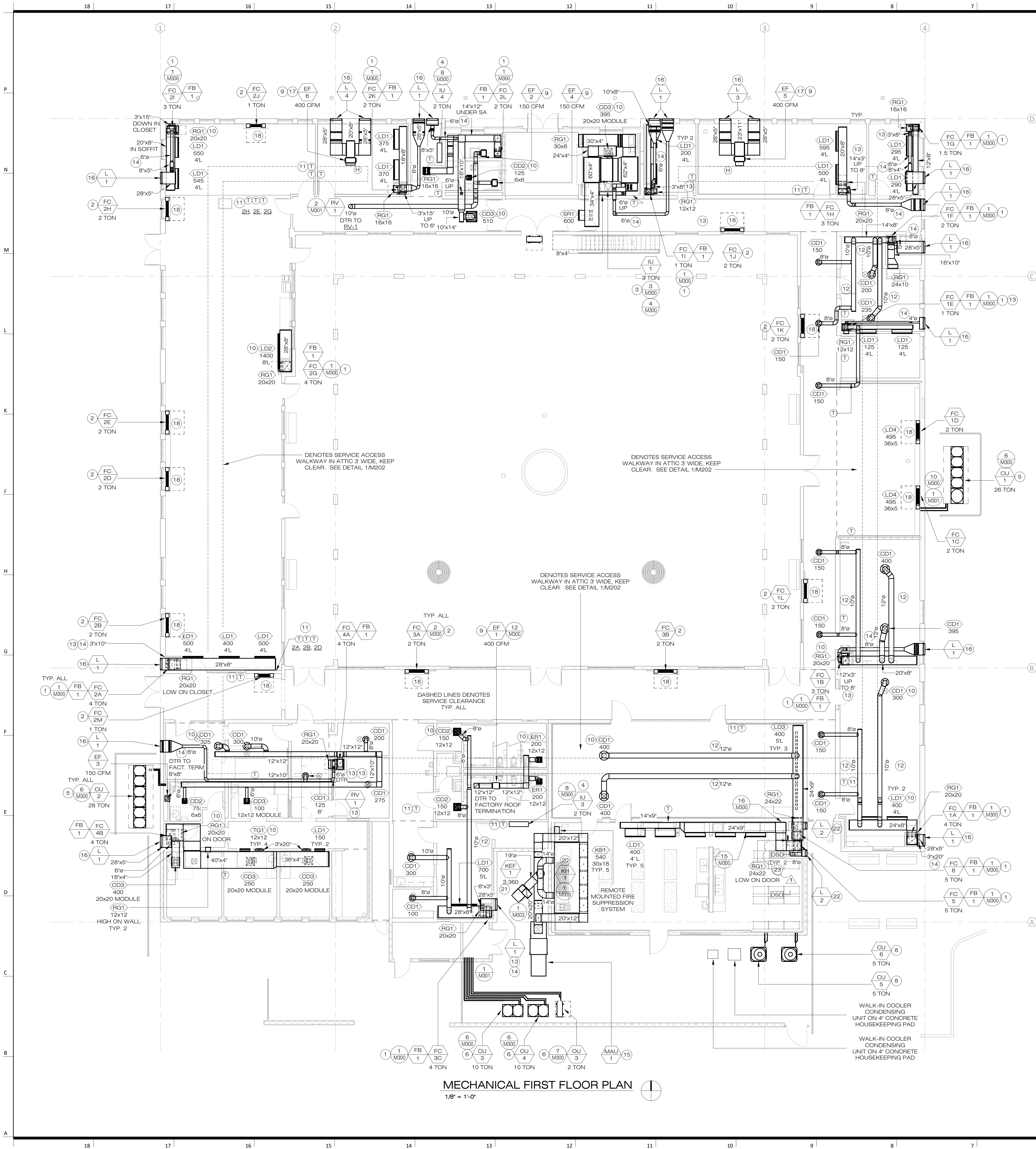
PROJECT NO: 0520-0020  
DATE: May 28, 2024

MECHANICAL FLOOR  
PLANS

# M200

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	53	117



## MECHANICAL SECOND FLOOR PLAN

1/8" = 1'-0"

### MECHANICAL KEYED NOTES:

- PROVIDE AND INSTALL NEW INDOOR DUCTED VERTICAL FAN COIL UNIT AS SCHEDULED. INSTALL IN CLOSET LOCATIONS SHOWN ON PLANS AND PER DETAILS INDICATED. PROVIDE WITH 24" STAND FOR MOUNTING VERTICALLY. PROVIDE WITH FILTER BOX FB-1 AS SCHEDULED.
- PROVIDE AND INSTALL NEW INDOOR FLOOR MOUNTED DUCTLESS FAN COIL UNIT AS SCHEDULED. INSTALL IN FURRED OUT WALL AS SHOWN ON PLANS AND PER DETAILS INDICATED. COORDINATE WITH FRAMER TO PROVIDE ADEQUATE ACCESS INSIDE THE FURRED OUT CLOSET OR ALCOVE. DRY FIT ONE UNIT BEFORE COMPLETING ALL FURRED OUT ALCOVES.
- PROVIDE AND INSTALL NEW INDOOR HORIZONTAL DUCTED FAN COIL UNIT AS SCHEDULED.
- PROVIDE AND INSTALL NEW INDOOR WALL MOUNTED DUCTLESS FAN COIL UNIT AS SCHEDULED. INSTALL ON WALL AS SHOWN ON PLANS AND PER DETAILS INDICATED.
- PROVIDE AND INSTALL NEW VRF CONDENSING UNIT AS SCHEDULED. INSTALL ON A NEW 4" CONCRETE HOUSEKEEPING PAD, EXTEND PAD PAST UNIT 6" ON ALL SIDES. FIELD ROUTE REFRIGERANT LINE SETS FROM OUTDOOR CONDENSING UNIT TO INDOOR UNIT.
- PROVIDE AND INSTALL NEW OUTDOOR UNIT AS SCHEDULED. INSTALL ON A NEW 4" CONCRETE HOUSEKEEPING PAD, EXTEND PAD PAST UNIT 6" ON ALL SIDES. FIELD ROUTE REFRIGERANT LINE SETS FROM OUTDOOR UNIT TO INDOOR UNIT.
- PROVIDE AND INSTALL NEW OUTDOOR UNIT AS SCHEDULED. INSTALL ON A NEW WALL MOUNT STAND. FIELD ROUTE REFRIGERANT LINE SETS FROM OUTDOOR UNIT TO INDOOR UNIT.
- PROVIDE AND INSTALL NEW SPLIT SYSTEM GROUND MOUNTED CONDENSING UNIT. INSTALL ON A NEW 4" CONCRETE HOUSEKEEPING PAD, EXTEND PAD PAST UNIT 6" ON ALL SIDES. FIELD ROUTE REFRIGERANT LINE SETS FROM CONDENSING UNIT TO FAN COIL.
- PROVIDE AND INSTALL NEW EXHAUST FAN AS SCHEDULED. INSTALL PER DETAILS INDICATED.
- PROVIDE AND INSTALL NEW AIR DEVICE AS SCHEDULED.
- PROVIDE AND INSTALL NEW TEMPERATURE SENSOR. INSTALL TEMPERATURE SENSOR ON WALL IN LOCATION SHOWN AT 48" A.F.F.
- ROUTE NEW SUPPLY AIR DUCT UP INTO ATTIC, WHERE DUCT PENETRATES CONCRETE LID CAULK AND SEAL PENETRATION WITH APPROVED FIRE RATED SEALANT AND PROVIDE ESCUTCHEON AROUND ALL DUCTS AT CEILING PENS AND PAINT COLOR PER ARCHITECT TO CONCEAL. FIELD ROUTE DUCT THROUGH ATTIC TO AIR DEVICE LOCATED ON NEW ARCHITECTURAL CEILING. REFER TO DETAIL 1/M202 FOR ATTIC DETAIL.
- ROUTE NEW OSA DUCT SIZED PER PLAN FROM THE RETURN UP INTO THE ATTIC. PROVIDE AND INSTALL MANUAL DAMPER AND MOTORIZED DAMPER IN OSA DUCT IN ACCESSIBLE LOCATION IN THE MECHANICAL EQUIPMENT CLOSET OR IN THE ATTIC CLOSE TO THE SERVICE ACCESS WALKWAY.
- ROUTE NEW OSA DUCT SIZED PER PLAN IN ATTIC AND CONNECT TO NEW LOUVER AS SCHEDULED. LOUVER SHALL BE LOCATED IN THE BIRD BOARD, FIELD LOCATE BETWEEN ROOF STRUCTURE.
- PROVIDE NEW EVAP COOLING MAKE-UP AIR UNIT AS SCHEDULED. INSTALL ON A NEW 4" HOUSEKEEPING PAD AS SCHEDULED.
- PROVIDE NEW LOUVER AS SCHEDULED. LOUVER SHALL BE LOCATED IN THE BIRD BOARD, FIELD LOCATE BETWEEN ROOF STRUCTURE, DO NOT CUT STRUCTURE.
- PROVIDE NEW ATTIC VENTILATION FAN AS SCHEDULED. CONTROL PER CONTROLS REQUIREMENTS ON SHEET M002.
- MECHANICAL CONTRACTOR, SHALL COORDINATE WITH THE FRAMING CONTRACTOR ON ALL FLOOR UNITS TO ENSURE CABINET SIZE IS APPROPRIATE TO ACCESS AND INSTALL DUCTS AND AIR DEVICES FOR ALL INDOOR FLOOR MOUNTED UNITS.
- PROVIDE NEW FLOOR DIFFUSER AS SCHEDULED. PROVIDE YOUNG'S REGULATOR AND DAMPER UPSTREAM FROM THE DIFFUSER FOR TEST AND BALANCE.
- PROVIDE NEW KITCHEN HOOD AS SCHEDULED. INSTALL PER DETAILS INDICATED. PROVIDE WITH CUSTOM SUPPLY PLENUM AS SIZED ON PLANS.
- PROVIDE NEW KITCHEN EXHAUST FAN AS SCHEDULED. INSTALL PER DETAILS INDICATED AND ON A 4" CONCRETE HOUSEKEEPING PAD.
- PROVIDE AND INSTALL WALL LOUVER AS SCHEDULED. LOUVERS OF THE SAME TYPE SHALL BE INSTALLED AT THE SAME UNIFORM ELEVATION. PRIME AND PAINT COLOR PER ARCHITECT. ROUTE 8" OSA DUCT UP TO FULL SIZED LOUVER PLENUM.
- PROVIDE NEW DUCT SMOKE DETECTOR. DUCT SMOKE DETECTOR SHALL BE INSTALLED IN THE RETURN DUCT DOWNSTREAM OF THE FILTERS AND AHEAD OF ANY BRANCH CONNECTIONS.

### GENERAL MECHANICAL NOTES:

- FIELD ROUTE REFRIGERANT LINES SET CONCEALED IN WALLS AND IN THE ATTIC. REFER TO ATTIC DETAIL 1/M202 FOR ROUTING LOCATIONS IN THE ATTIC. INSULATE ALL REFRIGERANT LINES INDOORS PER DETAIL 17/M300 AND INSULATE AND JACKET ALL REFRIGERANT PIPING PER DETAIL 10/M300. ALL REFRIGERANT PIPING SHALL BE SUPPORTED FROM STRUCTURE INSIDE THE BUILDING AND SHALL BE SUPPORTED FROM UNISTRUTS WHEN OUTDOORS. SPACE REFRIGERANT LINE SET SUPPORTS PER IMC 2018.
- ALL OUTSIDE AIR DUCTS FOR FC UNITS SHALL BE PROVIDED WITH MOTORIZED DAMPERS AND MANUAL BALANCING DAMPERS FOR OUTSIDE AIR BALANCING. LOCATE ALL DAMPERS IN THE FC UNIT CLOSETS WHERE ACCESSIBLE OR IN THE ATTIC FOR ACCESS BY MAINTENANCE PERSONNEL.
- MECHANICAL CONTRACTOR SHALL COORDINATE WITH FRAMER TO PROVIDE ADEQUATE ACCESS INSIDE THE FURRED OUT CLOSET OR ALCOVE. DRY FIT ONE FC UNIT BEFORE COMPLETING ALL FURRED OUT ALCOVES.

**APPLIED  
ENGINEERING**  
2800 S. RURAL RD. SUITE 101  
TEMPE, AZ 85082 (480) 668-3070  
JOB NUMBER 21-017



EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
Owner's Name  
123 Anystreet  
Anytown, USA 00000  
000.000.0000  
www.website.com

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
Ryden Architects  
902 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

structural engineer:  
Structural Engineer  
123 Anystreet  
Anytown, USA 00000  
000.000.0000  
www.website.com

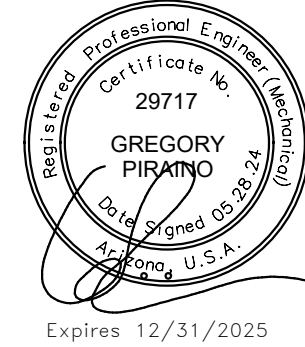
civil engineer:  
Civil Engineer  
123 Anystreet  
Anytown, USA 00000  
000.000.0000  
www.website.com

mechanical/electrical engineer:  
MEP Engineer  
123 Anystreet  
Anytown, USA 00000  
000.000.0000  
www.website.com

landscape architect:  
Landscape Architect  
123 Anystreet  
Anytown, USA 00000  
000.000.0000  
www.website.com

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.



Applied Engineering  
Arizona License No.: 29717  
Gregory Piraino  
Engineer Date: 05/28/2024

REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT NO: 0520-0020  
DATE: May 28, 2024

MECHANICAL  
SECTIONS

M201

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	54	117

**APPLIED  
ENGINEERING**  
2800 S. RURAL RD., SUITE 101  
TEMPE, AZ 85282 (480) 668-3070  
JOB NUMBER 21-017



EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
**City of Phoenix**  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
[www.phoenix.gov](http://www.phoenix.gov)

architect:  
**Multistudio**  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

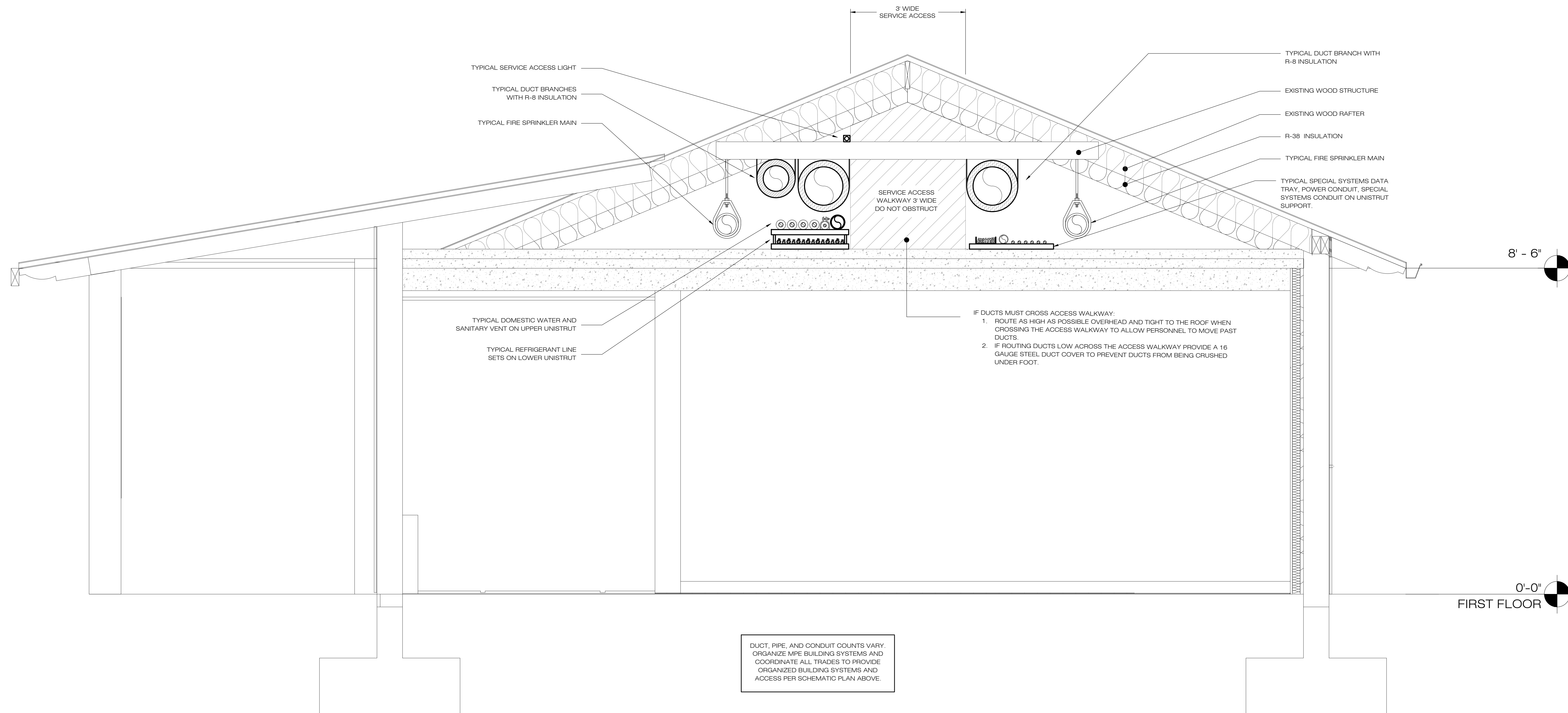
historic preservation:  
**Ryden Architects**  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
[www.rydenarchitects.com](http://www.rydenarchitects.com)

structural engineer:  
**BDA design**  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
[www.bdadesign.com](http://www.bdadesign.com)

civil engineer:  
**Wilson & Company**  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.283.2701  
[www.wilsonco.com](http://www.wilsonco.com)

mechanical/electrical engineer:  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
[www.appliedengineering.ws](http://www.appliedengineering.ws)

landscape architect:  
**Floor Associates**  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
[www.floorassociates.com](http://www.floorassociates.com)



① TYPICAL ATTIC SECTION

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS  
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR  
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



Expires 12/31/2025

---

Applied Engineering

---

Arizona License No.: 29717

---

Gregory Piraino Date: 05/28/2024

---

Engineer

REVISIONS		
Number	DESCRIPTION	DATE

PROJECT NO: 0520-0020  
DATE: May 28, 2024

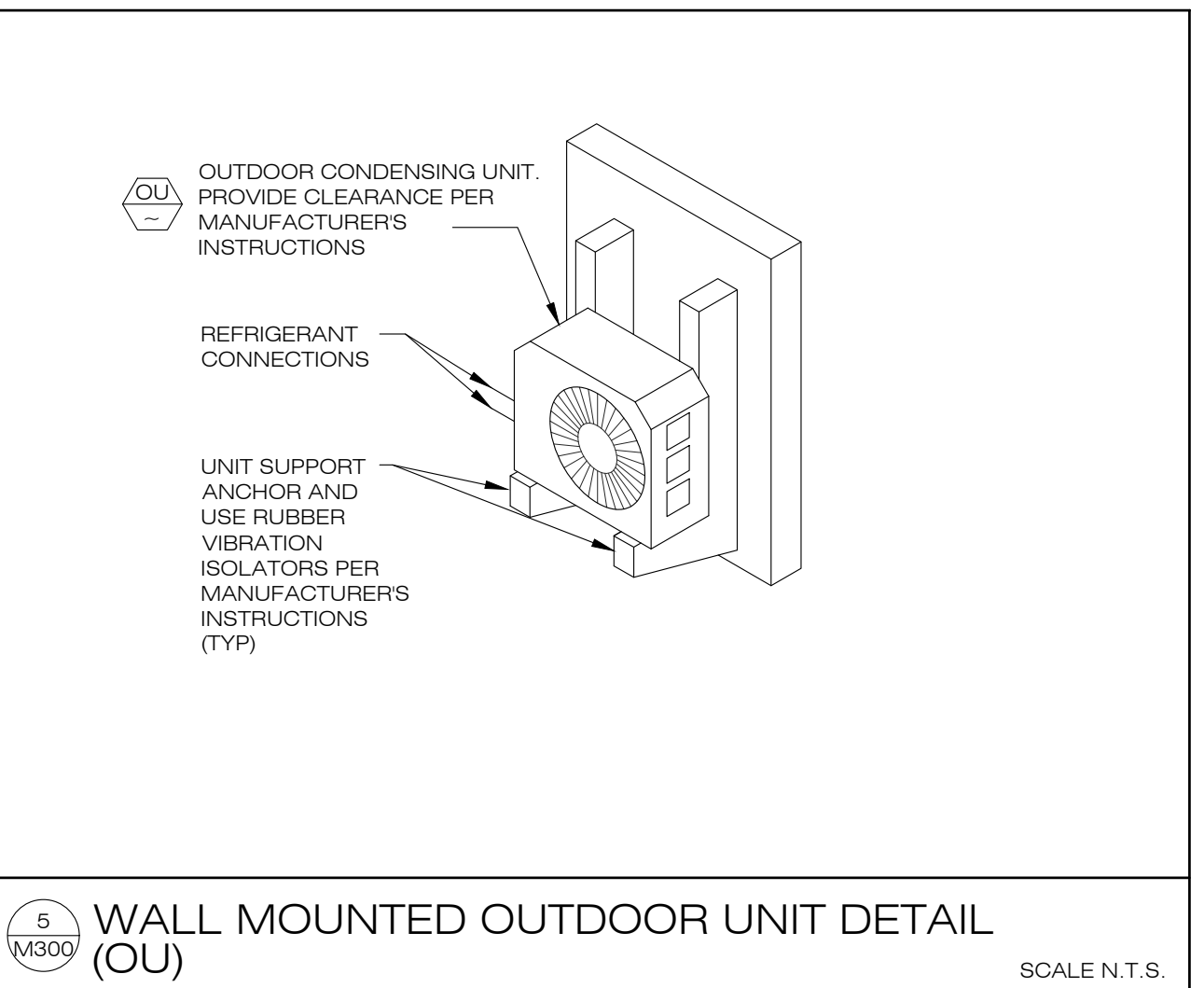
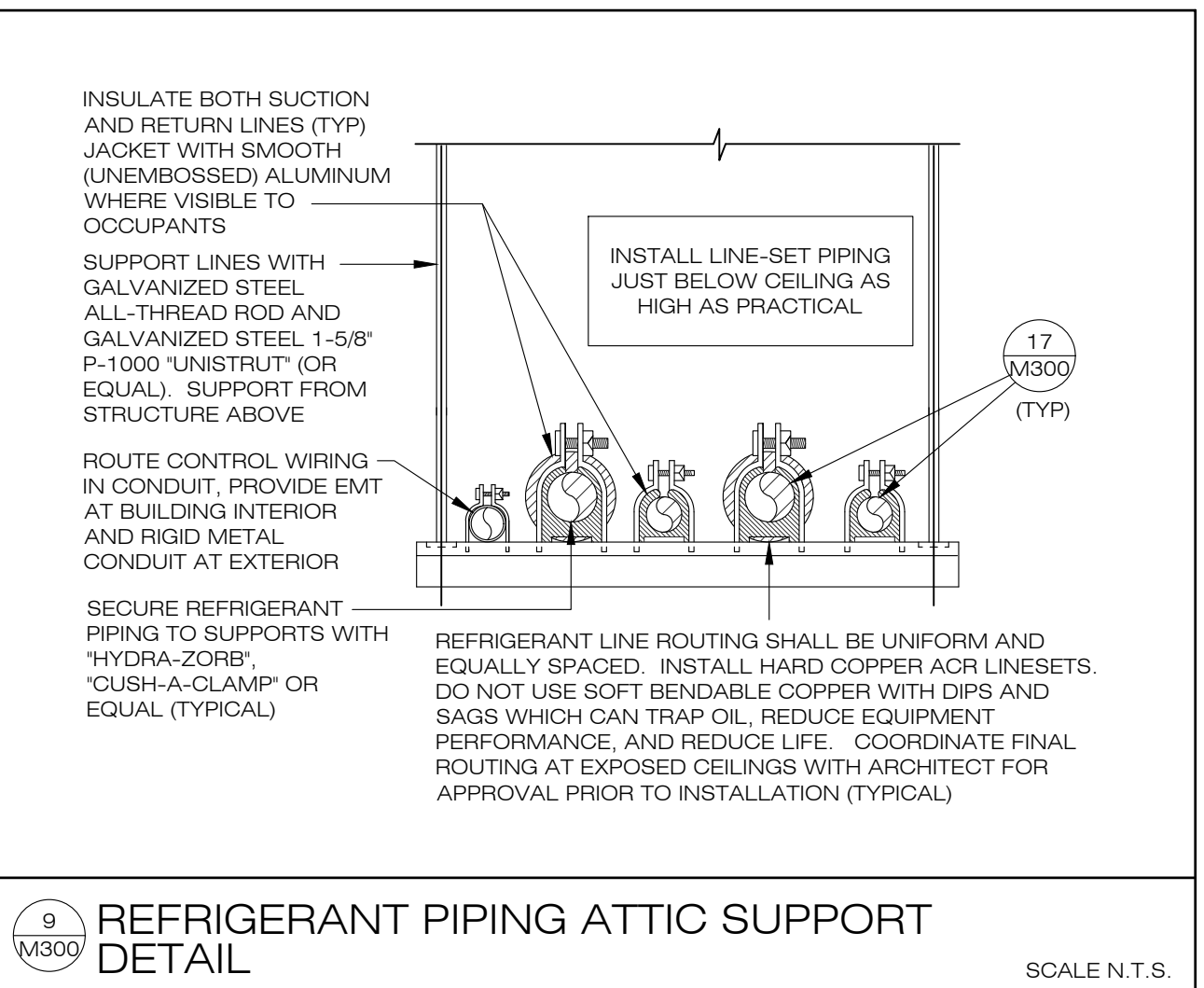
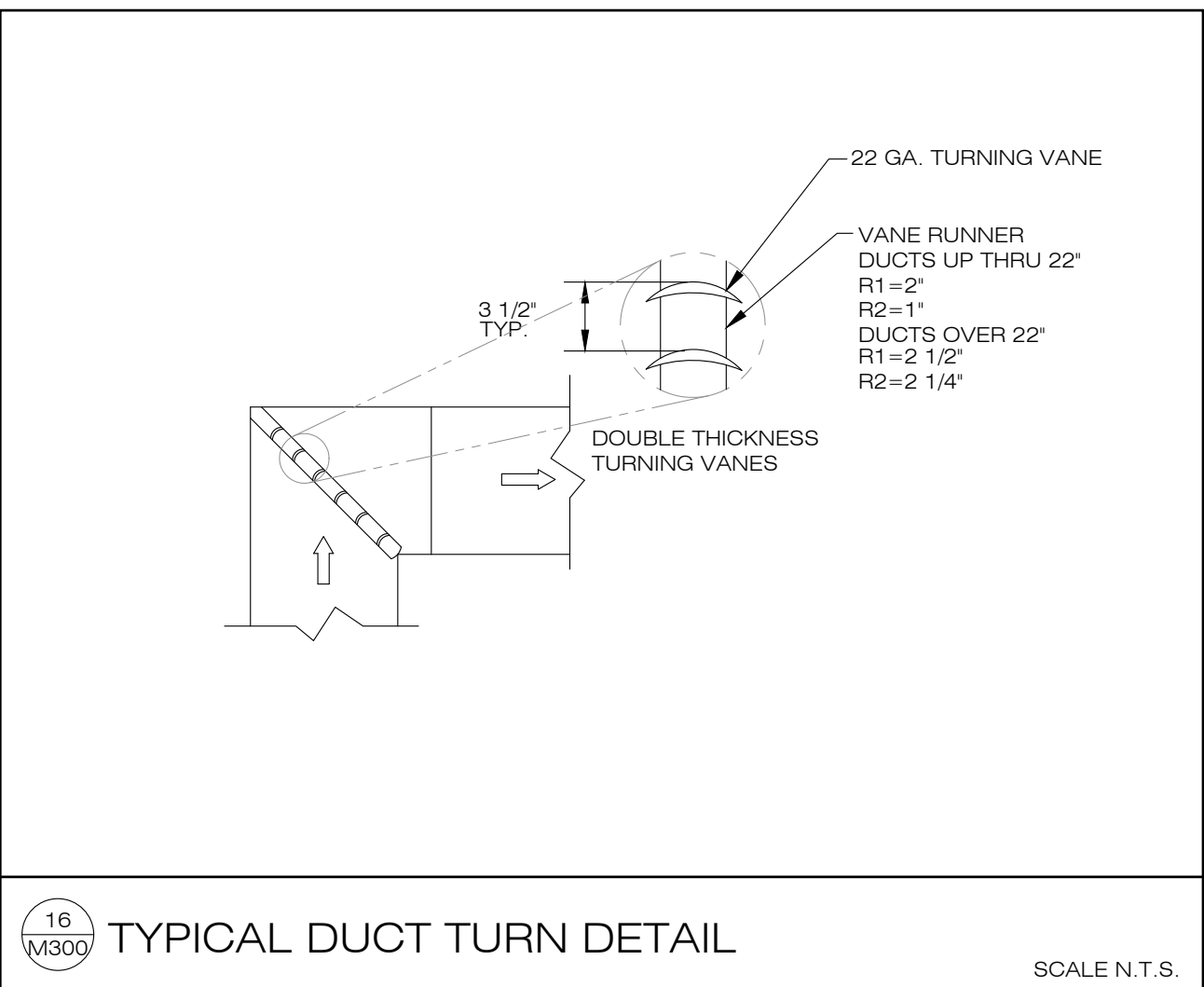
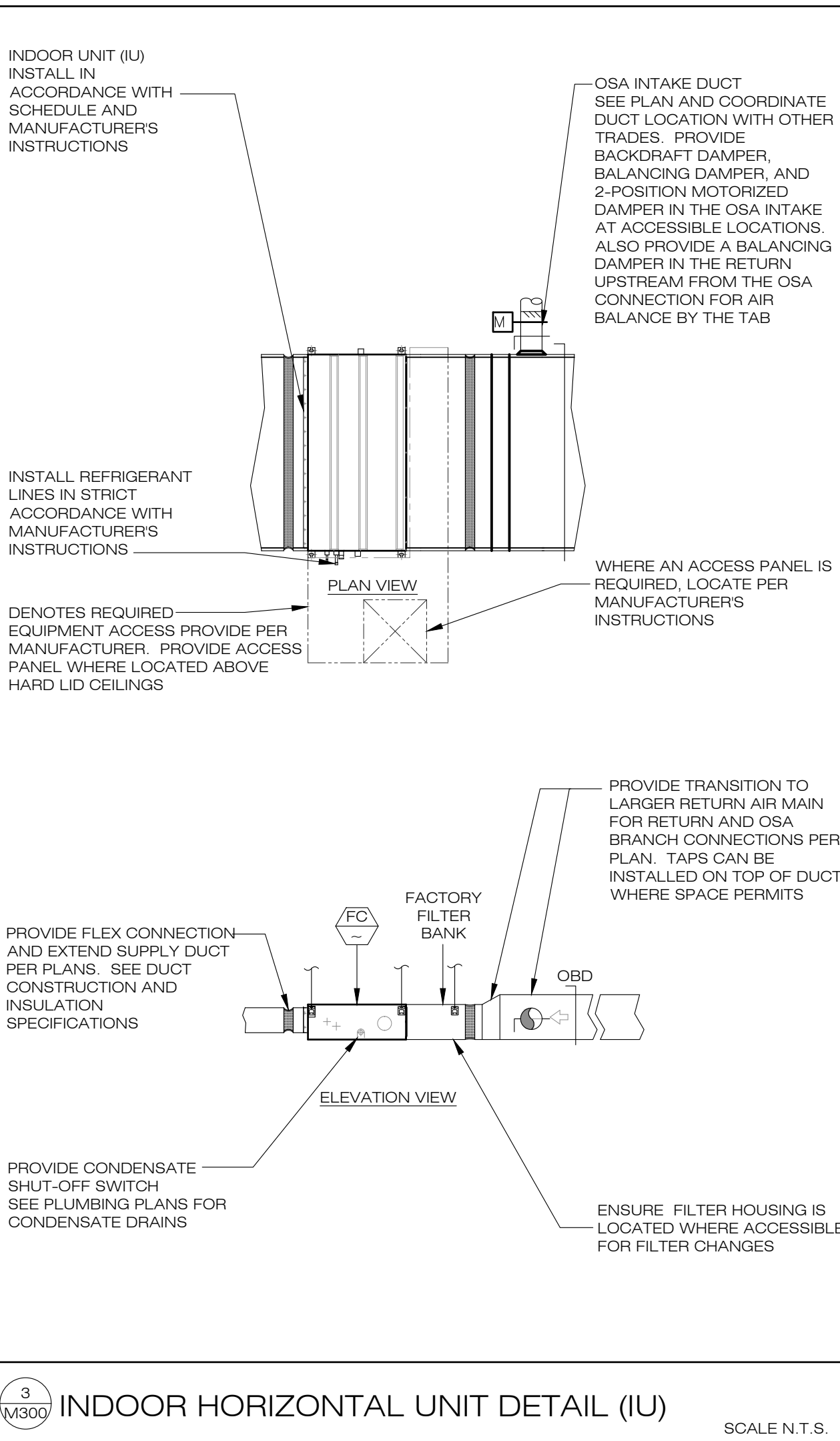
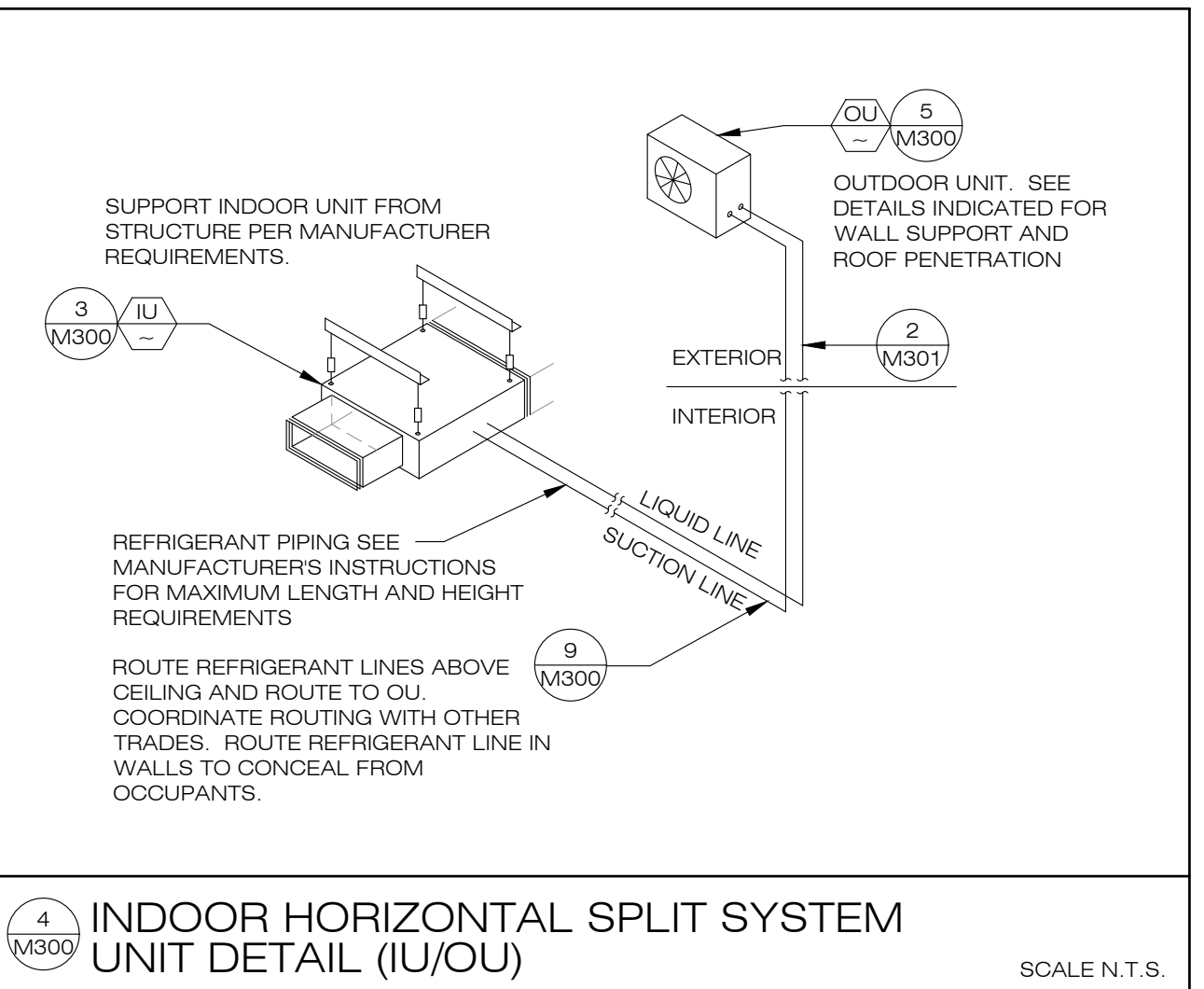
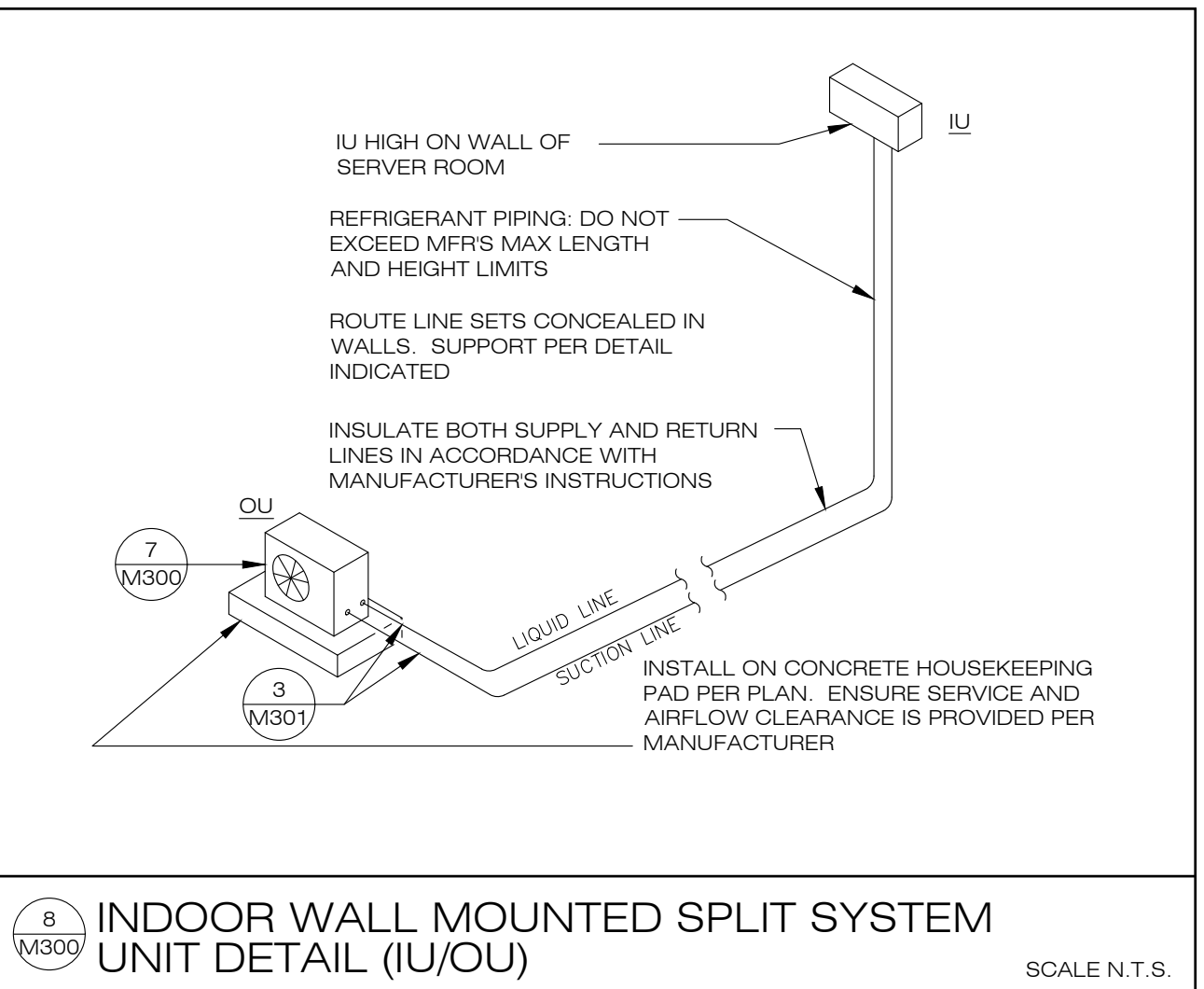
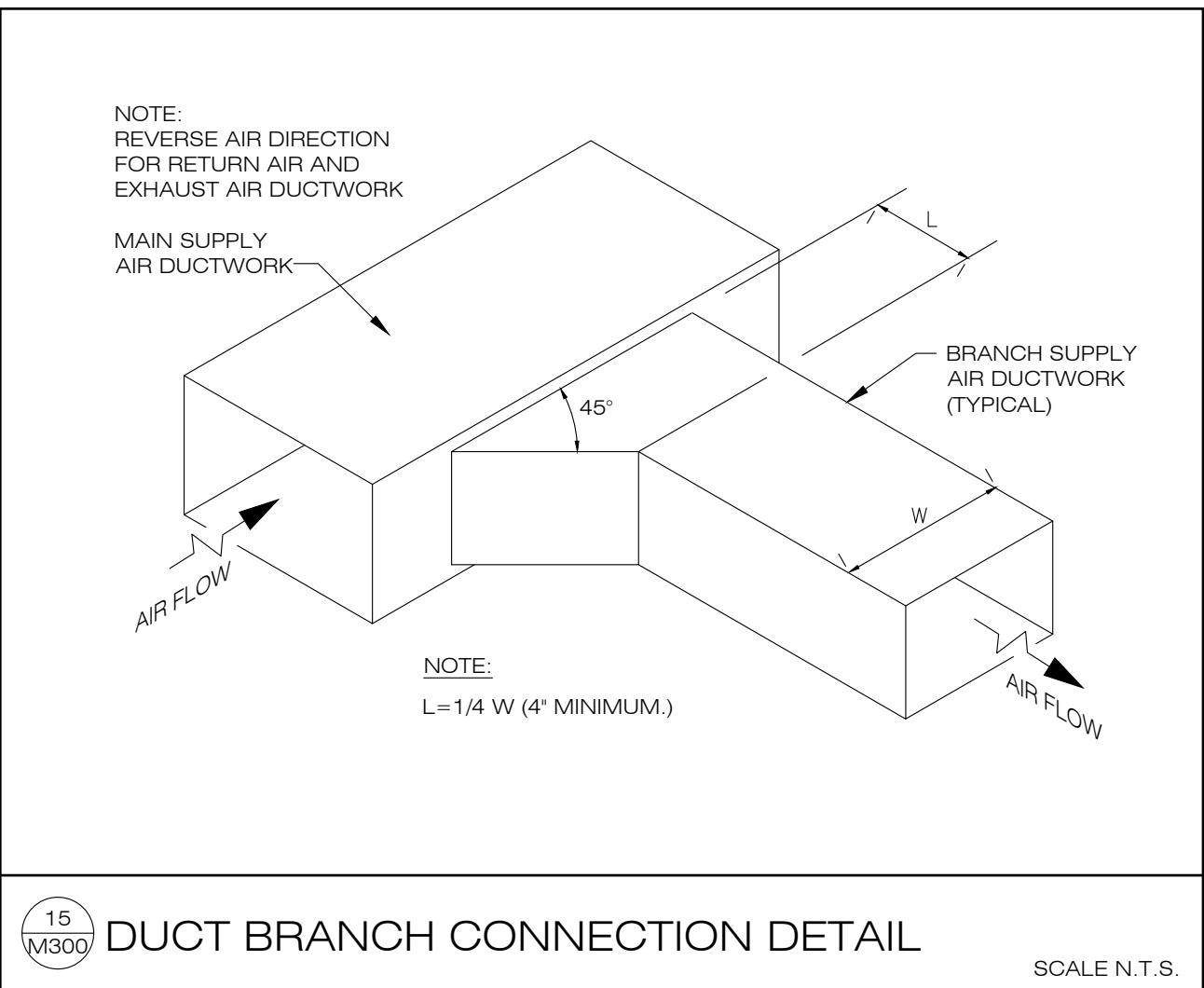
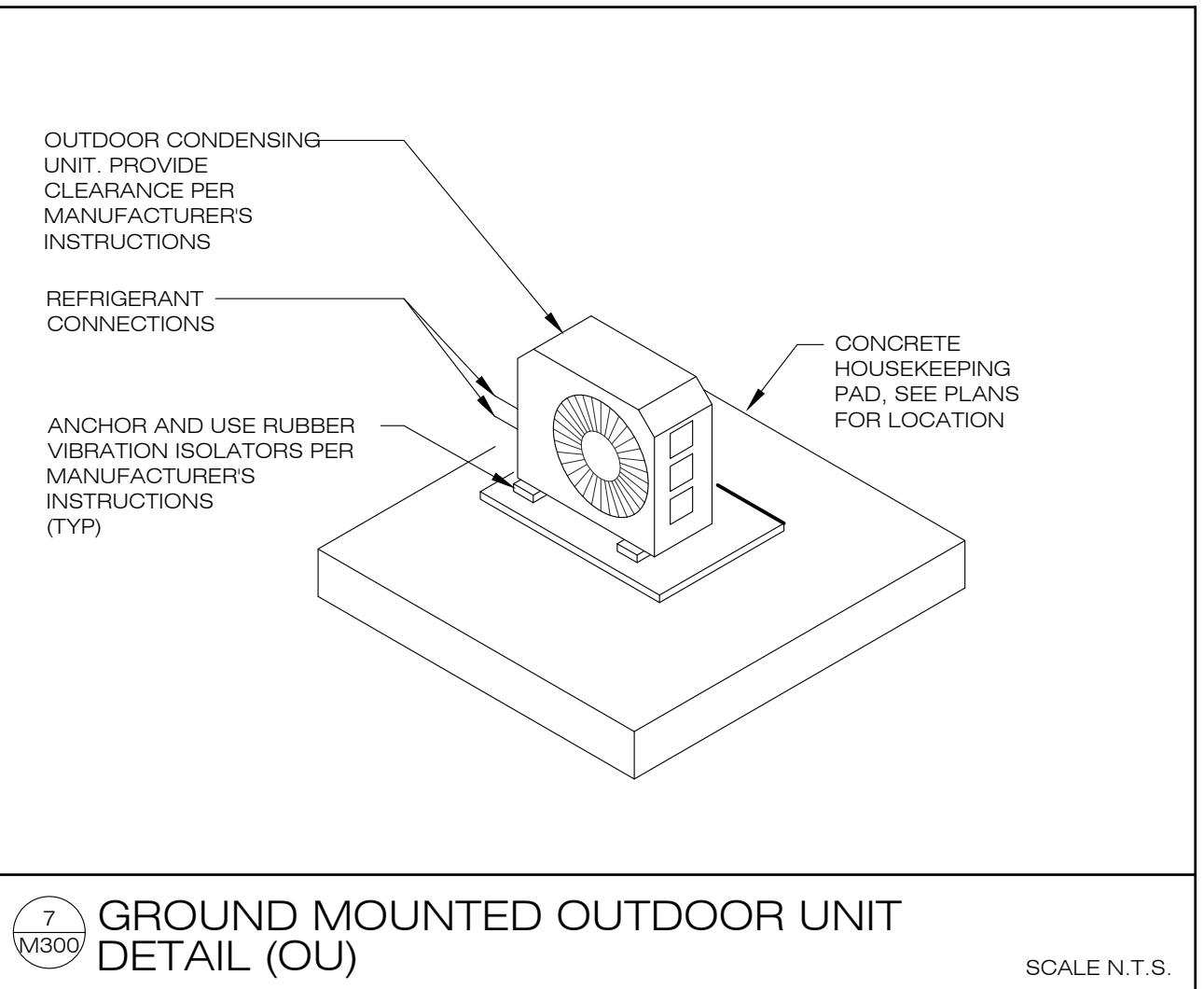
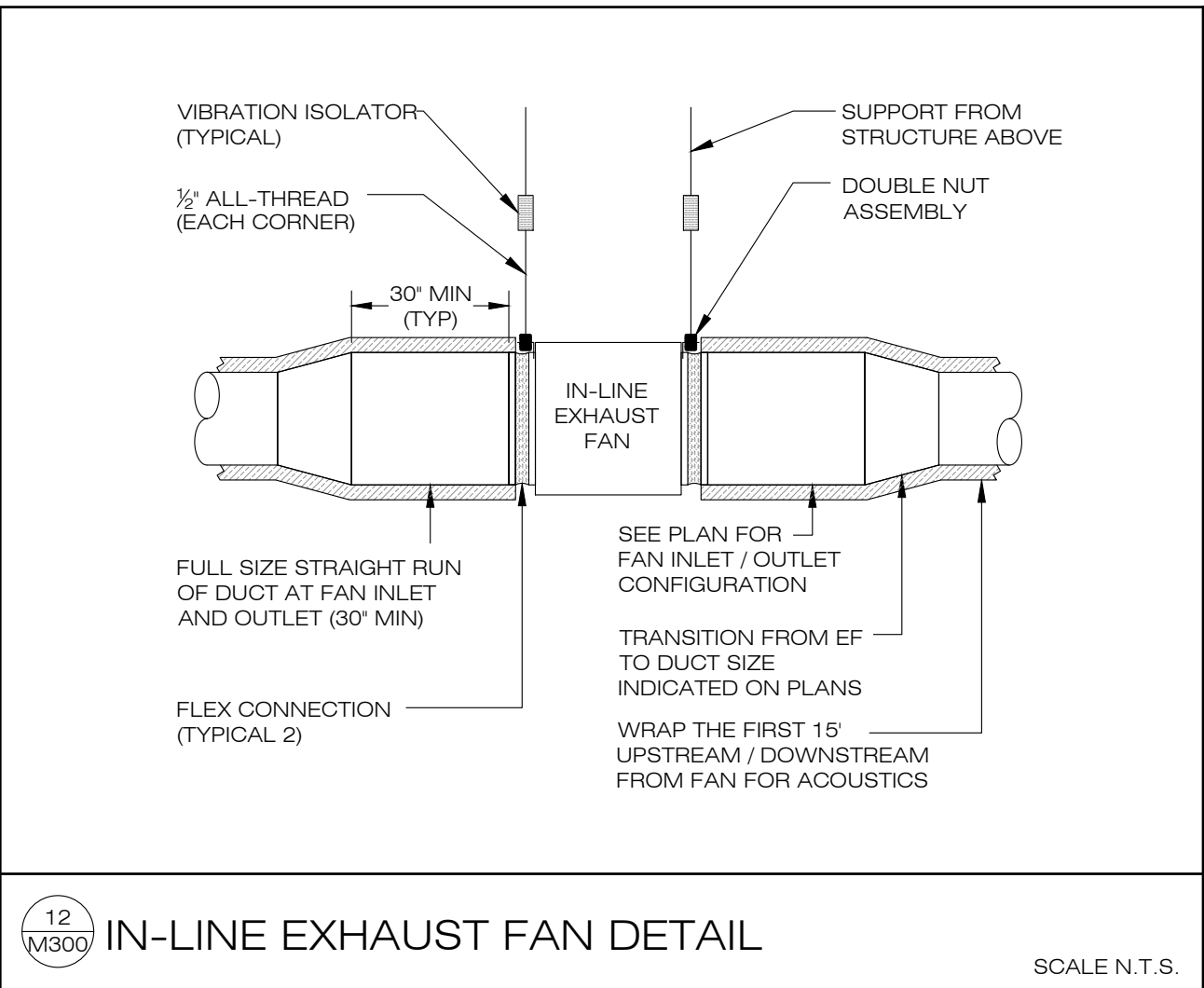
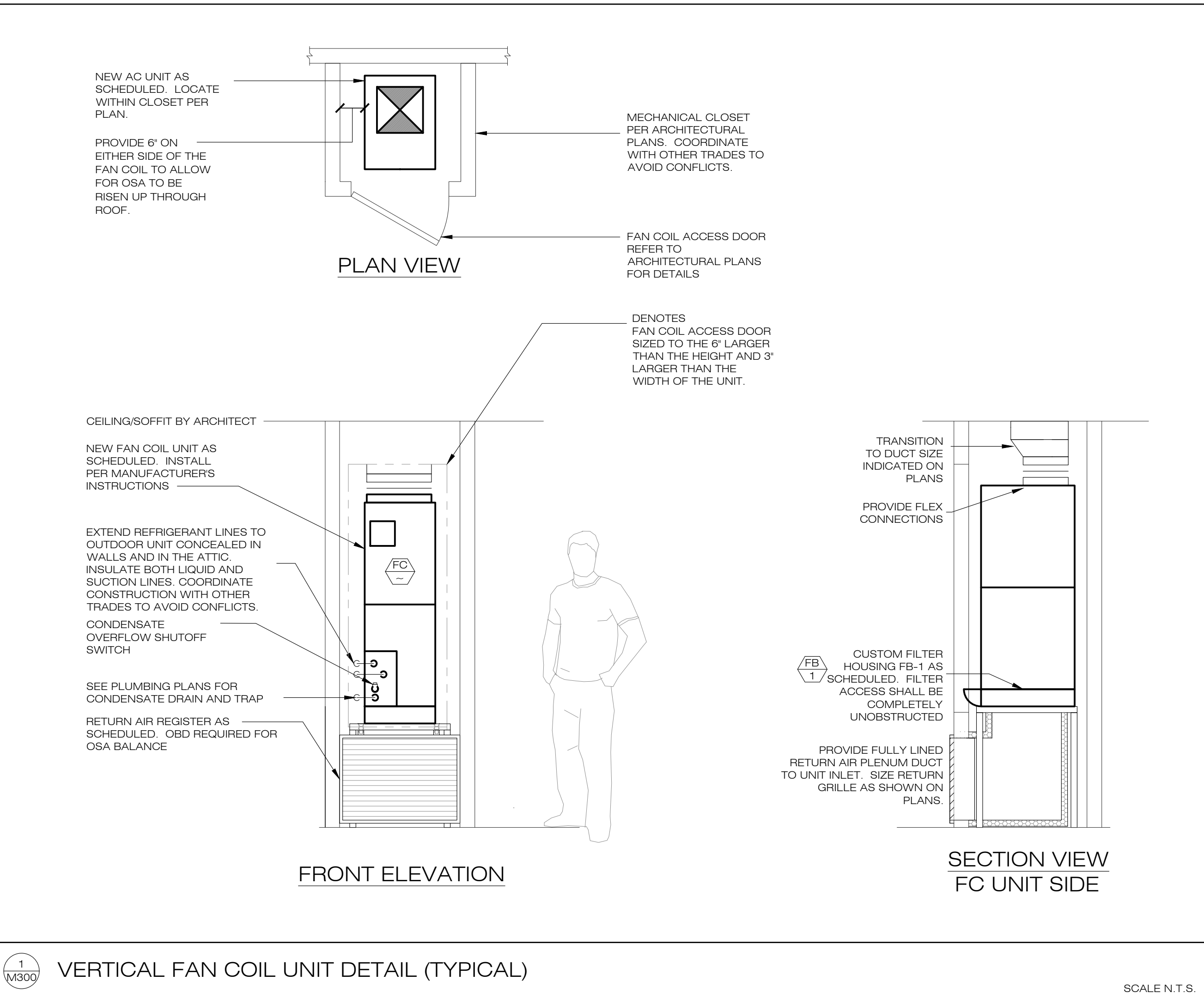
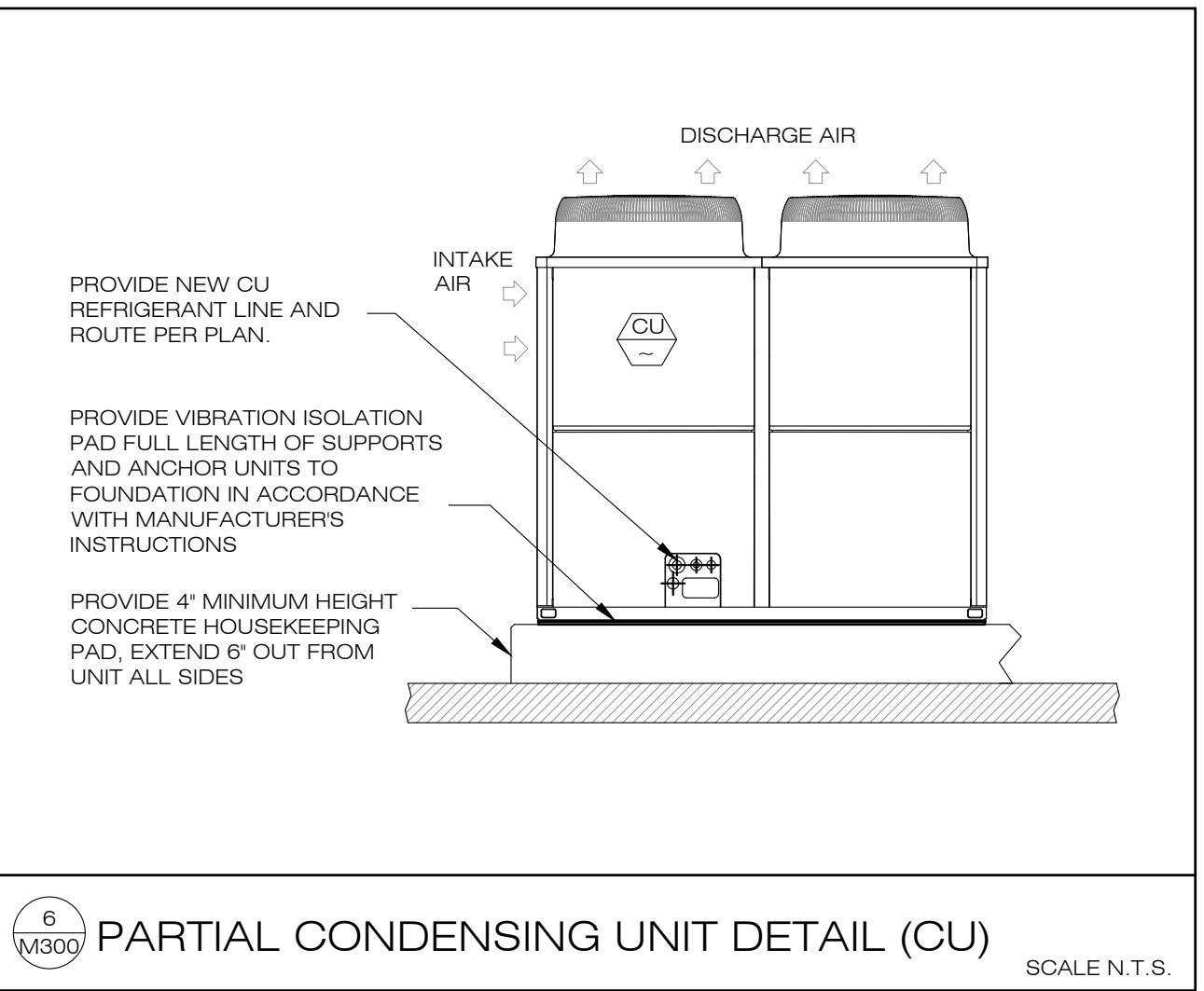
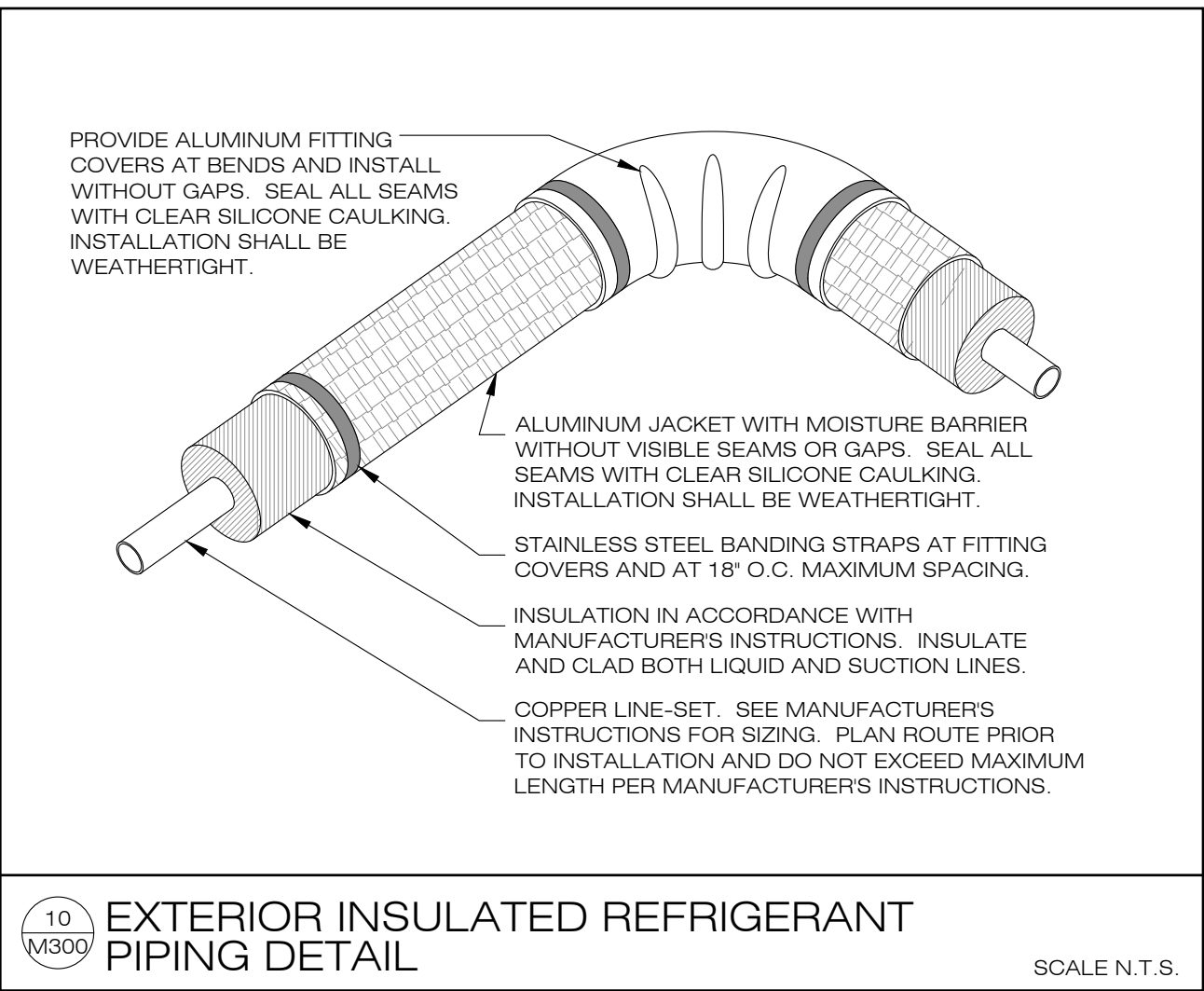
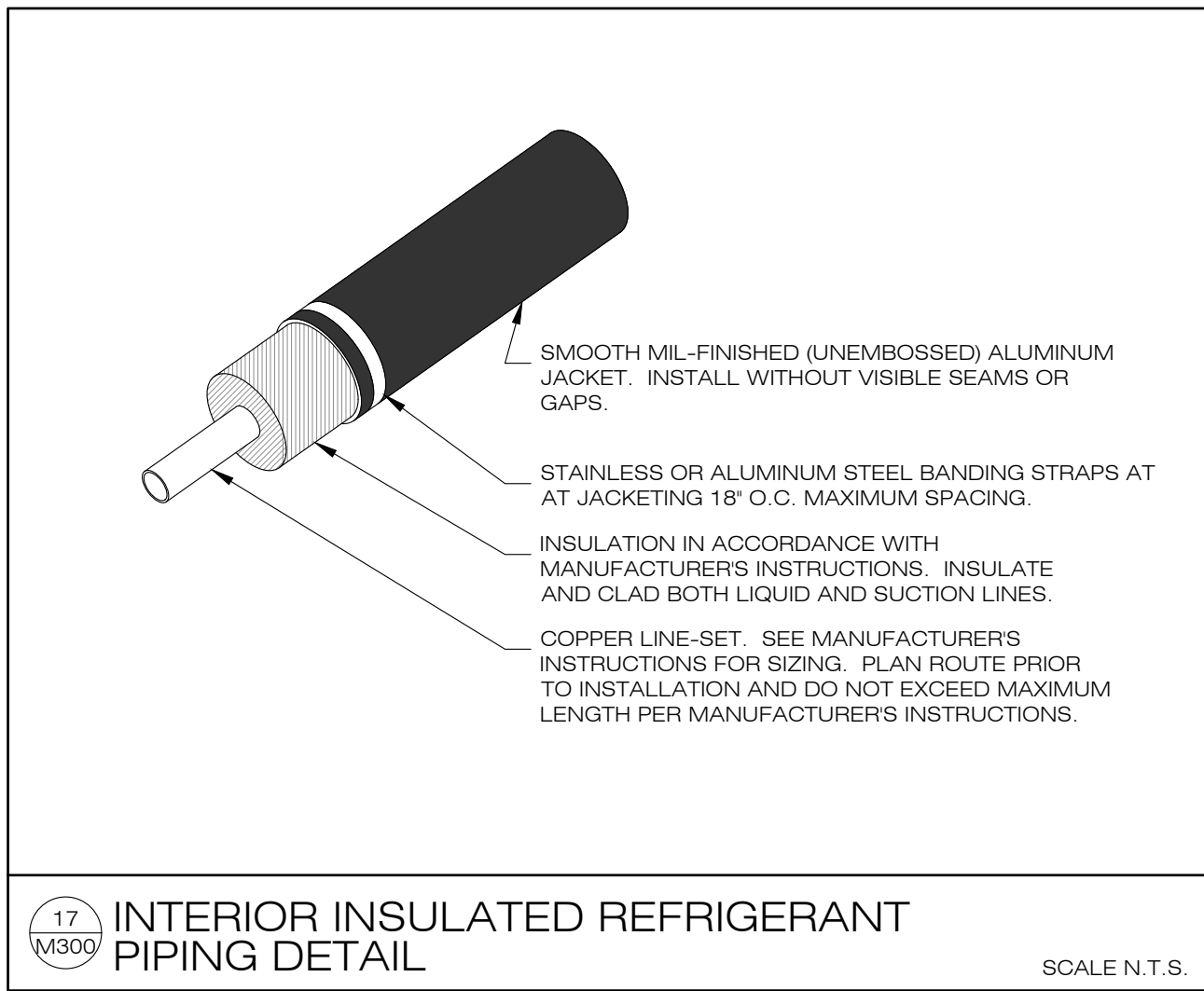
ATTIC  
COORDINATION  
SECTION

M202

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	55	117





multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
300 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
Hyden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.3381  
www.hydenarchitects.com

structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaesign.com

civil engineer:  
Wilson & Company  
410 N 44th Street Suite 450  
Phoenix, AZ 85008  
602.283.3701  
www.wilsonco.com

mechanical/electrical engineer:  
Applied Engineering  
2800 S. Rural Road #301  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.ws

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL, SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



Expires 12/31/2025  
Applied Engineering  
Arizona License No. 23717  
Gregory Pirano Date: 05/28/2024  
Engineer

REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT NO: 0520-0020  
DATE: May 28, 2024

Mechanical  
Details

M300

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	56	117

**APPLIED  
ENGINEERING**  
2800 S. RURAL RD., SUITE 101  
TEMPE, AZ 85282 (480)968.3070  
JOB NUMBER 21-017



OUTSIDE AIR VENTILATION CALCULATIONS (2018 IMC)

VENTILATION RATE PROCEDURE												SYSTEM CALCULATION						
ZONES	Az	AREA (SF)	Rp TABLE 6-1 (CFM / PERSON)	Ra TABLE 6-1 (CFM/SF)	OCCUPANT DENSITY (#/1000 SF)	Pz ZONE POPULATION	Vp (CFM)	Va (CFM)	Vbz BREATHING ZONE OSA (CFM)	Ez TABLE 6-2 ZONE EFFECTIVENESS	Voz MINIMUM REQUIRED OSA TO ZONE (CFM)	Vpzm =Vdzm ZONE PRIMARY AIR FLOW FRACTION (CFM)	Zp=Voz/Vpz PRIMARY OUTDOOR AIR FRACTION	D OCCUPANT DIVERSITY	Vou UNCORRECTED OSA REQUIREMENT FOR SYSTEM (CFM)	Ev APPENDIX A SYSTEM VENTILATION EFFICIENCY	[Vot] DESIGN OUTDOOR INTAKE FLOW AT SYSTEM (CFM)	OSA PROVIDED
CLASSROOM		366	10	0.12	35	13	128	44	172	0.80	215	1100	0.20			0.94		
CORRIDOR		200	0	0.06	0	0	0	12	12	0.80	15	300	0.05			1.08		
SYSTEM FC-1A												Max (Zp)	0.20	1.00	184	0.94	197	200
CLASSROOM		239	10	0.12	35	8	84	29	112	0.80	140	1100	0.13			0.96		
CORRIDOR		165	0	0.06	0	0	0	10	10	0.80	12	300	0.04			1.05		
SYSTEM FC-1B												Max (Zp)	0.13	1.00	122	0.96	127	130
OFFICE		150	5	0.06	5	1	4	9	13	0.80	16	250	0.06			0.99		
CORRIDOR		63	0	0.12	0	0	0	8	8	0.80	9	150	0.06			0.99		
SYSTEM FC-1E												Max (Zp)	0.06	1.00	20	0.99	21	25
CONFERENCE		387	5	0.06	50	19	97	23	120	0.80	150	435	0.34			0.84		
CORRIDOR		312	0	0.06	0	0	0	19	19	0.80	23	300	0.08			1.11		
SYSTEM FC-1F												Max (Zp)	0.34	1.00	139	0.84	164	165
OFFICE		153	5	0.06	5	1	4	9	13	0.80	16	500	0.03			1.00		
CORRIDOR		141	0	0.06	0	0	0	8	8	0.80	11	85	0.12			0.91		
SYSTEM FC-1G												Max (Zp)	0.12	1.00	21	0.91	24	25
CONFERENCE		345	5	0.06	50	17	86	21	107	0.80	134	725	0.18			0.93		
CORRIDOR		150	0	0.12	0	0	0	18	18	0.80	23	370	0.06			1.05		
SYSTEM FC-1H												Max (Zp)	0.18	1.00	125	0.93	134	150
OFFICE		142	5	0.06	5	1	4	9	12	0.80	15	350	0.04			1.01		
CORRIDOR		141	0	0.06	0	0	0	8	8	0.80	11	50	0.21			0.84		
SYSTEM FC-1I												Max (Zp)	0.21	1.00	21	0.84	24	25
OFFICE		1806	5	0.06	5	9	45	108	154	0.80	192	2400	0.08			0.98		
CORRIDOR		452	0	0.06	0	0	0	27	27	0.80	34	400	0.08			0.98		
SYSTEM FC-2A												Max (Zp)	0.08	1.00	181	0.98	184	190
COMPUTER		419	10	0.12	25	10	105	50	155	0.80	194	1095	0.18			1.00		
SYSTEM FC-2I												Max (Zp)	0.18	1.00	194	1.00	194	200
CONFERENCE		256	5	0.06	50	13	64	15	79	0.80	99	735	0.13			1.00		
SYSTEM FC-2K												Max (Zp)	0.13	1.00	99	1.00	99	100
CORRIDOR		366	0	0.06	0	0	0	22	22	0.80	27	735	0.04			1.00		
SYSTEM FC-2L												Max (Zp)	0.04	1.00	27	1.00	27	105
LOBBY		289	5	0.06	10	3	14	17	32	0.80	40	950	0.04			0.99		
OFFICE		143	5	0.06	5	1	4	9	12	0.80	15	250	0.06			0.98		
SYSTEM IU/OU-1												Max (Zp)	0.06	1.00	44	0.98	45	50
OFFICE		730	5	0.06	5	4	18	44	62	0.80	78	1200	0.06			1.00		
SYSTEM IU/OU-2												Max (Zp)	0.06	1.00	78	1.00	78	100
OFFICE		171	5	0.06	5	1	4	10	15	0.80	18	750	0.02			1.02		
STORAGE		218	0	0.12	0	0	0	26	26	0.80	33	250	0.13			0.91		
SYSTEM FC-3C												Max (Zp)	0.13	1.00	41	0.91	45	50
OFFICE		1144	5	0.06	5	6	29	69	97	0.80	122	1400	0.09			1.00		
SYSTEM FC-3D												Max (Zp)	0.09	1.00	122	1.00	122	125
OFFICE		511	5	0.06	5	3	13	31	43	0.80	54	1150	0.05			0.99		
CORRIDOR		178	0	0.06	0	0	0	11	11	0.80	13	250	0.05			0.99		
SYSTEM FC-3E												Max (Zp)	0.05	1.00	54	0.99	55	60
CONFERENCE		572	5	0.06	50	29	143	34	177	0.80	222	1500	0.15			0.95		
CORRIDOR		382	0	0.06	0	0	0	23	23	0.80	29	500	0.06			1.04		
SYSTEM FC/CU-4												Max (Zp)	0.15	1.00	200	0.95	210	210
KITCHEN		927	7.5	0.12	20	19	139	111	250	0.80	313	800	0.39			1.00		
SYSTEM MAU-1												Max (Zp)	0.39	1.00	313	1.00	313	2,700

COMPLIANCE: OSA REQUIRED = 2,063 CFM - BUILDING OSA PROVIDED INCLUDING KITCHEN MAKE-UP= 4,610 CFM- OUTSIDE AIR PROVIDED MEETS OR EXCEEDS IMC MINIMUM REQUIREMENTS.

CALCULATION NOTES:

1. COOLING AND HEATING VENTILATION CALCULATIONS ARE IN ACCORDANCE WITH IMC 2018 SECTION 403 AND ASHRAE REQUIREMENTS.

2. ZONE AIR DISTRIBUTION EFFECTIVENESS EZ=0.8 USED FOR CEILING SUPPLY OF WARM AIR AND CEILING RETURN PER IMC TABLE 403.3.1.2.

TEST AND BALANCE NOTES:

1. TEST AND BALANCE CONTRACTOR TO ADJUST EACH UNITS OUTSIDE AIR INTAKE IN ACCORDANCE WITH THE VAV FC UNIT SCHEDULE SHEET M002.

2. SEE CONTROL SEQUENCE OF OPERATIONS FOR UNIT OUTSIDE AIR AND EXHAUST CONTROLS.

3. THE CITY INSPECTOR SHALL RECEIVE A COPY OF A THIRD PARTY CERTIFIED AIR BALANCE REPORT CONDUCTED IN ACCORDANCE WITH AABC OR NEBB TESTING STANDARDS PRIOR TO THE ISSUE OF THE CERTIFICATE OF OCCUPANCY.

BUILDING AIR BALANCE AND PRESSURE EQUALIZATION IN ACCORDANCE WITH IMC 2018 SECTION 501.4:

AIR BALANCE: 4,610 CFM OSA - 850 BUILDING EXHAUST - 3,360 KITCHEN EXHAUST - 400 CFM BUILDING RELIEF = 0, SLIGHTLY POSITIVE PRESSURIZATION.

1

REFRIGERANT PIPING THRU WALL  
DETAIL

SCALE N.T.S.

2

ROOF VENT TERMINATION DETAIL

SCALE N.T.S.

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
Ryden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaesign.com

civil engineer:  
Wilson & Company  
410 N 44th Street Suite 450  
Phoenix, AZ 85008  
602.283.5703  
www.wilsonco.com

mechanical/electrical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.ws

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

2977

GREGORY PIRAINO

Professional Engineer

Arizona License No. 29717

Gregory Piraino

Expiry Date: 05/28/2024

REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT NO: 0520-0020

DATE: May 28, 2024

APPLIED  
ENGINEERING

2800 S. RURAL RD., SUITE 101  
TEMPE, AZ 85282 (480)968 3070  
JOB NUMBER 21-017

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	57	117

4/1/2021 1:23:58 PM

4/1/2021 1:23:58 PM

AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION, Q.S.11-31



EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
**City of Phoenix**  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
[www.phoenix.gov](http://www.phoenix.gov)

architect:  
**Multistudio**  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
**Ryden Architects**  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
[www.rydenarchitects.com](http://www.rydenarchitects.com)

structural engineer:  
**BDA design**  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
[www.bdadesign.com](http://www.bdadesign.com)

civil engineer:  
**Wilson & Company**  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.283.2701  
[www.wilsonco.com](http://www.wilsonco.com)

mechanical/electrical engineer  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
[www.appliedengineering.ws](http://www.appliedengineering.ws)

landscape architect:  
**Floor Associates**  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
[www.floorassociates.com](http://www.floorassociates.com)

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS  
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR  
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



Expires 12/31/2025

Applied Engineering	
Arizona License No.: 29717	
Gregory Piraino	Date: 05/28/2024
Engineer	

## REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT NO: 0520-0020  
DATE: May 28, 2024

Mechanical  
COMCHEC

# M40C

## 2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	58	117



**COMcheck Software Version 4.1.1.0**  
**Mechanical Compliance Certificate**

### Project Information

Energy Code:	2018 IECC
Project Title:	Edison Impact Hub
Location:	Phoenix, Arizona
Climate Zone:	2b
Project Type:	Alteration

Construction Site: \_\_\_\_\_ Owner/Agent: \_\_\_\_\_ Designer/Contractor: \_\_\_\_\_

### Mechanical Systems List

[illegible]

1 CU-1 (Single Zone):  
VRF Condensing Unit Air Cooled Heat Pump  
Heating Mode: Capacity = 247 MBtu/h  
No minimum efficiency requirement applies  
Cooling Mode: Capacity = 261 MBtu/h  
No minimum efficiency requirement applies  
Fan System: Unspecified

1 FC-1A (Single Zone):  
Cooling: 1 each - VRF Zone Fan Unit, Capacity = 41 MBtu/h, No Economizer, Economizer exception: Low Capacity Residential  
No minimum efficiency requirement applies  
Fan System: 4 Tion Fan – Compliance (Motor nameplate HP method) : Passes  
Fans:  
FAN 1 Supply, Constant Volume, 1400 CFM, 1.0 motor nameplate hp, 0.8 fan efficiency grade

1 FC-1B (Single Zone):  
Cooling: 1 each - VRF Zone Fan Unit, Capacity = 31 MBtu/h, No Economizer, Economizer exception: Low Capacity Residential  
No minimum efficiency requirement applies  
Fan System: 3 Tion Fan – Compliance (Motor nameplate HP method) : Passes  
Fans:  
FAN 2 Supply, Constant Volume, 1005 CFM, 1.0 motor nameplate hp, 0.8 fan efficiency grade

1 FC-1C & 1D (Single Zone):  
Cooling: 2 each - VRF Zone Fan Unit, Capacity = 21 MBtu/h, No Economizer, Economizer exception: Low Capacity Residential  
No minimum efficiency requirement applies  
Fan System: 2 Tion Floor Mount – Compliance (Motor nameplate HP method) : Passes  
Fans:  
FAN 6 Supply, Constant Volume, 494 CFM, 0.5 motor nameplate hp, 0.8 fan efficiency grade

1 FC-1E (Single Zone):  
Cooling: 1 each - VRF Zone Fan Unit, Capacity = 10 MBtu/h, No Economizer, Economizer exception: Low Capacity Residential  
No minimum efficiency requirement applies  
Fan System: 1 Tion Fan – Compliance (Motor nameplate HP method) : Passes  
Fans:  
FAN 5 Supply, Constant Volume, 400 CFM, 0.5 motor nameplate hp, 0.8 fan efficiency grade

1 FC-1F (Single Zone):  
Cooling: 1 each - VRF Zone Fan Unit, Capacity = 21 MBtu/h, No Economizer, Economizer exception: Low Capacity Residential  
No minimum efficiency requirement applies  
Fan System: 2 Tion Fan – Compliance (Motor nameplate HP method) : Passes

Project Title: Edison Impact Hub Report date: 10/22/21  
Data filename: Untitled.cck Page 1 of 38

[illegible]

FAN 11 Supply: Constant Volume, 775 CFM, 0.5 motor nameplate hp, 0.8 fan efficiency grade

1 WH-1:  
Gas Storage Water Heater, Capacity: 110 gallons, Input Rating: 199 kBTU/h w/ Circulation Pump  
Proposed Efficiency: 95.00 % Et, Required Efficiency: 80.00 % Et

3 WH-2, WH-3, & WH-4:  
Electric Storage Water Heater, Capacity: 30 gallons w/ Circulation Pump  
Proposed Efficiency: 1.20 SL, %h (if > 12 kW), Required Efficiency: 1.20 SL, %h (if > 12 kW)

### Mechanical Compliance Statement

**Compliance Statement:** The proposed mechanical alteration project represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed mechanical systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.1.0 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Chris Thilmony EIT	Chris Thilmony	10.22.2021
Name - Title	Signature	Date

---

Project Title: Edison Impact Hub

Data filename: Untitled.cck

Report date: 10/22/21

Page 5 of 38

**APPLIED  
ENGINEERING**

2800 S. RURAL RD. SUITE 100  
TEMPE, AZ 85282 (480)968 3070  
JOB NUMBER 21-017

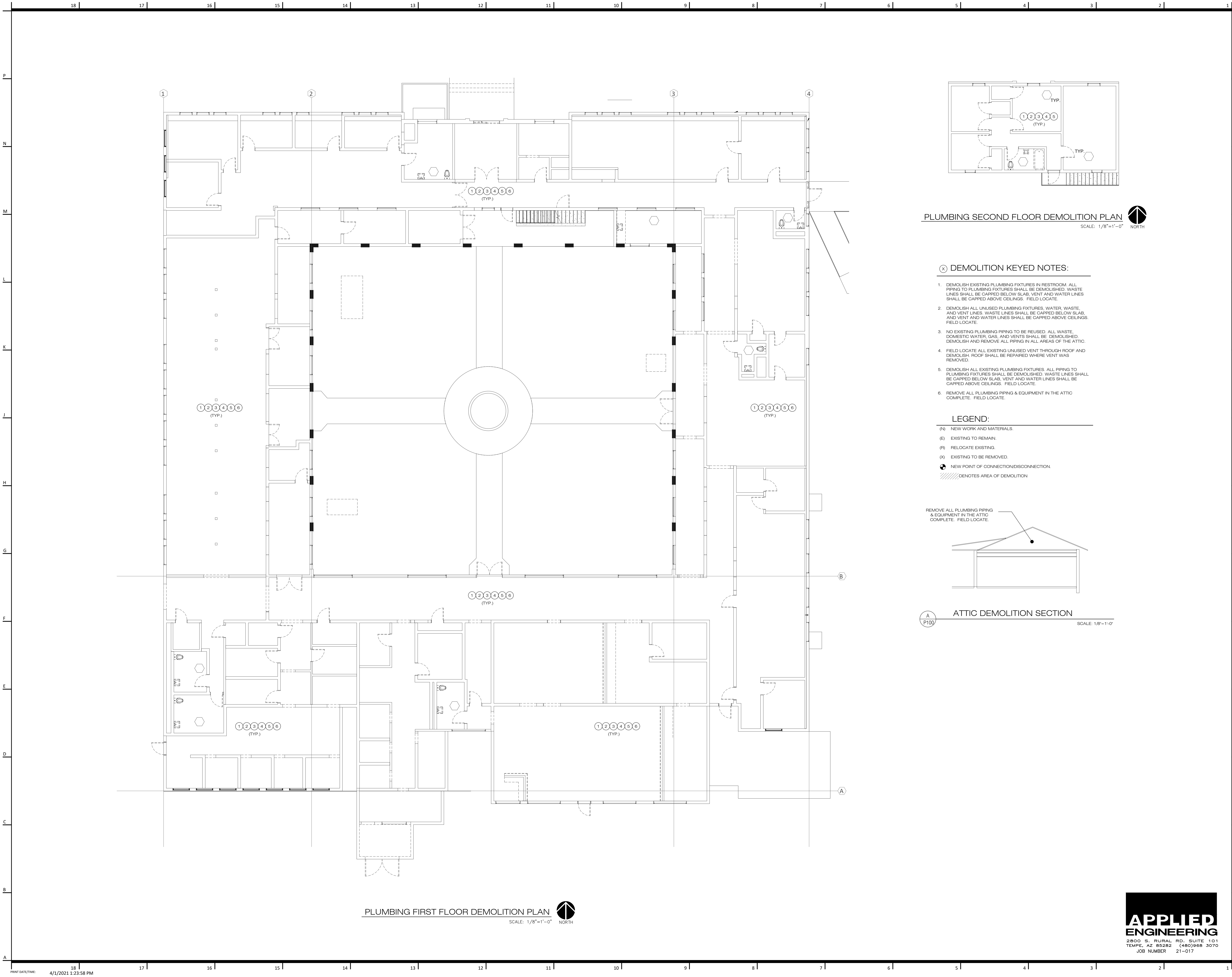












multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
Ryden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

civil engineer:  
Wilson & Company  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.283.7701  
www.wilsonco.com

mechanical/electrical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.ws

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.



Applied Engineering  
Arizona License No. 29717  
Gregory Piraino Date: 2/25/2022  
Engineer

### REVISIONS

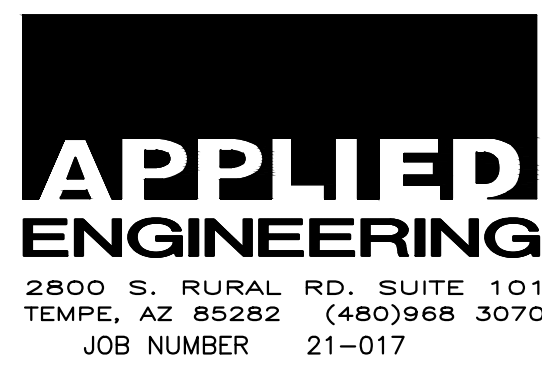
Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT NO: 0520-0020  
DATE: February 25, 2022

Plumbing  
Demolition  
Floor Plan  
**P100**

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	61	117





## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
Ryden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaesign.com

civil engineer:  
Wilson & Company  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.283.7703  
www.wilsonco.com

mechanical/electrical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.us

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL, SIGNATURE AND DATE IS AFFIRMED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.



Applied Engineering  
Arizona License No. 29717  
Gregory Pina Date: 2/25/2022  
Engineer

REVISIONS		
Number	DESCRIPTION	DATE
1	CITY COMMENTS	02/25/2022

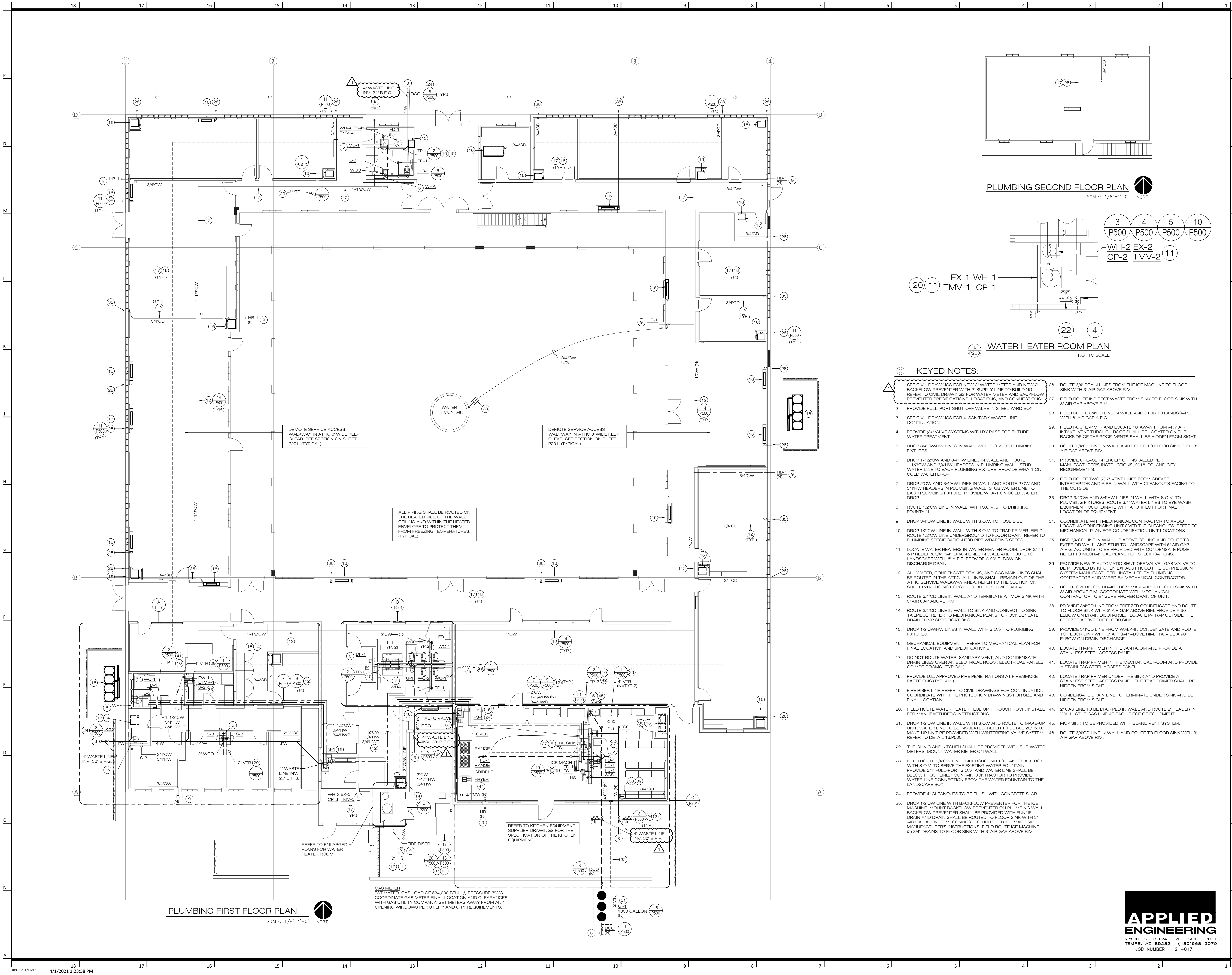
PROJECT NO: 0520-0020  
DATE: February 25, 2022

**APPLIED  
ENGINEERING**  
2800 S. RURAL RD., SUITE 101  
TEMPE, AZ 85282 (480)968 3070  
JOB NUMBER 21-017

Plumbing  
Floor Plan  
**P200**

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	62	117





EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

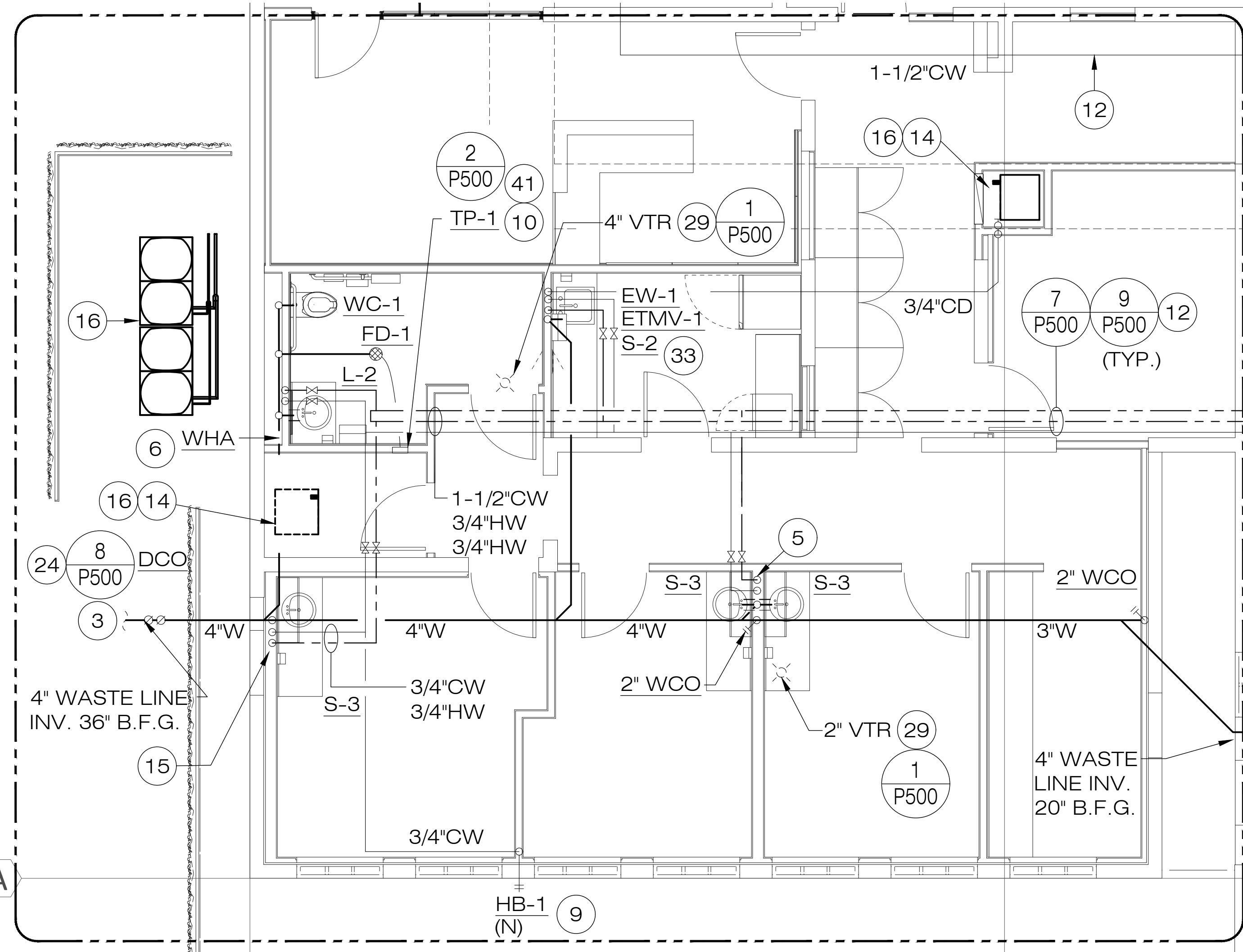
historic preservation:  
Hyden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.hydenarchitects.com

structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

civil engineer:  
Wilson & Company  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.283.1701  
www.wilsonco.com

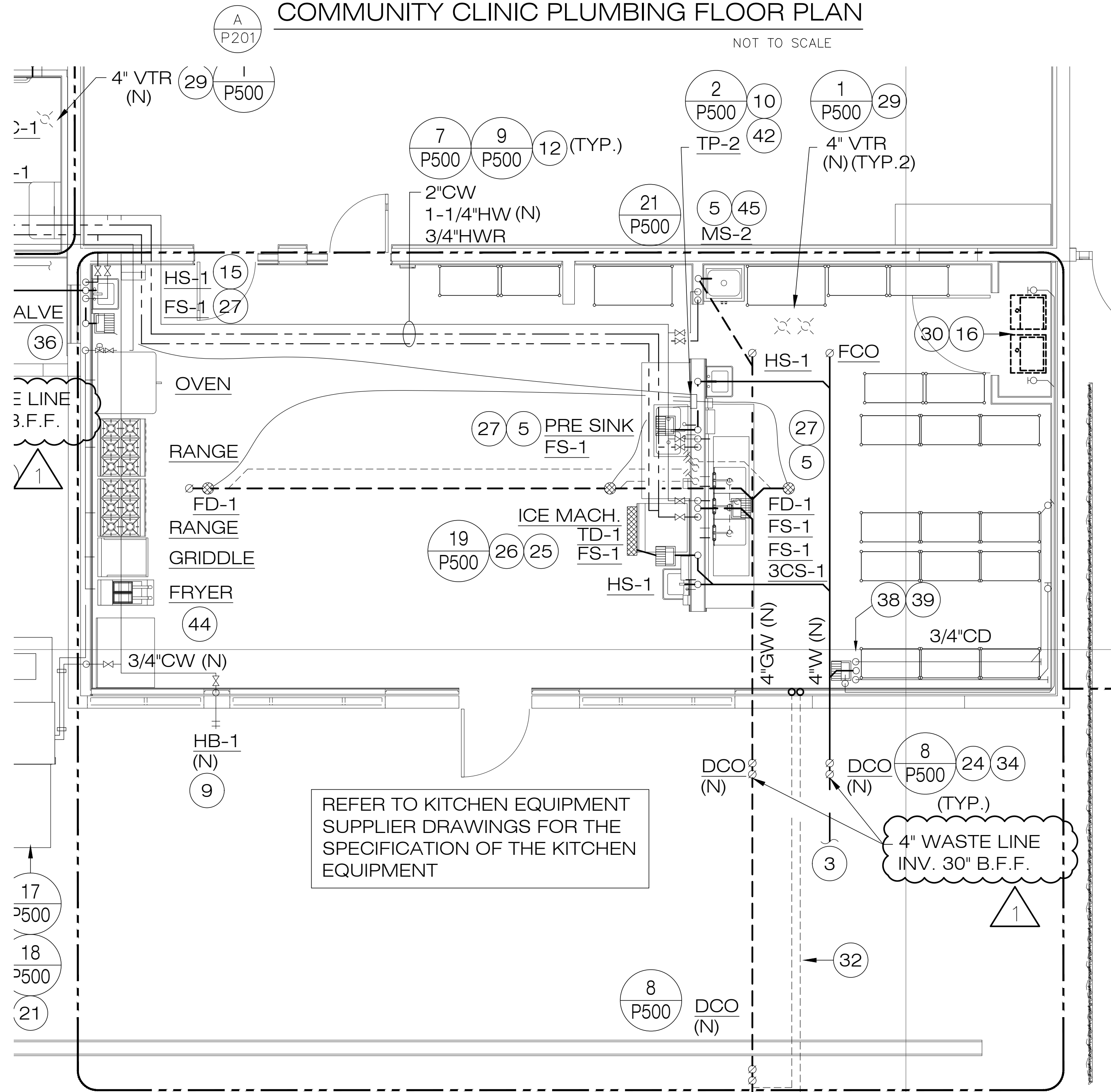
mechanical/electrical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering-us.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com



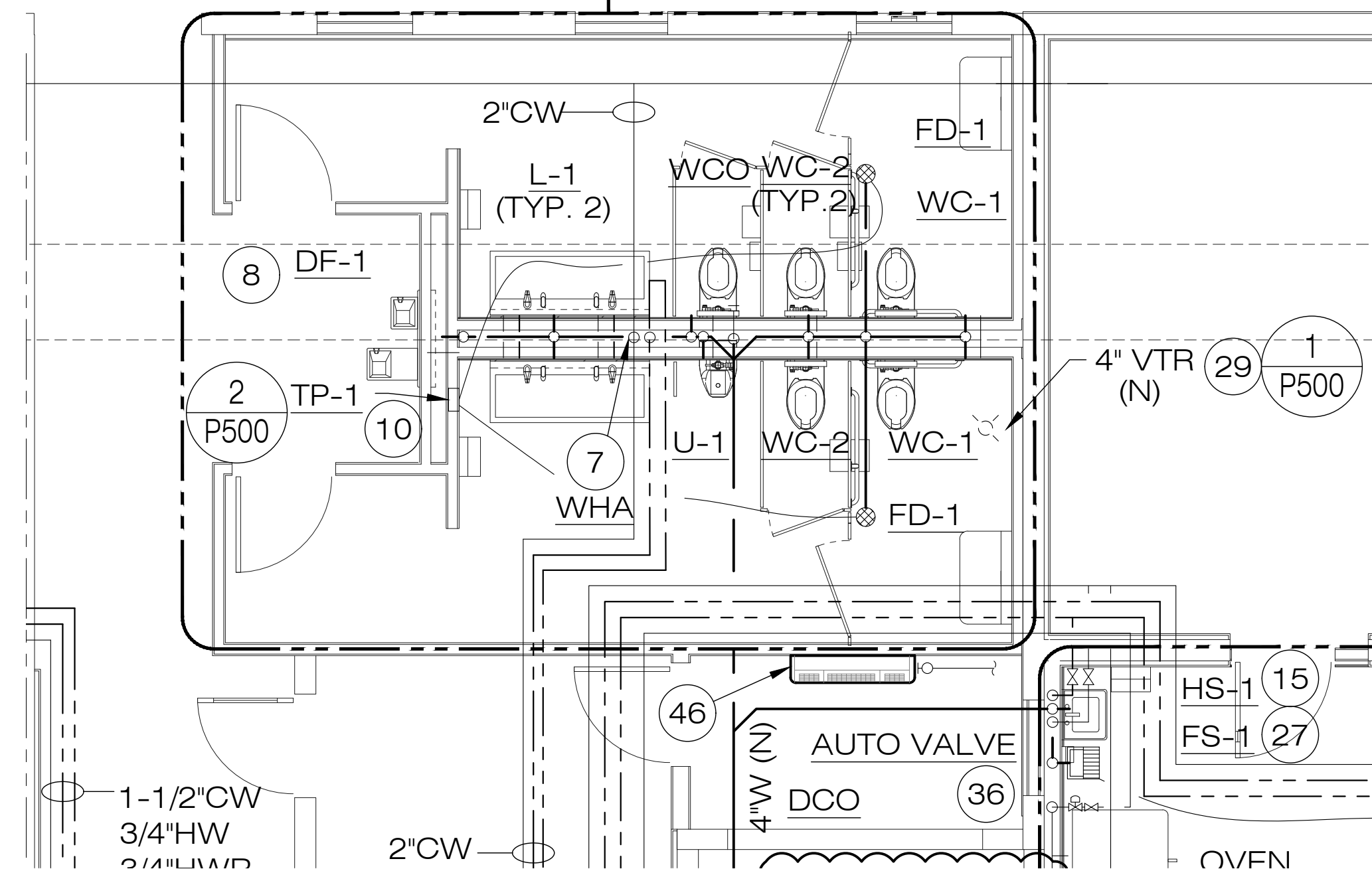
COMMUNITY CLINIC PLUMBING FLOOR PLAN

NOT TO SCALE



COMMUNITY KITCHEN PLUMBING FLOOR PLAN

NOT TO SCALE



RESTROOM PLUMBING FLOOR PLAN

NOT TO SCALE

GENERAL NOTES: (X)

1. REFER TO KEY NOTES ON SHEET P200.

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

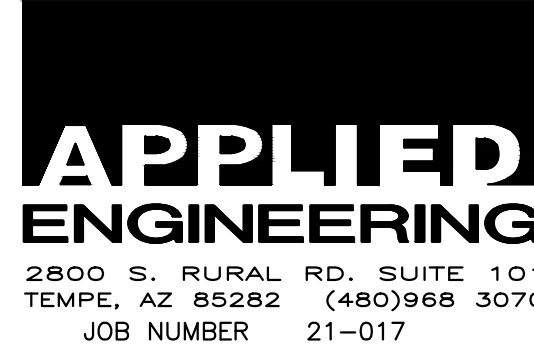
UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.



Applied Engineering  
Arizona License No. 29717  
Gregory Pirano Date: 2/25/2022  
Engineer

REVISIONS		
Number	DESCRIPTION	DATE

PROJECT NO: 0520-0020  
DATE: February 25, 2022



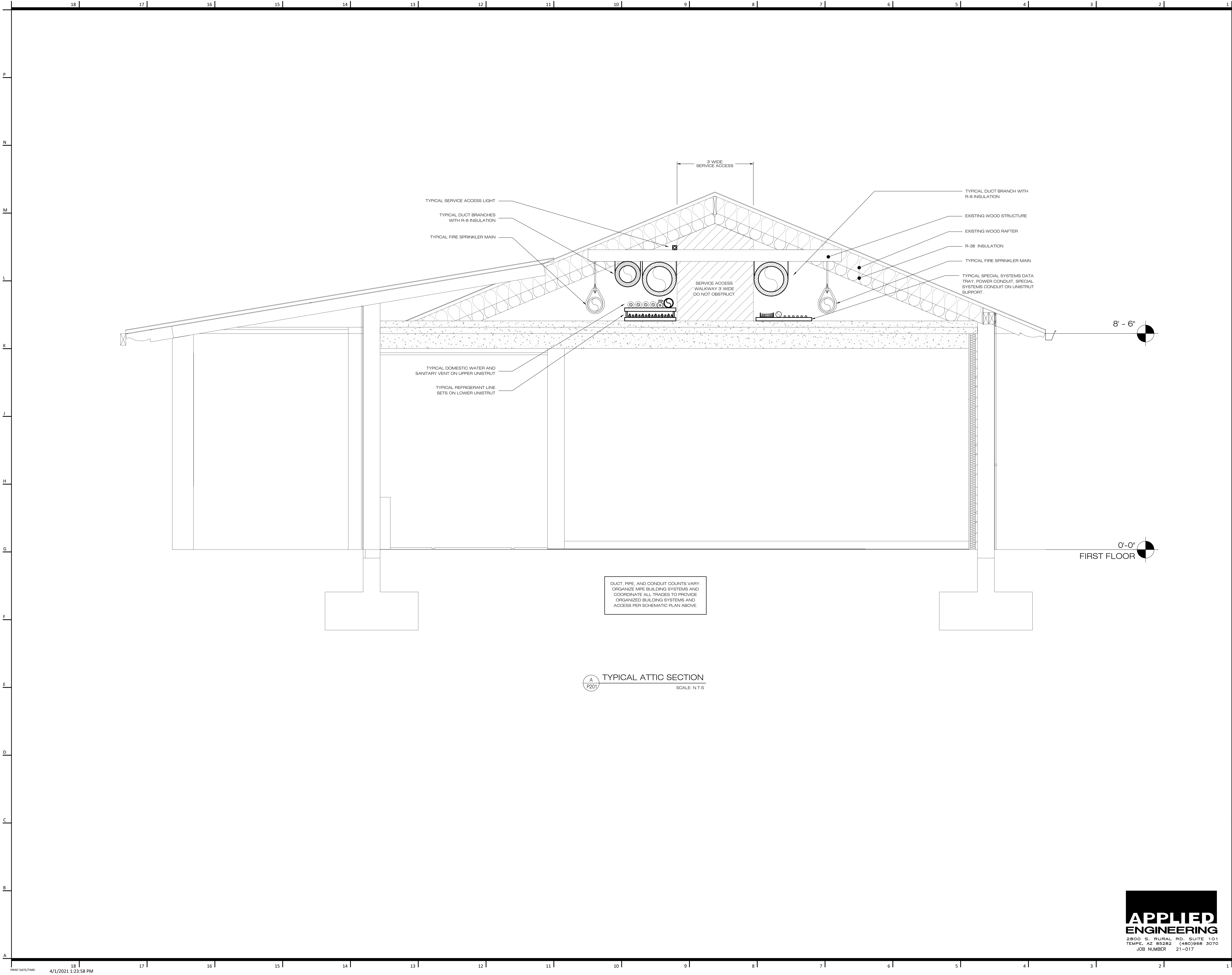
Plumbing  
Enlarged  
Plans

P201

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	63	117





multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
Hyden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.hydenarchitects.com

structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

civil engineer:  
Wilson & Company  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.283.1701  
www.wilsonco.com

mechanical/electrical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.ws

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.



Applied Engineering  
Arizona License No. 29717  
Gregory Pirano  
Engineer Date: 2/25/2022

### REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

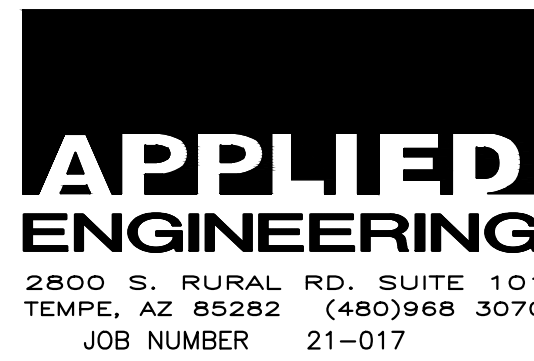
PROJECT NO: 0520-0020  
DATE: February 25, 2022

Plumbing  
Section

P202

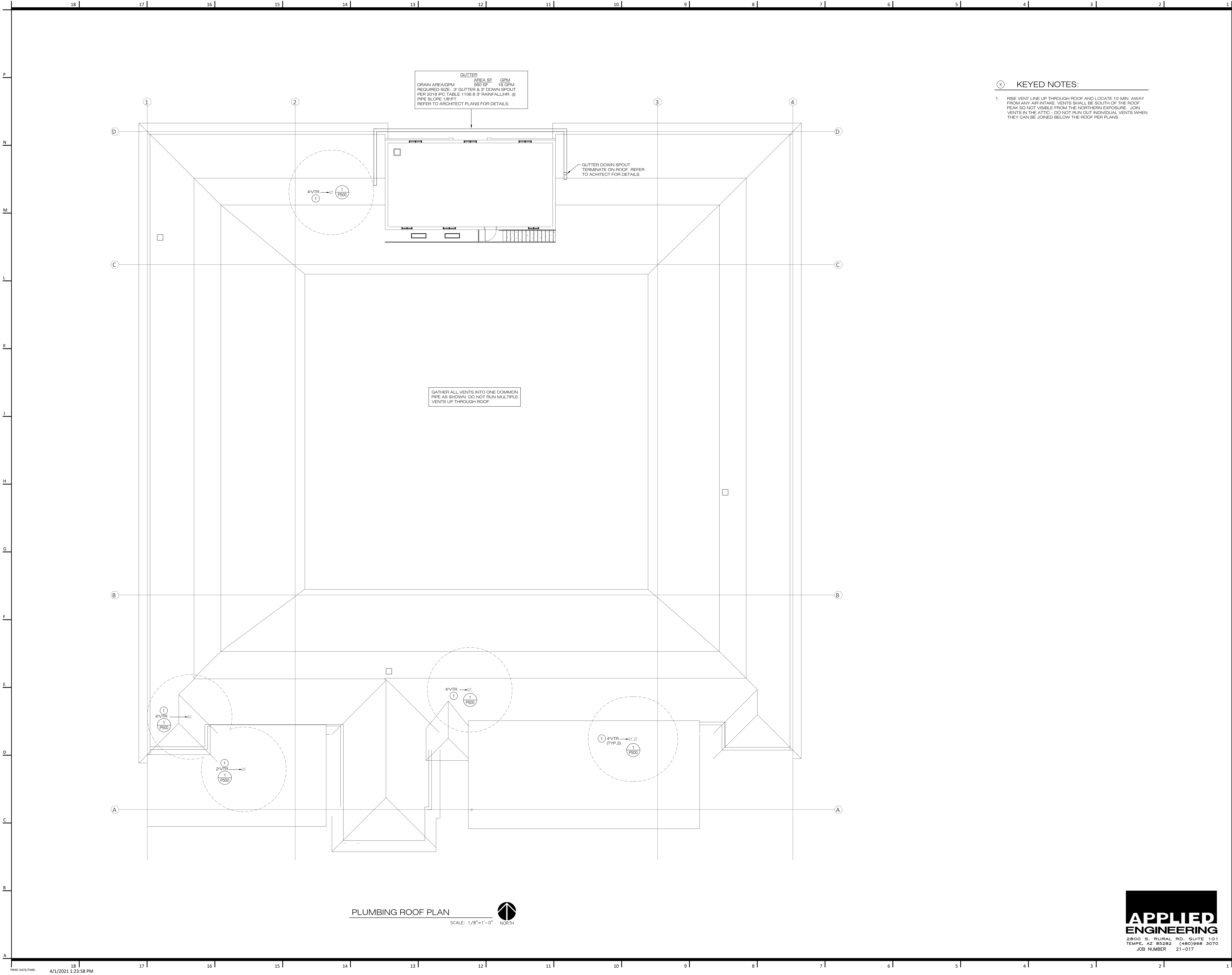
2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	64	117



AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION, Q.S.11-31





KEYED NOTES:

1. RISE VENT LINE UP THROUGH ROOF AND LOCATE 10' MIN. AWAY FROM ANY AIR INTAKE. VENTS SHALL BE SOUTH OF THE ROOF PEAK SO NOT VISIBLE FROM THE NORTHERN EXPOSURE. JOIN VENTS IN THE ATTIC - DO NOT RUN OUT INDIVIDUAL VENTS WHEN THEY CAN BE JOINED BELOW THE ROOF PER PLANS.

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
Nyden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.nydenarchitects.com

structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

civil engineer:  
Wilson & Company  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.383.1701  
www.wilsonco.com

mechanical/electrical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.ws

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.

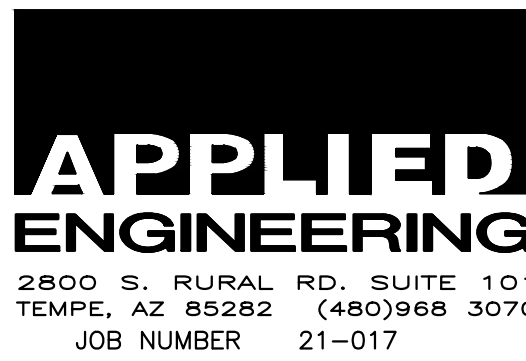


Applied Engineering  
Arizona License No. 29717  
Gregory Piraino Date: 2/25/2022  
Engineer

REVISIONS

Number DESCRIPTION DATE

PROJECT NO: 0520-0020  
DATE: February 25, 2022



Plumbing  
Roof Plan  
P300

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	65	117

AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION, Q.S.11-31



EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
Hyden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.hydenarchitects.com

structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

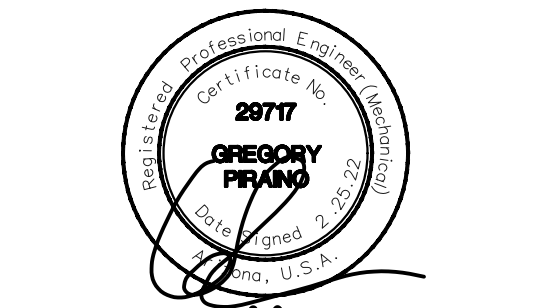
civil engineer:  
Wilson & Company  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.283.1701  
www.wilsonco.com

mechanical/electrical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.ws

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.



Applied Engineering  
Arizona License No. 29717  
Gregory Piraino Date: 2/25/2022  
Engineer

REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT NO: 0520-0020  
DATE: February 25, 2022

Plumbing  
Isometric  
P400

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	66	117

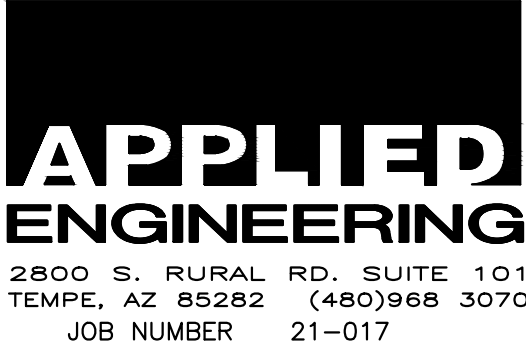
GAS DATA
SIZING PER 2018 IFGC
TABLE 402.4(2)
TOL = 120'
PRESSURE = 7"WC
TOTAL LOAD = 989,000 BTUH

NATURAL GAS PIPING ISOMETRICS  
NOT TO SCALE

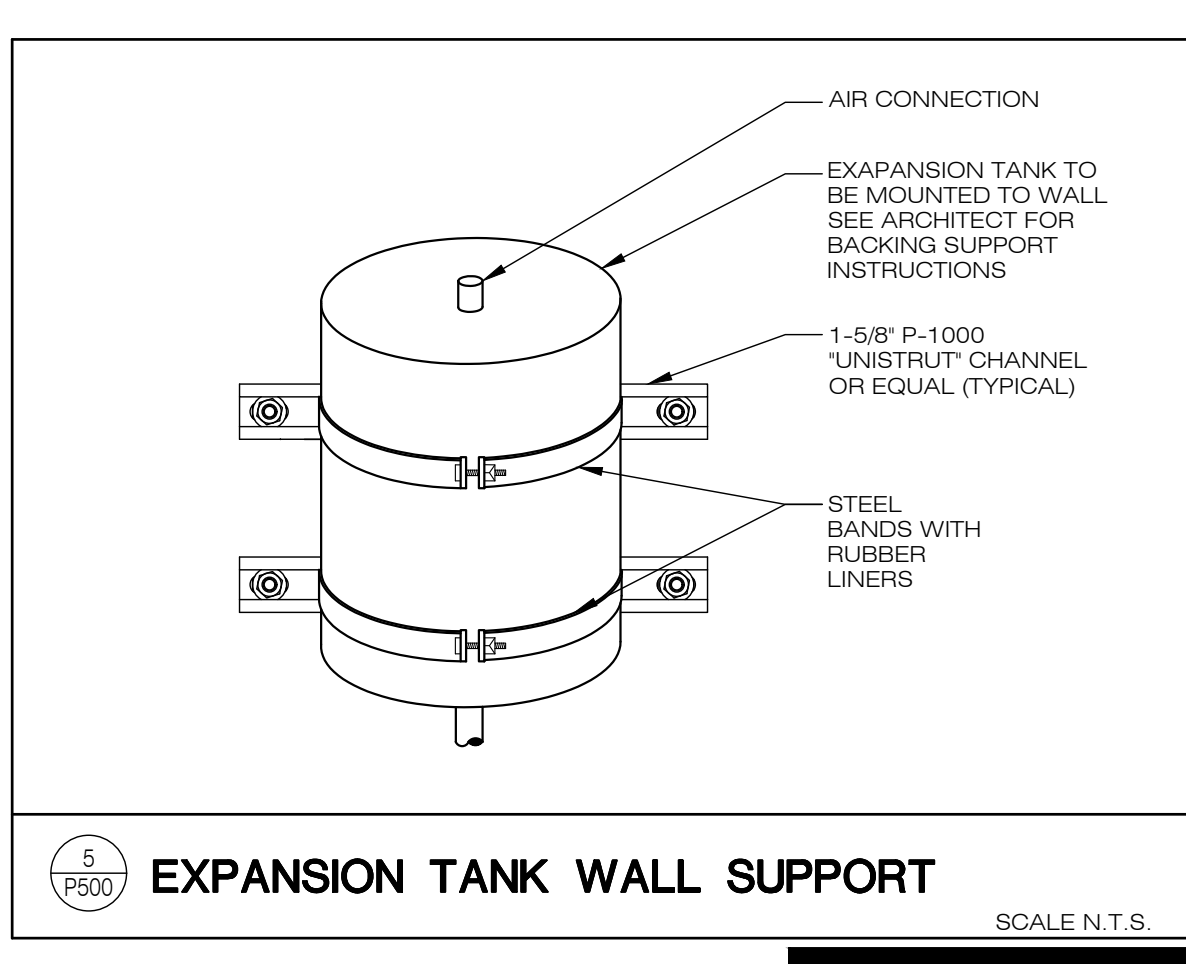
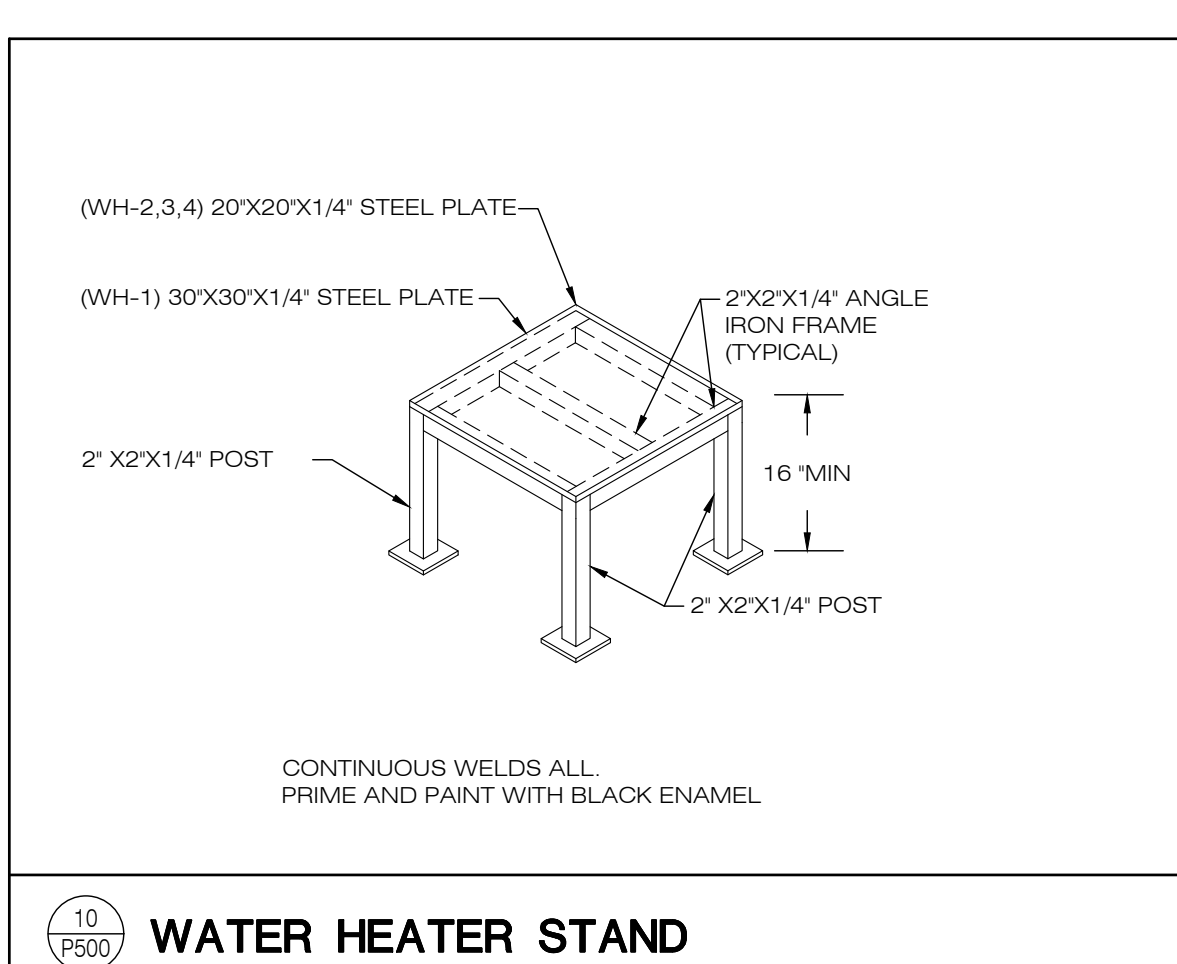
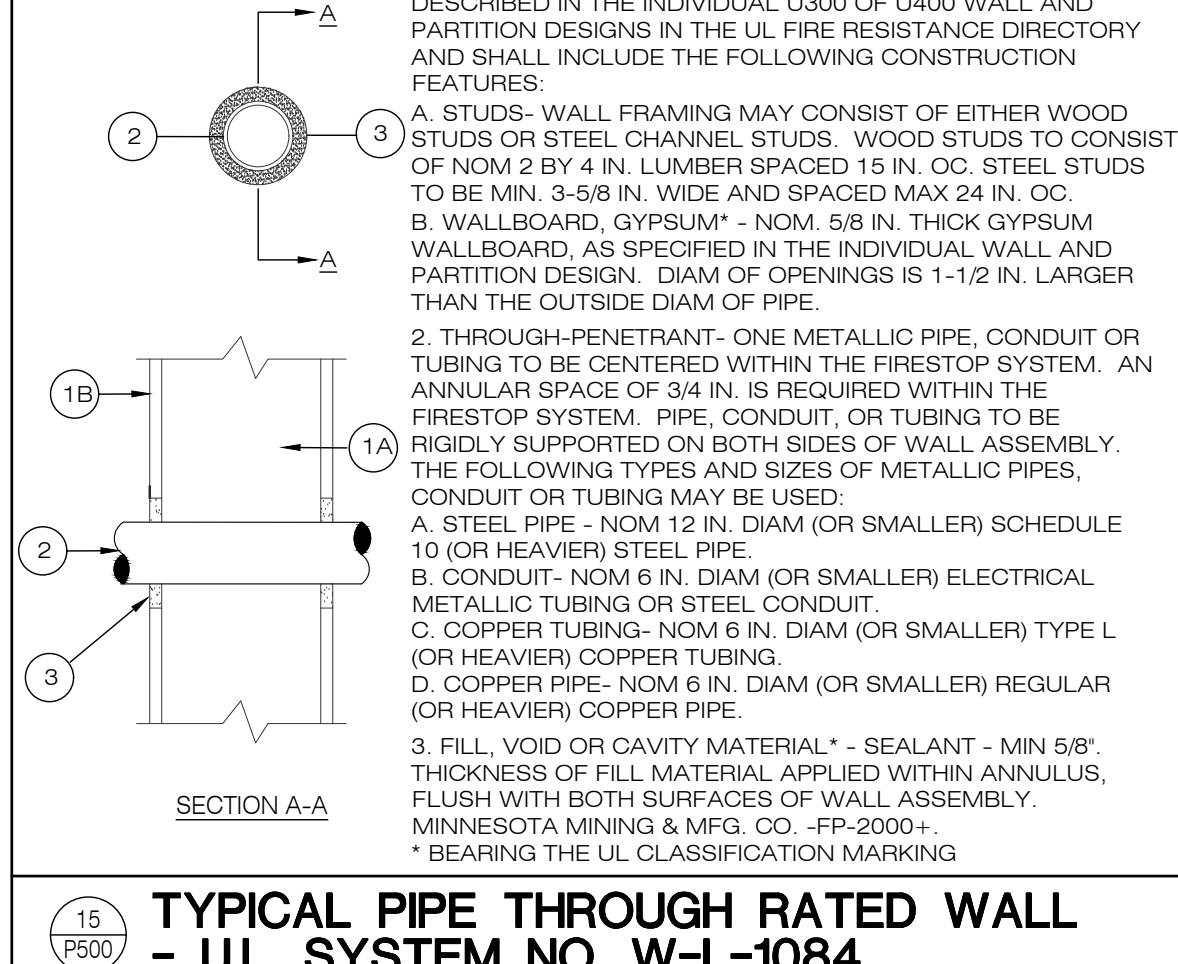
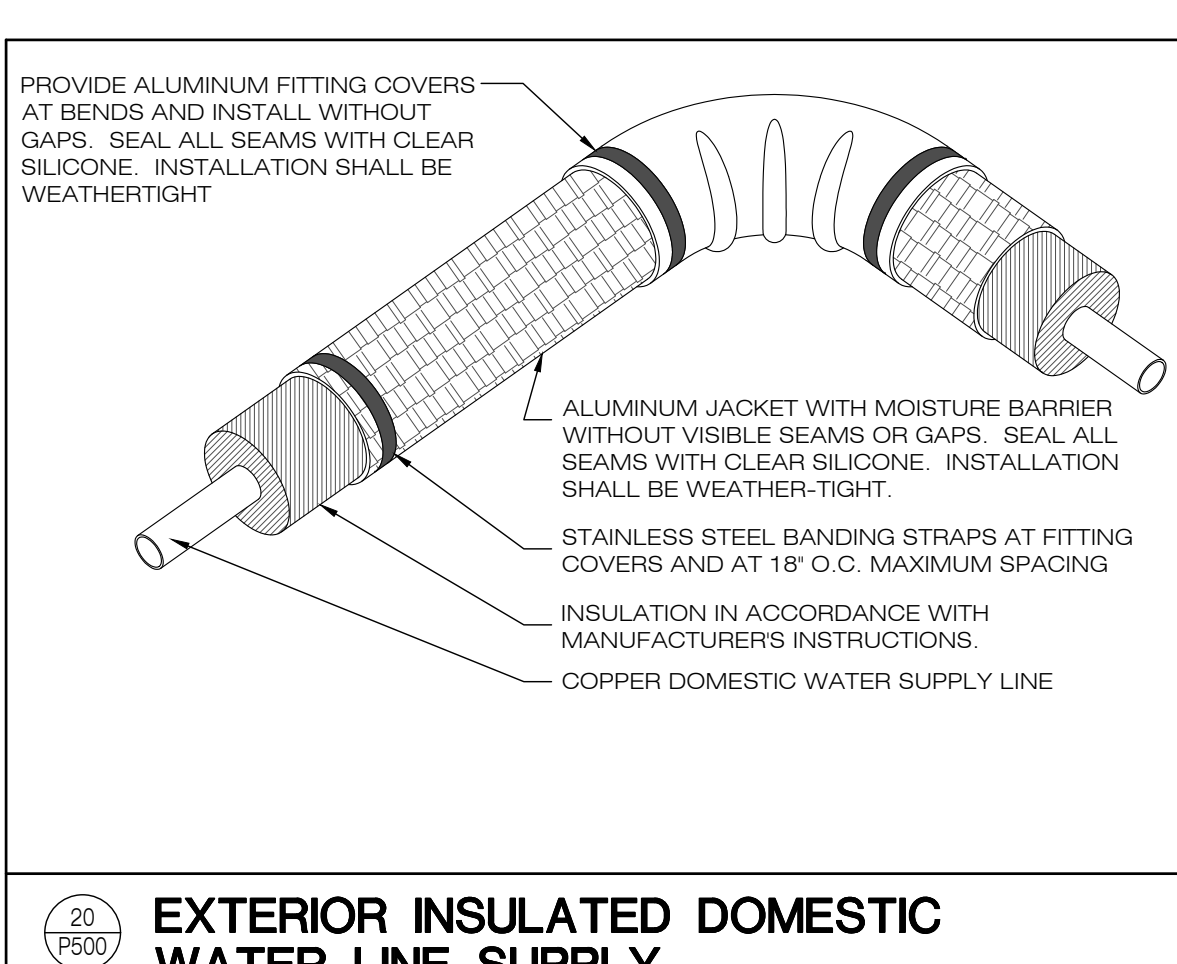
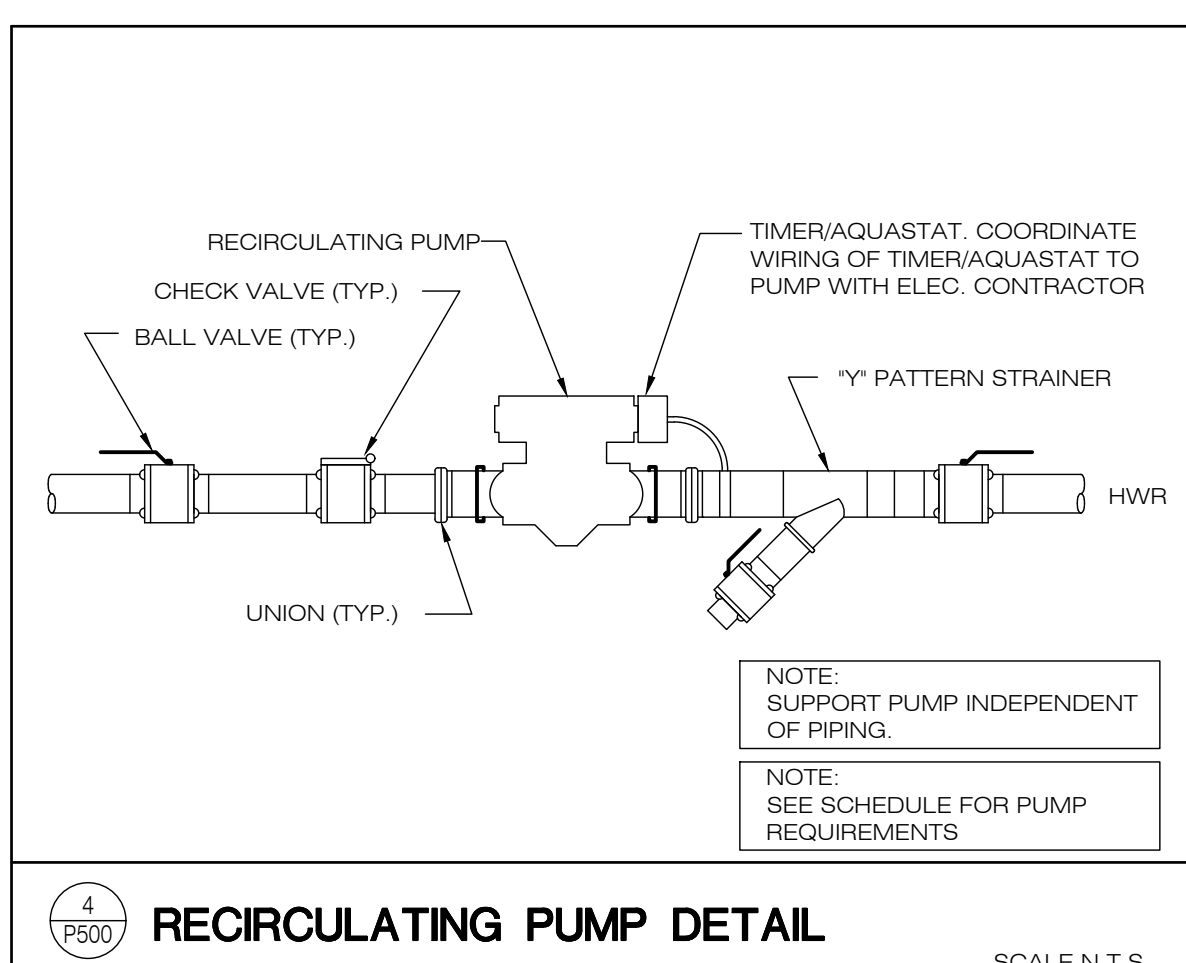
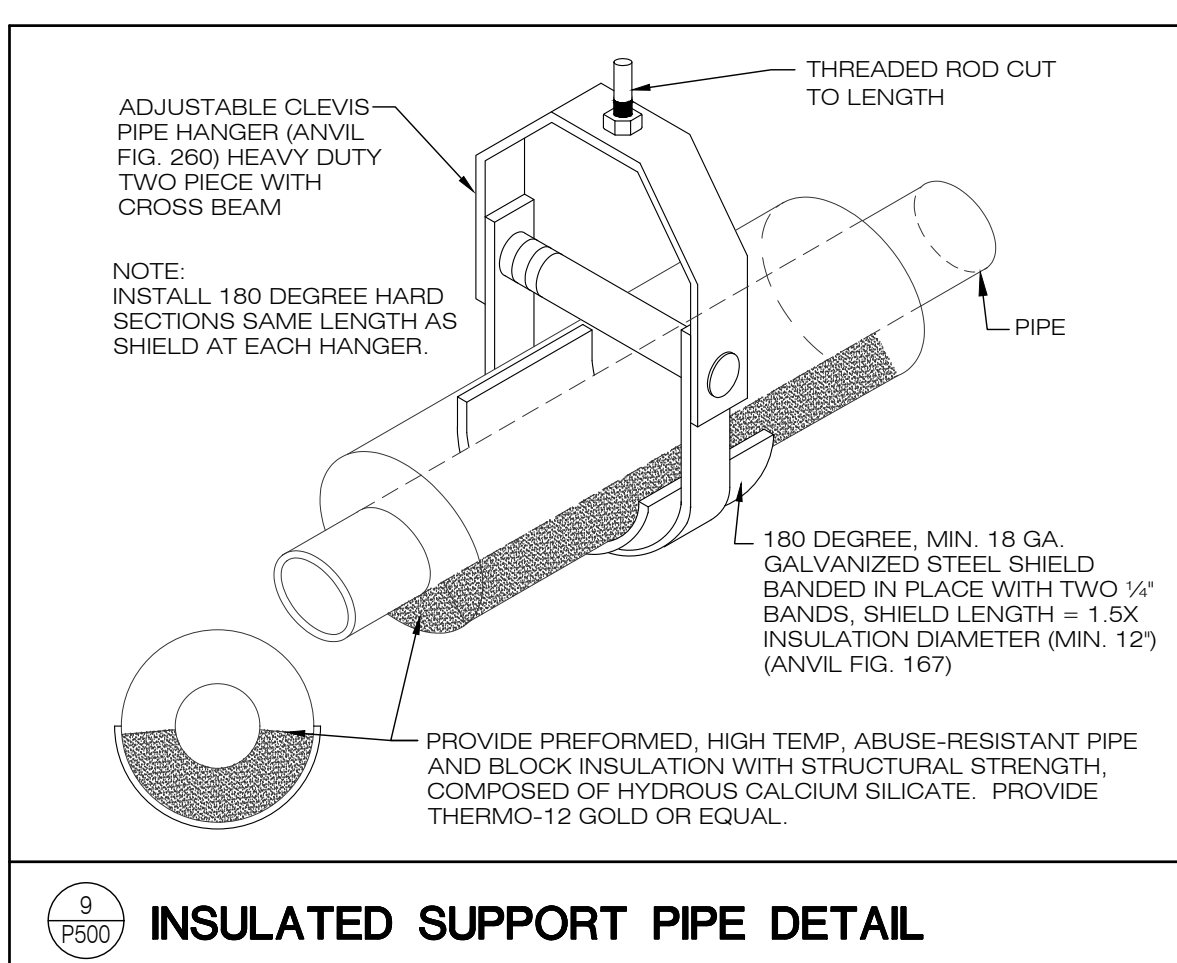
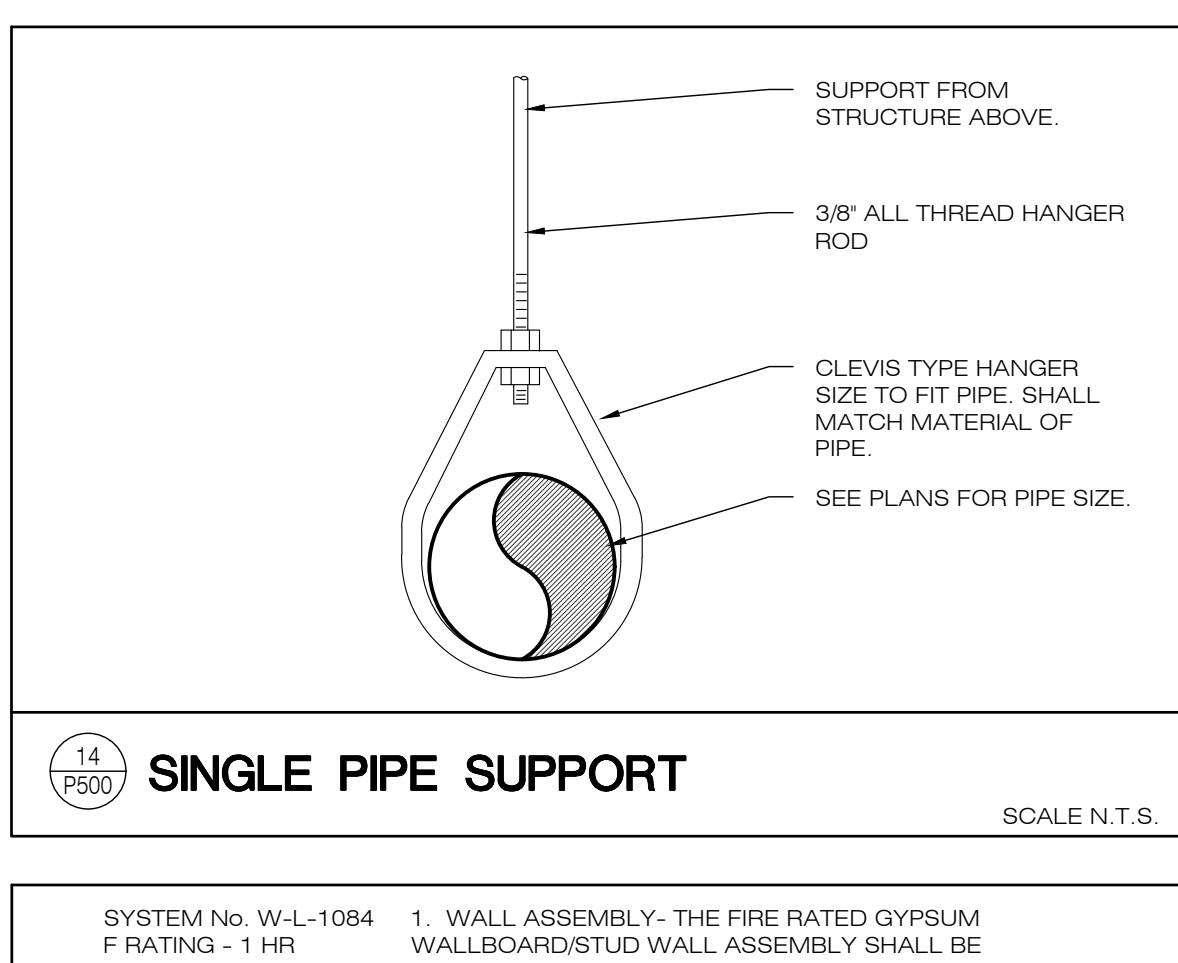
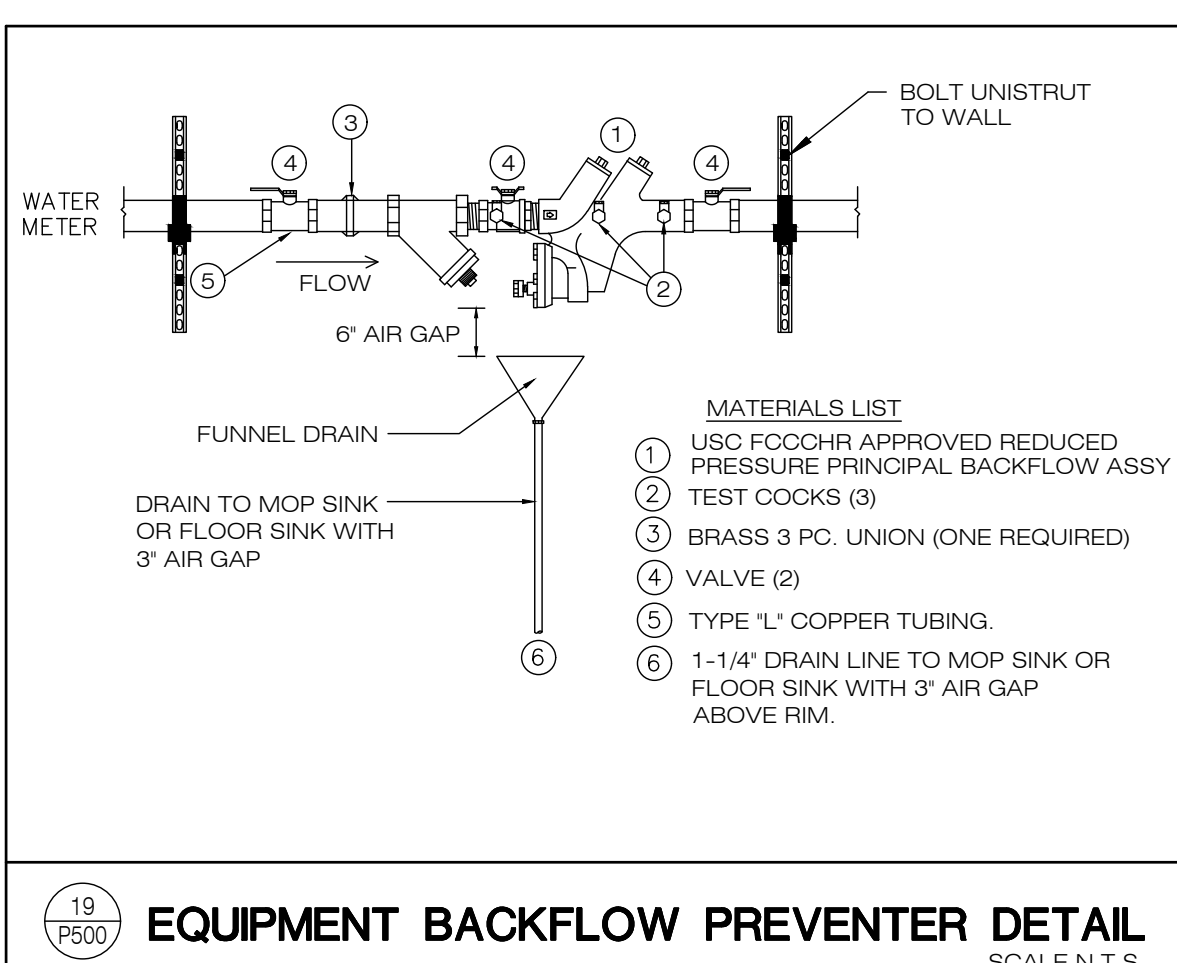
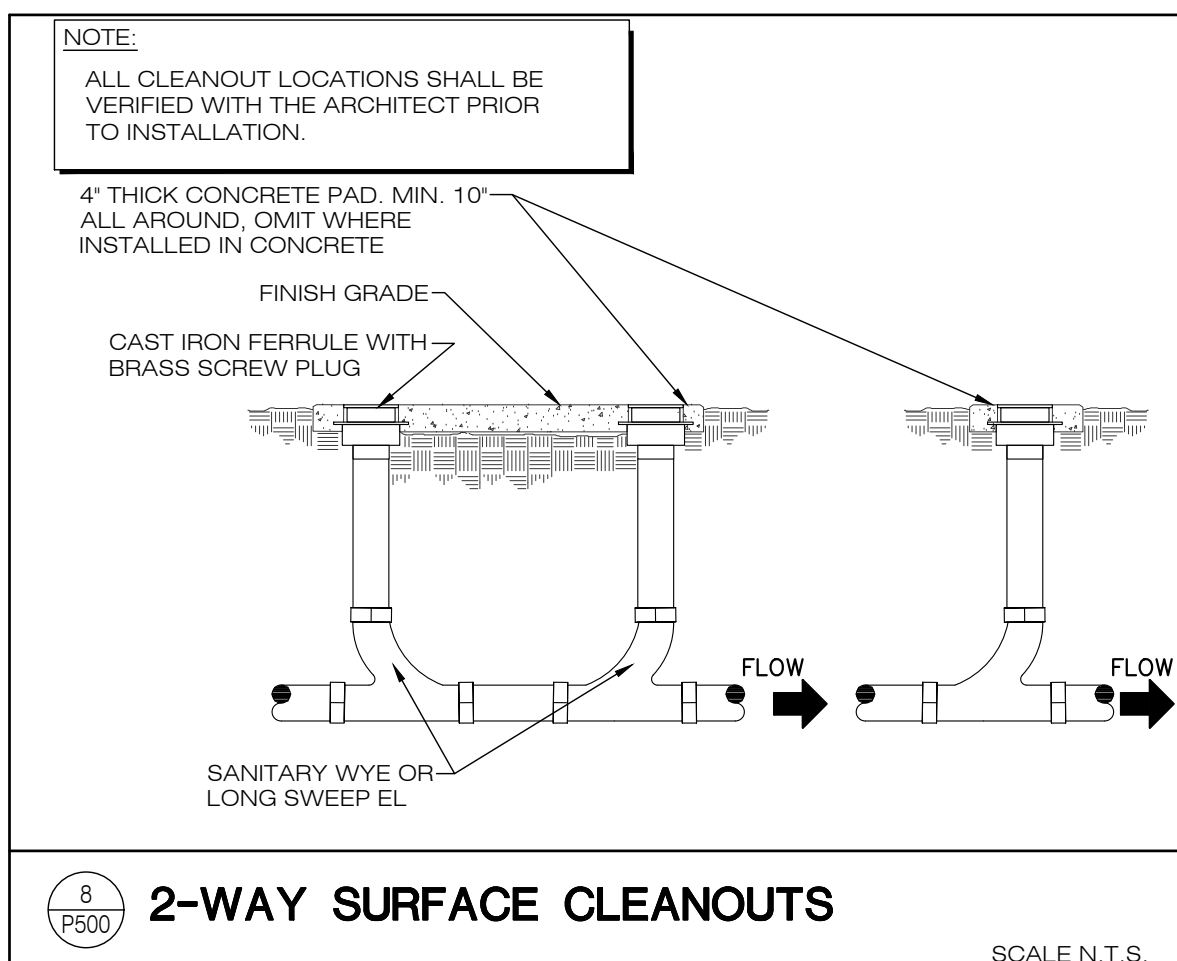
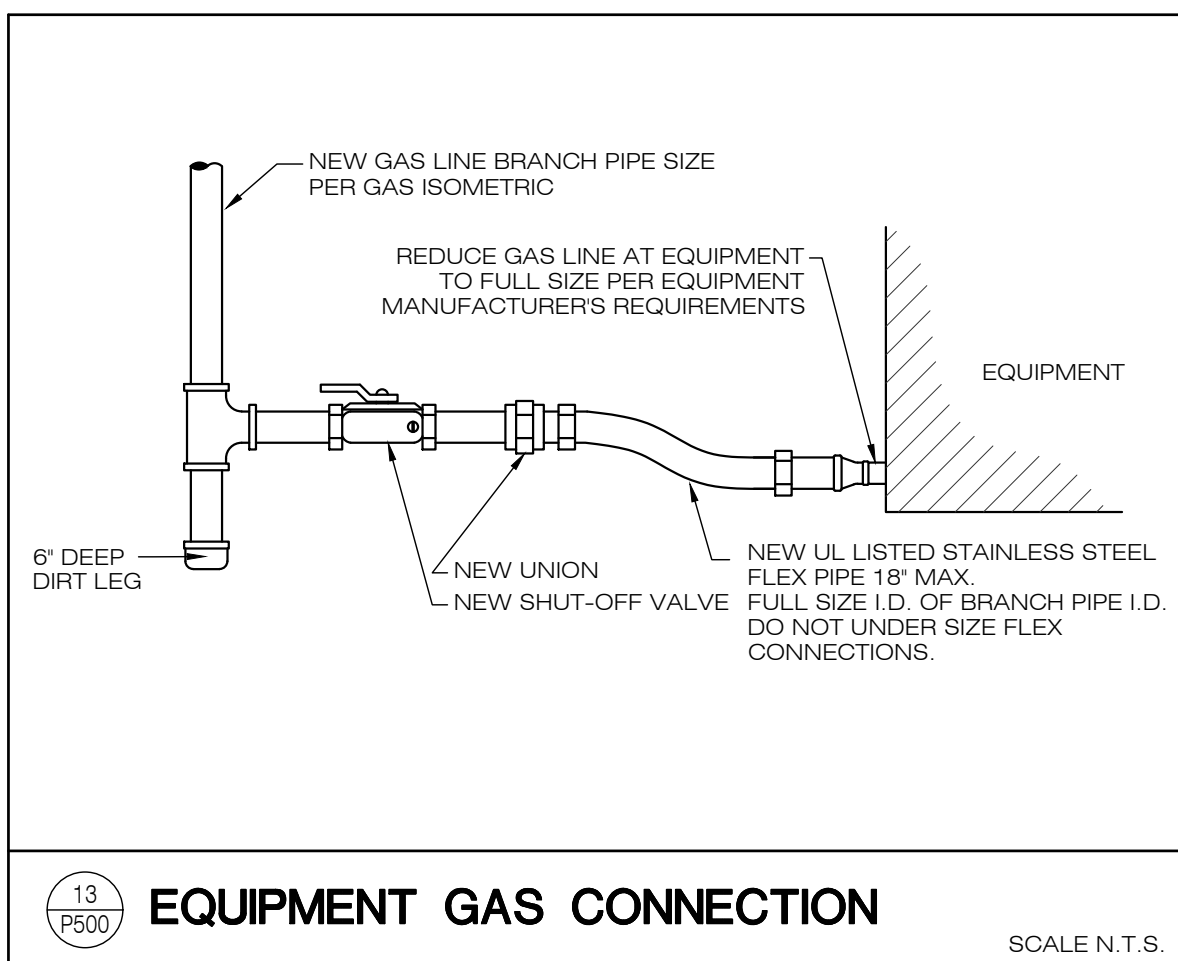
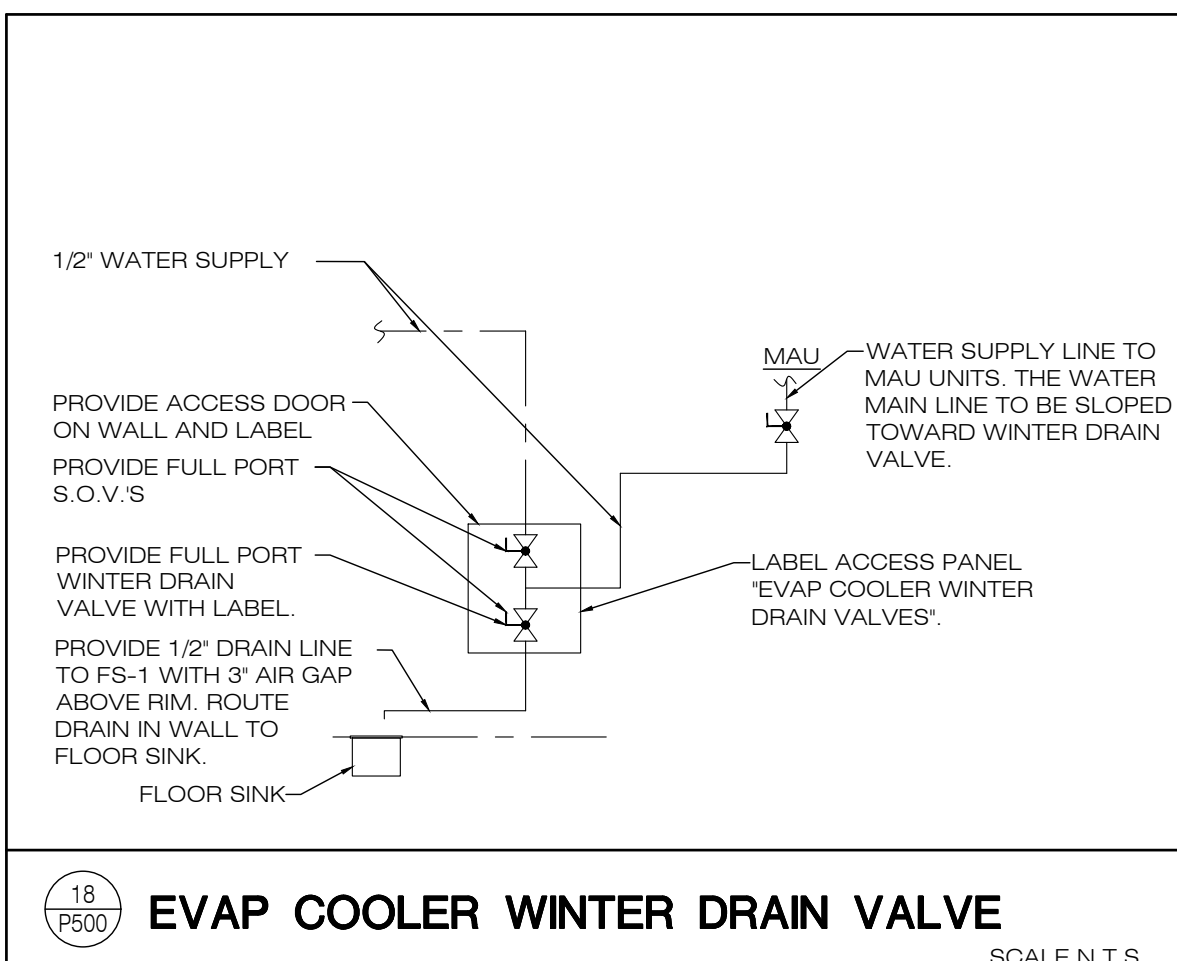
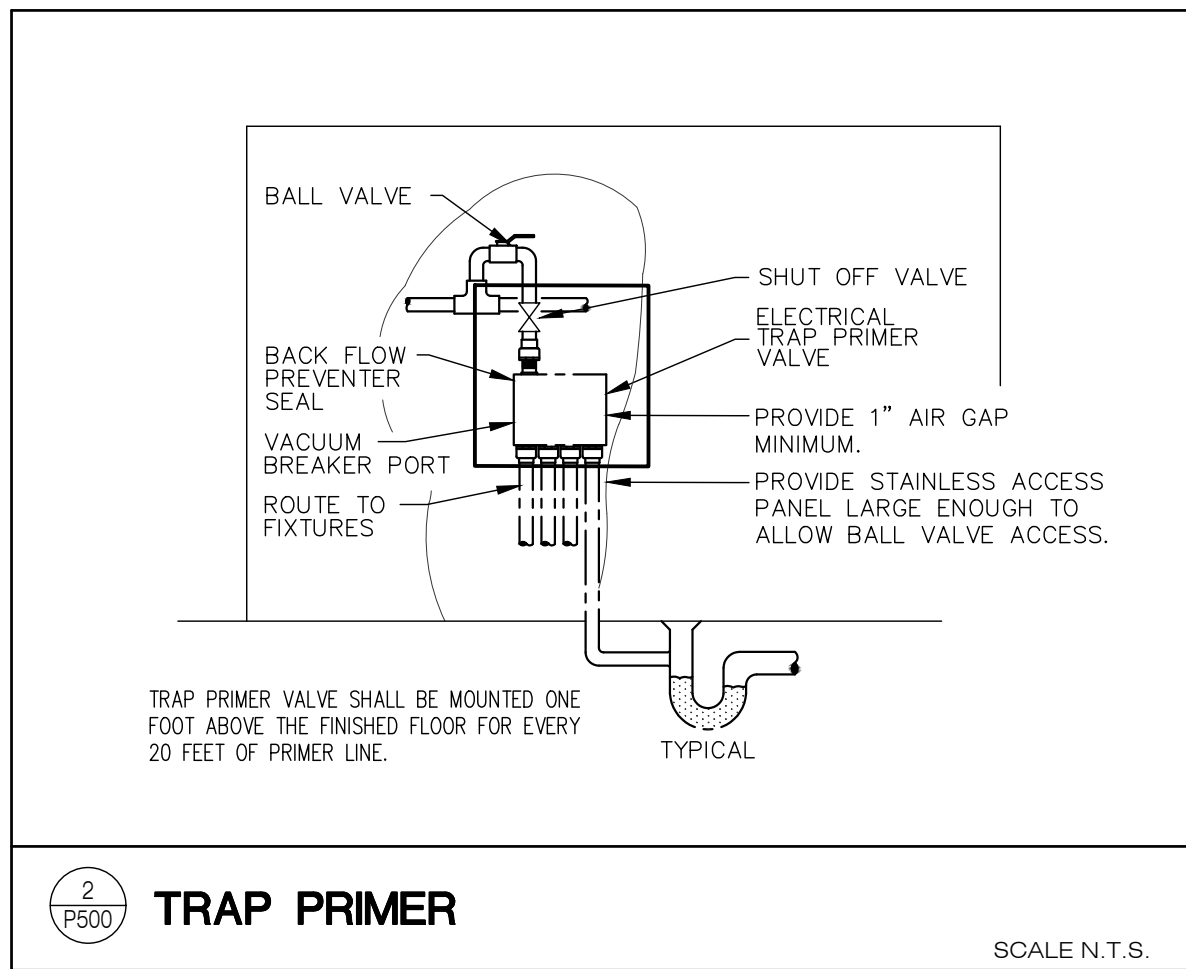
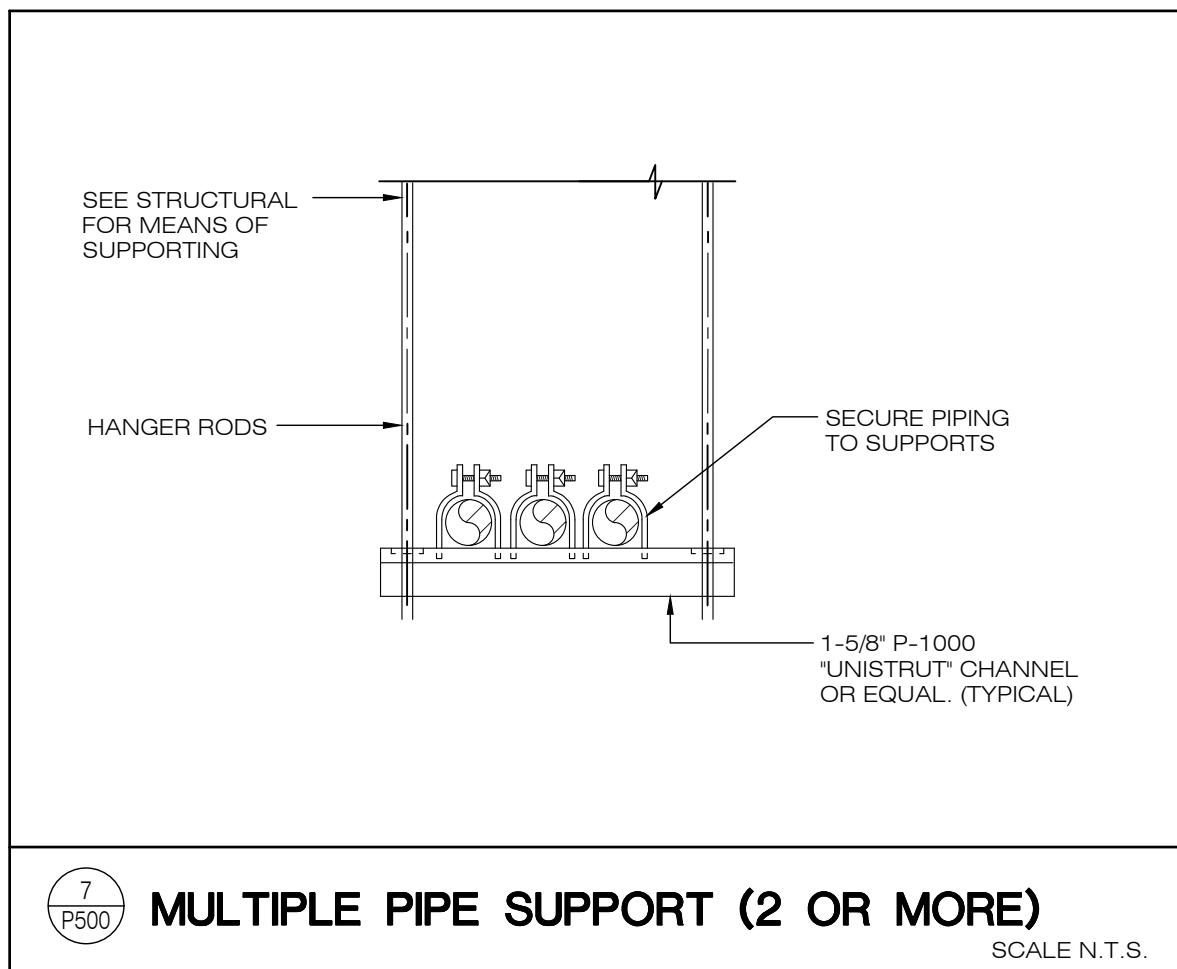
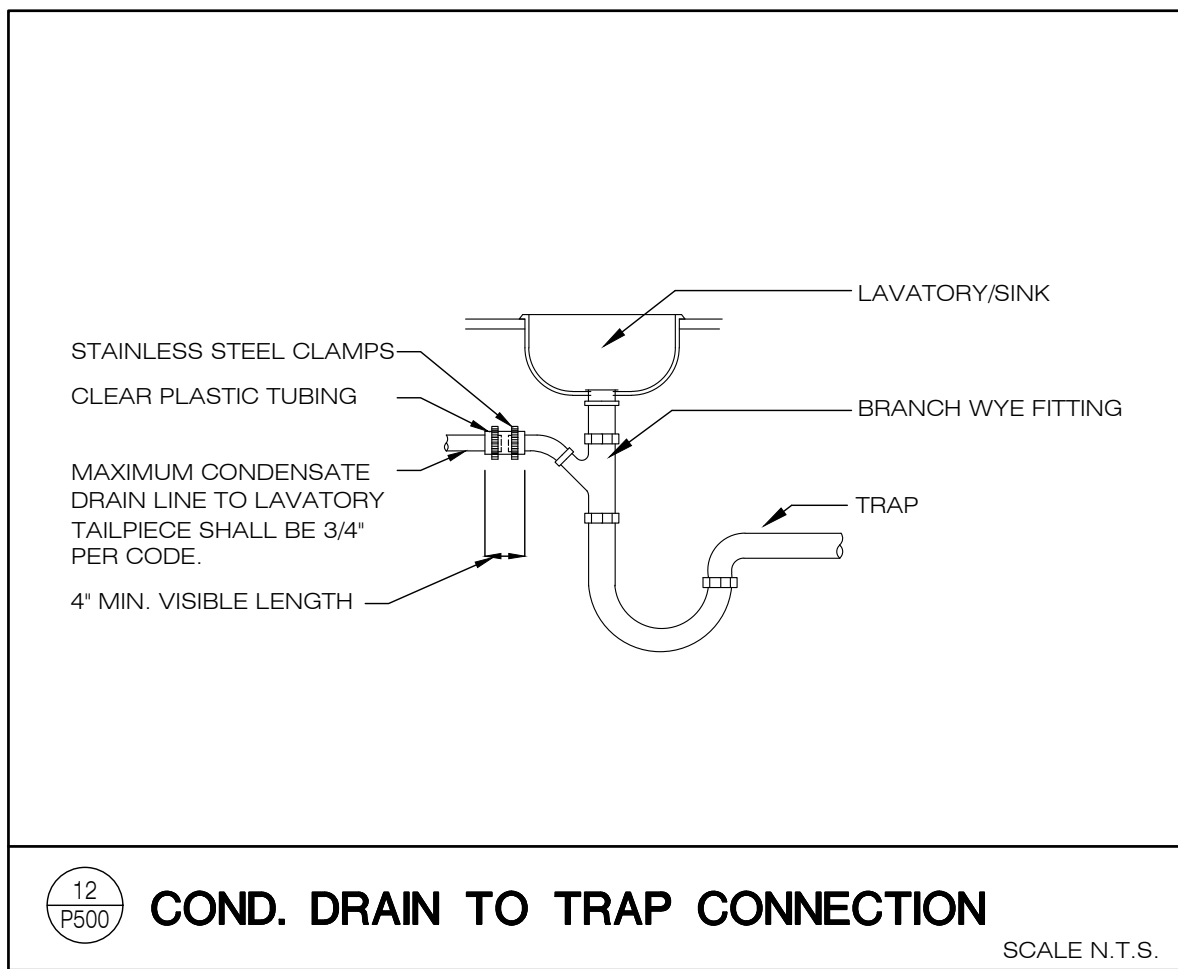
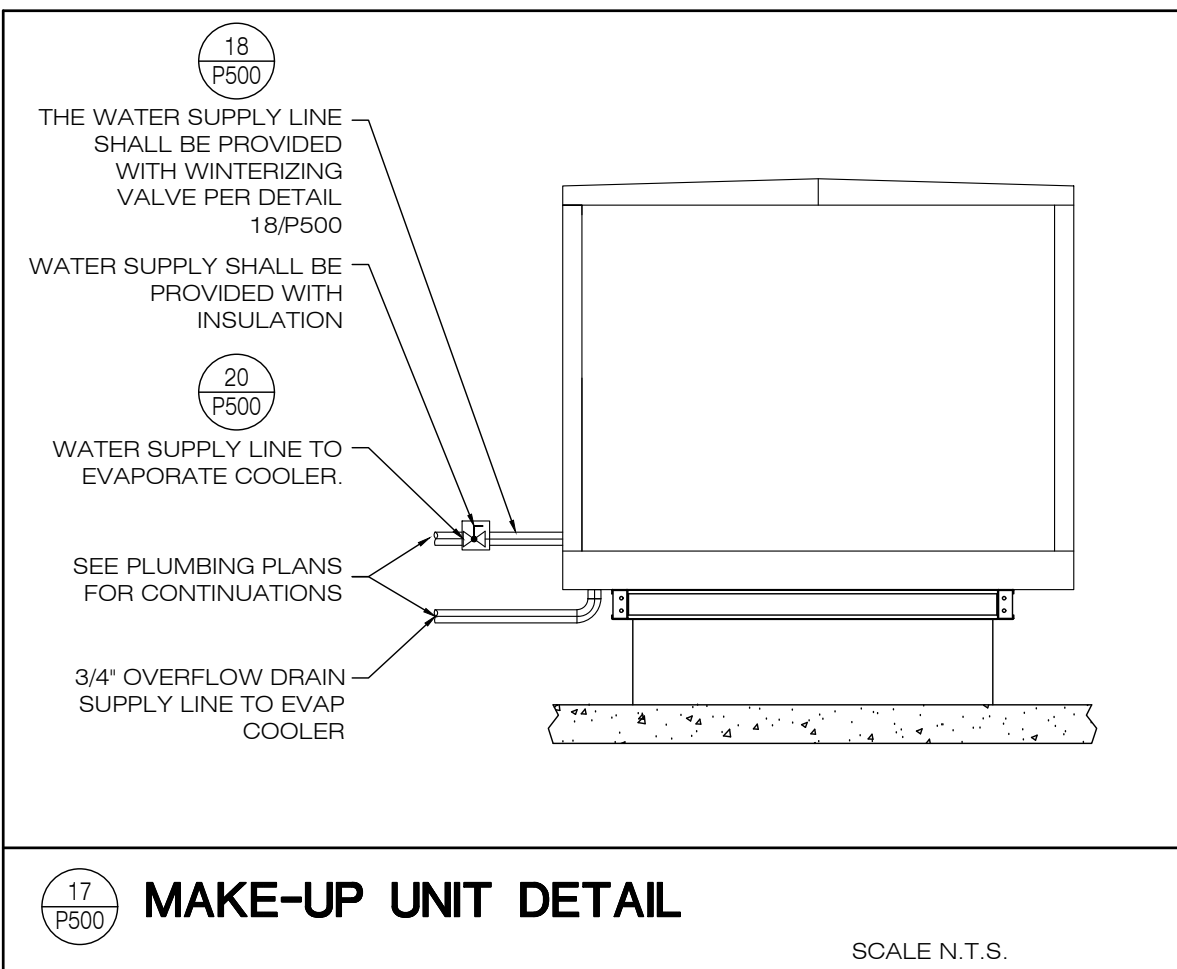
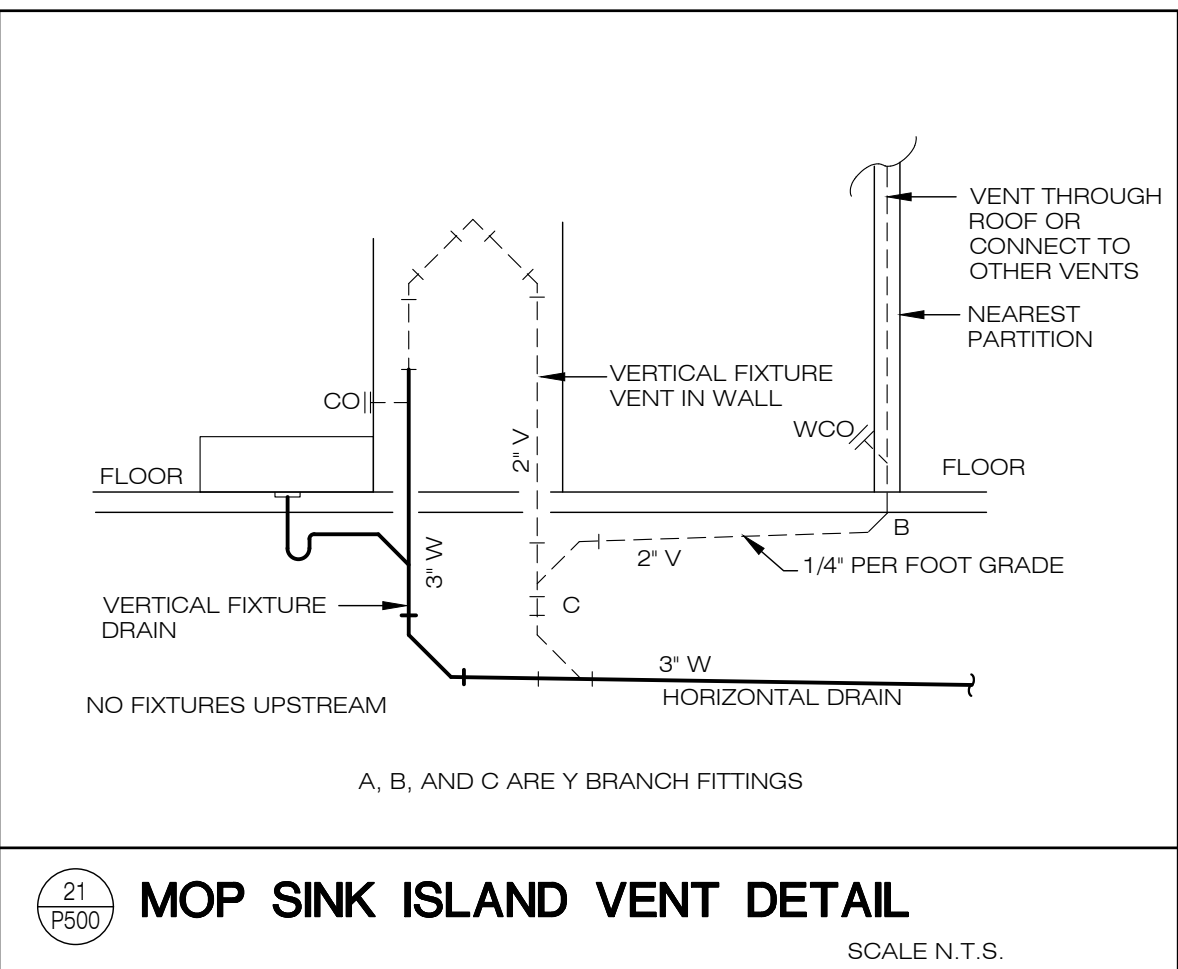
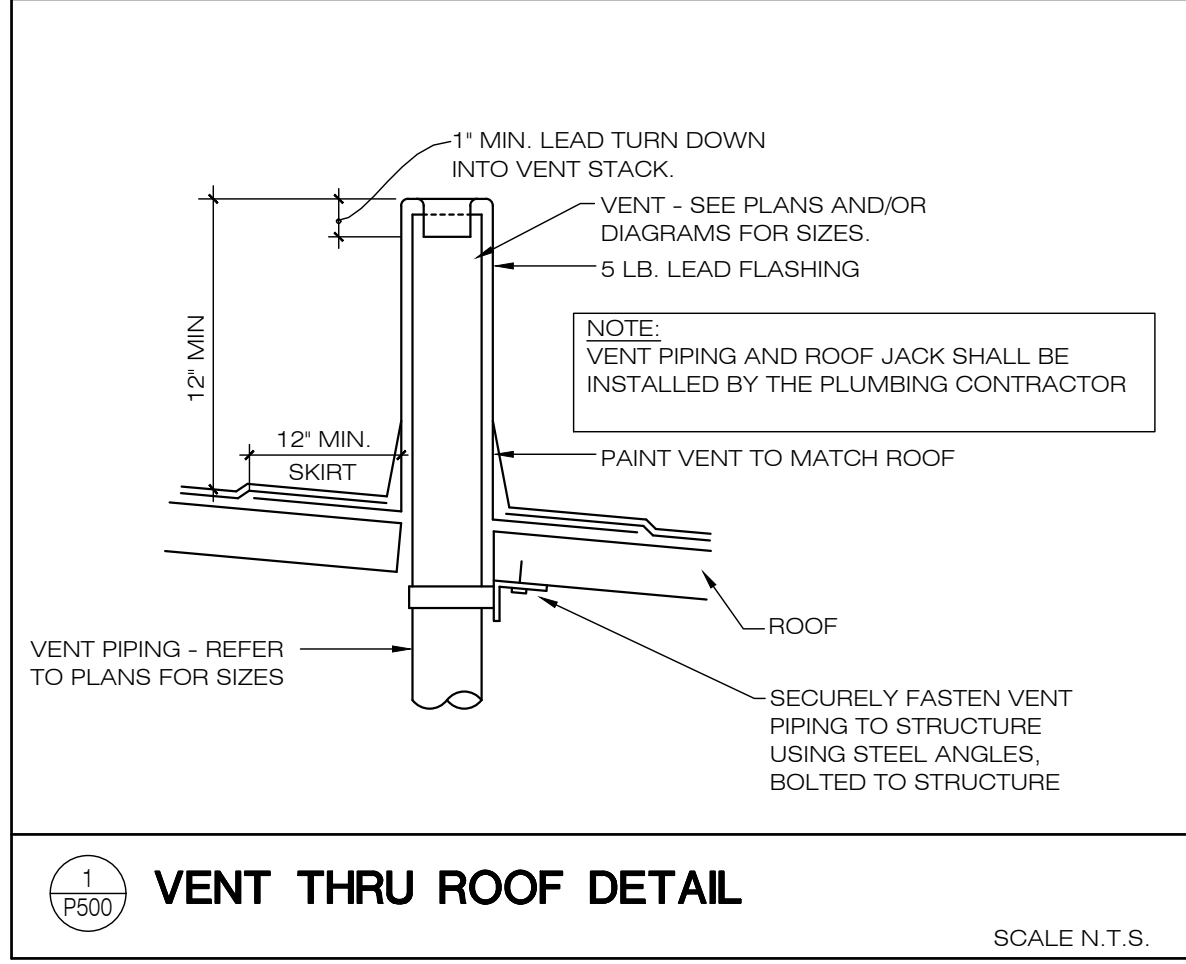
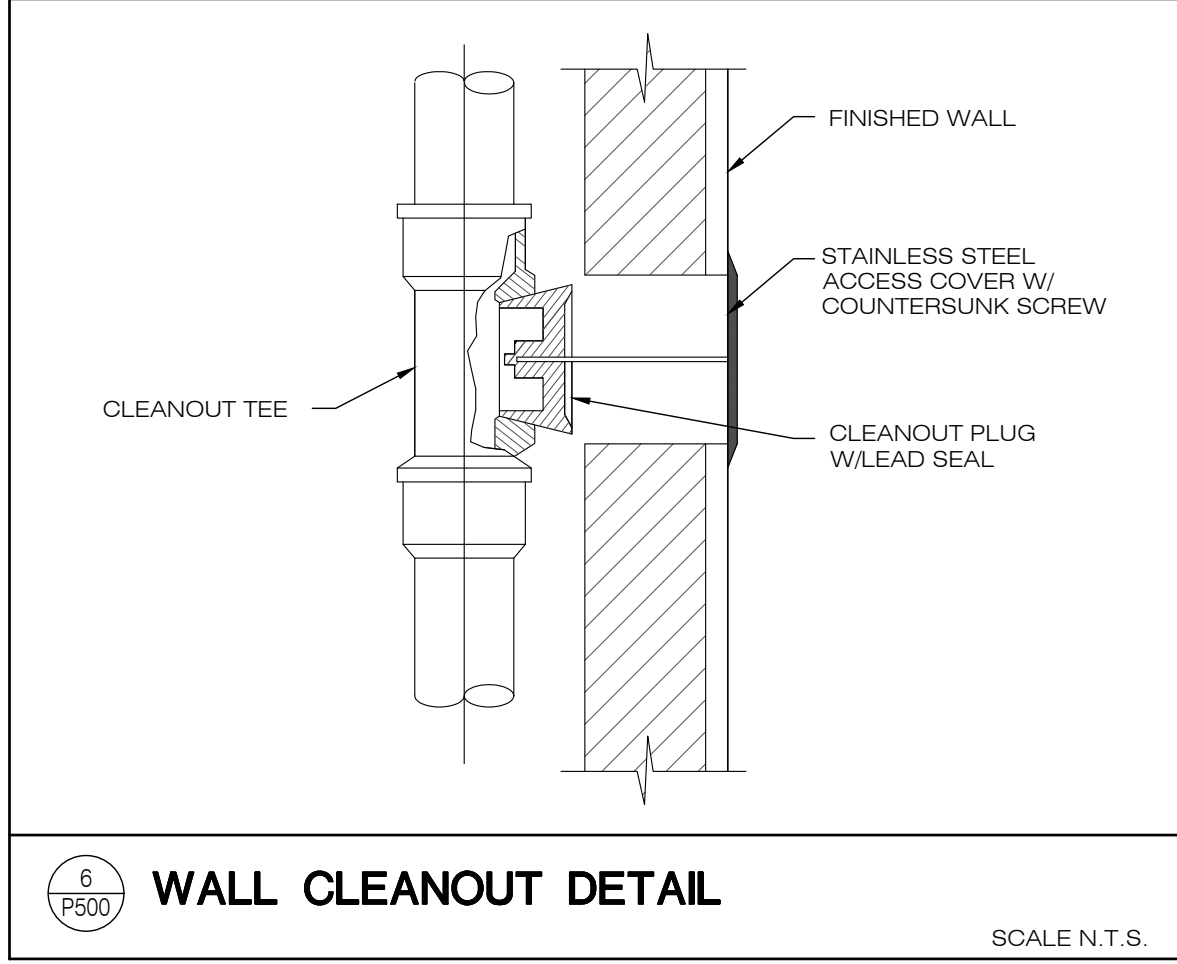
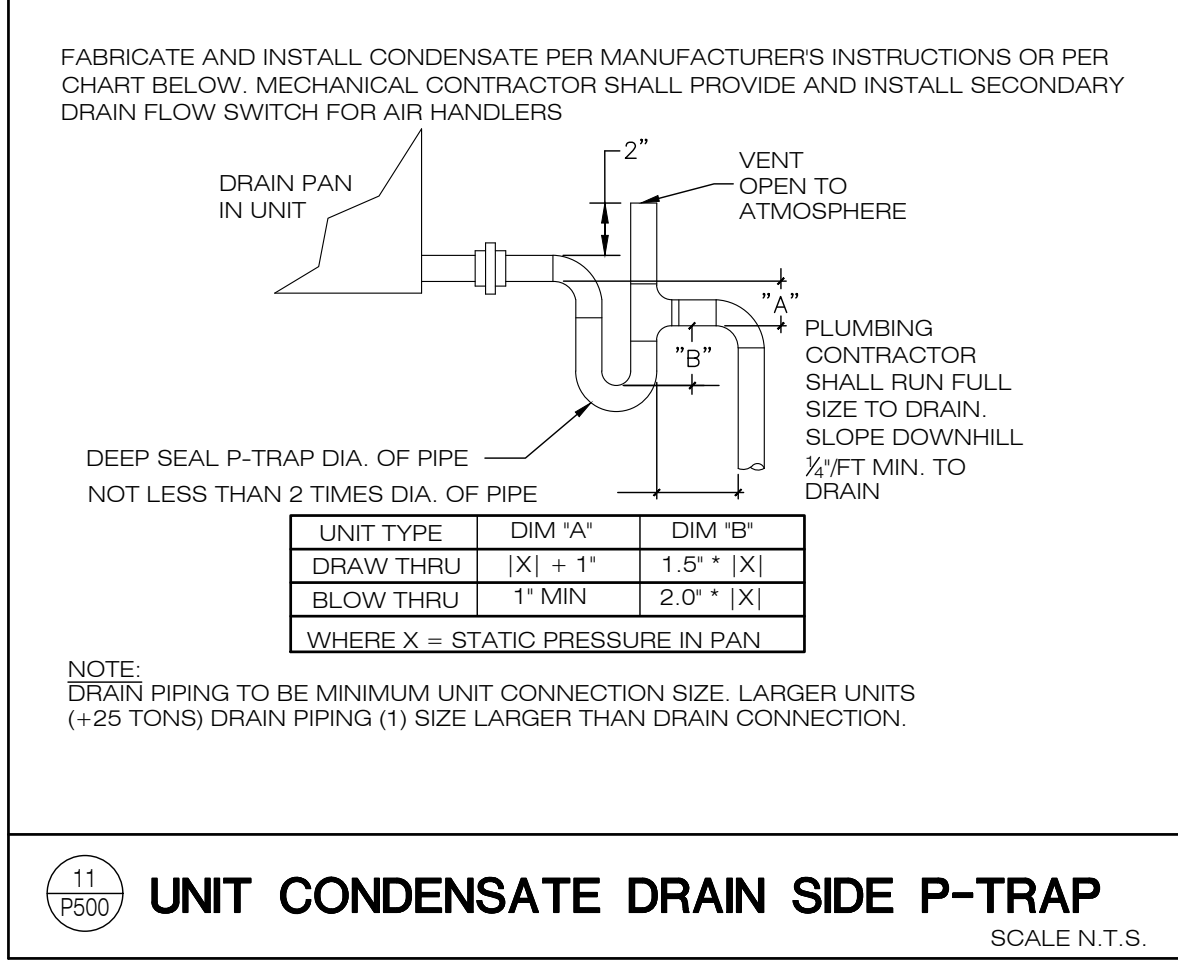
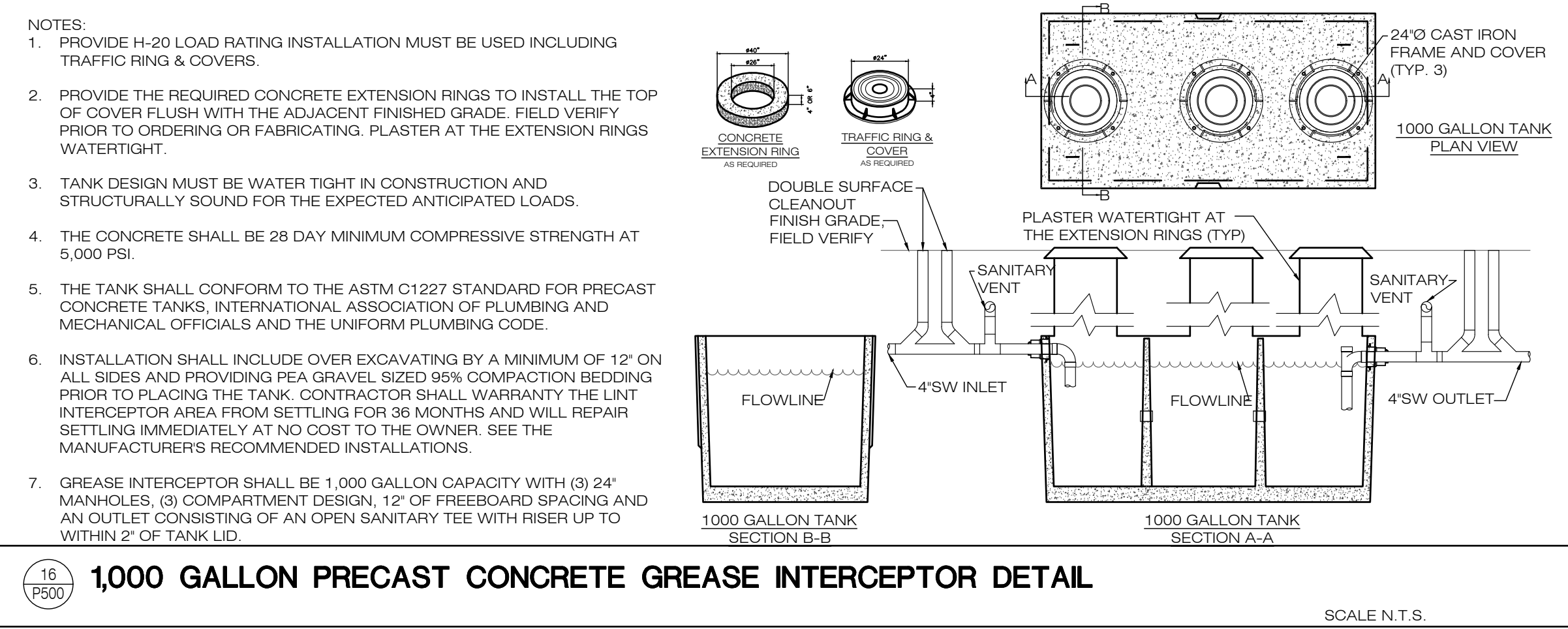
SANITARY WASTE PIPING ISOMETRICS  
NOT TO SCALE

ALL VENT BRANCHES AND VENT MAINS SHALL BE FIELD ROUTED IN THE ATTIC. VENTS SHALL BE SOUTH OF THE ROOF PEAK SO NOT VISIBLE FROM THE NORTHERN EXPOSURE. JOIN VENTS IN THE ATTIC - DO NOT RUN OUT INDIVIDUAL VENTS WHEN THEY CAN BE JOINED BELOW THE ROOF PER PLANS.

GATHER ALL VENTS INTO ONE COMMON PIPE AS SHOWN. DO NOT RUN MULTIPLE VENTS UP THROUGH ROOF.


















## ANNOTATIONS

	KEYED NOTE		EQUIPMENT TAG
	CONTINUATION		SPECIFICATION NUMBER
	FEEDER TYPE		EQUIPMENT BILL-OF-MAT'L REFERENCE
	DETAIL REFERENCE		DRAWING REFERENCE. SEE SHEET INDICATED FOR DETAILED INFORMATION
			EQUIPMENT SCHEDULE REFERENCE INDICATOR

## ABBREVIATIONS

[illegible]

## SHEET INDEX

REV	NO	DATE	DESC.	SHEET NO	SHEET TITLE	REV NO	DATE	HIST.
A	02/24/21	COORDINATION SET	E0.0	ELECTRICAL COVER SHEET	0a	10/26/21	A,B,C,D,a,E,F,G,H,K,L,0a	
B	04/16/21	PROGRESS SET	E0.1	ELECTRICAL LEGEND	1	10/26/21	A,B,C,D,a,E,F,G,H,K,L,0,1	
C	04/16/21	PROGRESS SET	E0.3	LIGHTING SPECIFICATIONS & ENERGY CALCULATIONS	0a	10/26/21	A,B,C,D,a,E,F,G,H,K,L,0a	
D	04/21/21	PROGRESS SET	E0.4	FIRE ALARM RISER DIAGRAM	0a	10/26/21	A,B,C,D,a,E,F,G,H,K,L,0a	
Da	04/23/21	DD SET	E1.0	ELECTRICAL SITE DEMOLITION PLAN	0a	10/26/21	A,B,C,D,a,E,F,G,H,K,L,0a	
E	04/30/21	PROGRESS SET	E1.1	ELECTRICAL SITE PLAN	0a	10/26/21	A,B,C,D,a,E,F,G,H,K,L,0a	
F	05/21/21	PROGRESS SET	E1.2	PHOTOMETRIC SITE PLAN	0a	10/26/21	L,0a	
G	05/28/21	PROGRESS SET	E1.3	SITE LIGHTING OUT SHEETS	0a	10/26/21	L,0a	
J	06/30/21	SOR CD	E2.0	ELECTRICAL DEMOLITION PLAN	0a	10/26/21	A,B,C,D,a,E,F,G,H,K,L,0a	
K	08/23/21	COORDINATION SET	E2.1	POWER PLAN	1	10/26/21	A,B,C,D,a,E,F,G,H,K,L,0,1	
L	09/03/21	REVIEW SET (95%)	E3.0	LIGHTING PLAN	1	10/26/21	A,B,C,D,a,E,F,G,H,K,L,0,1	
O	10/26/21	FOR PERMIT	E4.0	FIRE ALARM PLAN	0a	10/26/21	A,B,C,D,a,E,F,G,H,K,L,0a	
1	02/24/22	CITY COMMENTS	E6.0	ONE-LINE DIAGRAM & SCHEDULES	1	10/26/21	A,B,C,D,a,E,F,G,H,K,L,0,1	
			E7.0	PANEL SCHEDULES	1	10/26/21	A,B,C,D,a,E,F,G,H,K,L,0,1	
			E7.1	PANEL SCHEDULES	1	10/26/21	A,B,C,D,a,E,F,G,H,K,L,0,1	
			E8.0	ELECTRICAL DETAILS	0a	10/26/21	A,B,C,D,a,E,F,G,H,K,L,0a	
			E8.1	ELECTRICAL DETAILS	0a	10/26/21	K,L,0a	
			E8.2	ELECTRICAL DETAILS	0a	10/26/21	0a	

## CODES & STANDARDS

CODES & STANDARDS:	
ALL OF THE PRECEDING ARE HEREBY MADE A PART OF THESE SPECIFICATIONS. THEY SHALL BE SATISFIED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.	
GENERAL	EDITION
NATIONAL ELECTRICAL CODE (NFPA 70)	2017*
LOCAL AND STATE CODES AND CODE AMENDMENTS	PHOENIX, AZ
AMERICANS WITH DISABILITIES ACT (ADA)	LATEST
INTERNATIONAL BUILDING CODE (IBC)	2018*
INTERNATIONAL EXISTING BUILDING CODE (IEBC)	2018*
INTERNATIONAL MECHANICAL CODE (IMC)	2018*
FIRE & LIFE SAFETY CODES	EDITION
INTERNATIONAL FIRE CODE (IFC)	2018*
NFPA 72 – NATIONAL FIRE ALARM CODE	LATEST
NFPA 101 – LIFE SAFETY CODE	LATEST
NFPA 13 – FIRE SPRINKLER CODE	LATEST
NATIONAL ELECTRICAL SAFETY CODE (NESC)	LATEST
ENERGY CODES	EDITION
INTERNATIONAL ENERGY CONSERVATION CODE (IECC)	2018*
ENERGY CODE CALCULATIONS	
INTERIOR ENERGY CALCS. SEE SHEET E0.3	

## DESCRIPTION OF WORK

DESCRIPTION OF WORK:

---

THE WORK SHALL INCLUDE, BUT IS NOT LIMITED TO, FURNISHING AND INSTALLING THE FOLLOWING:

ELECTRICAL DEMOLITION  
REPLACEMENT OF EXISTING ELECTRICAL SERVICE AND ASSOCIATED EQUIPMENT.  
SITE LIGHTING.  
INTERIOR LIGHTING AND CONTROLS.  
EMERGENCY LIGHTING.  
SPECIAL SYSTEMS, RACEWAYS & CABLE TRAYS.

---

ESTIMATED POINT(S) OF CONNECTION & METERING:

PANELBOARD(S)  
SERVICE ENTRANCE SECTION (SES).

---

SPECIAL CONDITIONS:

IN ADDITION TO CODES & STANDARDS LISTED SPECIFIC REQUIREMENTS APPLICABLE TO WORK INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:

NEC ART. 517 -- HEALTH CARE FACILITIES.  
NFPA 99 -- HEALTH CARE FACILITIES.

FIRE ALARM REQUIREMENTS:

FIRE ALARM SYSTEM (SEE BELOW).  
NEW - PROVIDE AND INSTALL A COMPLETE SYSTEM.  
THE FIRE ALARM DESIGN INCLUDED IN THIS PACKAGE

CONCEPTUAL - INCLUDES SYSTEM CONFIGURATION, SPECIFICATIONS, AND GENERAL EQUIPMENT AND DEVICE LAYOUT. ENGINEERED PLANS SHALL BE SUBMITTED BY THE FIRE ALARM SYSTEM INSTALLER AS DEFERRED SUBMITTAL. FINAL DEVICE LOCATIONS AND QUANTITIES ARE SUBJECT TO AHJ REVIEW.

**multistudio**

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
**City of Phoenix**  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
[www.phoenix.gov](http://www.phoenix.gov)

architect:  
**Multistudio**  
521 South 3rd Street #10  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
**Ryden Architects**  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
[www.rydenarchitects.com](http://www.rydenarchitects.com)

structural engineer:  
**BDA design**  
7047 E. Greenway Pkwy #  
Scottsdale, AZ 85254  
480.398.7729  
[www.bdadesign.com](http://www.bdadesign.com)

civil engineer:  
**Wilson & Company**  
410 N 44th Street Suite 44  
Phoenix, AZ 85008  
602.283.2701  
[www.wilsonco.com](http://www.wilsonco.com)

mechanical/electrical eng  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
[www.appliedengineering.com](http://www.appliedengineering.com)

landscape architect:  
**Floor Associates**  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
[www.floorassociates.com](http://www.floorassociates.com)

## SPECIAL SYSTEMS RESPONSIBILITY MATRIX

[illegible]

EACH LOW VOLTAGE INSTALLER SHALL INCLUDE IN THE SCOPE OF WORK A MEETING WITH OWNER'S IT REPRESENTATIVE TO REVIEW PROPOSED SYSTEM DESIGN, MATERIALS, SOFTWARE, AND HARDWARE REQUIREMENTS PRIOR TO PREPARATION OF FINAL SHOP DRAWINGS FOR OWNER'S REVIEW AND APPROVAL.

## SUBMITTAL REQUIREMENTS

ALL PARTIES ON THE PROJECT BENEFIT FROM PROMPT AND ACCURATE  
REVIEWS OF COMPLETE AND WELL ORGANIZED SUBMITTAL PACKAGES.

PRIOR TO ORDERING, SUBMITTALS REVIEWED BY THE ENGINEER ARE  
REQUIRED FOR THE FOLLOWING (AS APPLICABLE TO THE PROJECT)

- PANELS, SWITCHBOARDS,
- TRANSFORMERS,
- WIRE & CABLE,
- FLOOR BOXES & POKE-THRU ASSEMBLIES,
- RACEWAYS & BOXES,
- LIGHT FIXTURES & LIGHTING CONTROLS,
- FIRE ALARM SYSTEMS,
- TCC AND ARC FLASH CALCULATIONS.

ALL FIRST SUBMITTALS SHALL USE THE FOLLOWING FORMAT OR SHALL BE RETURNED FOR CORRECTIONS UNTIL FORMATTED AS FOLLOWS:

3. SUBMITTED IN ELECTRONIC PDF FILE FORMAT IDENTIFIED AS A FIRST SUBMITTAL.

4. ALL CUT SHEETS SHALL BE LABELED WITH RED, BOLDFACE TYPE IN THE TOP RIGHT HAND CORNER OF THE FIRST PAGE WITH THE FOLLOWING INFORMATION: PROJECT NAME, PROJECT NO., SHEET NO. AND DATE. (UNDEFINIED CUT SHEETS WILL BE RETURNED).

5. OPTIONS NOTED BY THE ENGINEER ON THE CONSTRUCTION DOCUMENT SHALL BE IDENTIFIED BY THE CONTRACTOR/SUPPLIER WITH A RED BOX, CIRCLE, CHECK, OR OTHER SIMILAR CONSPICUOUS MARKING. THE CONTRACTOR/SUPPLIER SHALL IDENTIFY THE MARKING WITH THE PLAN SCHEDULED NOTES (GENERIC EQUIPMENT SHEETS WITH SCHEDULES) AND THE EQUIPMENT SCHEDULES.

6. CONTRACTOR/SUPPLIER SUBMITTAL IS A PRESENTATION TO THE ENGINEER BY THE CONTRACTOR/SUPPLIER THAT THE EQUIPMENT AND/OR MATERIAL SUBSTITUTIONS WILL BE IDENTICAL TO THE EQUIPMENTS, EQUIPMENT SUBSTITUTIONS WHICH INCLUDE OR REQUIRE DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS REQUIREMENTS. EQUIPMENT SUBSTITUTIONS SHALL BE IDENTIFIED BY THE CONTRACTOR/SUPPLIER DIRECTLY ON THE FIRST PAGE OF THE CUT SHEET WITH A CLEARLY IDENTIFIED MARKING. EQUIPMENT SUBSTITUTIONS SHALL BE IDENTIFIED BY EQUIVALENCE WITH EQUIPMENT SCHEDULES. FAILURE OF SUBSTITUTED EQUIPMENT TO PERFORM TO THE LEVEL SPECIFIED IN THE EQUIPMENT SCHEDULES SHALL REQUIRE IDENTIFICATION OF THE EQUIPMENT SUBSTITUTIONS AND DEVIATIONS ARE NOT CLEARLY IDENTIFIED ON THE SUBSTITUTION.

ALL RESUBMITTALS OF EQUIPMENT OR MATERIALS PREVIOUSLY REJECTED BY THE ENGINEER SHALL BE RESUBMITTED WITH THE FOLLOWING FORMAT:

SUBMITTED IN ELECTRONIC PDF FILE FORMAT IDENTIFIED AS "RESUBMITAL #1." BEGINNING WITH RESUBMITAL #1, AND CONTINUING THROUGH RESUBMITAL #5, THE ENGINEER SHALL REVIEW AND RETURN CUT SHEETS OF ONLY THE ITEMS THAT HAVE BEEN IDENTIFIED BY THE ENGINEER AS REQUIRING REVISIONS. ALL COMPLETE RESUBMITALS OF ALL PROJECT EQUIPMENT WILL BE RETURNED TO BE REDUCED DOWN TO RESUBMITAL ITEMS ONLY. IF THE ENGINEER REQUESTS REVISIONS TO A RESUBMITAL, THE RESUBMITAL SHALL BE RESUBMITTED IN ONE RESUBMITAL (PER EQUIPMENT OR SUBSYSTEM). REVISIONS TO PREVIOUSLY REVIEWED OR RETURNED EQUIPMENT WILL BE RETURNED UNLIMITED COMPLETE. RESUBMITAL CUT SHEETS SHALL BE LABELED WITH RED, BOLD/FACED TYPE, "RESUBMITAL #1" OR "RESUBMITAL #2" AND A RED EQUIPMENT TAG AS LABELED ON PLANS SUCH AS PPH1, A1, ETC. OPTIONS NOTED BY THE ENGINEER ON THE CONSTRUCTION DOCUMENT SCHEDULE SHALL BE CLEARLY IDENTIFIED AS BEING PROVIDED BY THE ENGINEER. OPTIONS NOTED BY THE ENGINEER AS NOT BEING PROVIDED WITH A RED BOX, CIRCLE CHECK, OR OTHER SIMILAR CONSPICUOUS INDICATION THAT THE RESUBMITTED DEVICE'S OPTIONS ACTUALLY MATCH THE ENGINEER'S REQUIREMENTS SHALL BE IDENTIFIED WITH A RED "X" AND MULTIPLE (UNIDENTIFIED OPTIONS WILL BE RETURNED). THE ENGINEER'S REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS AS PREVIOUSLY INDICATED AND REQUIRED BY THE ENGINEER IN THE FIRST SUBMITAL SHALL BE IDENTIFIED BY THE ENGINEER. REVISIONS REQUESTED BY THE ENGINEER IN THE PREVIOUSLY RETURNED/REJECTED SUBMITAL SHALL BE IDENTIFIED BY THE ENGINEER. REVISIONS REQUESTED NOT PROMPTED BY THE ENGINEER'S PREVIOUS REVIEW.

## CONTRACTOR COORDINATION REQUIREMENTS

[illegible]

## SPECIAL SYSTEMS COORDINATION

THE INSTALLING CONTRACTOR SHALL INCLUDE IN THE SCOPE OF WORK TO ARRANGE AND ATTEND A MEETING WITH OWNER'S IT REPRESENTATIVE, ACCESS CONTROLS INSTALLER, AND DATA CABLING INSTALLER TO REVIEW PROPOSED SYSTEM DESIGNS, MATERIALS, SOFTWARE, ROUGH-IN, AND HARDWARE REQUIREMENTS PRIOR TO PREPARATION OF FINAL SHOP DRAWINGS FOR OWNER'S REVIEW AND APPROVAL.

## REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

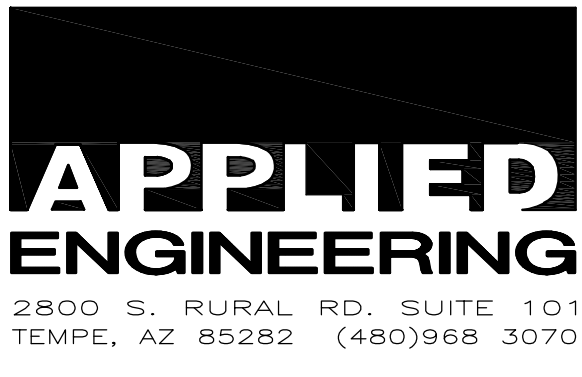
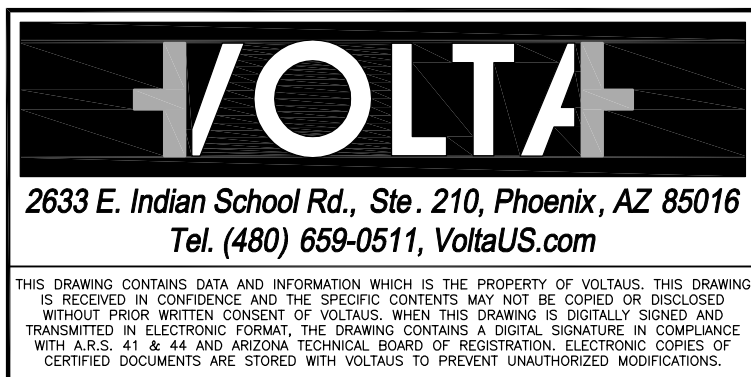
PROJECT NO: 0520-0020  
DATE: FEBRUARY 25, 2022

## Electrical Cover Sheet

# E0.0

## 2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	68	117









P

N

M

L

K

J

H

G

F

E

D

C

B

A

PRINT DATE/TIME

AREA SERVED:	OFFICE	BASIS:		IECC 2018		
SQUARE-FOOTAGE:	23570 SF					
ALLOWED WATTS / FT <sup>2</sup> :	0.79 W/FT					
TOTAL ALLOWED WATTS:	18620 WATTS					
PROPOSED (SEE BELOW)	9060 WATTS					
PROJECT COMPLIANCE	9560 WATTS		51%			
A		B		C	D	E
FIXTURE DESCRIPTION		LAMPS/FIXT	NUM FIXT	WATT		
SEE FIXT SCHEDULE (TYP)		DC / E	1	7	16	112
		DR / E	1	3	72	216
		FP2F / E	1	8	31	248
		LS4 / E	1	13	32	416
		LWB6	1	2	28	56
		ND6	1	2	27	54
		NL6	1	4	41	164
		NL8	1	4	54	216
		NL10	1	1	67	67
		NL12 / E	1	25	81	2025
		NL16 / E	1	23	108	2484
		NS4 / E	1	29	27	783
		NS5 / E	1	2	34	68
		NS6	1	2	41	82
		NS8 / E	1	21	37	777
		NS20	1	3	134	402
		R4 / E	1	89	10	890
			0	0	0	0

## 1 INTERIOR ENERGY CALCS

NO SCALE

## LIGHTING CONTROLS SEQUENCE OF OPERATIONS (SOO) BY AREA

1. SEQUENCE OF OPERATIONS: THE OPERATION OF THE SYSTEM BY AREA SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE. PROVIDE ALL NECESSARY WIRING DEVICES, WIRING, HARDWARE, ETC. AS NEEDED TO COMPLETE THE SYSTEM INSTALLATION.
- PRIVATE OFFICE (SMALL):**  
MANUAL CONTROL: LOCAL SWITCH, MANUAL / AUTOMATIC ON (50% MAX) WITH OCCUPANCY SENSOR  
MANUAL / AUTOMATIC OFF (30 MINUTES MAX)  
LIGHT REDUCTION CONTROL: FULL DIMMING
- OPEN OFFICE (MEDIUM):**  
MANUAL CONTROL: LOCAL SWITCH, MANUAL / AUTOMATIC ON (50% MAX) WITH OCCUPANCY SENSOR  
MANUAL / AUTOMATIC OFF (30 MINUTES MAX)  
LIGHT REDUCTION CONTROL: FULL DIMMING  
NIGHT LIGHTS, CONTINUOUSLY ILLUMINATED  
EMERGENCY LIGHTING VIA BATTERY PACKS OR INVERTERS
- CONFERENCE ROOM (LARGE):**  
MANUAL CONTROL: LOCAL SWITCH, MANUAL / AUTOMATIC ON (50% MAX) WITH OCCUPANCY SENSOR  
MANUAL / AUTOMATIC OFF (30 MINUTES MAX)  
LIGHT REDUCTION CONTROL: FULL DIMMING, SWITCHED ZONES WHERE INDICATED  
NIGHT LIGHTS, CONTINUOUSLY ILLUMINATED  
EMERGENCY LIGHTING VIA BATTERY PACKS OR INVERTERS
- CLASSROOM, TRAINING ROOM:**  
MANUAL CONTROL: LOCAL SWITCH, MANUAL / AUTOMATIC ON (50% MAX) WITH OCCUPANCY SENSOR  
MANUAL / AUTOMATIC OFF (30 MINUTES MAX)  
LIGHT REDUCTION CONTROL: FULL DIMMING, SWITCHED ZONES WHERE INDICATED  
NIGHT LIGHTS, CONTINUOUSLY ILLUMINATED  
EMERGENCY LIGHTING VIA BATTERY PACKS OR INVERTERS
- ELECTRICAL ROOM:**  
MANUAL CONTROL: LOCAL SWITCH, MANUAL / AUTOMATIC ON (100%) WITH OCCUPANCY SENSOR  
MANUAL / AUTOMATIC OFF (30 MINUTES MAX)  
LIGHT REDUCTION CONTROL: NONE  
EMERGENCY LIGHTS: WHERE INDICATED

**STORAGE/JANITOR ROOM:**  
MANUAL CONTROL: LOCAL SWITCH, MANUAL / AUTOMATIC ON (100%) WITH OCCUPANCY SENSOR  
MANUAL / AUTOMATIC OFF (30 MINUTES MAX)  
LIGHT REDUCTION CONTROL: NONE

**BREAKROOM (LARGE):**  
MANUAL CONTROL: LOCAL SWITCH, MANUAL / AUTOMATIC ON (50%% MAX) WITH OCCUPANCY SENSOR  
MANUAL / AUTOMATIC OFF (30 MINUTES MAX)  
LIGHT REDUCTION CONTROL: FULL DIMMING, SWITCHED ZONES WHERE INDICATED  
NIGHT LIGHTS, CONTINUOUSLY ILLUMINATED  
EMERGENCY LIGHTING VIA BATTERY PACKS OR INVERTERS

**BESTROOM (LARGE):**  
MANUAL CONTROL: NONE, AUTOMATIC ON (100%) WITH OCCUPANCY SENSOR  
AUTOMATIC OFF (30 MINUTES MAX)  
LIGHT REDUCTION CONTROL: NONE  
NIGHT LIGHTS, CONTINUOUSLY ILLUMINATED  
EMERGENCY LIGHTING VIA BATTERY PACKS OR INVERTERS

**LOBBY/WAITING ROOM:**  
MANUAL CONTROL: LOCAL SWITCH, MANUAL/AUTOMATIC ON (100%) WITH OCCUPANCY SENSOR  
MANUAL / AUTOMATIC OFF (30 MINUTES MAX)  
LIGHT REDUCTION CONTROL: DIMMING, SWITCHED ZONES WHERE INDICATED  
NIGHT LIGHTS, CONTINUOUSLY ILLUMINATED  
EMERGENCY LIGHTING VIA BATTERY PACKS OR INVERTERS

**HALL/CORRIDOR:**  
MANUAL CONTROL: LOCAL SWITCH, AUTOMATIC ON (100%) WITH OCCUPANCY SENSOR  
MANUAL / AUTOMATIC OFF (30 MINUTES MAX)  
LIGHT REDUCTION CONTROL: NONE  
NIGHT LIGHTS, CONTINUOUSLY ILLUMINATED  
EMERGENCY LIGHTING VIA BATTERY PACKS OR INVERTERS

## FIXTURE SCHEDULE

PROJ. TAG	DESCRIPTION	LOCATION(S): Rm # OR SHEET #	MOUNTING	FINISH	VOLTS	LAMP(S)/ WATTS	TYPE	FIXT WATTS	TEMP. (K)	EMERG.	CONTROL	ENVIR. WET/DAMP	IC RATING	MANUFACTURER/CAT# (BASIS OF DESIGN)	ALTERNATE MANUFACTURERS	KEYED NOTES & COMMENTS
<b>EMERGENCY LIGHTING AND EXIT SIGNS</b>																
ER	EMERGENCY REMOTE HEAD	VARIES	SURFACE	WHITE	4.8V	2.5W	LED	2.5W	N/A	X	N/A	WET	—	LITHONIA ELA SERIES ELA-(FINISH)-SINGLE-QWP-L0309-(SD)	OR EQUAL	
EXE	EXIT SIGN, LED, BATTERY BACKUP, EDGE LIT, GREEN LETTERS	VARIES	SURFACE	ALUMINUM	MV		LED		N/A	X	N/A	—	—	LITHONIA EDG-1-G-EL, CEILING OR WALL MOUNT AS NEEDED. BATTERY TO SUPPORT REMOTE HEAD(S)	OR EQUAL	
E125	INVERTER — 125 WATTS	VARIES	SURFACE	N/A	VARIES	N/A	N/A	N/A	N/A	N/A	N/A	N/A	—	EVENLITE, PURE WAVE, FW SERIES, PW-12-LC-(V1/V2)-(OPTIONS), QUANTITY AS NEEDED FOR FINAL PROPOSED FIXTURE SUBMITTAL INCLUDING 30% SPARE CAPACITY.	OR EQUAL	1
<b>EXTERIOR LIGHTING</b>																
FV	2FT LINEAR LED, VAPORTIGHT, EXTERIOR/WET LOCATION RATED	SITE LIGHTING (FIRE RISER)	SURFACE	WHITE	MV	1-27W	LED	27W	3000K	YES	DIMMABLE	WET	—	LITHONIA DMW2-L24-3000LM-ACL(DIFFUSER)-(MD/WD)-MV-GZ1-30K-80CRI-(PS150)/WET LOC. FITTINGS(OPTIONS/ACCESSORIES)	OR EQUAL	
LC1A	LED, LIGHT COLUMN, 16FT HIGH	SITE LIGHTING	COLUMN										—	SELUX EXRL-16-R55-5G140-30-(FIN)-MV-DM	OR EQUAL	
LC1B	SAME AS TYPE 'LC1A' WITH TYPE 3 OPTICS, INTERNAL HOUSE SIDE SHIELD	SITE LIGHTING		PER ARCHITECT		1-125W	LED	125W	3000K	—	—	WET	—	SELUX EXRL-16-R3-5G140-30-(FIN)-MV-DM-HS	OR EQUAL	
LC1C	SAME AS TYPE 'LC1A' WITH TYPE 4 OPTICS	SITE LIGHTING		PER ARCHITECT									—	SELUX EXRL-16-R4-5G140-30-(FIN)-MV-DM	OR EQUAL	
LC1D	SAME AS TYPE 'LC1A' WITH TYPE 4 OPTICS, INTERNAL HOUSE SIDE SHIELD	SITE LIGHTING		PER ARCHITECT									—	SELUX EXRL-16-R4-5G140-30-(FIN)-MV-DM-HS	OR EQUAL	
LC2	SAME AS TYPE 'LC1A' AT 12FT HIGH	SITE LIGHTING		PER ARCHITECT		1-48W		48W					—	SELUX EXRL-12-R55-5G530-30-(FIN)-MV-DM	OR EQUAL	
LC3	SAME AS TYPE 'LC1A' AT 8-10FT HIGH, PEDESTRIAN LIGHTING	SITE LIGHTING		PER ARCHITECT		1-48W		48W					—	SELUX EXRL-8-R55-5G350-30-(FIN)-MV-DM	OR EQUAL	
NX4	4FT / 3" APERTURE DIRECT LINEAR LED	EXTERIOR CORRIDORS	WALL	PER ARCHITECT	MV	4.7W/LF(4)	LED	19W	3000K	—	DIMMABLE	WET	—	PINNACLE LIGHTING EDGE EX3-WET-N-30-4LF-IND-WA-U-(DRIVER)-1-0-(FINISH)-(OPTIONS)-(CONTROLS)	OR EQUAL	
NX4E	SAME AS TYPE 'NX4' WITH BATTERY BACKUP	EXTERIOR CORRIDORS								YES			—	_BATTERY BACKUP (BODINE, IOTA OR EQUAL)	OR EQUAL	
SLDE	2FT, SURFACE MOUNTED LINEAR LED, WET LOCATION WITH EMERGENCY BATTERY BACKUP	SOUTH EXIT DOOR	SURFACE	PER ARCHITECT	MV	8.3W/LF	LED	17W	3000K	YES	DIMMABLE	WET	—	AXIS LIGHTING BEAM 4 WBWLED-750-80-3000K-S-2FT-(FINISH)-UNV-DP-1-SURFACE (CEILING)-B2-DS	OR EQUAL	
SPL	IN-GRADE PATHWAY LIGHTING, LED, (180 DEGREE OPTICS)	SITE LIGHTING	IN-GRADE	PER ARCHITECT	MV	1-13W	LED	13W	3000K	—	—	WET	—	VISTA PRO 1181-(FINISH)-(DISTRIBUTION)-3000K-A-DV-(DIMMING)-(ENTRY)-(ACCESSORIES)	OR EQUAL	
<b>INTERIOR LIGHTING</b>																
DC	5"DIA. SURFACE MOUNTED OVER J-BOX, ROUND LED DOWNLIGHT, TOP CONDUIT ENTRY	VARIES	CEILING	MATTE WHITE	MV	1-16W	LED	16W	4000K	—	DIMMABLE	—	—	USAI LIGHTING BEVELED BLOCK BLRDS-16C3-40KS-(BEAM)-(LENS)-MATTE WHITE-(RB/SJ)-UNV-DIMMING-ACCESSORIES	OR EQUAL	2
DCE	SAME AS TYPE 'DC' CONNECT TO INVERTER	S.W.COR. RR LOBBY								YES			—	CONNECT TO INVERTER	OR EQUAL	
DR	1.5" APERTURE, 36 INCH DIA, SURFACE MOUNTED LED RING	LOBBY	CEILING	MATTE BLACK	MV	1-72W	LED	72W	4000K	—	DIMMABLE	—	—	ALWUSA-MR1.5-D3-CM-MED-80CRI-4000K-(DRIVER)-(LENS)-N-MATTE BLACK-UNV-	OR EQUAL	
DRE	SAME AS TYPE 'DR' CONNECT TO INVERTER									YES			—	_EMB OR CONNECT TO INVERTER	OR EQUAL	
FP2F	2X2 RECESSED TROFFER, DIRECT/INDIRECT, LED, ZERO PLENUM TROFFER (SHALLOW), W/ DR WALL ADAPTER	COMMUNAL KITCHEN	GRID	MATTE WHITE	MV	1-31W	LED	31W	4000K	—	DIMMABLE	—	—	COLUMBIA LIGHTING LZPT-22-40K-ML-DRY WALL-(LSR-S-ED-U-(OPTIONS)-FK22	OR EQUAL	2
FP2FE	SAME AS TYPE 'FP2F' WITH EMERGENCY BATTERY BACKUP	COMMUNAL KITCHEN								YES			—	-ELL14	OR EQUAL	
LS4	4FT LINEAR LED STRIP LIGHT WITH DIFFUSER	VARIES	SURFACE	MATTE WHITE	MV	1-32W	LED	32W	4000K	YES	DIMMABLE			LITHONIA ZL1N L48-5000LM-FST-MVOLT-40K-80CRI-WH	OR EQUAL	2
LS4E	SAME AS TYPE 'LS4' WITH EMERGENCY BATTERY BACKUP	VARIES								YES			—	-ETW	OR EQUAL	
LWB6	6FT, SURFACE/CORNER MOUNTED LINEAR LED	RESTROOMS	SURFACE	MATTE WHITE	MV	1-28W	LED	28W	4000K	—	DIMMABLE	—	—	AXIS LIGHTING EDGE 2 ED2S-400-80CRI-40K-UB-6FT-MATTE WHITE-SCO-MATTE WHITE GROOVE-UNV-(DRIVER)-1-(MOUNTING)-FL	OR EQUAL	2
ND6	6FT, RECESSED LINEAR LED, TOP FEED	RECEPT/OFFICE	RECESSED	MATTE WHITE	MV	6.7W/LF(4)	LED	27W	4000K	—	DIMMABLE	—	—	EXTANT HTG-3R-LP-TD-(TGRID)-6FT-SLO-6.7W/FT-(OPTICS)-4000K-VU-(DRIVER)	OR EQUAL	2
NL6	6FT SURFACE MOUNTED LINEAR LED WITH A TOP FEED	VARIES	SURFACE	MATTE WHITE	MV	6.7W/LF(6)	LED	41W	4000K	—	DIMMABLE	—	—	EXTANT HTG1-TD-SM-6FT-SLO-700L/LF (6.7W/LF)-(OPTICS)-840-VU-(DRIVER)-(FINISH)-TOP FEED	OR EQUAL	2
NL6E	SAME AS TYPE 'NL6' CONNECTED TO INVERTER	VARIES								YES			—	CONNECT TO INVERTER	OR EQUAL	
NL8	SAME AS TYPE 'NL7' AT 8FT	VARIES				6.7W/LF(8)		54W							OR EQUAL	2
NL10	SAME AS TYPE 'NL8' AT 10FT	VARIES				6.7W/LF(12)		67W							OR EQUAL	2
NL12	SAME AS TYPE 'NL8' AT 12FT	VARIES				6.7W/LF(12)		81W							OR EQUAL	2
NL12E	SAME AS TYPE 'NL8E' AT 12FT	VARIES								YES			—	CONNECT TO INVERTER, 4FT SECTION ONLY WHERE POSSIBLE	OR EQUAL	
NL16	SAME AS TYPE 'NL12' AT 16FT	VARIES				6.7W/LF(16)		108W					—		OR EQUAL	2
NL16E	SAME AS TYPE 'NL12E' AT 16FT	VARIES								YES			—	CONNECT TO INVERTER, 4FT SECTION ONLY WHERE POSSIBLE	OR EQUAL	
NS4	SAME AS TYPE 'NL4' WITH A SIDE FEED	VARIES	SURFACE	MATTE WHITE	MV	6.7W/LF(4)	LED	27W	4000K	—	DIMMABLE	—	—	-SIDE FEED	OR EQUAL	2
NS4E	SAME AS TYPE 'NS4' CONNECT TO INVERTER	VARIES								YES			—	CONNECT TO INVERTER	OR EQUAL	
NS5	SAME AS TYPE 'NS4' AT 5FT	VARIES				6.7W/LF(5)		34W					—		OR EQUAL	2
NS5E	SAME AS TYPE 'NS4E', AT 5FT	VARIES								YES			—	CONNECT TO INVERTER	OR EQUAL	
NS6	SAME AS TYPE 'NS5' AT 6FT	VARIES				6.7W/LF(6)		41W					—		OR EQUAL	2
NS8	SAME AS TYPE 'NS6' AT 8FT AND 4.55W/LF	VARIES				4.55W/LF(8)		37W					—	-4.55W/LF(8LF)	OR EQUAL	2
NS8E	SAME AS TYPE 'NS5E' AT 8FT AND 4.55W/LF	VARIES								YES			—	CONNECT TO INVERTER, 4FT SECTION ONLY WHERE POSSIBLE	OR EQUAL	
NS20	SAME AS TYPE 'NS8' AT 20FT	VARIES				6.7W/LF(20)		134W					—		OR EQUAL	2
R4	4" DIA. SHALLOW LED RECESSED DOWNLIGHT	VARIES	RECESSED	MATTE WHITE	MV	1-17.9W	LED	18W	4000K	—	DIMMABLE	—	—	INDY LLP4-17LM (18W)-40K-MV-G4-80CRI-(DRIVER)-(OPTIONS)-(TRIM)-(MATTE WHITE)-WHITE FLANGE-FLANGED	OR EQUAL	2
R4E	SAME AS TYPE 'R4' WITH EMERGENCY BATTERY PACK OR CONNECT TO INVERTER	VARIES								YES			—	_BR (EMERGENCY BATTERY PACK) OR CONNECT TO INVERTER	OR EQUAL	2
<b>LIGHTING CONTROLS</b>																
DOW	OCCUPANCY SENSOR, WALL MOUNT, DIMMING, LINE VOLTAGE	VARIES	WALL	WHITE	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	NLIGHT WSA-PDT-D-XX	OR EQUAL	2
OC	OCCUPANCY SENSOR, CEILING MOUNT, PIR, LINE VOLTAGE, STANDARD RANGE	VARIES	CEILING	WHITE	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	NLIGHT RCMS-PS-150-PDT-9-G2	OR EQUAL	2
OC2D	OCCUPANCY SENSOR, CEILING MOUNT, 2 CIRCUIT, DUAL TECHNOLOGY, STANDARD RANGE	RESTROOMS	CEILING	WHITE	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	SENSORSWITCH, CMR-PDT-9-2P-WH		
OW	OCCUPANCY SENSOR, WALL MOUNT, PIR, LINE VOLTAGE	VARIES	WALL	WHITE	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	NLIGHT WSA-PDT-XX	OR EQUAL	2
OW2	OCCUPANCY SENSOR, WALL MOUNT, PIR, 2 CIRCUIT	VARIES	WALL	WHITE	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	SENSORSWITCH, WSD-2P-WH	OR EQUAL	2
OWD	OCCUPANCY SENSOR, WALL MOUNT, DUAL TECHNOLOGY	VARIES	WALL	WHITE	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	SENSORSWITCH, WSD-PDT-WH	OR EQUAL	2
WS	WIRELESS SWITCH	VARIES	WALL	WHITE	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	NLIGHT RPODB-XX-G2	OR EQUAL	2
WD	WIRELESS DIMMER	VARIES	WALL	WHITE	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	NLIGHT RPODBA-XX-G2	OR EQUAL	2
WD2	WIRELESS DIMMER, 2-POLE	VARIES	WALL	WHITE	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	NLIGHT RPODBA-2P-DX-XX-G2	OR EQUAL	2
LC	LIGHTING CONTROLLER, 16 OR 32 POLES AS NEEDED, 18KAIC	VARIES	SURFACE	N/A	VARIES	N/A	N/A	N/A	N/A	—	—	—	—	ACUTY, BLUE BOX LT	OR EQUAL	2
<b>TIME CLOCKS</b>																
TS	ASTRONOMICAL 7-DAY TIME SWITCH, 1 OR 2 CIRCUITS, HOLIDAY OVERRIDE, NEMA 1 OR 3R ENCL.		SURFACE	GRAY	VARIES	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	INTERMATIC ETC-8000 SERIES (120/208/240/277VAC), # CIRCUITS (1 OR 2), (SPST/SPDT, ENCLOSURE TO SUIT)	OR EQUAL	

KEYED NOTES:  
1. FIELD LOCATE. PROVIDE 30% CAPACITY OVER CONNECTED LOAD. QUANTITY AND SIZE AS NEEDED.  
2. UNLESS NOTED OTHERWISE PROVIDE MATTE WHITE FINISH. COORDINATE WITH ARCHITECT IF IT'S NOT AVAILABLE.

## multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

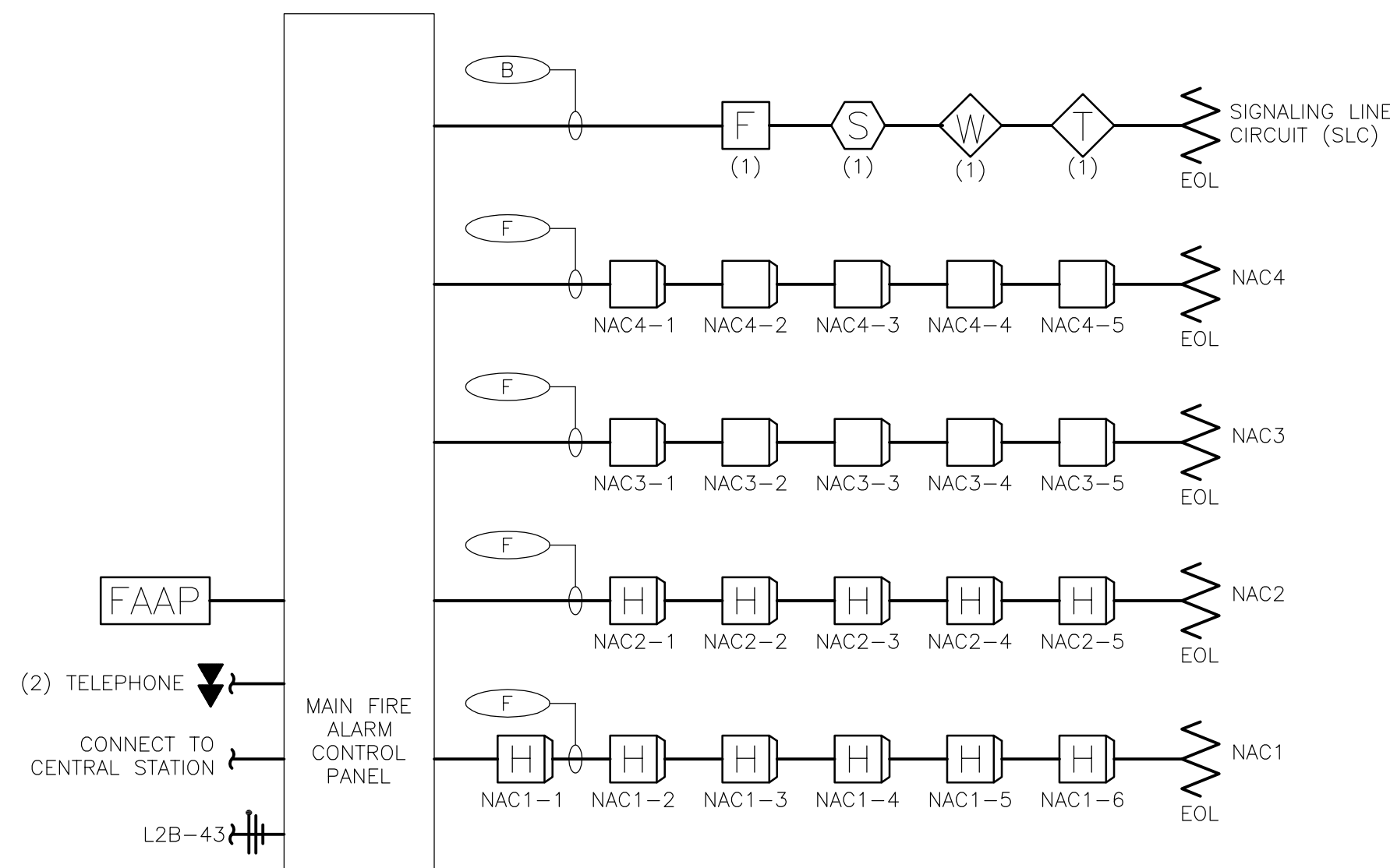
architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
Hyden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

structural engineer:  
BDA design  
7047 E Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

civil engineer:  
Wilson & Company  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.283.5701  
www.wilsonco






























## 1 FIRE ALARM RISER DIAGRAM

NO SCALE

## FIRE ALARM SYMBOLS

NOTE: NOT ALL SYMBOLS MAY APPLY TO THIS PROJECT

	FIRE ALARM CONTROL PANEL
	FIRE ALARM ANNUNCIATOR
	HORN STROBE (SHOW CANDELA)
	HORN STROBE (SHOW CANDELA/ CEILING MOUNTED)
	SPEAKER STROBE (SHOW CANDELA)
	STROBE ONLY (SHOW CANDELA)
	MANUAL PULL STATION
	SMOKE DETECTOR (ADD TYPE)
	CARBON MONOXIDE DETECTOR
	HEAT DETECTOR (SHOW TEMP RATING)
	DUCT SMOKE DETECTOR
	MAGNETIC DOOR HOLDER
	FIRE SPRINKLER TAMP / OSY / PIV VALV SUPERVISORY SWITCH
	WATERFLOW DEVICE
	FIRE ALARM BELL
	REMOTE BOOSTER POWER SUPPLY
	ADDRESSABLE RELAY POINT / ZONE MODULE
	CHIME, HORN, SPEAKER ONLY
	FIRE FIGHTERS TELEPHONE JACK STATION
	FIRE FIGHTERS PERMANENT STATION
	DAMPER POSITION SWITCH
	ELEVATOR RECALL DESIGNATION
	INTERFACE TO KITCHEN HOOD
	ELEVATOR SHUNT TRIP
	ELEVATOR SUPERVISORY RECALL PANEL

## FIRE ALARM NOTES

1. INSTALL, FIRE ALARM CONTROL PANEL. PROVIDE A PLACARD ON THE FIRE ALARM CONTROL PANEL INDICATING THE CENTRAL STATION BY NAME AND TELEPHONE NUMBER.
  - TYPE OF SYSTEM
  - CENTRAL STATION
  - HARDWARE ADDRESSABLE
  - CLASS B WIRING
  - TEMPORAL SOUNDERS
2. INDICATING DEVICES WILL BE LOCATED AS REQUIRED TO MEET CODE REQUIREMENTS.
3. INITIATING DEVICES WILL BE LOCATED AS REQUIRED TO MEET CODE REQUIREMENTS.
4. ALL FIRE ALARM WIRES WILL BE POWER LIMITED. FIRE RATED WIRE, IT WILL BE RUN IN CONDUIT WHERE REQUIRED BY CODE.
5. ALL CONDUCTORS FOR FIRE ALARM SYSTEM SHALL BE MIN. 18ga (CU).
6. ALL F/A DEVICES e.g. (HORNS, PULL STATIONS, DETECTORS, ETC.) SHALL BE RIGIDLY AND SECURE FASTENED TO WALLS OR CEILINGS.
7. NO SMOKE DETECTOR SHALL BE LOCATED CLOSER THAN 36" TO ANY AIR REGISTER OR DIFFUSER.
8. NO HEAT DETECTOR SHALL BE LOCATED CLOSER THAN 18" TO ANY AIR REGISTER OR DIFFUSER.
9. NO HEAT DETECTOR SHALL BE LOCATED CLOSER THAN 36" TO ANY PART OF ANY HEAT GENERATING DEVICE IN MECHANICAL ROOMS SUCH AS FLUES, BOILERS, WATER HEATERS, ETC.
10. NO HEAT DETECTOR SHALL BE LOCATED CLOSER THAN 12" TO ANY PART OF ANY LIGHT FIXTURE.
11. ALL FIRE ALARM DEVICES TO COMPLY FULLY WITH ALL A.D.A. REQUIREMENTS.
12. CALCULATION BOOKLETS ARE TO BE KEPT WITH AND MADE A PART OF THESE APPROVED PLANS. THEY ARE SUBJECT TO REVIEW BY THE FIRE INSPECTOR.
13. DEVICE MOUNTING HEIGHTS: PULL STATIONS @ 48" AFF. AND WALL MOUNTED NOTIFICATION DEVICE-MOUNT AREAS, 80" AFF. (6" BELOW CEILING MIN.)

## FIRE ALARM WIRE SPECIFICATIONS

FIRE ALARM WIRE DESIGNATION CHART						
CABLE SPECIFICATIONS			MANUFACTURER		MANUFACTURER	
WIRE SYMBOL	WIRE USE	DESCRIPTION	CONDUCTOR	WEST PENN. - PART # T.S.P.	WEST PENN. - PART # T.S.P.	WEST PENN. - PART # T.S.P.
A	485 NETWORK LOOP	#18 TW PAIR	SOLID	D880 PLP / 60890 PLP	D275 FLP / 60875 FLA	D275 FLP / 60875 FLA
B	SIGNATURE LOOP (DATA) & NETWORK LOOP	#16 TW PAIR	SOLID	0.182/0.138 / 0.026/0.015	0.210/0.143 / 0.040/0.020	0.210/0.143 / 0.040/0.020
C	980 PLP / 60911 PLP	#12 TW PAIR	SOLID	0.165/0.156 / 0.022/0.020	0.170/0.160 / 0.023/0.020	0.170/0.160 / 0.023/0.020
D	24 Vdc HDN. CIRCUIT	#12 TW PAIR	SOLID	984 FLP / 60913 FLP	985 FLP / 60902 FLA	985 FLP / 60902 FLA
E	OR #12 TW PAIR	#12 TW PAIR	SOLID	0.205/0.200 / 0.033/0.032	0.210/0.205 / 0.040/0.033	0.210/0.205 / 0.040/0.033
F	24 Vdc VISUAL CIRCUIT	#12 TW PAIR	SOLID	938 FLP / 60995 FLP	990 FLP / 60994 FLP	990 FLP / 60994 FLP
G	AUDIO CIRCUIT	#10 TW PAIR	SOLID	0.235/0.228 / 0.044/0.041	0.240/0.244 / 0.045/0.050	0.240/0.244 / 0.045/0.050
H	980 PLP / 60911 PLP	#12 TW PAIR	SOLID	0.165/0.156 / 0.022/0.020	0.170/0.160 / 0.023/0.020	0.170/0.160 / 0.023/0.020
I	FIRE FIGHTER PHONE	#18 TW SH PAIR	SOLID	D880 PLP / 60890 PLP	D275 FLP / 60875 FLA	D275 FLP / 60875 FLA
J	980 PLP / 60911 PLP	#12 TW PAIR	SOLID	0.182/0.138 / 0.026/0.015	0.210/0.143 / 0.040/0.020	0.210/0.143 / 0.040/0.020

NOTE 1: Must use West Penn Wire Corp or Direct Equivalent  
NOTE 2: All wire symbols listed may not be used

NOTE 2: All wire symbols listed may not be used

## SEQUENCE OF OPERATION

- THE ACTIVATION OF MANUAL PULL STATIONS, AREA SMOKE DETECTORS, AND HEAT DETECTORS SHALL CAUSE FIRE ALARM OPERATION AS FOLLOWS:
  - A. AUDIBLE APPLIANCES (HORNS) TO SOUND AT A TEMPORAL PATTERN THROUGHOUT THE FACILITY.
  - B. VISUAL APPLIANCES (STROBE LIGHTS) TO ACTIVATE THROUGHOUT THE FACILITY.
  - C. THE VISUAL INDICATION OF THE ALARM INITIATING AREA OF INCIDENCE BY DEVICE TYPE AND LOCATION AT THE FIRE ALARM CONTROL PANEL.
  - D. ACTIVATION OF AN AUDIBLE SIGNAL AT THE FIRE ALARM CONTROL PANEL AND REMOTE ANNUNCIATION PANELS.
  - E. DACT REPORTS FIRE ALARM TO CENTRAL STATION (CENTRAL STATION WILL DISPATCH TO FIRE DEPT.)
- B. DISPLAY INITIATING DEVICE CIRCUIT TROUBLE CONDITIONS, SINGLE OPENS AND SINGLE GROUNDS, FOR EACH FIRE ALARM AND SUPERVISORY INITIATING CIRCUITS, AND PROVIDE A COMMON SYSTEM TROUBLE AT THE LOCAL FIRE ALARM CONTROL PANELS.
- C. DISPLAY NOTIFICATION APPLIANCE CIRCUIT TROUBLE CONDITIONS, SINGLE OPENS, SHORTS, AND SINGLE GROUNDS, FOR EACH CIRCUIT, AND A COMMON SYSTEM TROUBLE AT THE FIRE ALARM CONTROL PANELS.
- D. THE EFFECTIVE INTENSITY OF ALL NOTIFICATION STROBES SHALL BE A MINIMUM FOR 15 CANDELA PRODUCING AN EQUIVALENT ILLUMINANCE OF 0.03 LUMENS / SQ. FT. AT 50 FEET ON A HORIZONTAL AXIS.
- E. SYSTEM OPERATION SHALL BE LOW VOLTAGE (24 VOLTS DC) INCLUDING ALL SUPERVISORY AND CONTROL FUNCTIONS.
- F. UPON LOSS OF 120 VAC OPERATING POWER, THE ENTIRE SYSTEM SHALL OPERATE ON STANDBY BATTERY POWER FOR 24 HOURS IN SUPERVISORY MODE AND THEN BE CAPABLE OF ALARM OPERATION FOR 5 MINUTES.
- G. THE TRANSFER TO STANDBY POWER SHALL NOT CAUSE A GENERAL ALARM TO BE GENERATED BUT SHALL BE INDICATED AT THE FIRE ALARM PANEL AND THE REMOTE ANNUNCIATION AS SYSTEM AND BATTERY TROUBLE.
- H. AUDIBLE AND VISUAL EVACUATION SIGNALS SHALL MEET THE REQUIREMENTS AND RECOMMENDATIONS OF NFPA-72 AND THE AMERICANS WITH DISABILITIES ACT(ADA).
- I. THE ACTIVATION OF DUCT SMOKE DETECTORS SHALL CAUSE THE FIRE ALARM OPERATION AS FOLLOWS:
  - 1. ACTIVATION OF AN AUDIBLE SUPERVISORY SIGNAL AT THE FIRE ALARM CONTROL PANEL AND THE REMOTE ANNUNCIATION PANEL.
  - 2. DUCT SMOKE DETECTORS SHALL BE ZONED ON A PER DEVICE BASIS AND BY LOCATION.
  - 3. DACT REPORTS FIRE ALARM TO CENTRAL STATION (CENTRAL STATION WILL DISPATCH TO FIRE DEPT.)

**multistudio**

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
**City of Phoenix**  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
[www.phoenix.gov](http://www.phoenix.gov)

architect:  
**Multistudio**  
521 South 3rd Street #10  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
**Ryden Architects**  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
[www.rydenarchitects.com](http://www.rydenarchitects.com)

structural engineer:  
**BDA design**  
7047 E. Greenway Pkwy #  
Scottsdale, AZ 85254  
480.398.7729  
[www.bdadesign.com](http://www.bdadesign.com)

civil engineer:  
**Wilson & Company**  
410 N 44th Street Suite 400  
Phoenix, AZ 85008  
602.283.2701  
[www.wilsonco.com](http://www.wilsonco.com)

mechanical/electrical eng  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
[www.appliedengineering.com](http://www.appliedengineering.com)

landscape architect:  
**Floor Associates**  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
[www.floorassociates.com](http://www.floorassociates.com)

## FIRE ALARM WIRE SPECIFICATIONS

FIRE ALARM WIRE DESIGNATION CHART						
CABLE SPECIFICATIONS			MANUFACTURER		MANUFACTURER	
WIRE SYMBOL	WIRE USE	DESCRIPTION	CONDUCTOR	WEST PENN. - PART # T.S.P.	WEST PENN. - PART # T.S.P.	WEST PENN. - PART # T.S.P.
A	485 NETWORK LOOP	#18 TW PAIR	SOLID	D880 PLP / 60890 PLP	D275 FLP / 60875 FLA	D275 FLP / 60875 FLA
B	SIGNATURE LOOP (DATA) & NETWORK LOOP	#16 TW PAIR	SOLID	0.182/0.138 / 0.026/0.015	0.210/0.143 / 0.040/0.020	0.210/0.143 / 0.040/0.020
C	980 PLP / 60911 PLP	#12 TW PAIR	SOLID	0.165/0.156 / 0.022/0.020	0.170/0.160 / 0.023/0.020	0.170/0.160 / 0.023/0.020
D	24 Vdc HDN. CIRCUIT	#12 TW PAIR	SOLID	984 FLP / 60913 FLP	985 FLP / 60902 FLA	985 FLP / 60902 FLA
E	OR #12 TW PAIR	#12 TW PAIR	SOLID	0.205/0.200 / 0.033/0.032	0.210/0.205 / 0.040/0.033	0.210/0.205 / 0.040/0.033
F	24 Vdc VISUAL CIRCUIT	#12 TW PAIR	SOLID	938 FLP / 60995 FLP	990 FLP / 60994 FLP	990 FLP / 60994 FLP
G	AUDIO CIRCUIT	#10 TW PAIR	SOLID	0.235/0.228 / 0.044/0.041	0.240/0.244 / 0.045/0.050	0.240/0.244 / 0.045/0.050
H	980 PLP / 60911 PLP	#12 TW PAIR	SOLID	0.165/0.156 / 0.022/0.020	0.170/0.160 / 0.023/0.020	0.170/0.160 / 0.023/0.020
I	FIRE FIGHTER PHONE	#18 TW SH PAIR	SOLID	D880 PLP / 60890 PLP	D275 FLP / 60875 FLA	D275 FLP / 60875 FLA
J	980 PLP / 60911 PLP	#12 TW PAIR	SOLID	0.182/0.138 / 0.026/0.015	0.210/0.143 / 0.040/0.020	0.210/0.143 / 0.040/0.020

NOTE 1: Must use West Penn Wire Corp or Direct Equivalent  
NOTE 2: All wire symbols listed may not be used

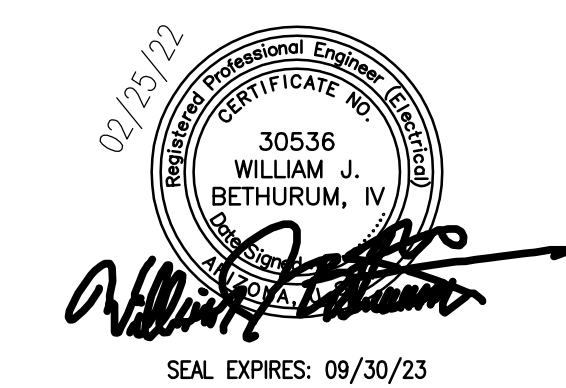
NOTE 2: All wire symbols listed may not be used

## SEQUENCE OF OPERATION

- THE ACTIVATION OF MANUAL PULL STATIONS, AREA SMOKE DETECTORS, AND HEAT DETECTORS SHALL CAUSE FIRE ALARM OPERATION AS FOLLOWS:
  - A. AUDIBLE APPLIANCES (HORNS) TO SOUND AT A TEMPORAL PATTERN THROUGHOUT THE FACILITY.
  - B. VISUAL APPLIANCES (STROBE LIGHTS) TO ACTIVATE THROUGHOUT THE FACILITY.
  - C. THE VISUAL INDICATION OF THE ALARM INITIATING AREA OF INCIDENCE BY DEVICE TYPE AND LOCATION AT THE FIRE ALARM CONTROL PANEL.
  - D. ACTIVATION OF AN AUDIBLE SIGNAL AT THE FIRE ALARM CONTROL PANEL AND REMOTE ANNUNCIATION PANELS.
  - E. DACT REPORTS FIRE ALARM TO CENTRAL STATION (CENTRAL STATION WILL DISPATCH TO FIRE DEPT.)
- B. DISPLAY INITIATING DEVICE CIRCUIT TROUBLE CONDITIONS, SINGLE OPENS AND SINGLE GROUNDS, FOR EACH FIRE ALARM AND SUPERVISORY INITIATING CIRCUITS, AND PROVIDE A COMMON SYSTEM TROUBLE AT THE LOCAL FIRE ALARM CONTROL PANELS.
- C. DISPLAY NOTIFICATION APPLIANCE CIRCUIT TROUBLE CONDITIONS, SINGLE OPENS, SHORTS, AND SINGLE GROUNDS, FOR EACH CIRCUIT, AND A COMMON SYSTEM TROUBLE AT THE FIRE ALARM CONTROL PANELS.
- D. THE EFFECTIVE INTENSITY OF ALL NOTIFICATION STROBES SHALL BE A MINIMUM FOR 15 CANDELA PRODUCING AN EQUIVALENT ILLUMINANCE OF 0.03 LUMENS / SQ. FT. AT 50 FEET ON A HORIZONTAL AXIS.
- E. SYSTEM OPERATION SHALL BE LOW VOLTAGE (24 VOLTS DC) INCLUDING ALL SUPERVISORY AND CONTROL FUNCTIONS.
- F. UPON LOSS OF 120 VAC OPERATING POWER, THE ENTIRE SYSTEM SHALL OPERATE ON STANDBY BATTERY POWER FOR 24 HOURS IN SUPERVISORY MODE AND THEN BE CAPABLE OF ALARM OPERATION FOR 5 MINUTES.
- G. THE TRANSFER TO STANDBY POWER SHALL NOT CAUSE A GENERAL ALARM TO BE GENERATED BUT SHALL BE INDICATED AT THE FIRE ALARM PANEL AND THE REMOTE ANNUNCIATION AS SYSTEM AND BATTERY TROUBLE.
- H. AUDIBLE AND VISUAL EVACUATION SIGNALS SHALL MEET THE REQUIREMENTS AND RECOMMENDATIONS OF NFPA-72 AND THE AMERICANS WITH DISABILITIES ACT(ADA).
- I. THE ACTIVATION OF DUCT SMOKE DETECTORS SHALL CAUSE THE FIRE ALARM OPERATION AS FOLLOWS:
  - 1. ACTIVATION OF AN AUDIBLE SUPERVISORY SIGNAL AT THE FIRE ALARM CONTROL PANEL AND THE REMOTE ANNUNCIATION PANEL.
  - 2. DUCT SMOKE DETECTORS SHALL BE ZONED ON A PER DEVICE BASIS AND BY LOCATION.
  - 3. DACT REPORTS FIRE ALARM TO CENTRAL STATION (CENTRAL STATION WILL DISPATCH TO FIRE DEPT.)

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS  
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR  
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



## REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT NO: 0520-0020  
DATE: FEBRUARY 25, 2022

## Fire Alarm Riser Diagram

## EO.4

## 2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	71	117

AH20300003-2 : EDISON IMPACT HUB CONSTRUCTION. Q.S.11-31



EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
Hyden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.hydenarchitects.com

structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

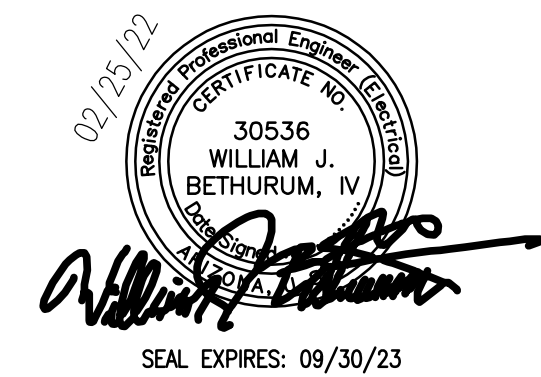
civil engineer:  
Wilson & Company  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.283.5701  
www.wilsonco.com

mechanical/electrical engineer:  
Applied Engineering  
2800 S. Rural Road #301  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION

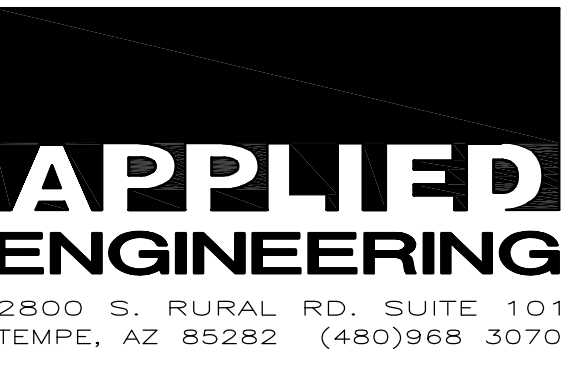
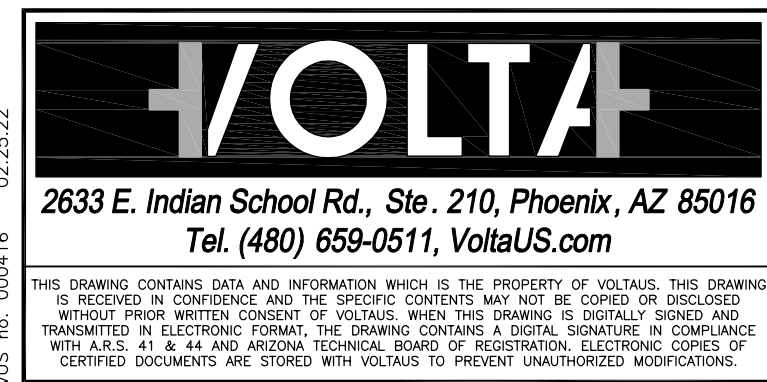


KEYED NOTES

- EXISTING BUILDING AND ASSOCIATED ELECTRICAL TO BE DEMOLISHED. COORDINATE WITH APS. SEE APS DESIGN FOR COMPLETE REQUIREMENTS.
- REMOVE EXISTING ELECTRICAL SERVICE AND ASSOCIATED EQUIPMENT. COORDINATE WITH APS. SEE APS DESIGN FOR COMPLETE REQUIREMENTS.
- REMOVE ALL EXTERIOR CONDUIT AND BRANCH WIRING.
- (KEYED NOTE NOT USED).
- WITHIN THE STRUCTURE, REMOVE UNUSED ELECTRICAL EQUIPMENT, FEEDERS, LIGHTING, LOW VOLTAGE WIRING, WIRING DEVICES AS COORDINATED WITH THE FINAL ELECTRICAL DESIGN.
- WITHIN ATTIC SPACES, REMOVE ALL UNUSED CONDUIT, WIRING, AND DEVICES INCLUDING ALL UNUSED LOW VOLTAGE WIRING THROUGHOUT. COORDINATE ALL WORK WITH OWNER'S IT REPRESENTATIVE. THESE SPACES MAY BE USED FOR ROUTING NEW RACEWAYS AND WIRING ACCORDINGLY.

DEMOLITION GENERAL NOTES

- COORDINATE ALL WORK WITH OTHER TRADES AND ARCHITECTURAL DEMOLITION PLANS.
- WITHIN AREAS OF DEMOLITION, REMOVE ALL UNUSED LOW VOLTAGE WIRING & RACEWAYS REMAINING FROM ABANDONED SYSTEMS. REMOVE ALL NON-CONFORMING, DAMAGED, OR ABANDONED RACEWAYS, BRANCH WIRING, WIRING DEVICES.



Electrical Site  
Demolition Plan

E1.0

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	72	117



## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
Hyden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.hydenarchitects.com

structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

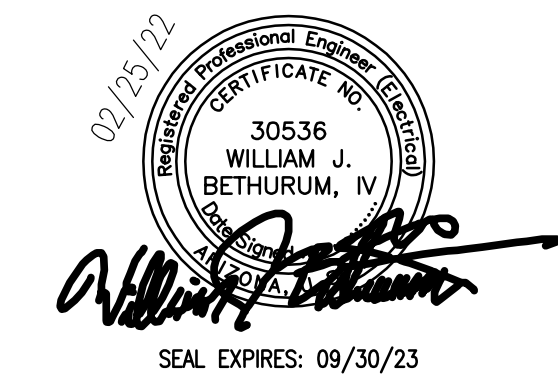
civil engineer:  
Wilson & Company  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.283.5703  
www.wilsonco.com

mechanical/electrical engineer:  
Applied Engineering  
2800 S. Rural Road #301  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



### REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

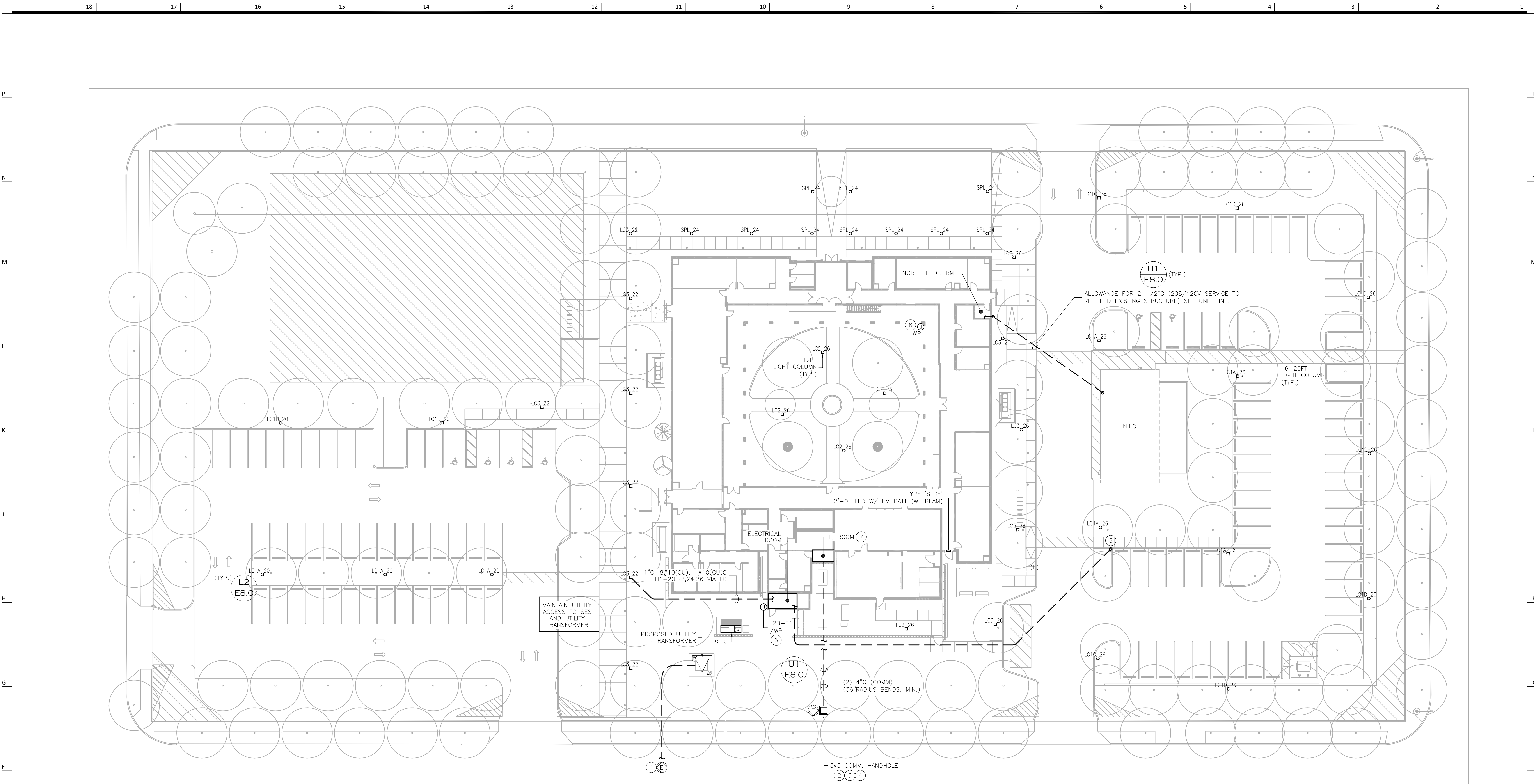
PROJECT NO: 0520-0020  
DATE: FEBRUARY 25, 2022

Electrical Site Plan

# E1.1

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	73	117



### 1 ELECTRICAL SITE PLAN

SCALE: 1"=20'-0"

### KEYED NOTES

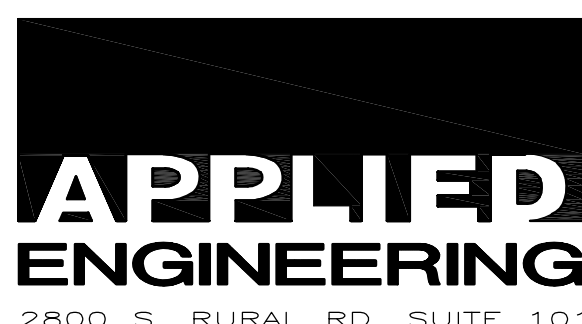
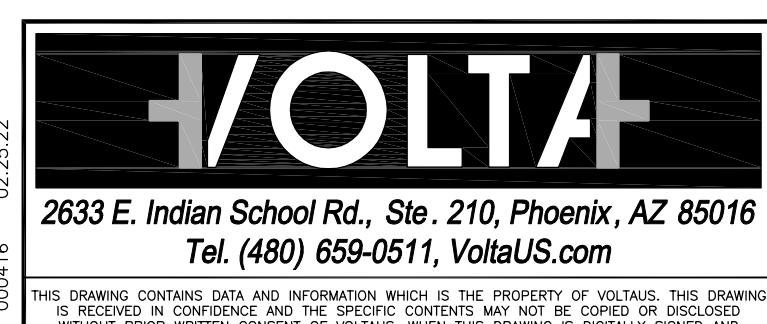
- ESTIMATED POINT OF CONNECTION, UTILITY PRIMARY AS COORDINATED WITH UTILITY. ESTIMATE 100LF PRIMARY FOR THE PURPOSE OF THE BID.
- ESTIMATED POINT OF CONNECTION (DATA/TEL), COMMUNICATIONS HANDHOLES. COORDINATE WITH DATA/TEL/CABLE UTILITIES.
- ESTIMATED POINT OF CONNECTION (CABLE).
- PROVIDE & INSTALL HANDHOLES WITH LOCKABLE COVERS.
- STUB & CAP 1-1/2" CONDUIT FOR FUTURE EV CHARGER(S).
- IRRIGATION CONTROLLER. COORDINATE FINAL LOCATION(S) WITH LANDSCAPE PLANS. (1) 3/4", 2#12(CU), 1#12(CU)G AT EACH LOCATION. 2 TOTAL PER LANDSCAPE DRAWINGS.
- INSTALL 1" C TO EACH POLE FOR LOW VOLTAGE SYSTEMS, DAISY CHAINED, AND ROUTED TO MAIN IT ROOM. INSTALL PRECAST #5 LOW VOLTAGE HANDHOLES AS NEEDED.

### GENERAL NOTES

- REFER TO ELECTRICAL LEGEND AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- UTILITY SERVICE (TELEPHONE/CABLE) - COORDINATE ALL SERVICE REQUIREMENTS WITH UTILITY. PROVIDE AND INSTALL ALL NECESSARY TRENCHING CONDUITS, JUNCTION BOXES, AND ALL ELSE AS REQUIRED PER UTILITY SPECIFICATIONS.
- EXTERIOR RECEPTACLES SHALL BE IN-USE WEATHERPROOF COVER, NEMA 3R, SINGLE GANG, VERTICAL DEEP WITH METAL COVER & IDENTIFY AS "EXTRA DUTY" PER NEC ART. 406.9. SEE E0.1 FOR SPECS.
- PROVIDE DETECTABLE UNDERGROUND LOCATION DEVICE (MIN. #18 COPPER TRACER ATTACHED AT 8FT INTERVALS) IN ALL NON-METALLIC UNDERGROUND CONDUITS PER A.R.S. 40-560.22M.
- CONTRACTOR SHALL ARRANGE AND ATTEND A NIGHTTIME INSPECTION OF THE ENERGIZED LIGHTING BY OWNER'S STAFF AND SHALL CORRECT ALL NON-CONFORMING ITEMS IDENTIFIED DURING THE INSPECTION PRIOR TO THE CITY ISSUING THE FINAL CERTIFICATE OF OCCUPANCY/COMPLETION.

### KEYED NOTES - SITE PLAN

- ESTIMATED POINT OF CONNECTION POWER, EXISTING UTILITY PRIMARY.
- ESTIMATED POINT OF CONNECTION (DATA/TEL). EXISTING DATA/TELEPHONE UTILITIES AT ROADWAYS.





EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
300 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
Hyden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.3381  
www.hydenarchitects.com

structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

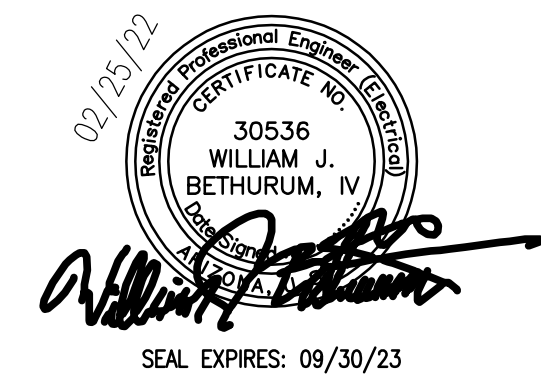
civil engineer:  
Wilson & Company  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.283.7703  
www.wilsonco.com

mechanical/electrical engineer:  
Applied Engineering  
2800 S. Rural Road #301  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



REVISIONS

Number DESCRIPTION DATE

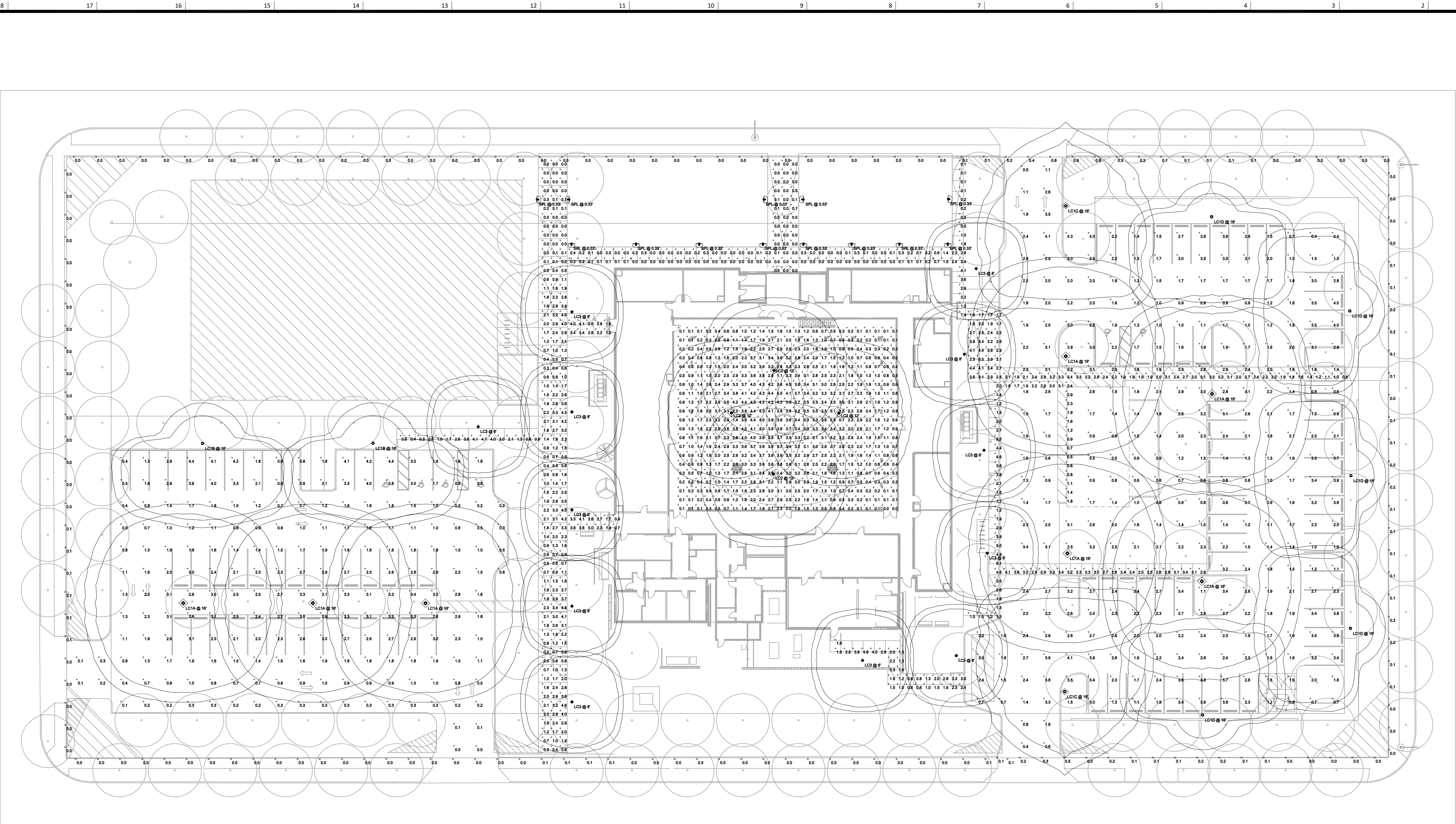
PROJECT NO: 0520-0020  
DATE: FEBRUARY 25, 2022

Photometric Site Plan

E1.2

2ND PERMIT REVIEW

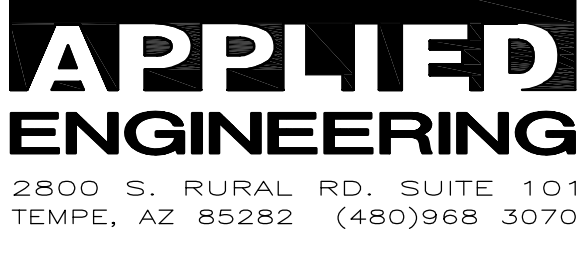
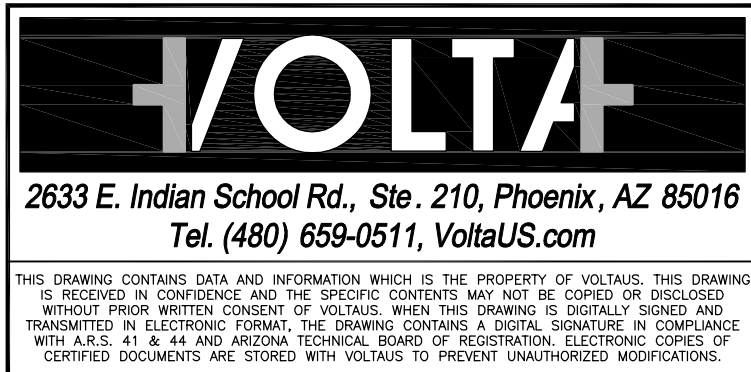
Project Number	NO.	Total
AH20300003-2	74	117



1 PHOTOMETRIC SITE PLAN  
SCALE: 1"=20'-0"

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Lamp	Light Loss Factor	Wattage
○	LC1A	7	SELUX	EXRL-16-R55-5G140-30-FINISH-VOLTAGE-DM	16" FULL CUTOFF LED LIGHT COLUMN WITH TYPE 5 SQUARE OPTICS	1	10063	3000K LED	0.91	125
○	LC1B	2	SELUX	EXRL-X-R3-5G140-30-FINISH-VOLTAGE-DM-HS	16" FULL CUTOFF LED LIGHT COLUMN WITH TYPE 3 OPTICS AND INTERNAL HOUSE SIDE SHIELD	1	6328	3000K LED	0.91	125
○	LC1C	2	SELUX	EXRL-16-R4-5G140-30-FINISH-VOLTAGE-DM	16" FULL CUTOFF LED LIGHT COLUMN WITH TYPE 4 OPTICS	1	9255	3000K LED	0.91	125
○	LC1D	5	SELUX	EXRL-16-R4-5G140-30-XX-VOLTAGE-DM-HS	16" FULL CUTOFF LED LIGHT COLUMN WITH TYPE 4 OPTICS AND INTERNAL HOUSE SIDE SHIELD	1	5998	3000K LED	0.91	125
○	LC2	4	SELUX	EXRL-12-R55-5G530-30-FINISH-VOLTAGE-DM	12" FULL CUTOFF LED LIGHT COLUMN WITH TYPE 5 SQUARE OPTICS	1	4928	3000K LED	0.91	50
○	LC3	12	SELUX	EXRL-08-R55-5G350-30-FINISH-VOLTAGE-DM	8" TALL FULL CUTOFF LED LIGHT COLUMN WITH TYPE 5 SQUARE OPTICS	1	3309	3000K LED	0.91	33.1103
^ ○	SPL	13	VISTA PROFESSIONAL	1181-X-H-30-A-DV-ND-XX	5" DIA LED INGRADE MARKER LIGHT WITH 180 DISTRIBUTION MOUNTED AT GRADE	1	41	3000K LED	0.91	14.01

Statistics					
Description	Symbol	Avg	Min	Max/Min	Avg/Min
COURTYARD	+	1.9 fc	0.0 fc	N/A	N/A
EAST LOT	+	2.1 fc	0.4 fc	10.8.1	5.3.1
PL FC AFG	×	0.1 fc	0.0 fc	N/A	N/A
WALKWAY FC	+	1.6 fc	0.0 fc	N/A	N/A
WEST PARKING LOT	+	1.7 fc	0.0 fc	N/A	N/A

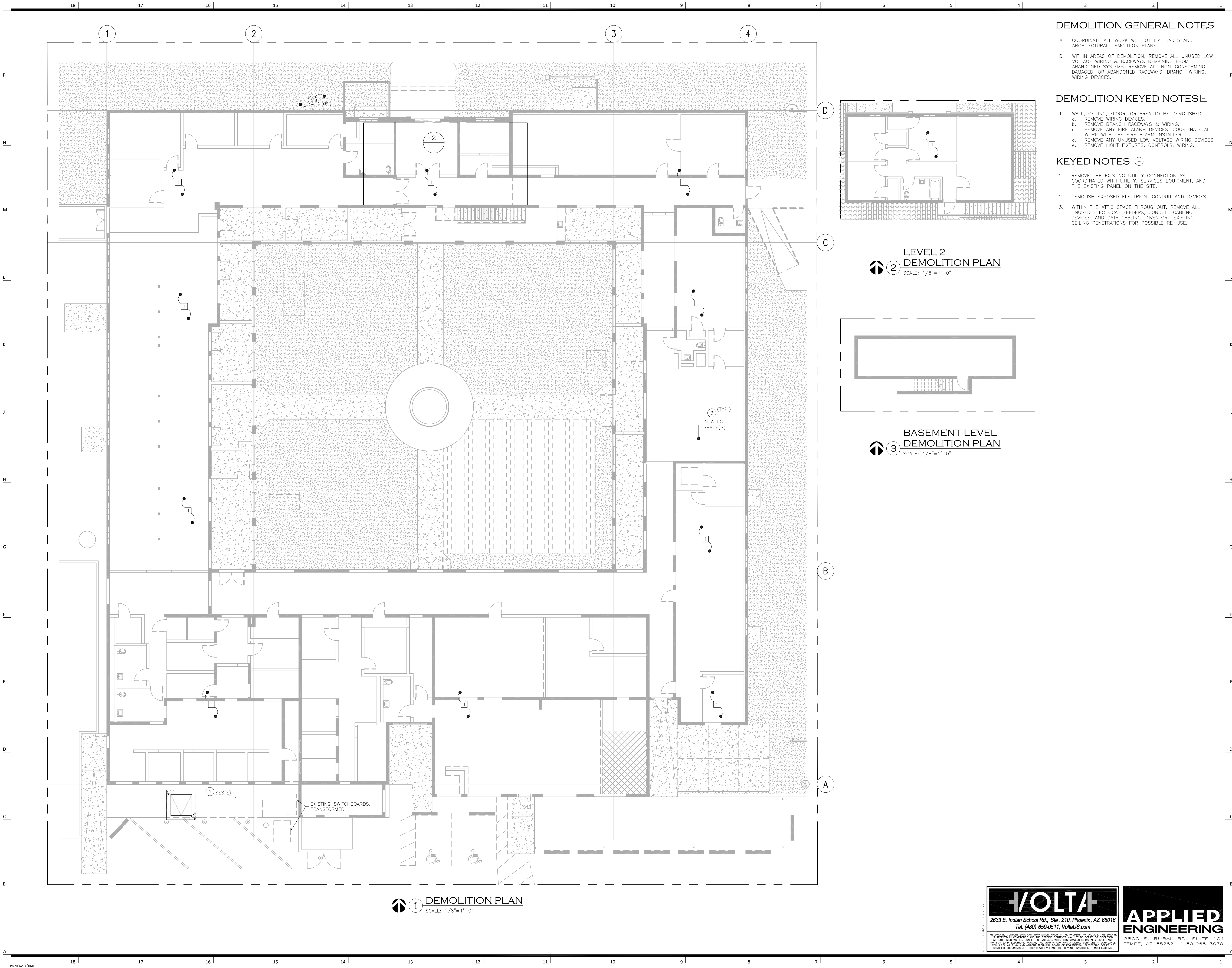


Project Number	NO.	Total
AH20300003-2	74	117









DEMOLITION GENERAL NOTES

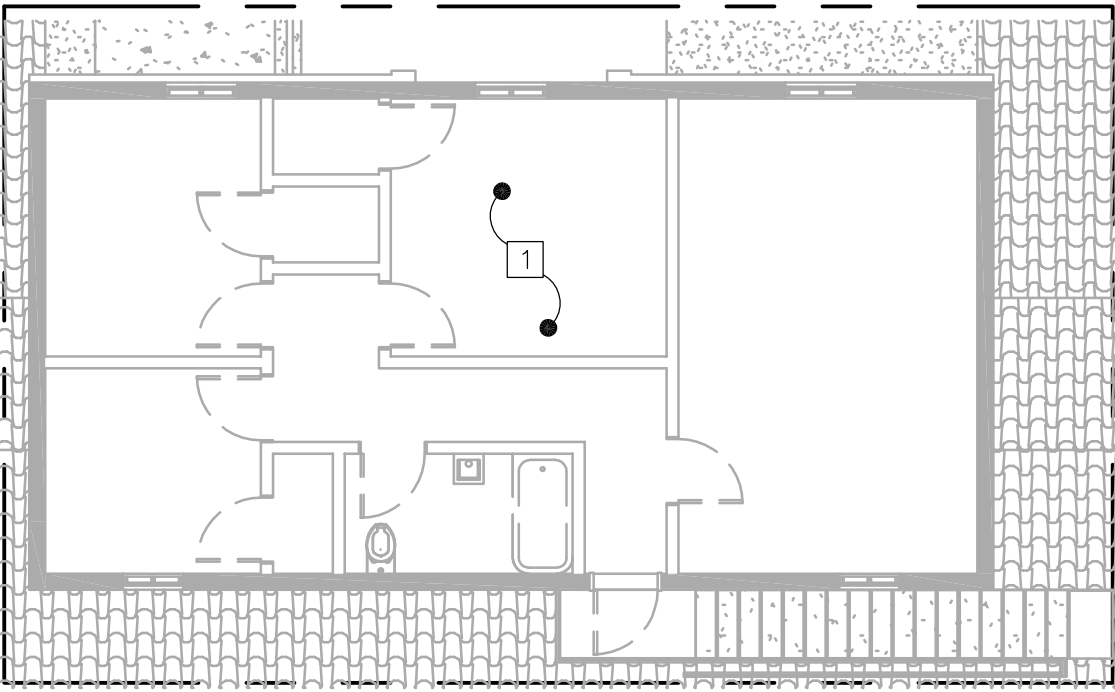
- A. COORDINATE ALL WORK WITH OTHER TRADES AND ARCHITECTURAL DEMOLITION PLANS.
- B. WITHIN AREAS OF DEMOLITION, REMOVE ALL UNUSED LOW VOLTAGE WIRING & RACEWAYS REMAINING FROM ABANDONED SYSTEMS. REMOVE ALL NON-CONFORMING, DAMAGED, OR ABANDONED RACEWAYS, BRANCH WIRING, WIRING DEVICES.

DEMOLITION KEYED NOTES

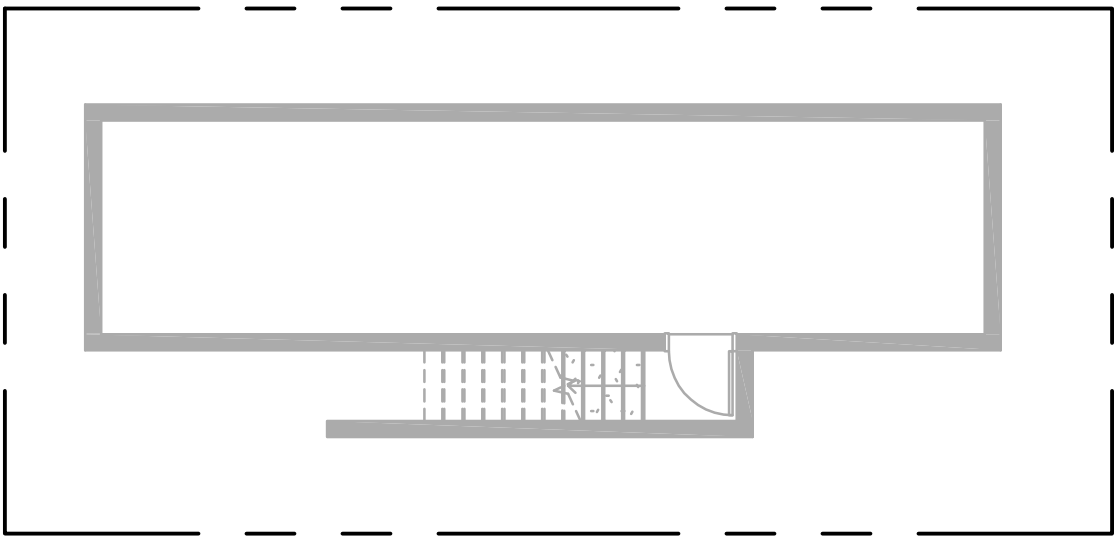
1. WALL, CEILING, FLOOR, OR AREA TO BE DEMOLISHED.
- a. REMOVE WIRING DEVICES.
- b. REMOVE BRANCH RACEWAYS & WIRING.
- c. REMOVE ANY FIRE ALARM DEVICES. COORDINATE ALL WORK WITH THE FIRE ALARM INSTALLER.
- d. REMOVE ANY UNUSED LOW VOLTAGE WIRING DEVICES.
- e. REMOVE LIGHT FIXTURES, CONTROLS, WIRING.

KEYED NOTES

1. REMOVE THE EXISTING UTILITY CONNECTION AS COORDINATED WITH UTILITY, SERVICES EQUIPMENT, AND THE EXISTING PANEL ON THE SITE.
2. DEMOLISH EXPOSED ELECTRICAL CONDUIT AND DEVICES.
3. WITHIN THE ATTIC SPACE THROUGHOUT, REMOVE ALL UNUSED ELECTRICAL FEEDERS, CONDUIT, CABLING, DEVICES, AND DATA CABLING. INVENTORY EXISTING CEILING PENETRATIONS FOR POSSIBLE RE-USE.



LEVEL 2  
DEMOLITION PLAN  
SCALE: 1/8"=1'-0"



BASEMENT LEVEL  
DEMOLITION PLAN  
SCALE: 1/8"=1'-0"

DEMOLITION PLAN  
SCALE: 1/8"=1'-0"

**VOLTA**  
2633 E. Indian School Rd., Ste. 210, Phoenix, AZ 85016  
Tel: (480) 659-0511, [VoltaUS.com](http://VoltaUS.com)

THIS DRAWING CONTAINS DATA AND INFORMATION WHICH IS THE PROPERTY OF VOLTAUS. THIS DRAWING IS PROVIDED IN CONFIDENCE AND THE SPECIFIC CONTENTS MAY NOT BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM VOLTAUS. ANY UNAUTHORIZED REPRODUCTION OR DISSEMINATION OF THIS DRAWING IS STRICTLY PROHIBITED. THE DRAWING IS SUBJECT TO CHANGE WITHOUT NOTICE. VOLTAUS IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. VOLTAUS IS NOT A DESIGNER OF RECORD. VOLTAUS IS NOT A DESIGNER OF RECORD. VOLTAUS IS NOT A DESIGNER OF RECORD.

**APPLIED ENGINEERING**  
2800 S. RURAL RD., SUITE 101  
TEMPE, AZ 85282 (480)968 3070

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
300 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
[www.phoenix.gov](http://www.phoenix.gov)

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
[multi.studio](http://multi.studio)

historic preservation:  
Hyden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
[www.hydenarchitects.com](http://www.hydenarchitects.com)

structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
[www.bdadesign.com](http://www.bdadesign.com)

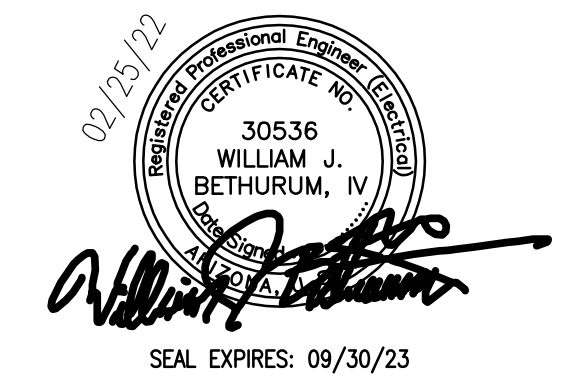
civil engineer:  
Wilson & Company  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.383.5703  
[www.wilsonco.com](http://www.wilsonco.com)

mechanical/electrical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
[www.appliedengineering.com](http://www.appliedengineering.com)

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
[www.floorassociates.com](http://www.floorassociates.com)

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT NO: 0520-0020  
DATE: FEBRUARY 25, 2022

Electrical Demo Plan

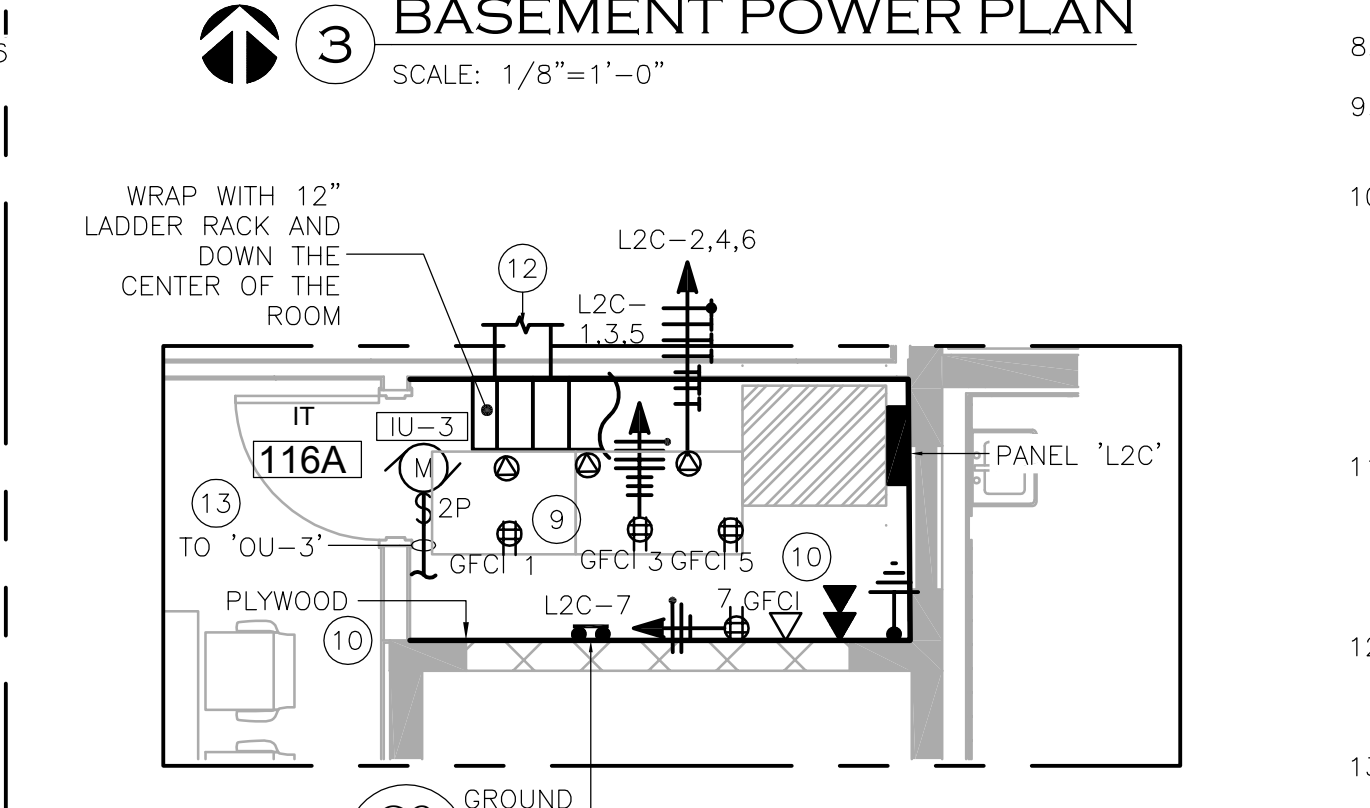
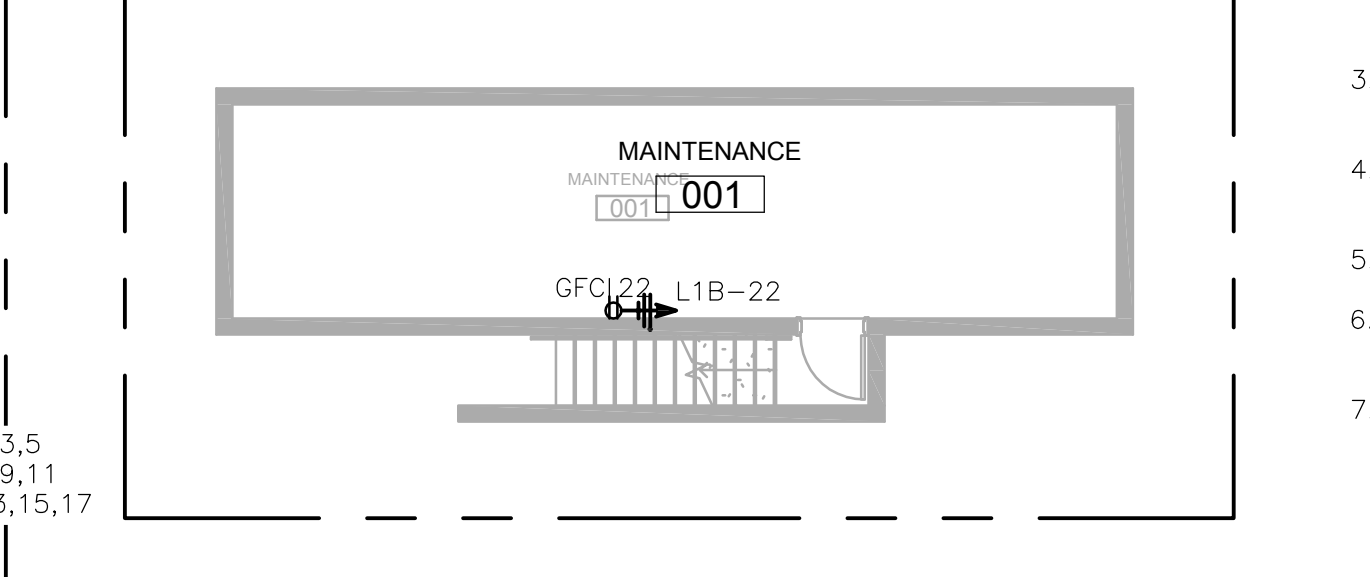
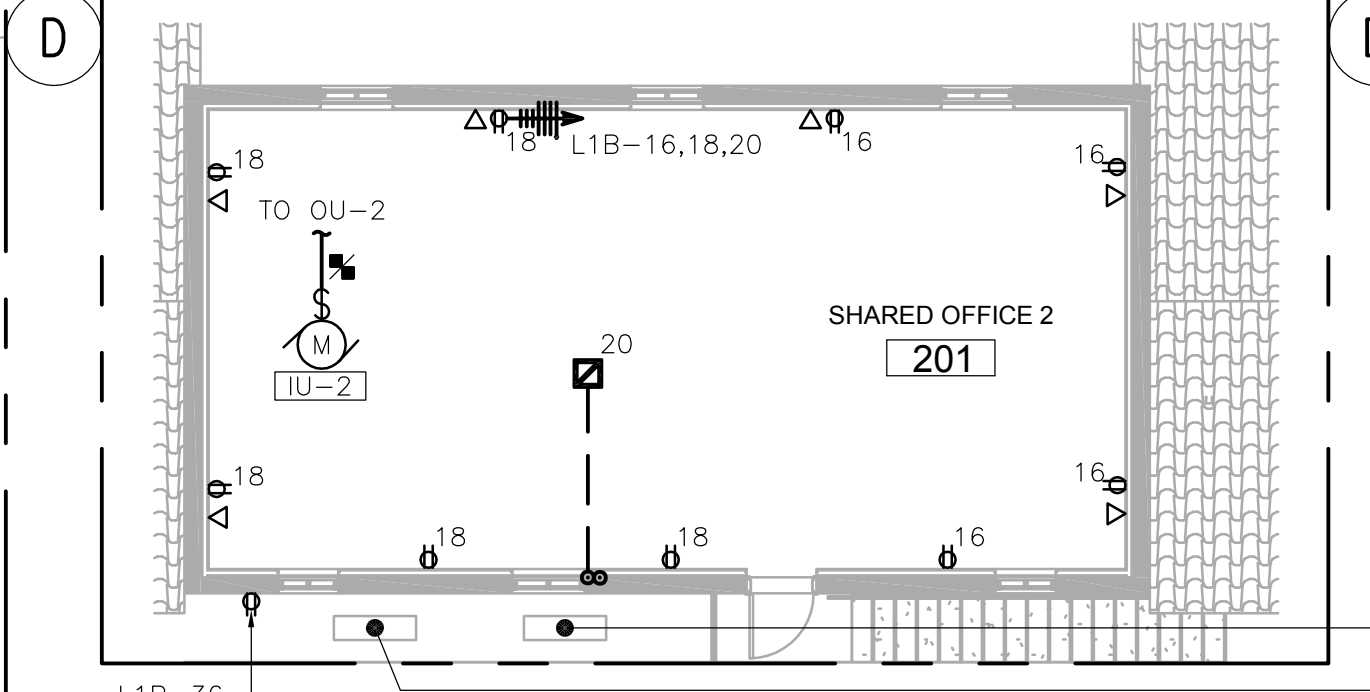
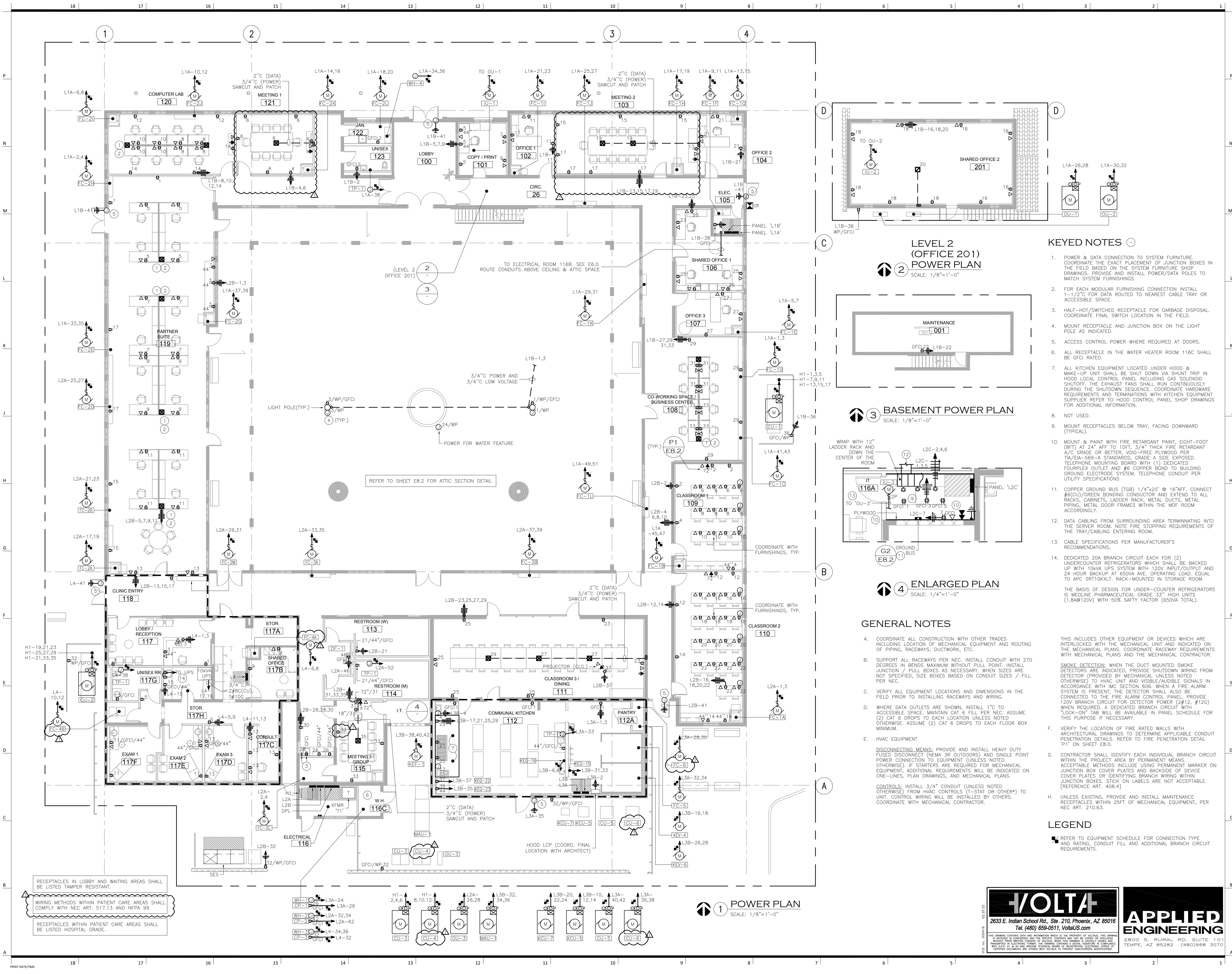
E2.0

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	76	117

AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION, Q.S.11-31





### GENERAL NOTES

- COORDINATE ALL CONSTRUCTION WITH OTHER TRADES INCLUDING LOCATION OF MECHANICAL EQUIPMENT AND ROUTING OF PIPING, RACEWAYS, DUCTWORK, ETC.
- SUPPORT ALL RACEWAYS PER NEC. INSTALL CONDUIT WITH 270 DEGREES IN BENDS MAXIMUM WITHOUT PULL POINT. INSTALL JUNCTION / PULL BOXES AS NECESSARY. WHEN SIZES ARE NOT SPECIFIED, SIZE BOXES BASED ON CONDUIT SIZES / FILL PER NEC.
- VERIFY ALL EQUIPMENT LOCATIONS AND DIMENSIONS IN THE FIELD PRIOR TO INSTALLING RACEWAYS AND WIRING.
- WHERE DATA OUTLETS ARE SHOWN, INSTALL 1" TO ACCESSIBLE SPACE. MAINTAIN CAT 6 FILL PER NEC ASSUME (2) CAT 6 DROPS TO EACH LOCATION UNLESS NOTED OTHERWISE. ASSUME (2) CAT 6 DROPS TO EACH FLOOR BOX MINIMUM.
- HVAC EQUIPMENT  
**DISCONNECTING MEANS:** PROVIDE AND INSTALL HEAVY DUTY FUSED DISCONNECT (NEMA 3R OUTDOORS) AND SINGLE POINT POWER DISCONNECT TO EQUIPMENT (UNLESS NOTED OTHERWISE). IF STARTERS ARE REQUIRED FOR MECHANICAL EQUIPMENT, ADDITIONAL REQUIREMENTS WILL BE INDICATED ON ONE-LINES, PLAN DRAWINGS, AND MECHANICAL PLANS.  
**CONTROLS:** INSTALL 3/4" CONDUIT (UNLESS NOTED OTHERWISE) FROM HVAC CONTROLS (T-STAT OR OTHER\*) TO UNIT. CONTROL WIRING WILL BE INSTALLED BY OTHERS. COORDINATE WITH MECHANICAL CONTRACTOR.

### LEGEND

- REFER TO EQUIPMENT SCHEDULE FOR CONNECTION TYPE AND RATING. CONDUIT FILL AND ADDITIONAL BRANCH CIRCUIT REQUIREMENTS.

### KEYED NOTES

- POWER & DATA CONNECTION TO SYSTEM FURNITURE. COORDINATE THE EXACT PLACEMENT OF JUNCTION BOXES IN THE FIELD BASED ON THE SYSTEM FURNITURE SHOP DRAWINGS. PROVIDE AND INSTALL POWER/DATA POLES TO MATCH SYSTEM FURNISHINGS.
  - FOR EACH MODULAR FURNISHING CONNECTION INSTALL 1-1/2" FOR DATA ROUTED TO NEAREST CABLE TRAY OR ACCESSIBLE SPACE.
  - HALF-HOT/SWITCHED RECEPTACLE FOR GARBAGE DISPOSAL. COORDINATE FINAL SWITCH LOCATION IN THE FIELD.
  - MOUNT RECEPTACLE AND JUNCTION BOX ON THE LIGHT POLE AS INDICATED.
  - ACCESS CONTROL POWER WHERE REQUIRED AT DOORS.
  - ALL RECEPTACLE IN THE WATER HEATER ROOM 116C SHALL BE GFCI RATED.
  - ALL KITCHEN EQUIPMENT LOCATED UNDER HOOD & MAKE-UP UNIT SHALL BE SHUT DOWN VIA SHUNT TRIP IN HOOD LOCAL CONTROL PANEL INCLUDING GAS SOLENOID SHUTOFF. THE EXHAUST FANS SHALL RUN CONTINUOUSLY DURING THE SHUTDOWN SEQUENCE. COORDINATE HARDWARE REQUIREMENTS AND TERMINATIONS WITH KITCHEN EQUIPMENT SUPPLIER REFER TO HOOD CONTROL PANEL SHOP DRAWINGS FOR ADDITIONAL INFORMATION.
  - NOT USED.
  - MOUNT RECEPTACLES BELOW TRAY, FACING DOWNWARD (TYPICAL).
  - MOUNT & PAINT WITH FIRE RETARDANT PAINT, EIGHT-FOOT (8FT) AT 24" AFF TO 10FT, 3/4" THICK FIRE RETARDANT A/C GRADE OR BETTER, VOID-FREE PLYWOOD PER TIA/EIA-569-A STANDARDS, GRADE A SIDE EXPOSED. TELEPHONE MOUNTING BOARD WITH (1) DEDICATED FOURPLEX OUTLET AND #6 COPPER BOND TO BUILDING GROUND ELECTRODE SYSTEM. TELEPHONE CONDUIT PER UTILITY SPECIFICATIONS.
  - COPPER GROUND BUS (TGB) 1/4"x20' @ 16" AFF. CONNECT #6(CU)/GREEN BONDING CONDUCTOR AND EXTEND TO ALL RACKS, CABINETS, LADDER RACK, METAL DUTCH, METAL PIPING, METAL DOOR FRAMES WITHIN THE MDF ROOM ACCORDINGLY.
  - DATA CABLEING FROM SURROUNDING AREA TERMINATING INTO THE SERVER ROOM. NOTE FIRE STOPPING REQUIREMENTS OF THE TRAY/CABLEING ENTERING ROOM.
  - CABLE SPECIFICATIONS PER MANUFACTURER'S RECOMMENDATIONS.
  - DEDICATED 20A BRANCH CIRCUIT EACH FOR (2) UNDERCOUNTER REFRIGERATORS WHICH SHALL BE BACKED UP WITH 10KVA UPS SYSTEM WITH 120V INPUT/OUTPUT AND 24 HOUR BACKUP AT 650VA AVE. OPERATING LOAD. EQUAL TO APC SRT10KXLT. RACK-MOUNTED IN STORAGE ROOM.
- THE BASIS OF DESIGN FOR UNDER-COUNTER REFRIGERATORS IS MEDLINE PHARMACEUTICAL GRADE 33" HIGH UNITS (1.8AB120V) WITH 50% SAFETY FACTOR (650VA TOTAL).

**multistudio**

kansas city • lawrence • new orleans  
phoenix • san francisco

**EDISON  
IMPACT HUB**

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi-studio

historic preservation:  
Hyden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.3381  
www.rydenarchitects.com

structural engineer:  
BDA design  
7047 E Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

civil engineer:  
Wilson & Company  
410 N 44th Street Suite 450  
Phoenix, AZ 85008  
602.283.3703  
www.wilsonco.com

mechanical/electrical engineer:  
Applied Engineering  
2800 S. Rural Road #310  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

**REVISIONS**

Number	DESCRIPTION	DATE
1	CITY COMMENTS	02/25/2022

PROJECT NO: 0520-0020  
DATE: FEBRUARY 25, 2022

Power Plan  
**E2.1**

2ND PERMIT REVIEW

**VOLTA**  
2633 E. Indian School Rd., Ste. 210, Phoenix, AZ 85016  
Tel: (480) 659-0511, [VoltaUS.com](http://VoltaUS.com)

**APPLIED  
ENGINEERING**  
2800 S. RURAL RD., SUITE 101  
TEMPE, AZ 85282 (480)968.3070

PRINT DATE/TIME: 18 | 17 | 16 | 15 | 14 | 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1



1 LIGHTING PLAN  
SCALE: 1/8"=1'-0"

GENERAL NOTES

- EMERGENCY AND EXIT SIGNS SHALL BE CONNECTED TO A NON-SWITCHED LEG OF THE NEAREST BRANCH LIGHTING CIRCUIT. 2#12, 1#12G UNLESS NOTED OTHERWISE. REFER TO LEGEND FOR EMERGENCY LIGHT FIXTURE SYMBOLS.
- FIXTURES DESIGNATED AS NIGHT LIGHTS SHALL BE SUPPLIED FROM A NON-SWITCHED LEG OF THE BRANCH LIGHTING CIRCUIT FOR ONE BALLAST OF EACH NIGHT LIGHT FIXTURE. IN MANY CASES, EMERGENCY FIXTURES WILL BE DESIGNATED AS NIGHT LIGHTS FOR CONVENIENCE.
- IN GENERAL, NON-SWITCHED LEGS FOR NIGHT LIGHTS AND EMERGENCY LIGHTS AND TRAVELER CONDUCTORS FOR 3-WAY SWITCHING ARE NOT SHOWN ON THE PLANS. INSTALL THESE CONDUCTORS AS REQUIRED FOR PROPER OPERATION OF THE LIGHT FIXTURES.
- INSTALL FLEXIBLE CONDUIT CONNECTIONS TO FIXTURES (NOT TO EXCEED 6' IN LENGTH) WHEN NECESSARY.
- WHEN LIGHTING CONTROL DEVICES ARE INDICATED ON PLANS AND DETAILS, THE CONTRACTOR SHALL INSTALL ANY ASSOCIATED CONTROL WIRING REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
- CONCEAL CONDUITS IN ALL FINISHED AREAS INCLUDING CONCEALMENT WITHIN MASONRY WALLS WHEN PRESENT. (EXCEPTION: ELECTRICAL, MECHANICAL, AND JANITOR ROOMS).

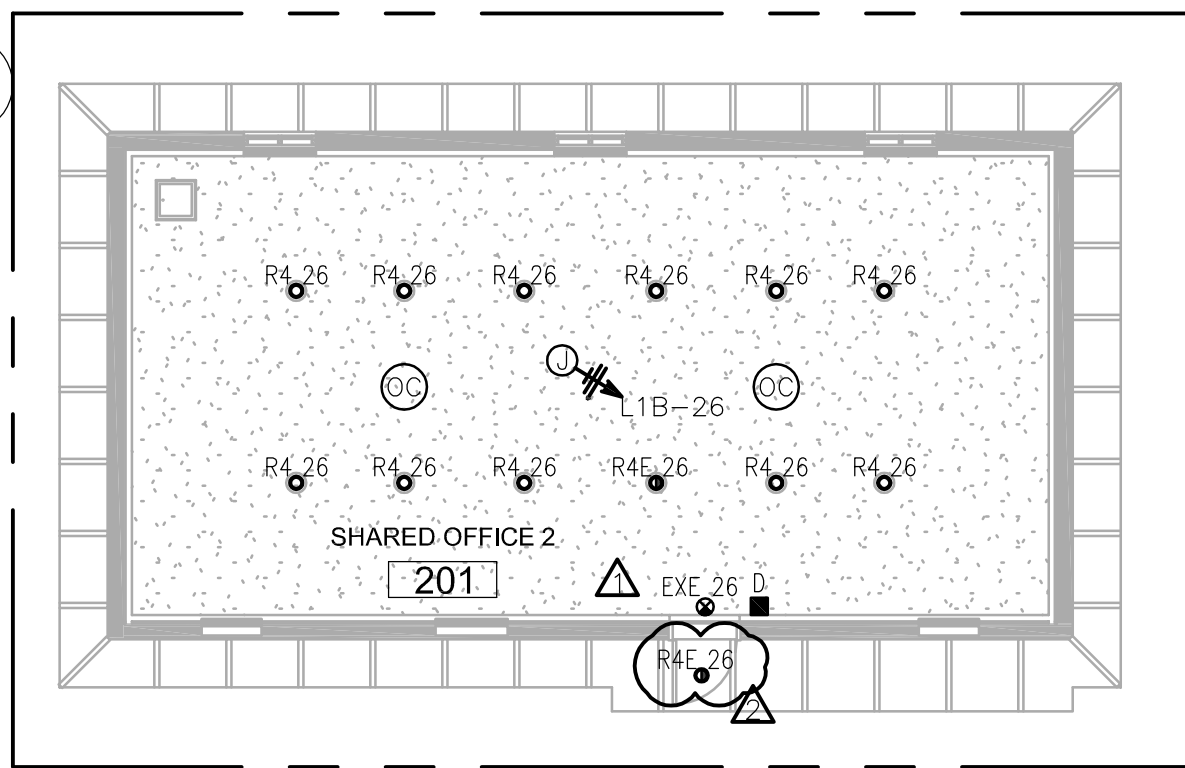
WHEN OVERHEAD ELECTRICAL WORK IS EXPOSED: MOUNTING OF ALL ELECTRICAL WORK/CONDUIT SHALL RUN IN DECK FLUTES AND/OR TIGHT WITH DECK IN A CLEAN AND WORKMAN LIKE MANNER. CONTRACTOR MAY RUN CONDUIT UNDER FLOOR AS NECESSARY TO FACILITATE CONCEALMENT OF CONDUITS.

NEC ART. 300.4(E) CABLES, RACEWAYS, OR BOXES INSTALLED IN OR UNDER ROOF DECKING. A CABLE, RACEWAY, OR BOX, INSTALLED IN EXPOSED OR CONCEALED LOCATIONS UNDER METAL-CORRUGATED SHEET ROOF DECKING, SHALL BE INSTALLED AND SUPPORTED SO THERE IS NOT LESS THAN 38 MM (1 1/2 IN.) MEASURED FROM THE LOWEST SURFACE OF THE ROOF DECKING TO THE TOP OF THE CABLE, RACEWAY, OR BOX. A CABLE, RACEWAY, OR BOX SHALL NOT BE INSTALLED IN CONCEALED LOCATIONS IN METAL-CORRUGATED, SHEET DECKING-TYPE ROOF.

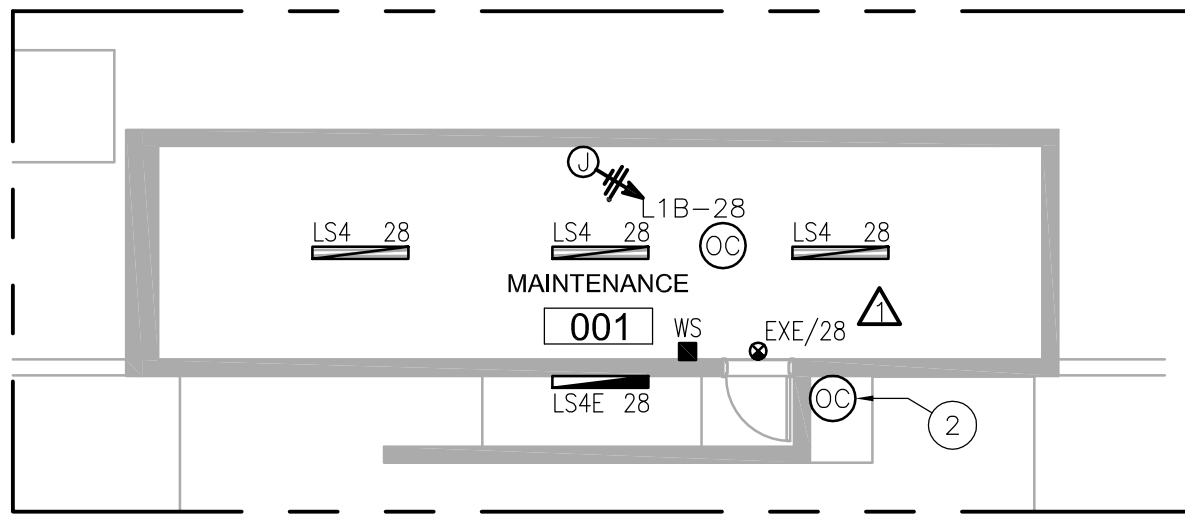
EXCEPTION: RIGID METAL CONDUIT AND INTERMEDIATE METAL CONDUIT SHALL NOT BE REQUIRED TO COMPLY WITH THESE REQUIREMENTS.

KEYED NOTES

- EVE MOUNTED REMOTE EMERGENCY LIGHT. NORMALLY OFF.
- CORNER MOUNTED OCCUPANCY SENSOR.
- COORDINATE EXHAUST HOOD LIGHTING WITH HOOD SHOP DRAWINGS. BRANCH CIRCUIT IS AS APPLICABLE.
- POWER FOR INTEGRATED WALK-IN COOLER & FREEZER LIGHTING.
- FIELD LOCATE INVERTER, QUANTITY AS NEEDED.



LEVEL 2 LIGHTING PLAN  
SCALE: 1/8"=1'-0"



BASEMENT LIGHTING PLAN  
SCALE: 1/8"=1'-0"

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multistudio

historic preservation:  
Ryden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

structural engineer:  
BDA design  
7047 E Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

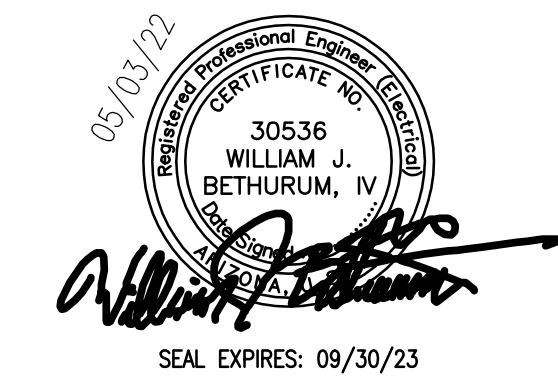
civil engineer:  
Wilson & Company  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.283.7703  
www.wilsonco.com

mechanical/electrical engineer:  
Applied Engineering  
2800 S. Rural Road #301  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



Number	DESCRIPTION	DATE
1	CITY COMMENTS	02/25/2022
2	CITY COMMENTS	05/03/2022

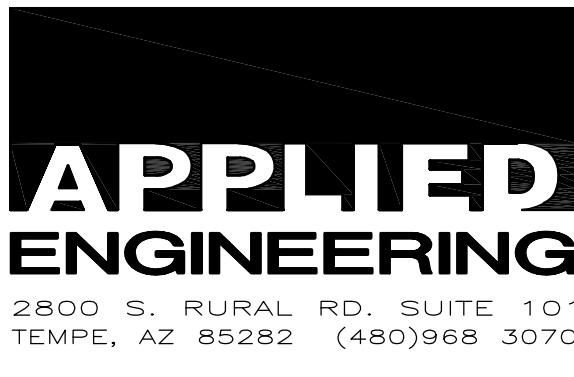
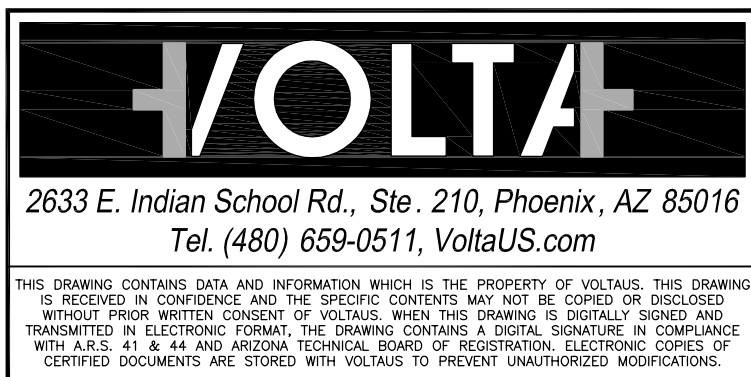
PROJECT NO: 0520-0020  
DATE: FEBRUARY 25, 2022

Lighting Plan

E3.0

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	78	117





BASEMENT LEVEL  
FIRE ALARM PLAN  
SCALE: 1/8"=1'-0"

Project Number	NO.	Total
AH20300003-2	79	117

**APPLIED  
ENGINEERING**  
2800 S. RURAL RD. SUITE 107  
TEMPE, AZ 85282 (480)968 3070



TAG		CONDUIT		CONDUCTOR		GROUND MODIFIER				
PRI	SEC	MOD	SETS	SIZE	SIZE	GND	1	2	3	4
2	A	*	1	3/4"	2#12	#12				
2	B	*	1	3/4"	2#10	#10				
2	C	*	1	3/4"	2#8	#10	#8			
2	D	*	1	1"	2#6	#10	#8	#6		
2	E	*	1	1-1/4"	2#4	#10	#8	#6	#4	
2	F	*	1	1-1/4"	2#2	#6	#6	#4	#2	
2	G	*	1	1-1/2"	2#1	#6	#6	#4	#2	#1
3	A	*	1	3/4"	3#12	#12				
3	B	*	1	3/4"	3#10	#10				
3	C	*	1	3/4"	3#8	#10	#8			
3	D	*	1	1"	3#6	#10	#8	#6		
3	E	*	1	1-1/4"	3#4	#10	#8	#6	#4	
3	F	*	1	1-1/4"	3#2	#6	#4	#2		
3	G	*	1	1-1/2"	3#1	#6	#4	#2	#1	
3	H	*	1	2"	3#1/0	#6	#4	#2	#1	#1/0
3	I	*	1	2"	3#2/0	#6	#4	#2	#1	#1/0
3	J	*	1	2"	3#3/0	#6	#4	#2	#1	#1/0
3	K	*	1	2-1/2"	3#4/0	#4	#2	#1	#1/0	#2/0
3	L	*	1	2-1/2"	3#250	#4	#2	#1	#1/0	#2/0
3	M	*	1	3-1/2"	3#350	#4	#2	#1	#1/0	#2/0
3	N	*	2	2"	3#3/0	#2	#1	#1/0	#2/0	#3/0
3	NA	*	1	4"	3#600	#2	#1	#1/0	#2/0	#3/0
3	O	*	2	2-1/2"	3#4/0	#2	#1	#1/0	#2/0	#3/0
3	P	*	2	2-1/2"	3#250	#2	#1	#1/0	#2/0	#3/0
3	Q	*	2	3-1/2"	3#350	#1	#1/0	#2/0	#3/0	#4/0
3	R	*	2	4"	3#600	#1/0	#2/0	#3/0	#4/0	#250
3	S	*	3	3"	3#350	#2/0	#3/0	#4/0	#250	#350
3	T	*	3	4"	3#600	#2/0	#3/0	#4/0	#250	#350
3	U	*	4	4"	3#600	#4/0	#250	#350	#400	#500
3	V	*	5	4"	3#600	#250	#350	#400	#500	#600
3	W	*	6	4"	3#600	#350	#400	#500	#600	#700
3	X	*	8	3-1/2"	3#500	#400	#500	#600	#700	#750
4	A	*	1	3/4"	4#12	#12				
4	B	*	1	3/4"	4#10	#10				
4	C	*	1	3/4"	4#8	#10	#8			
4	D	*	1	1"	4#6	#10	#8	#6		
4	E	*	1	1-1/4"	4#4	#10	#8	#6	#4	
4	F	*	1	1-1/4"	4#2	#6	#4	#2		
4	G	*	1	1-1/2"	4#1	#6	#4	#2	#1	
4	H	*	1	2"	4#1/0	#6	#4	#2	#1	#1/0
4	I	*	1	2"	4#2/0	#6	#4	#2	#1	#1/0
4	J	*	1	2"	4#3/0	#6	#4	#2	#1	#1/0
4	K	*	1	2-1/2"	4#4/0	#4	#2	#1	#1/0	#2/0
4	L	*	1	3"	4#250	#4	#2	#1	#1/0	#2/0
4	M	*	1	3-1/2"	4#350	#4	#2	#1	#1/0	#2/0
4	N	*	2	2-1/2"	4#3/0	#2	#1	#1/0	#2/0	#3/0
4	NA	*	1	4"	4#600	#2	#1	#1/0	#2/0	#3/0
4	O	*	2	2-1/2"	4#4/0	#2	#1	#1/0	#2/0	#3/0
4	P	*	2	3"	4#250	#2	#1	#1/0	#2/0	#3/0
4	Q	*	2	3-1/2"	4#350	#1	#1/0	#2/0	#3/0	#4/0
4	R	*	2	4"	4#600	#1/0	#2/0	#3/0	#4/0	#250
4	S	*	3	3"	4#350	#2/0	#3/0	#4/0	#250	#350
4	T	*	3	4"	4#600	#3/0	#4/0	#250	#350	#400
4	U	*	4	4"	4#600	#4/0	#250	#350	#400	#500
4	V	*	5	4"	4#600	#250	#350	#400	#500	#600
4	W	*	6	4"	4#600	#350	#400	#500	#600	#700
4	X	*	8	4"	4#500	#400	#500	#600	#700	#750

SUFFIX INDICATES INCREASED GROUND SIZE. SEE THE CORRESPONDING COLUMN.  
EXAMPLE: 4R2 - (2) 4"CU, 4#600, 1#3/0G.  
ALL GROUNDS ARE COPPER.  
WHEN USING ALUMINUM EQUIVALENTS, VERY LUG CAPABILITIES  
ON ALL TERMINATIONS.

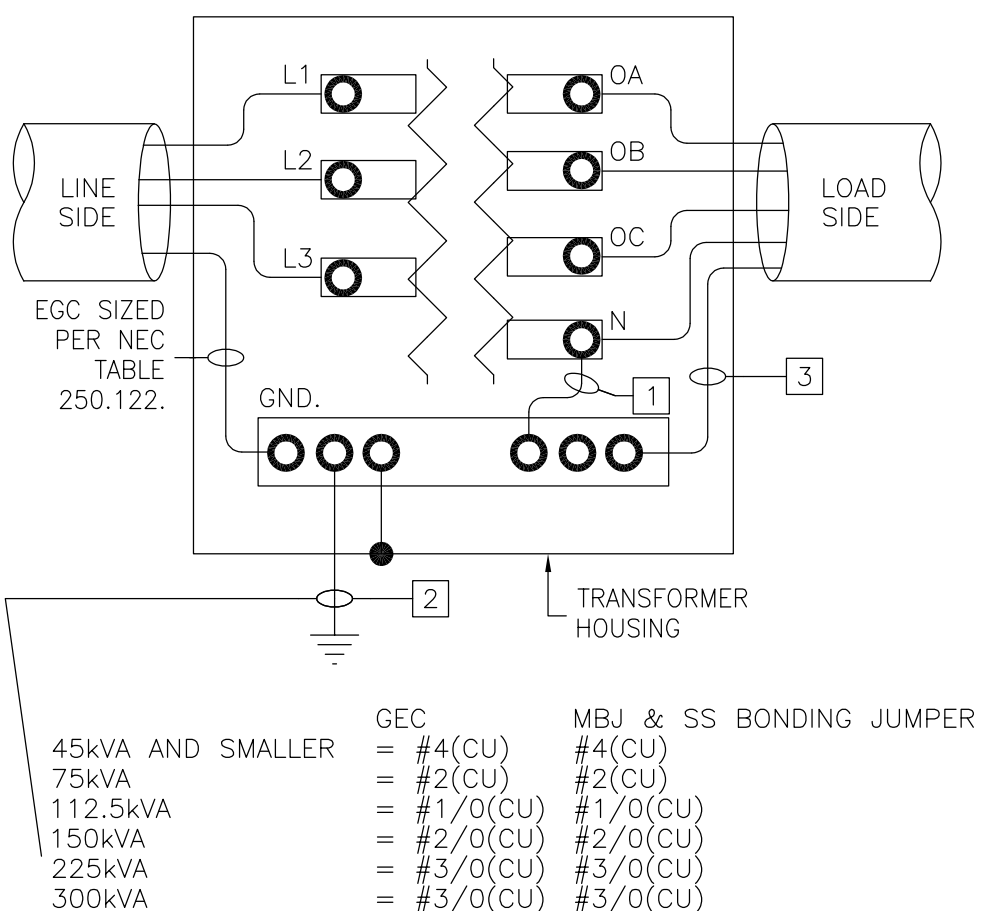
### 3 CONDUIT SCHEDULE

NO SCALE

### KEYED NOTES

- SYSTEM BONDING JUMPER PER 250.30(A)(1) AND SIZED PER TABLE 250.102(C)(1) AS INDICATED BELOW. THE CONNECTION MAY BE MADE AT THE TRANSFORMER OR AT THE FIRST DISCONNECTING MEANS (BUT NOT BOTH). OUTDOOR TRANSFORMERS SHALL BE CONNECTED AT THE SOURCE PER NEC ART. 250.30(C).
- GROUND ELECTRODE CONDUCTOR (GEC) BOND TO BUILDING STEEL AND METAL WATER PIPING SYSTEMS IN THE AREA SERVED (REF. NEC ART. 250.104(D)) OR EQUAL CONNECTION BY WAY OF GROUND BUS CONNECTED TO SAME. SIZE BONDING JUMPERS PER NEC TABLE 250.102(C)(1). (AS INDICATED BELOW).
- SUPPLY SIDE BONDING JUMPER PER 250.30(A)(2) AND SIZED PER 250.102(C).

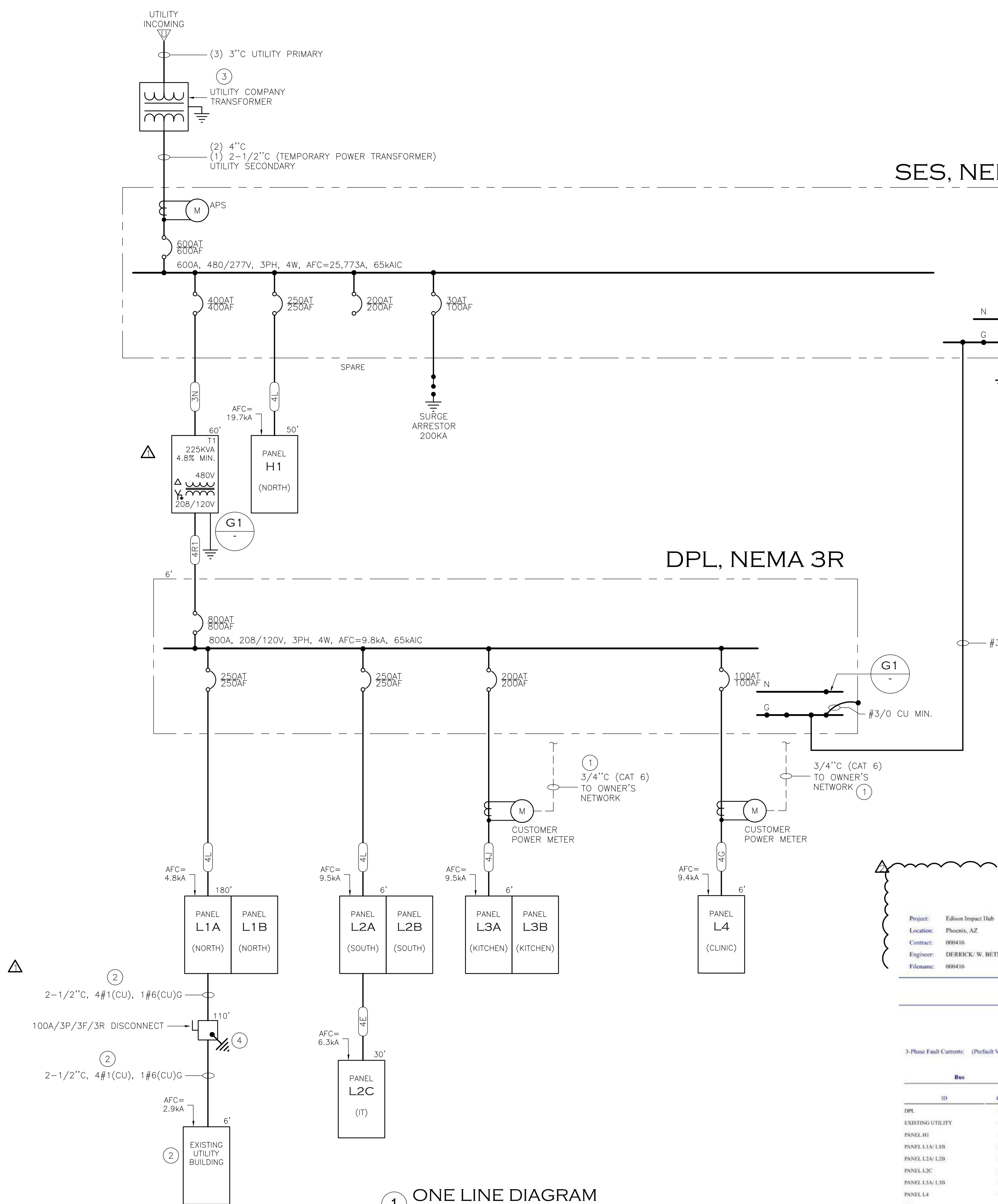
TYPICAL DRY TYPE TRANSFORMER 480V DELTA PRIMARY 208/120V SECONDARY SEE SPECIFICATIONS. (480-400/230V, SIMILAR)



APPLY NEC ART. 250.102(C)(1) FOR OTHER SECONDARY VOLTAGES AND SECONDARY CONDUCTOR COMBINATIONS.

### TRANSFORMER GROUNDING DETAIL

NO SCALE



### 1 ONE LINE DIAGRAM

NO SCALE

LOAD SCHEDULE									
RATINGS									
Bus ID	VOLTS	AMPS	ADDED LOAD	TOTAL OPER.	25% EXIST.	25% LG MOTOR	CODE KVA	CODE AMPS	NOTES
SES	480	600	282	282	0	0	282	339	
DPL	208	800	166	166	0	0	166	460	
PANEL L1A/B	208	250	63	63	0	0	63	176	
PANEL L2A/B	208	250	41	41	0	0	41	114	
PANEL L3A/B	208	200	46	46	0	0	46	129	
PANEL L4	208	100	15	15	0	0	15	41	
PANEL H1	480	250	116	116	0	0	116	140	

### 2 LOAD CALCULATIONS

NO SCALE

Momentary Data Summary Report									
Project:	Edison Impact Hub	ETAP	19.0.0C	Page:	1				
Location:	Phoenix, AZ	Date:	05-03-2022						
Contact:	000416	SN:	VOLTAUS						
Engineer:	DERRICK W. BETHURUM P.E.	Study Case:	SC	Revision:	Base				
Filename:	000416	Config:	Normal						

3-Phase Fault Currents (Prefault Voltage = 100% of the Bus Nominal Voltage)									
Bus		Device		Momentary Duty		Device Capability			
ID	kV	ID	Type	Sym. kA rms	N/R Ratio	M.F.	Asym. kA rms	Asym. kA Peak	Asym. kA rms
DPL	0.208	DPL	Panelboard	9.649	3.5	1.152	11.347	19.563	
EXISTING UTILITY	0.208	EXISTING UTILITY	Panelboard	2.921	0.9	1.001	2.924	4.253	
PANEL H1	0.480	PANEL H1	Panelboard	19.095	2.5	1.075	21.164	35.090	
PANEL L1A/L1B	0.208	PANEL L1A/L1B	Panelboard	4.446	1.6	1.020	4.456	7.506	
PANEL L2A/L2B	0.208	PANEL L2A/L2B	Panelboard	9.543	3.3	1.136	10.837	18.631	
PANEL L2C	0.208	PANEL L2C	Panelboard	6.327	1.1	1.003	6.345	9.633	
PANEL L3A/L3B	0.208	PANEL L3A/L3B	Panelboard	9.509	3.1	1.126	10.706	18.368	
PANEL L4	0.208	PANEL L4	Panelboard	9.372	2.8	1.099	10.304	17.537	
SES	0.480	SES	Switchboard	23.773	4.0	1.190	30.666	51.067	

\* Method: IEEE - N/R is calculated from system R & X networks.  
Constant protective device duty is calculated based on maximum through fault current. Other protective device duty is calculated based on total fault current.  
\* The multiplication factors for high voltage circuit-breaker and high voltage bus momentary duty (asymmetrical and crest values) are calculated based on system N/R.  
\* Indicates a device with momentary duty exceeding the device capability.

### GENERAL NOTES

- ALL WORK SHALL COMPLY WITH NEC AND LOCAL CODES.
- ALL EQUIPMENT IS NEW UNLESS OTHERWISE NOTED. ALL EQUIPMENT AND FIXTURES SHALL BE UL LISTED.
- REFER TO PLANS FOR SES AND PANEL LOCATIONS.
- MAINTAIN WORKING CLEARANCE ABOUT ELECTRICAL EQUIPMENT PER NEC ART. 110, (30" MIN), DEPTH PER NEC, (36" MIN).
- GROUNDING - PROVIDE AND INSTALL GROUND ELECTRODES AND CONNECTIONS AS INDICATED AND ADDITIONAL AS REQUIRED PER NEC AND AHI. UFER SHALL BE REQUIRED ON ALL NEW CONSTRUCTION. GROUND ALL TRANSFORMERS TO THE GROUND ELECTRODE SYSTEM.
- UTILITY SERVICE - WHEN A UTILITY CONNECTION IS SHOWN ON THE ONE-LINE DIAGRAM (SEE SYMBOL LEGEND), COORDINATE ALL SERVICE REQUIREMENTS WITH UTILITY. PROVIDE AND INSTALL ALL NECESSARY PRIMARY / SECONDARY CONDUIT, TRANSFORMER PADS, ETC. AS REQUIRED BY THE UTILITY PER UTILITY SPECIFICATIONS. WITHIN (2) WEEKS OF PROJECT AWARD CONTRACTOR SHALL SUBMIT ELECTRICAL PLANS TO THE UTILITY FOR REVIEW.
- SES - WHEN INDICATED ON ONE-LINE, PROVIDE AND INSTALL SES, RATINGS AS INDICATED. VERIFY ALL DIMENSIONS. MAINTAIN WORKING CLEARANCE PER NEC AND UTILITY REQUIREMENTS. PROVIDE 4" HOUSE KEEPING PAD FOR GROUND MOUNTED SES. CONTRACTOR SHALL SUBMIT SES/METER SHOP DRAWINGS TO UTILITY METER SHOP FOR APPROVAL.
- CABLE LENGTHS WHEN INDICATED ON ONE-LINE ARE APPROXIMATE AND ARE FOR REFERENCE ONLY FOR CALCULATIONS AND ARE NOT TO BE USED FOR MATERIAL TAKEOFFS.

### KEYED NOTES

- EMON-DMON METER INCLUDING CTS, ACCESSORIES, AND DATA CONNECTION TO HOUSE TELEPHONE ROOM. INSTALL 3/4" C WITH DATA TO SW TELEPHONE ROOM OR AS COORDINATED WITH OWNER. COORDINATE METER LOCATIONS IN THE FIELD.
- PROVIDE AN ALTERNATE BID ITEM TO REFEED THE EXISTING UTILITY BUILDING AS INDICATED. FIELD VERIFY FINAL POINT OF CONNECTION.
- REMOVE AND REPLACE EXISTING SERVICE AND APS EQUIPMENT PER APS DESIGN. SEE APS DESIGN FOR COMPLETE REQUIREMENTS.
- 4# CU WATER BOND, #4 CU GAS BOND, #4 CU EQUIPMENT BOND, #4 BARE CU X 20' UFER, NO MAIN BONDING JUMPER.

### FAULT CURRENT NOTES

- UTILITY FAULT CURRENT VALUES ARE OBTAINED FROM PUBLISHED UTILITY DATA BASED ON SERVICE SIZE.
- FAULT CURRENT CALCULATIONS ARE COMPLETED USING ETAP (ELECTRICAL TRANSIENT ANALYZER PROGRAM). STANDARD INPUT PARAMETERS ARE AS FOLLOWS:
  - PRE-FAULT VOLTAGE = 100%
  - CABLE IMPEDANCE PER NEC STANDARD LIBRARY.
  - TRANSFORMER IMPEDANCE AND X/R RATIOS ARE PER TYPICAL MANUFACTURERS DATA UNLESS NOTED OTHERWISE.
  - FAULT CURRENT VALUES SHOWN ARE 3 PHASE, 50 CYCLE, RMS SYMMETRICAL UNLESS NOTED OTHERWISE.
  - FOR SINGLE PHASE SYSTEMS, BUSMANN CALCULATIONS ARE USED.
- COMPLETE FAULT CURRENT REPORTS ARE AVAILABLE UPON REQUEST.

## multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
Hyden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.hydenarchitects.com

structural engineer:  
BDA design  
7047 E Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

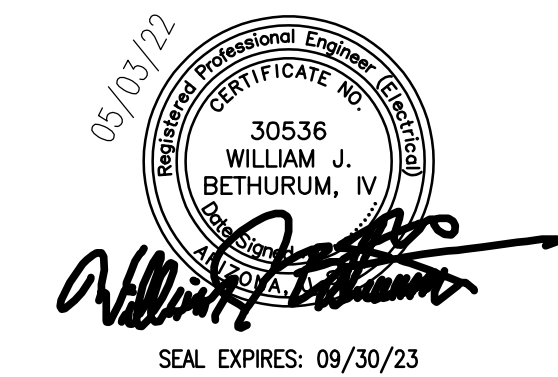
civil engineer:  
Wilson & Company  
410 N 44th Street Suite 450  
Phoenix, AZ 85008  
602.283.3703  
www.wilsonco.com

mechanical/electrical engineer:  
Applied Engineering  
2900 S. Rural Road #301  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



### REVISIONS

Number	DESCRIPTION	DATE
1	CITY COMMENTS	02/25/2022
2	CITY COMMENTS	05/03/2022

PROJECT NO: 0520-0020  
DATE: FEBRUARY 25, 2022

One-Line Diagram  
and Schedules

# E6.0

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	80	117

AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION - Q.5.11-11-31



MANUFACTURE: SEE SPECIFICATIONS MOUNTING: FLUSH, N1 NOTES:			LOCATION: CLINIC FED FROM: DPL DIMS:			VOLTAGE: 208/ 120V PHASE WIRE: 3 4 MIN KAIC: 22 RATING: 100A FULLY BOA			PANEL NAME: <div>L4</div>		
BUS NO:	AMP POLE	LOAD C (Dvnty)	NO.	PHASE A	PHASE B	PHASE C	NO.	LOAD C (Dvnty)	AMP POLE		
RECEPTACLES ENTRY 118 / LOBBY 117	20 1	540	1	806			2	266	C 20	LIGHTING & EMERG.	
RECEPTACLES LOBBY 117	20 1	360	3		1075		4	715	C 20	SOUTHWEST CLINIC SOUTHWEST CLINIC	
RECEPTACLES RR 117G	20 1	720	5			1306	6	586	15	FC-4A 2 5.63MCA	
SPARE	20 1	0	7	586			8	586	15	FC-4B 2 5.63MCA	
RECEPTACLES SHARED OFFICE 117B	20 1	540	9		1126		10	586	15	FC-4B 2 5.63MCA	
RECEPTACLES EXAM 117F, 117E	20 1	720	11			1306	12	586	15	FC-4B 2 5.63MCA	
RECEPTACLES EXAM 117D, CONSULT 117C	20 1	900	13	1764			14	864	20	LIGHTING & EMERG.	
RECEPTACLES STOR. 117H	50 2	180	15		936		16	756	20	LIGHTING & EMERG. SUITE 119	
UPS STOR. 117H	50 2	325	17			325	18	0	20	SPARE	
UPS STOR. 117H	50 2	325	19	373			20	48	20	EF-3	
SPARE	20 1	0	21	0			22	0	20	SPARE	
SPARE	20 1	0	23			0	24	0	20	SPARE	
SPARE	20 1	0	25	0			26			BUSSED SPACE	
SPARE	20 1	0	27	0			28			BUSSED SPACE	
SPARE	20 1	0	29			0	30			BUSSED SPACE	
BUSSED SPACE			31	260			32	260	20	CP-3	
BUSSED SPACE			33		2250		34	2250	30	WH-3 2 4.5kW	
BUSSED SPACE			35			2250	36	2250	30	WH-3 2 4.5kW	
BUSSED SPACE			37	100			38	100	20	TP-1	
BUSSED SPACE			39		0		40			BUSSED SPACE	
ACCESS CONTROL	20 1	100	41			100	42			BUSSED SPACE	
100% CONTIN. + Non-CONTIN. LOAD				3,889	5,387	5,287	TOTAL 3PH. VA: PEAK PHASE: BUS LOADING:			14808 VA 46 AMPS 46%	
25% CONTINUOUS LOAD				67	179	0					
FEED THRU LOAD											
PER PHASE				3,955	5,566	5,287					
MEASURED PEAK DEMAND:							AMPS DATE: [000416_SCHEDULES.XLSX]L4				

MANUFACTURE: SEE SPECIFICATIONS MOUNTING: SURFACE, N1 NOTES:			LOCATION: IT 116A FED FROM: L2A DIMS:			VOLTAGE: 208/ 120V PHASE WIRE: 3 4 MIN KAIC: 10 RATING: 60A FULLY BOA			PANEL NAME: <div>L2C</div>		
BUS NO:	AMP POLE	LOAD C (Dvnty)	NO.	PHASE A	PHASE B	PHASE C	NO.	LOAD C (Dvnty)	AMP POLE		
RECEPTACLE IT 116A	20 1	360	1	1360			2	1000	30	RECEPTACLE IT 116A	
RECEPTACLE IT 116A	20 1	360	3		1360		4	1000	30	RECEPTACLE IT 116A	
RECEPTACLE IT 116A	20 1	360	5			1360	6	1000	30	RECEPTACLE IT 116A	
RECEPTACLE - TMB IT 116A	20 1	360	7	360			8			BUSSED SPACE	
SPARE	20 1	0	9		0		10			BUSSED SPACE	
SPARE	20 1	0	11			0	12			BUSSED SPACE	
SPARE	20 1	0	13	0			14	0	30	SPARE	
SPARE	20 1	0	15		0		16	0	30	SPARE	
SPARE	20 1	0	17			0	18	0	30	SPARE	
SPARE	20 1	0	19	0			20	0	30	SPARE	
BUSSED SPACE			21		0		22	0	30	SPARE	
BUSSED SPACE			23			0	24	0	30	SPARE	
BUSSED SPACE			25	0			26			BUSSED SPACE	
BUSSED SPACE			27		0		28			BUSSED SPACE	
BUSSED SPACE			29			0	30			BUSSED SPACE	
100% CONTIN. + Non-CONTIN. LOAD				1,720	1,360	1,360	TOTAL 3PH. VA: PEAK PHASE: BUS LOADING:			4440 VA 14 AMPS 24%	
25% CONTINUOUS LOAD				0	0	0					
FEED THRU LOAD											
PER PHASE				1,720	1,360	1,360					
MEASURED PEAK DEMAND:							AMPS DATE: [000416_SCHEDULES.XLSX]L2C				

MANUFACTURE: SEE SPECIFICATIONS MOUNTING: SURFACE, N1 NOTES:			LOCATION: N ELECTRICAL RM FED FROM: SES DIMS:			VOLTAGE: 480/ 277V PHASE WIRE: 3 4 MIN KAIC: 35 RATING: 250A FULLY BOA			PANEL NAME: <div>H1</div>		
BUS NO:	AMP POLE	LOAD C (Dvnty)	NO.	PHASE A	PHASE B	PHASE C	NO.	LOAD C (Dvnty)	AMP POLE		
CU-1 (19MCA) OUTDOOR VRF CONN. #1	30 3	5263	1	10526			2	5263	30	CU-3 (19MCA) OUTDOOR VRF CONN. #1	
CU-1 (19MCA) OUTDOOR VRF CONN. #1	30 3	5263	3		10526		4	5263	30	CU-3 (19MCA) OUTDOOR VRF CONN. #1	
CU-1 (19MCA) OUTDOOR VRF CONN. #1	30 3	5263	5			10526	6	5263	30	CU-3 (19MCA) OUTDOOR VRF CONN. #1	
CU-1 (19MCA) OUTDOOR VRF CONN. #2	30 3	5263	7	10526			8	5263	30	CU-4 (19MCA) OUTDOOR VRF CONN. #1	
CU-1 (19MCA) OUTDOOR VRF CONN. #2	30 3	5263	9		10526		10	5263	30	CU-4 (19MCA) OUTDOOR VRF CONN. #1	
CU-1 (19MCA) OUTDOOR VRF CONN. #2	30 3	5263	11			10526	12	5263	30	CU-4 (19MCA) OUTDOOR VRF CONN. #1	
CU-1 (11MCA) OUTDOOR VRF CONN. #3	15 3	3047	13	3047			14	0	30	SPARE	
CU-1 (11MCA) OUTDOOR VRF CONN. #3	15 3	3047	15		3047		16	0	30	SPARE	
CU-1 (11MCA) OUTDOOR VRF CONN. #3	15 3	3047	17			3047	18	0	30	SPARE	
CU-2 (19MCA) OUTDOOR VRF CONN. #1	30 3	5263	19	5888			20	625	C 20	SITE LIGHTING - 1 POLES WEST	
CU-2 (19MCA) OUTDOOR VRF CONN. #1	30 3	5263	21		5599		22	336	C 20	SITE LIGHTING - 1 BOLLARDS WEST	
CU-2 (19MCA) OUTDOOR VRF CONN. #1	30 3	5263	23			5393	24	130	C 20	SITE LIGHTING - 1 BOLLARDS NORTH	
CU-2 (19MCA) OUTDOOR VRF CONN. #2	30 3	5263	25	6926			26	1663	C 20	SITE LIGHTING - 1 POLES EAST	
CU-2 (19MCA) OUTDOOR VRF CONN. #2	30 3	5263	27		5263		28	0	15	SPARE	
CU-2 (19MCA) OUTDOOR VRF CONN. #2	30 3	5263	29			5263	30	0	15	SPARE	
CU-2 (11MCA) OUTDOOR VRF CONN. #3	15 3	3047	31	3047			32	0	15	SPARE	
CU-2 (11MCA) OUTDOOR VRF CONN. #3	15 3	3047	33		3047		34	0	15	SPARE	
CU-2 (11MCA) OUTDOOR VRF CONN. #3	15 3	3047	35			3047	36	0	15	SPARE	
SPARE	20 3	0	37	0			38	0	15	SPARE	
SPARE	20 3	0	39		0		40	0	15	SPARE	
SPARE	20 3	0	41			0	42	0	15	SPARE	
BUSSED SPACE			43	0			44	0	15	SPARE	
BUSSED SPACE			45		0		46	0	15	SPARE	
BUSSED SPACE			47			0	48	0	15	SPARE	
BUSSED SPACE			49	0			50	0	15	SPARE	
BUSSED SPACE			51		0		52	0	15	SPARE	
BUSSED SPACE			53			0	54			BUSSED SPACE	
BUSSED SPACE			55	0			56			BUSSED SPACE	
BUSSED SPACE			57		0		58			BUSSED SPACE	
BUSSED SPACE			59			0	60			BUSSED SPACE	
BUSSED SPACE			61	0			62			BUSSED SPACE	
BUSSED SPACE			63		0		64			BUSSED SPACE	
100% CONTIN. + Non-CONTIN. LOAD				39,960	38,008	37,807	TOTAL 3PH. VA: PEAK PHASE: BUS LOADING:			116459 VA 146 AMPS 59%	
25% CONTINUOUS LOAD				572	84	33					
FEED THRU LOAD											
PER PHASE				40,532	38,092	37,835					
MEASURED PEAK DEMAND:							AMPS DATE: [000416_SCHEDULES.XLSX]H1				

## GENERAL NOTES

- A. COMPLY WITH NEC ART. 408.4. IDENTIFY EACH BRANCH CIRCUIT AS TO ITS CLEAR, EVIDENT, AND SPECIFIC PURPOSE OR USE. THE IDENTIFICATION SHALL INCLUDE SUFFICIENT DETAIL TO ALLOW EACH CIRCUIT TO BE DISTINGUISHED FROM ALL OTHERS. COMPLETE THE PANEL SCHEDULE(S) BASED ON AS-BUILT CONDITIONS AND LOCATE IN PANELBOARD(S). IDENTIFY ALL SPARES ACCORDINGLY AND SET TO 'OFF' POSITION.
- B. ANY CIRCUIT BRANCH BREAKERS NOT EXISTING SHALL BE PROVIDED AND INSTALLED.

## multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
Hyden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.3381  
www.rydenarchitects.com

structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

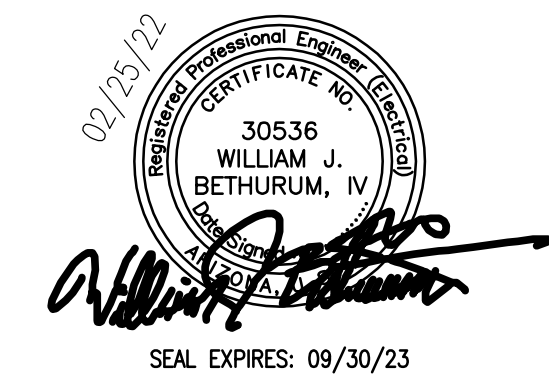
civil engineer:  
Wilson & Company  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.283.3703  
www.wilsonco.com

mechanical/electrical engineer:  
Applied Engineering  
2800 S. Rural Road #301  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



REVISIONS		
Number	DESCRIPTION	DATE
1	CITY COMMENTS	02/25/2022

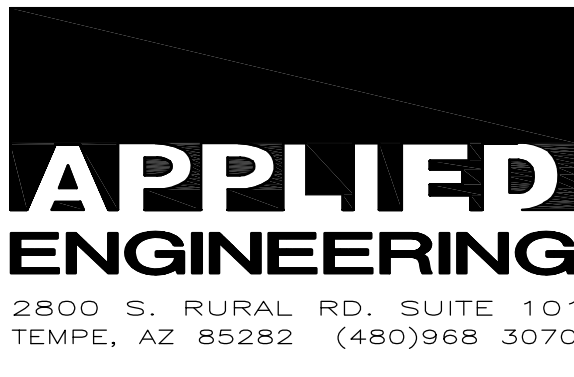
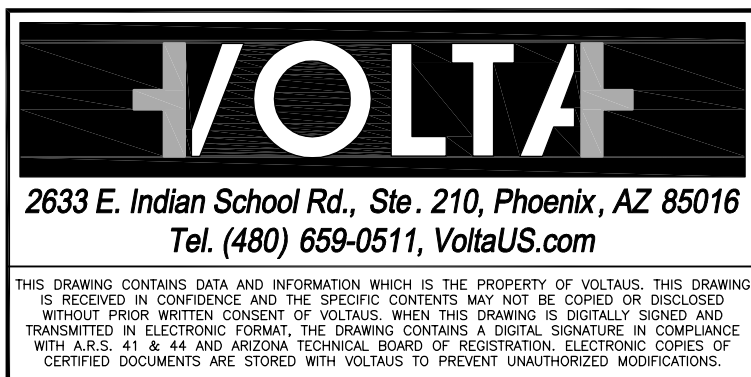
PROJECT NO: 0520-0020  
DATE: FEBRUARY 25, 2022

Panel Schedules

# E7.0

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	81	117





MANUFACTURE: SEE SPECIFICATIONS				LOCATION: N ELECTRICAL RM				VOLTAGE: 208/ 120V				PANEL NAME: L3A			
MOUNTING: SURFACE, N1				FED FROM: L3A				PHASE: WIRE: 3 4							
NOTES:				DIMS:				MIN KAIC: 22 KAIC FULLY RATING: 200A							
BUS NO:				AMP POLE C LOAD (dwys) No. 200A				PHASE A PHASE B PHASE C				MLO Feed Thru Load			
RECEPTACLES KITCHEN 112	20	1	540	1	1053			2	513	C	20	2	513	C	20
RECEPTACLES KITCHEN 112	20	1	180	3		1018		4	838	20		2	513	C	20
SPARE	20	1	360	5			918	6	558	20		2	513	C	20
SPARE	20	1	360	7	360			8	0	20		2	513	C	20
SPARE	20	1	360	9		360		10	0	20		2	513	C	20
SPARE	20	1	0	11			0	12	0	20		2	513	C	20
SPARE	20	1	0	13	0			14	0	20		2	513	C	20
SPARE	20	1	0	15		0		16	0	20		2	513	C	20
SPARE	20	1	0	17			0	18	0	20		2	513	C	20
SPARE	20	1	0	19	0			20	0	20		2	513	C	20
SPARE	20	1	0	21		0		22	0	20		2	513	C	20
SPARE	20	1	0	23			748	24	748	20		2	513	C	20
BUSSED SPACE					25	260		26	260	20		2	513	C	20
BUSSED SPACE					27		936	28	936	15		2	513	C	20
BUSSED SPACE					29			30	936	15		2	513	C	20
BUSSED SPACE					31	936		32	936	15		2	513	C	20
TP-1	20	1	100	33		1036		34	936	15		2	513	C	20
ACCESS CONTROL	20	1	100	35			3948	36	3848	60		2	513	C	20
BUSSED SPACE					37	3848		38	3848	60		2	513	C	20
BUSSED SPACE					39		3848	40	3848	60		2	513	C	20
BUSSED SPACE					41			42	3848	60		2	513	C	20
100% CONTIN. + Non-CONTIN. LOAD				6,457 7,198 10,395				TOTAL 3PH VA: 46834 VA				PEAK PHASE: 138 AMPS			
25% CONTINUOUS LOAD				128 0 0				BUS LOADING: 69%							
FEED THRU LOAD				PANEL 'L3B' PER PHASE				8,494 7,494 6,164				15,080 14,692 16,562			
MEASURED PEAK DEMAND:				AMPS DATE: [000416_SCHEDULES.XLSX]L3A											

MANUFACTURE: SEE SPECIFICATIONS				LOCATION: S ELECTRICAL RM				VOLTAGE: 208/ 120V				PANEL NAME: L2A			
MOUNTING: SURFACE, N1				FED FROM: L2A				PHASE: WIRE: 3 4							
NOTES:				DIMS:				MIN KAIC: 22 KAIC FULLY RATING: 250A							
BUS NO:				AMP POLE C LOAD (dwys) No. 250A				PHASE A PHASE B PHASE C				MLO Feed Thru Load			
FC-1A 5.63MCA	15	2		586	1	1172		2	586	15		2	586	15	
FC-1A 5.63MCA	15	2		586	3		1172	4	586	15		2	586	15	
BUSSED SPACE					5			6	0	15		2	586	15	
BUSSED SPACE					7	0		8	0	15		2	586	15	
BUSSED SPACE					9		0	10	0	15		2	586	15	
BUSSED SPACE					11			12	0	15		2	586	15	
BUSSED SPACE					13	0		14	0	15		2	586	15	
BUSSED SPACE					15		0	16	0	15		2	586	15	
FC-2A 5.63MCA	15	2		586	17		1114	18	528	20		2	586	17	
FC-2A 5.63MCA	15	2		586	19	586		20	0	20		2	586	19	
FC-2B 0.64MCA	15	2		67	21		67	22	0	20		2	586	21	
FC-2B 0.64MCA	15	2		67	23			24	0	20		2	586	23	
FC-2D 0.64MCA	15	2		67	25	2043		26	1976	25		2	586	25	
FC-2D 0.64MCA	15	2		67	27		2043	28	1976	25		2	586	27	
FC-2M 0.38MCA	15	2		40	29			30	0	20		2	586	29	
FC-2M 0.38MCA	15	2		40	31	2290		32	2250	30		2	586	31	
FC-3A 0.64MCA	15	2		67	33		2317	34	2250	30		2	586	33	
FC-3A 0.64MCA	15	2		67	35			36	0	20		2	586	35	
FC-3B 0.64MCA	15	2		67	37	67		38	0	20		2	586	37	
FC-3B 0.64MCA	15	2		67	39		67	40	0	20		2	586	39	
BUSSED SPACE					41			42	260	20		2	586	41	
BUSSED SPACE					43	0		44	0	20		2	586	43	
BUSSED SPACE					45		500	46	500	20		2	586	45	
PANEL 'L2C'	60	3		1720	47			48	0	20		2	586	47	
PANEL 'L2C'	60	3		1360	49	1360		50	0	20		2	586	49	
PANEL 'L2C'	60	3		1360	51		1460	52	100	20		2	586	51	
100% CONTIN. + Non-CONTIN. LOAD				7,517 7,626 3,268				TOTAL 3PH VA: 40974 VA				PEAK PHASE: 134 AMPS			
25% CONTINUOUS LOAD				0 0 0				BUS LOADING: 54%							
FEED THRU LOAD				PANEL 'L2B' PER PHASE				8,620 8,084 5,860				16,137 15,709 9,128			
MEASURED PEAK DEMAND:				AMPS DATE: [000416_SCHEDULES.XLSX]L2A											

MANUFACTURE: SEE SPECIFICATIONS				LOCATION: N ELECTRICAL RM				VOLTAGE: 208/ 120V				PANEL NAME: L1A			
MOUNTING: SURFACE, N1				FED FROM: L1A				PHASE: WIRE: 3 4							
NOTES:				DIMS:				MIN KAIC: 10 KAIC FULLY RATING: 250A							
BUS NO:				AMP POLE C LOAD (dwys) No. 250A				PHASE A PHASE B PHASE C				MLO Feed Thru Load			
FC-1D 0.64MCA	15	2		67	1	133		2	67	15		2	67	15	
FC-1D 0.64MCA	15	2		67	3		133	4	67	15		2	67	15	
FC-1E 3MCA	15	2		312	5			6	586	15		2	67	15	
FC-1E 3MCA	15	2		312	7	898		8	586	15		2	67	15	
FC-1F 3MCA	15	2		312	9		352	10	40	15		2	67	15	
FC-1F 3MCA	15	2		312	11			12	40	15		2	67	15	
FC-1G 3MCA	15	2		312	13	624		14	312	15		2	67	15	
FC-1G 3MCA	15	2		312	15		624	16	312	15		2	67	15	
FC-1H 5.63MCA	15	2		586	17			18	312	15		2	67	15	
FC-1H 5.63MCA	15	2		586	19	898		20	312	15		2	67	15	
FC-1I 3MCA	15	2		312	21		360	22	48	20		2	67	15	
FC-1I 3MCA	15	2		312	23			24	48	20		2	67	15	
FC-1J 0.64MCA	15	2		67	25	1835		26	1768	30		2	67	15	
FC-1J 0.64MCA	15	2		67	27		1835	28	1768	30		2	67	15	
FC-1K 0.64MCA	15	2		67	29			30	1976	25		2	67	15	
FC-1K 0.64MCA	15	2		67	31	2043		32	1976	25		2	67	15	
FC-2E 0.64MCA	15	2		67	33		2317	34	2250	30		2	67	15	
FC-2E 0.64MCA	15	2		67	35			36	2250	30		2	67	15	
FC-2G 5.63MCA	15	2		586	37	686		38	100	20		2	67	15	
FC-2G 5.63MCA	15	2		586	39		662	40	76	20		2	67	15	
FC-1C 0.64MCA	15	2		67	41			42	76	20		2	67	15	
FC-1C 0.64MCA	15	2		67	43	67		44				2	67	15	
FC-1B 5.63MCA	15	2		586	45		586	46				2	67	15	
FC-1B 5.63MCA	15	2		586	47			48	6000	100		2	67	15	
FC-1L 0.64MCA	15	2		67	49	6067		50	6000	100		2	67	15	
FC-1L 0.64MCA	15	2		67	51		6067	52	6000	100		2	67	15	
100% CONTIN. + Non-CONTIN. LOAD				13,249 12,933 13,594				TOTAL 3PH VA: 63446 VA				PEAK PHASE: 181 AMPS			
25% CONTINUOUS LOAD				0 0 0				BUS LOADING: 73%							
FEED THRU LOAD				PANEL 'L1B' PER PHASE				7,143 8,836 7,690				20,392 21,770 21,284			
MEASURED PEAK DEMAND:				<div></div> AMPS DATE:											
				[000416_SCHSCHEDULES.XLSX]LTA											



P

N

M

L

K

J

H

G

F

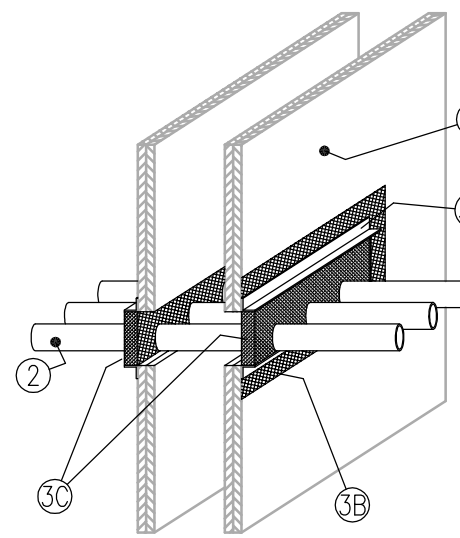
E

D

C

B

A

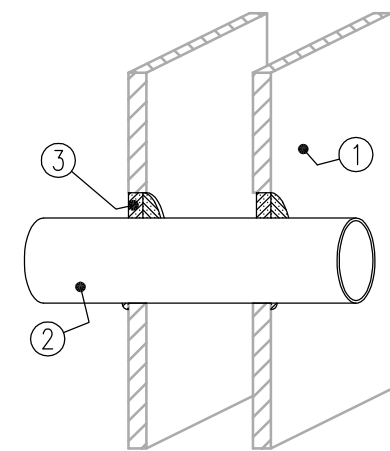


1. Wall Assembly – Constructed in the manner specified in the U300 or U400 series designs as shown in the UL Fire Resistance Directory. The annular space is 0 to 2 inches.
2. Metallic Pipes – Maximum 5 pipes, 2 inch nominal diameter Type L or heavier copper tubing or 1 inch nominal diameter Sch. 5 or heavier steel pipe, RMC, or EMT.
- 3A. Steel Frame – Constructed of 7/8" X 7/8", nominal 16 gauge, steel angle secured to the studs with self tapping screws and fender washers.
- 3B. Forming Material – Diamond shaped steel mesh, or metal fabric, is secured under the steel frame to provide backer support for the FSP Putty.
- 3C. Nelson FSP Putty – Install FSP to fill all remaining voids within the confines of the steel frame to a minimum 1 inch depth on both sides of the wall.

F Rating – 2 Hr.  
T Rating – 0 Hr.  
UL System W-1-1031  
MEA # 196-84-M Vol. 3

The system described in this detail has tested successfully to ASTM E-814 and ANSI/UL 1479 and has achieved F and T ratings as shown in the illustration box.

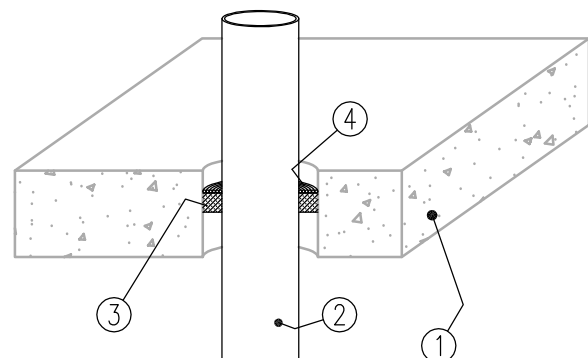
Metallic Pipes Gypsum Wall Assembly	
F Rating 2 Hours	
T Rating 0 Hour	
Nelson Firestop Products	
P.O. Box 726, Tulsa, OK 74101	
(800)-331-7325 / (918)-627-5530	
FS-0098	



F Rating – 1 Hr.  
T Rating – 0 Hr.  
UL System W-1-1185  
MEA # 135-00-M

The system described in this detail has tested successfully to ASTM E-814 and ANSI/UL 1479 and has achieved F and T ratings as shown in the illustration box.

Steel Pipe or Conduit Gypsum Wall Assembly	
F Rating 1 Hours	
T Rating 0 Hour	
Nelson Firestop Products	
P.O. Box 726, Tulsa, OK 74101	
(800)-331-7325 / (918)-627-5530	
FS-0230	

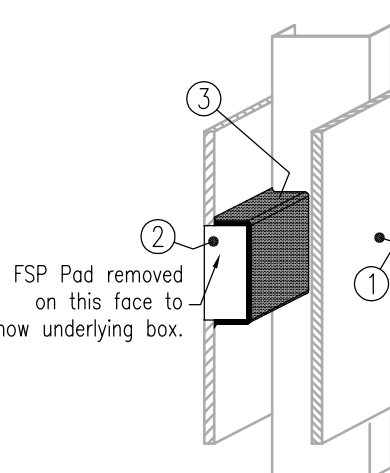


1. Floor or Wall Assembly – Minimum 4-1/2 inch thick lightweight or normal weight concrete floor or wall, or CMU block wall. The maximum annular space is 1/4 inch.
2. Metallic Pipe or Conduit – Maximum nominal 4 inch diameter, Sch. 5 or heavier, steel pipe, RMC, or EMT.
3. Nelson FSP Putty – Minimum 1 inch thick layer of FSP recessed 1 inch from the top surface of the floor or centered within the wall.
4. Steel Tie Wire – Nominal 12 gauge steel tie wire tightly wrapped around the pipe and placed over the top surface of the FSP putty in floor applications or both surfaces in wall applications.

F Rating – 2 Hr.  
T Rating – 0 Hr.  
UL System C-AJ-1054  
MEA # 196-84-M Vol. 3

The system described in this detail has tested successfully to ASTM E-814 and ANSI/UL 1479 and has achieved F and T ratings as shown in the illustration box.

Steel Pipe or Conduit Concrete Floor or Wall Assembly	
F Rating 2 Hour	
T Rating 0 Hour	
Nelson Firestop Products	
P.O. Box 726, Tulsa, OK 74101	
(800)-331-7325 / (918)-627-5530	
FS-0092	



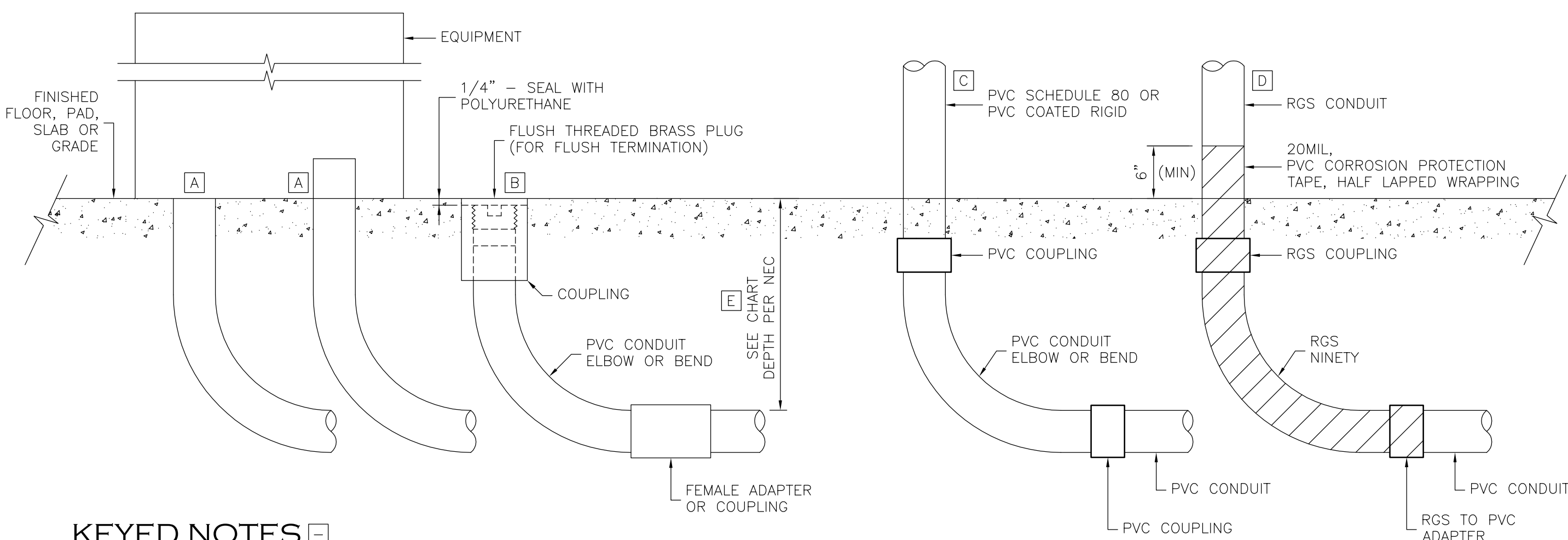
F Rating – 1 Hr.  
UL System Report 98NK34847  
MEA # 196-84-M Vol. 2

The system described in this detail has tested successfully to ASTM E-814 and ANSI/UL 1479 and has achieved F and T ratings as shown in the illustration box.

Electrical Outlet Box Gypsum Wall Assembly	
F Rating 1 Hour	
Nelson Firestop Products	
P.O. Box 726, Tulsa, OK 74101	
(800)-331-7325 / (918)-627-5530	
FS-0216	

## P1 FIRE PENETRATION DETAILS

NO SCALE

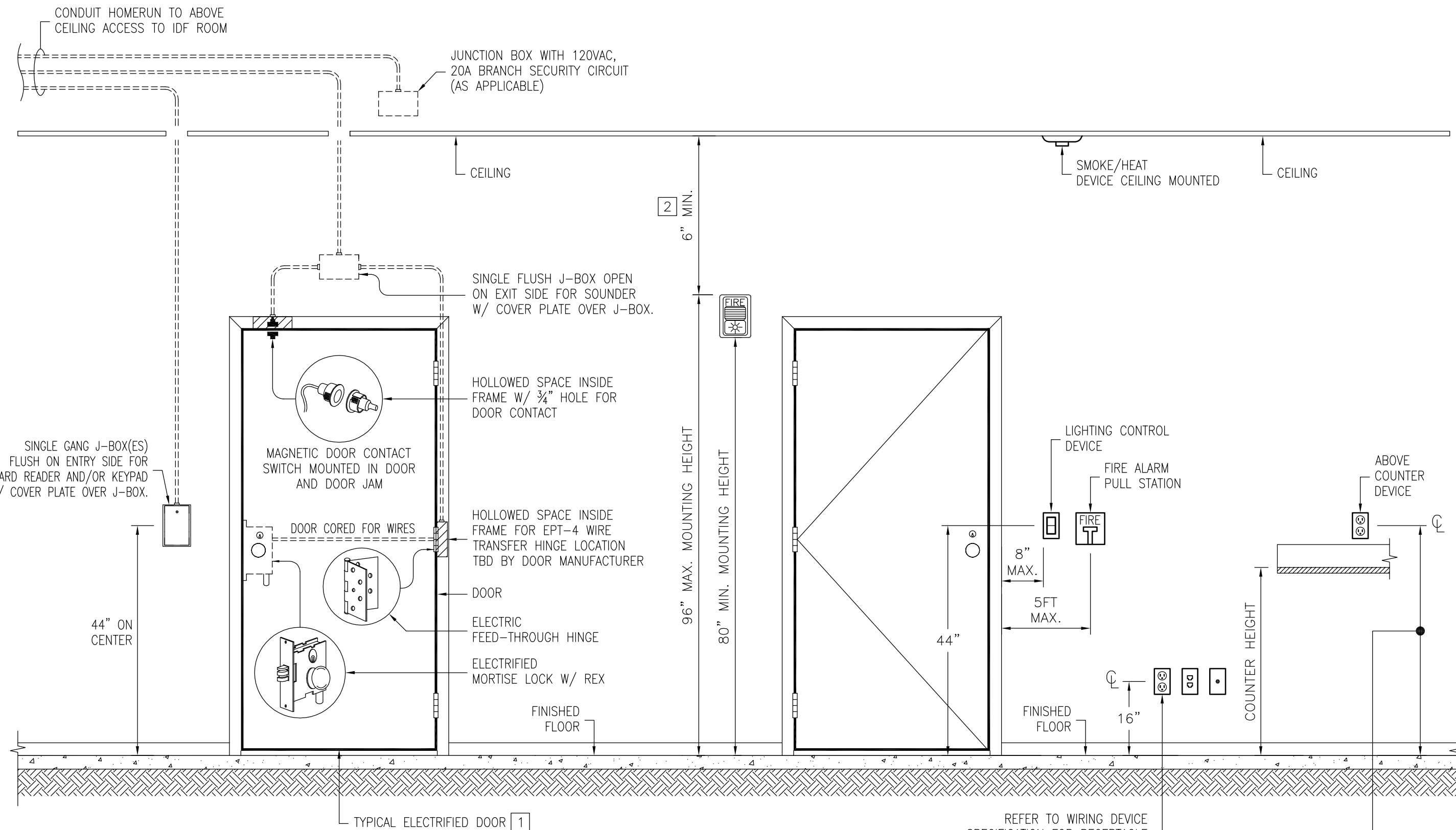


## KEYED NOTES

- A. STUB-UP WITHIN EQUIPMENT ENCLOSURE OR CONCEALED.
- B. FLUSH CONDUIT STUB-UP, EXPOSED.
- C. CONDUIT RISER, EXPOSED IN CORROSIVE LOCATIONS.
- D. CONDUIT RISER, EXPOSED, AND OR ALL EXTERIOR LOCATIONS.
- E. REFER TO UNDERGROUND DUCTBANK DETAIL AND SPECIFICATIONS.

## U3 CONDUIT STUB-UP DETAIL

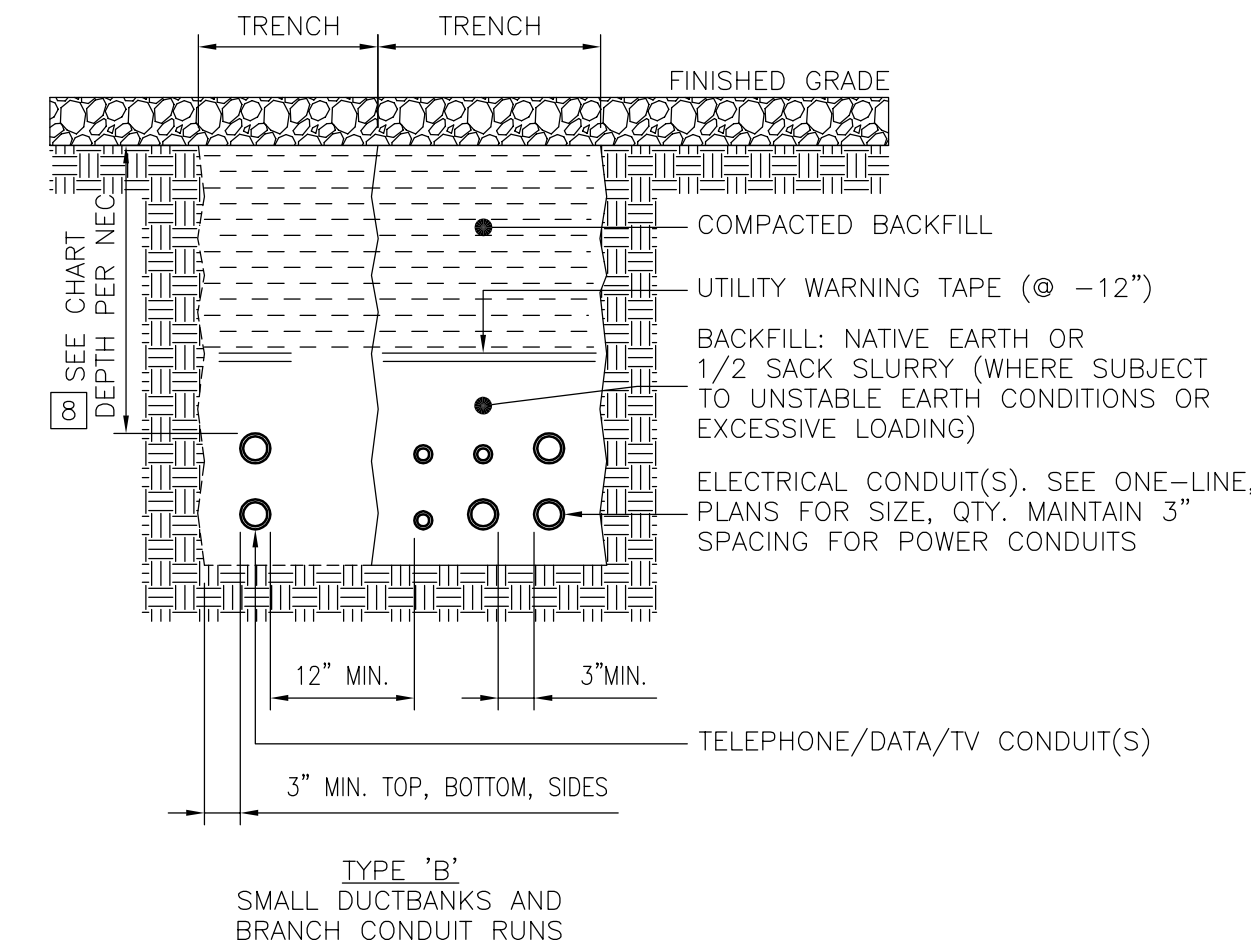
NO SCALE



1. TYPICAL ELECTRIFIED DOOR
2. DETAIL REPRESENTS TYPICAL INSTALLATION. THE ACTUAL NUMBER OF CONNECTION, POWER REQUIREMENTS, WIRING REQUIREMENTS WILL VARY. COORDINATE WITH ACCESS CONTROLS INSTALLER AND SHOP DRAWINGS ACCORDINGLY.
3. INSTALL NOTIFICATION DEVICES AT 80" AFF (82" TO DEVICE BOX CENTERLINE) UNLESS NOTED OTHERWISE OR UNLESS MINIMUM CEILING SPACING CANNOT BE MAINTAINED. (REF. NFPA 72)

## A2 ELECTRIFIED DOOR

NO SCALE (AS APPLICABLE)



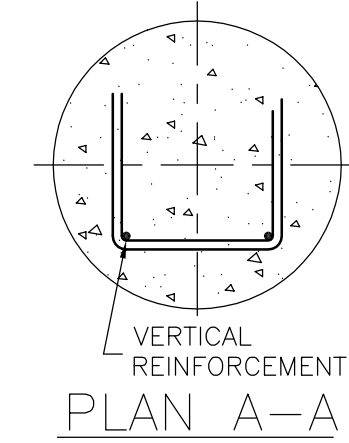
[B] MINIMUM DEPTH (TABLE 300.5)	
LOCATIONS	DEPTH
ALL LOCATIONS NOT SPECIFIED:	18"
UNDER 4" THICK (MIN) CONCRETE WITH NO VEHICULAR TRAFFIC:	4"
UNDER STREETS, HIGHWAYS, ROADS, ALLEYS, DRIVEWAYS AND PARKING LOTS:	24"

## U1 UNDERGROUND DUCTBANK

NO SCALE

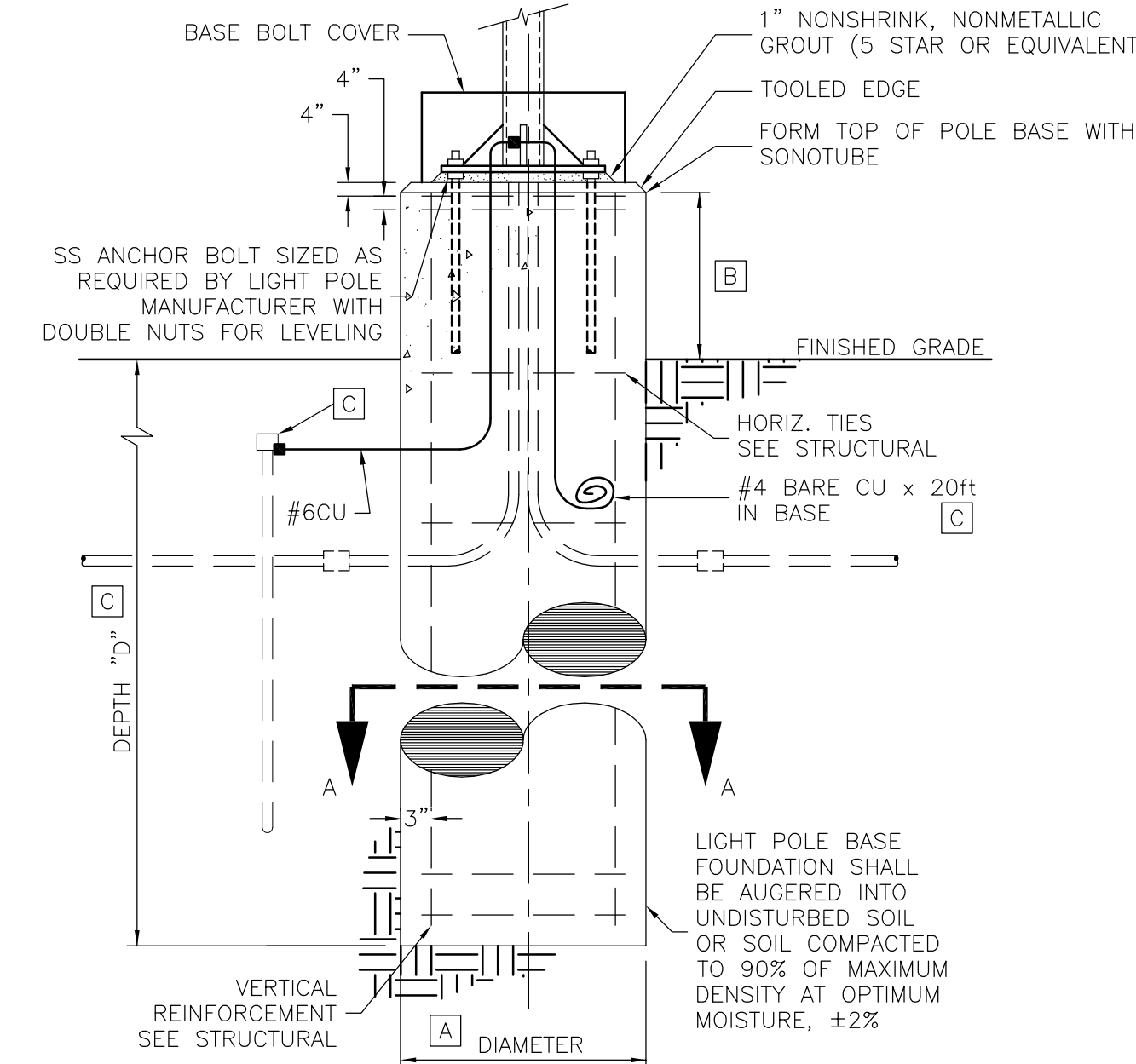
## A1 DEVICE MOUNTING HEIGHTS

NO SCALE



NOTE: ORIENT BOLT PATTERN AS SHOWN ON PLANS. CONFIRM BOLT PATTERN WITH POLE MANUFACTURER PRIOR TO INSTALLATION.

- A. UNLESS PROVIDED IN STRUCTURAL PLANS, POLE BASE DIMENSION & REINFORCEMENT SHALL BE PROVIDED BY POLE SUPPLIER AND SEALED BY STRUCTURAL ENGINEER REGISTERED IN THE SAME STATE AS PROJECT. MAINTAIN NET POLE HEIGHT PER FIXTURE SCHEDULE WHEN POLE BASE EXTENDS ABOVE GRADE.
- B. 2'-6" IN AREAS EXPOSED TO TRAFFIC, 6" OTHERWISE.
- C. 5/8"x8'-0" GROUND ROD (OR #4 BARE CU X 20' UFER COILED IN BASE) CONNECT TO POLE. CONNECTION TO REINFORCING BAR IS OPTIONAL EXCEPT WHEN USED AS UFER (20FT X #4 REBAR MINIMUM).



## L2 POLE FOUNDATION

NO SCALE

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
Hyden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.hydenarchitects.com

structural engineer:  
BDA design  
7047 E Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaesign.com

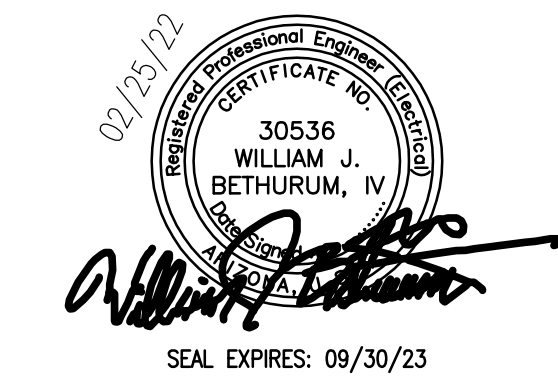
civil engineer:  
Wilson & Company  
410 N 44th Street Suite 450  
Phoenix, AZ 85008  
602.283.3703  
www.wilsonco.com

mechanical/electrical engineer:  
Applied Engineering  
2900 S. Rural Road #301  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



## REVISIONS

Number DESCRIPTION DATE

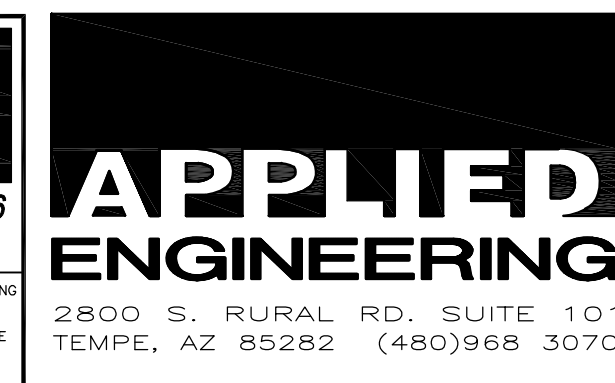
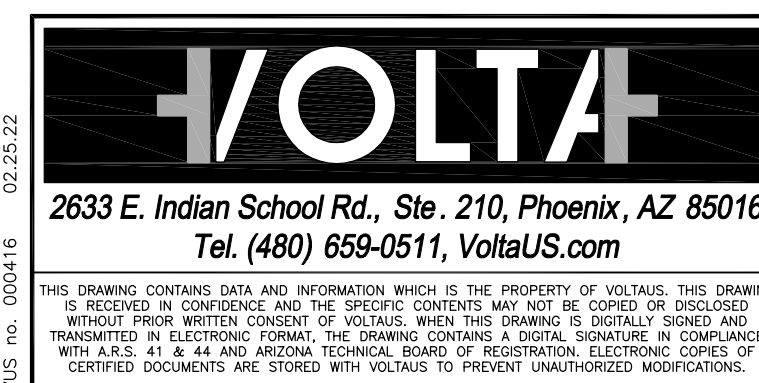
PROJECT NO: 0520-0020  
DATE: FEBRUARY 25, 2022

Electrical Details

E8.0

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	83	117



PHOENIX, AZ 05/25/22







EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

historic preservation:  
Hyden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.hydenarchitects.com

structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

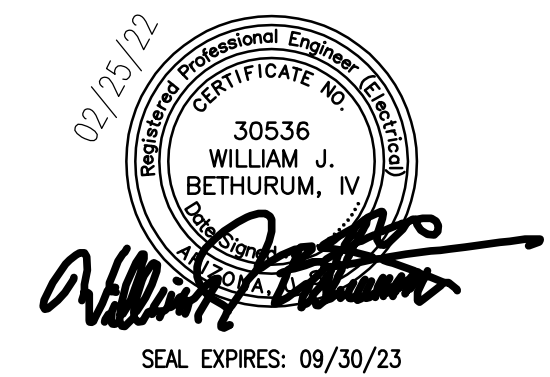
civil engineer:  
Wilson & Company  
410 N 44th Street Suite 460  
Phoenix, AZ 85008  
602.383.5703  
www.wilsonco.com

mechanical/electrical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

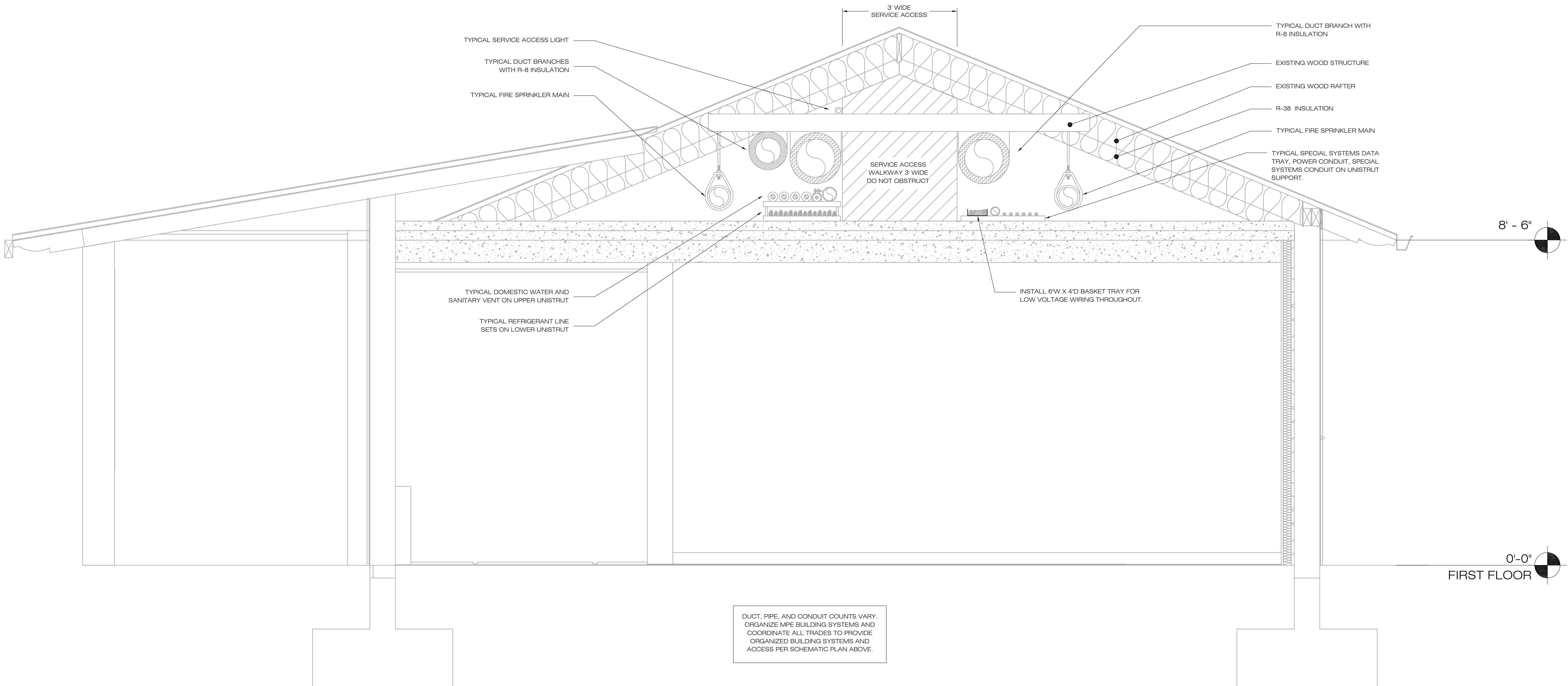
PROJECT NO: 0520-0020  
DATE: FEBRUARY 25, 2022

Electrical Details

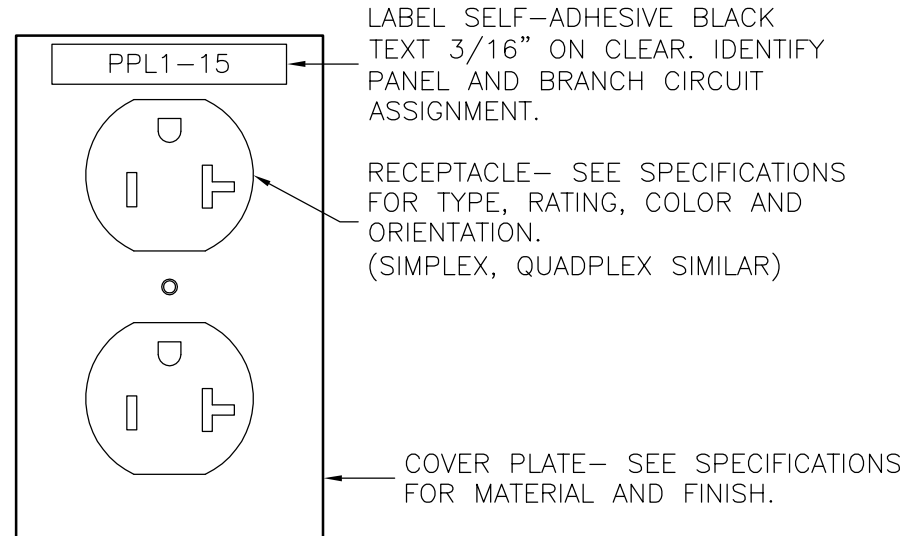
E8.2

2ND PERMIT REVIEW

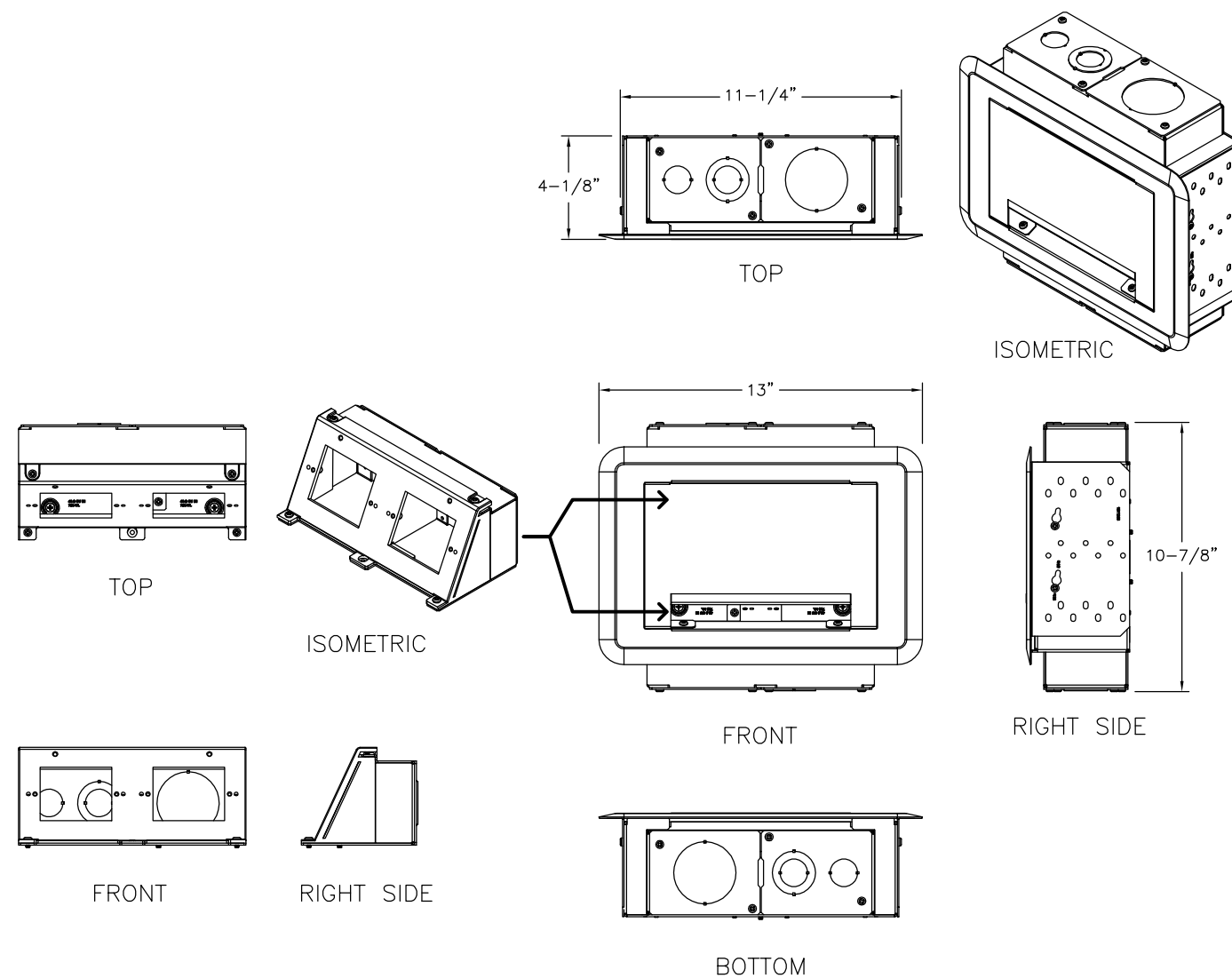
Project Number	NO.	Total
AH20300003-2	85	117



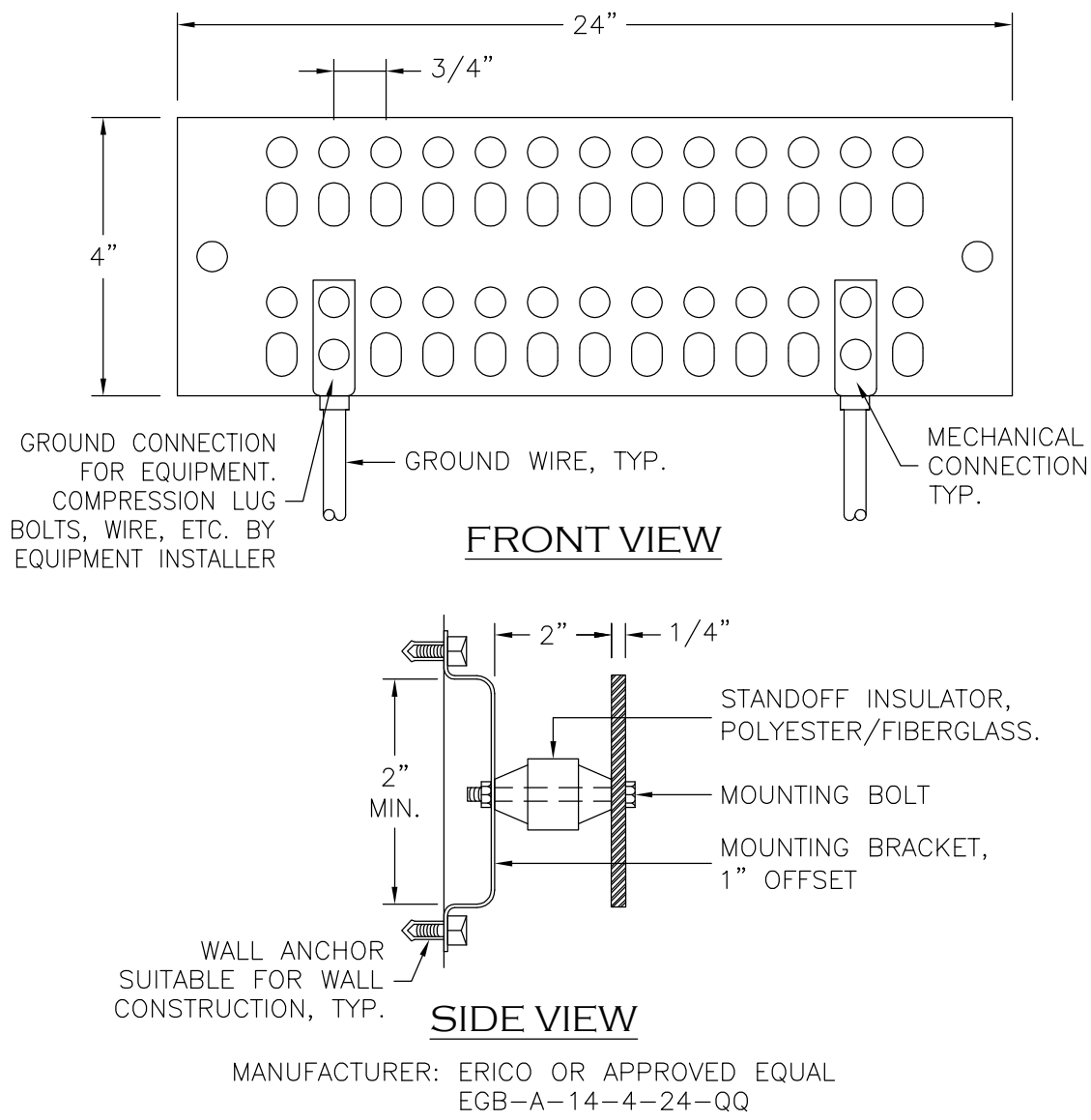
1 ATTIC SECTION DETAIL  
NOT TO SCALE



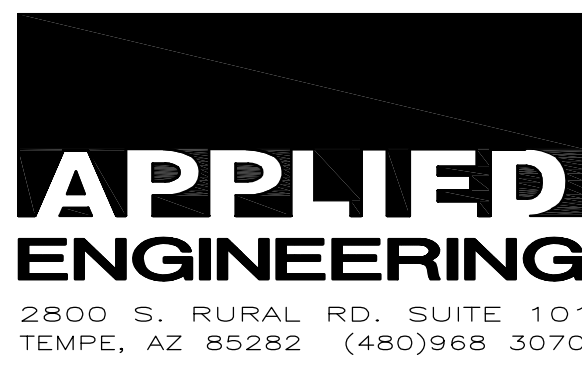
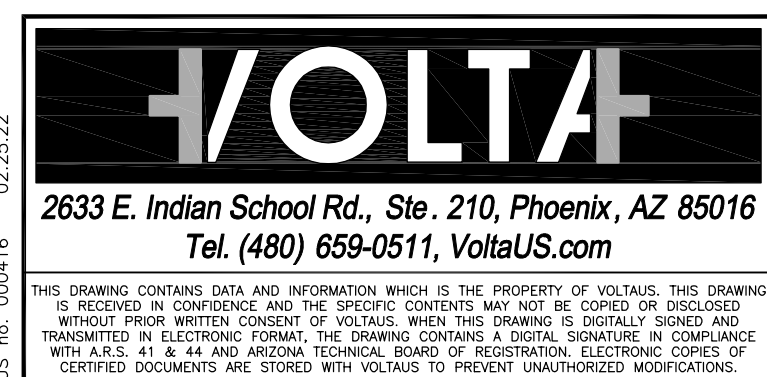
P2 DUPLEX RECEPTACLE  
NO SCALE



P1 4-GANG TV WALL BOX  
NO SCALE



G2 GROUNDING BUSBAR DETAIL  
NO SCALE

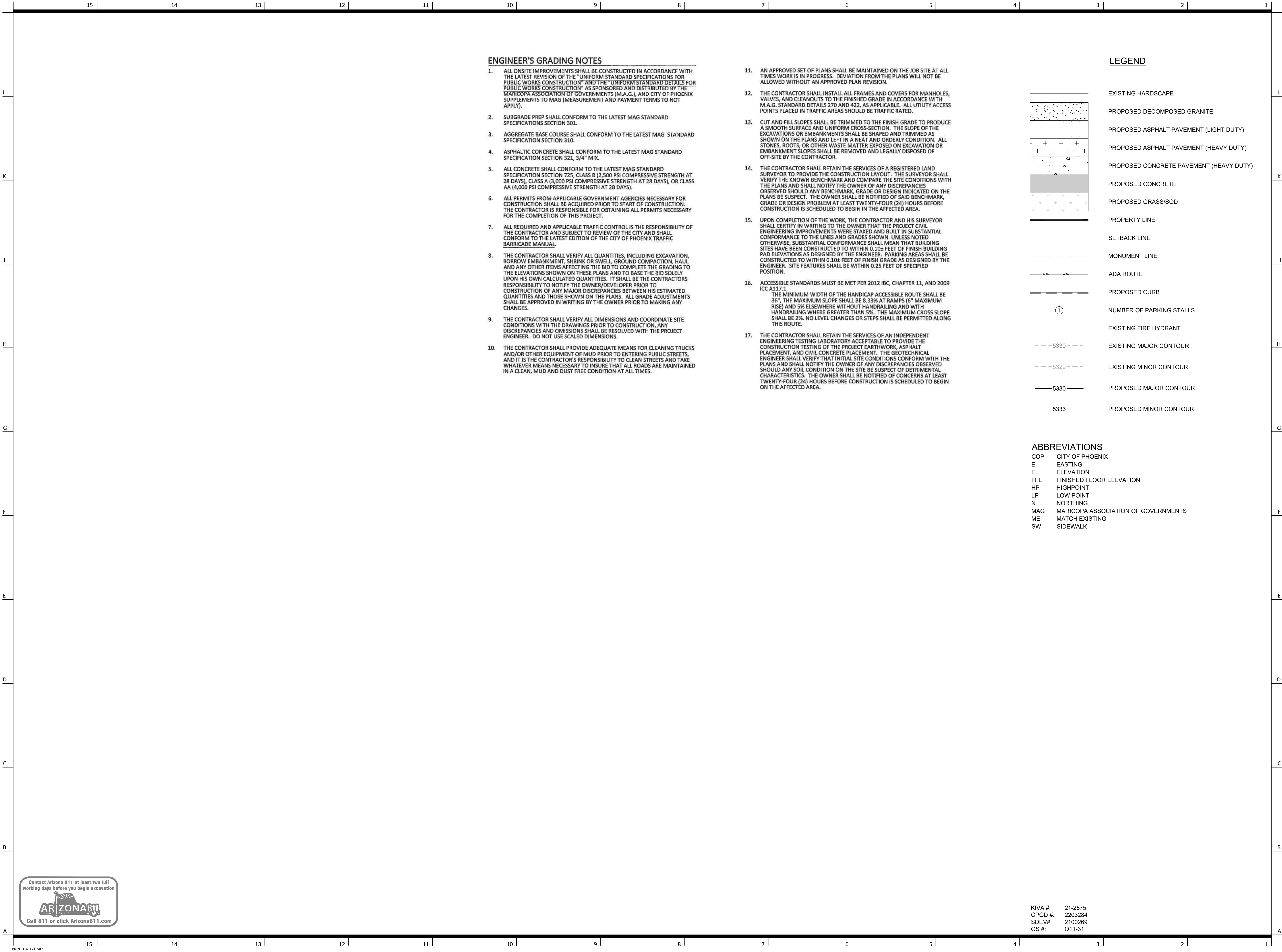






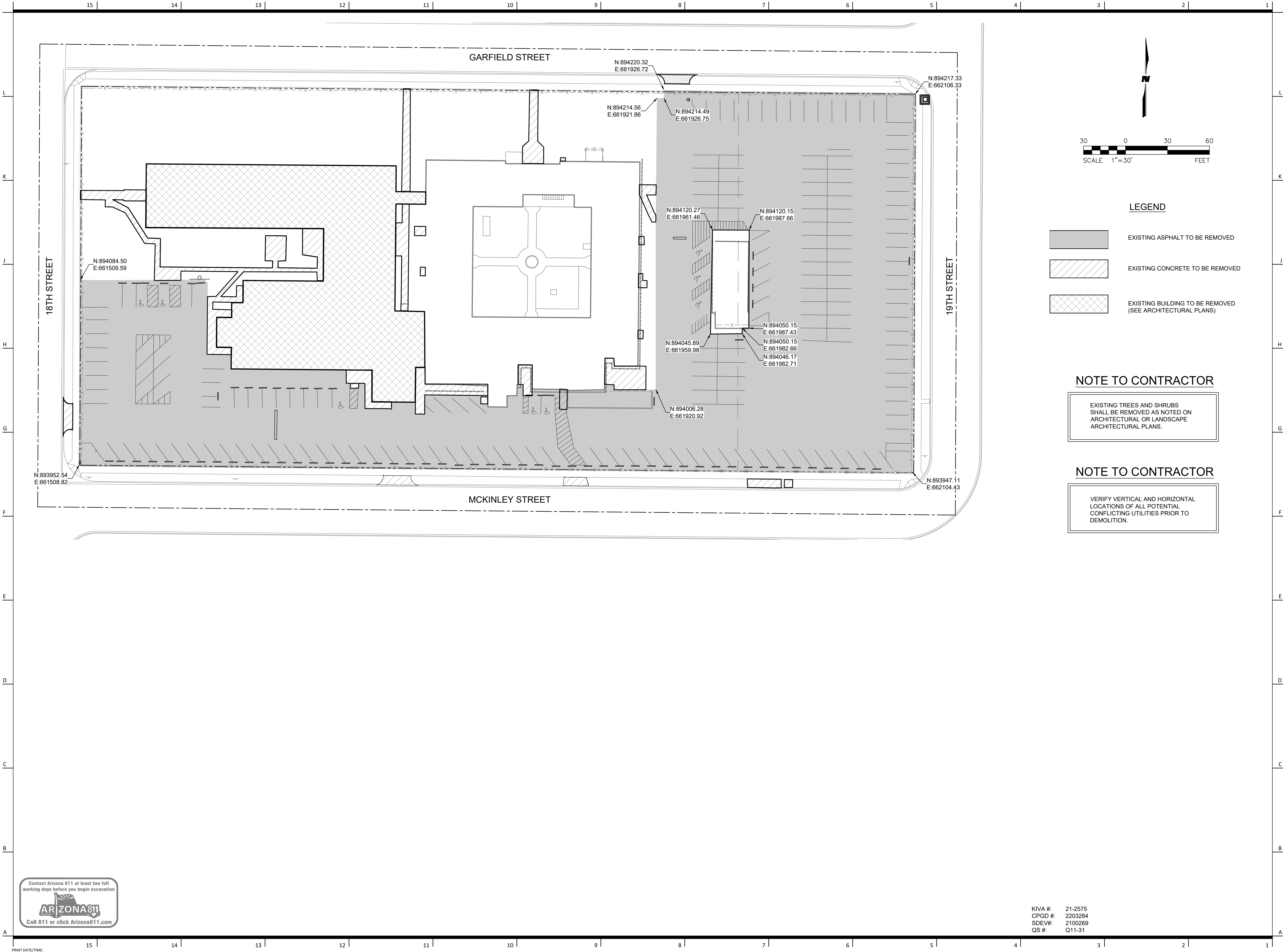


M:\MSD\21-600-038-002\_Disciplines\ SHEETS\1\_Sheets - Grading and Drainage\ElH - C101 - GRADING AND DRAINAGE - NOTES.dwg





M:\MSD\21-600-038-002\_Disciplines\Sheets - Grading and Drainage\ElH - C102 - GRADING AND DRAINAGE - DEMOLITION PLAN.dwg



multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
**City of Phoenix**  
210 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
**Multistudio**  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multistudio

historic preservation:  
**Ryden Architects**  
902 W. McDowell Road  
Phoenix, AZ 85007  
602.333.3381  
www.rydenarchitects.com

structural engineer:  
**BDA design**  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaesign.com

civil engineer:  
**Wilson & Company**  
410 N. 44th Street Suite 400  
Phoenix, AZ 85008  
602.283.2701  
www.wilsonco.com

mechanical engineer:  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

landscape architect:  
**Floor Associates**  
1425 N. 1st Street #1507  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

food service:  
**Design-Tec Food Facilities**  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



EXPIRES 09/30/24

### REVISIONS

Number	DESCRIPTION	DATE
1	Delta 1 - COP 1st Review Comments	02/25/2022
2	Delta 2 - COP 2nd Review Comments	06/01/2022

PROJECT NO: 0520-0020  
DATE: JUNE 16, 2022  
WILSON & CO PN: 21-600-038

GRD/DRN 3 OF 10

DEMOLITION PLAN

C102

3RD PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	88	117

KIVA #: 21-2575  
OPGD #: 2203284  
SDEV#: 2100269  
QS #: Q11-31



AH20300003-2 : EDISON IMPACT HUB CONSTRUCTION. Q3.11-31



## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
**City of Phoenix**  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
**Multistudio**  
523 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multistudio

historic preservation:  
**Ryden Architects**  
902 W. McDowell Road  
Phoenix, AZ 85007  
602.253.1381  
www.rydenarchitects.com

structural engineer:  
**BDA design**  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

landscape architect:  
**Floor Associates**  
1425 N. 1st Street #1507  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

food service:  
**Design-Tec Food Facilities**  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



EXPIRES 09/30/24

### REVISIONS

Number	DESCRIPTION	DATE
1	Delta 1 - COP 1st Review Comments	02/25/2022
2	Delta 2 - COP 2nd Review Comments	06/01/2022

PROJECT NO: 0520-0020  
DATE: JUNE 16, 2022  
WILSON & CO PN: 21-600-038

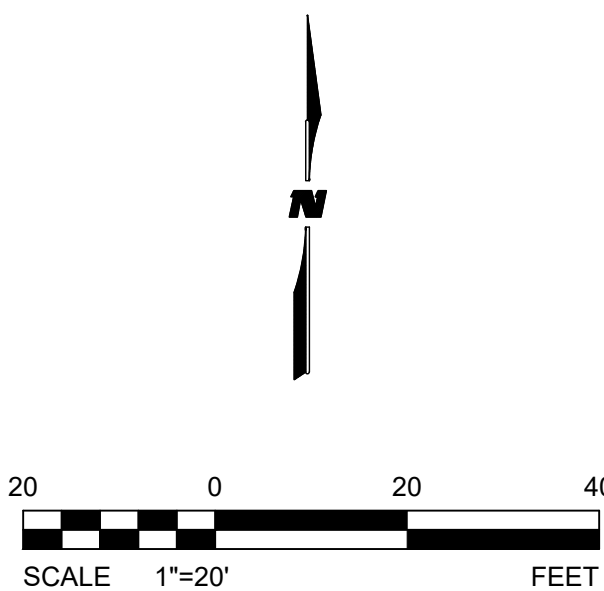
GRD/DRN 4 OF 10

OVERALL GRADING PLAN  
-WEST

# C103

3RD PERMIT REVIEW

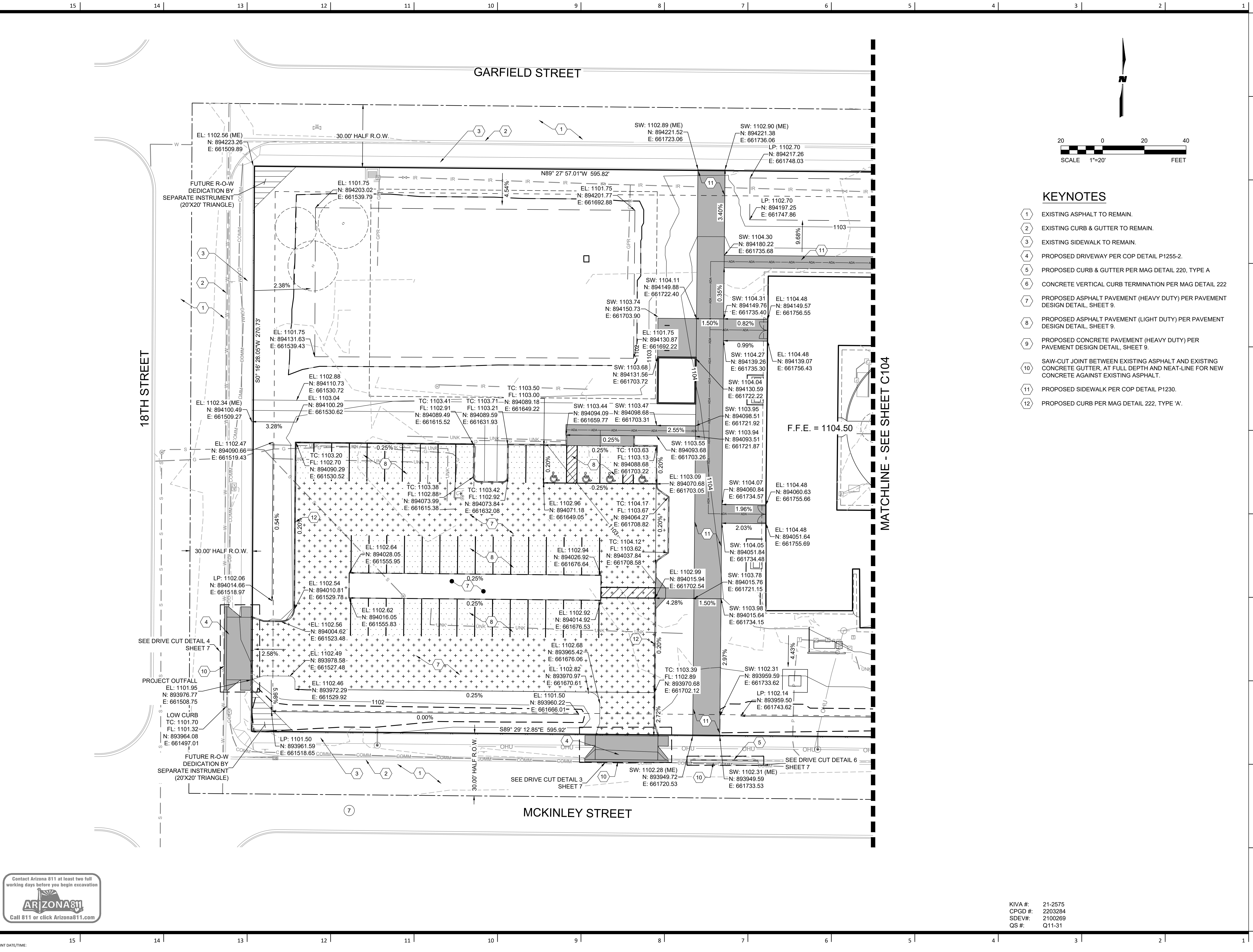
Project Number	NO.	Total
AH20300003-2	89	117



### KEYNOTES

- EXISTING ASPHALT TO REMAIN.
- EXISTING CURB & GUTTER TO REMAIN.
- EXISTING SIDEWALK TO REMAIN.
- PROPOSED DRIVEWAY PER COP DETAIL P1255-2.
- PROPOSED CURB & GUTTER PER MAG DETAIL 220, TYPE A
- CONCRETE VERTICAL CURB TERMINATION PER MAG DETAIL 222
- PROPOSED ASPHALT PAVEMENT (HEAVY DUTY) PER PAVEMENT DESIGN DETAIL, SHEET 9.
- PROPOSED ASPHALT PAVEMENT (LIGHT DUTY) PER PAVEMENT DESIGN DETAIL, SHEET 9.
- PROPOSED CONCRETE PAVEMENT (HEAVY DUTY) PER PAVEMENT DESIGN DETAIL, SHEET 9.
- SAW-CUT JOINT BETWEEN EXISTING ASPHALT AND EXISTING CONCRETE GUTTER, AT FULL DEPTH AND NEAT-LINE FOR NEW CONCRETE AGAINST EXISTING ASPHALT.
- PROPOSED SIDEWALK PER COP DETAIL P1230.
- PROPOSED CURB PER MAG DETAIL 222, TYPE 'A'.

MATCHLINE - SEE SHEET C104



KIVA #: 21-2575  
CPGD #: 2203284  
SDEV#: 2100269  
QS #: Q11-31



## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
**City of Phoenix**  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
**Multistudio**  
523 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multistudio

historic preservation:  
**Ryden Architects**  
902 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5181  
www.rydenarchitects.com

structural engineer:  
**BDA design**  
7047 E. Greenway Plwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

landscape architect:  
**Floor Associates**  
1425 N. 1st Street #1507  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

food service:  
**Design-Tec Food Facilities**  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



EXPIRES 09/30/24

### REVISIONS

Number	DESCRIPTION	DATE
1	Delta 1 - COP 1st Review Comments	02/25/2022
2	Delta 2 - COP 2nd Review Comments	06/01/2022

PROJECT NO: 0520-0020  
DATE: JUNE 16, 2022  
WILSON & CO PN: 21-600-038

GRD/DRN 5 OF 10

OVERALL GRADING PLAN  
- EAST

# C104

3RD PERMIT REVIEW

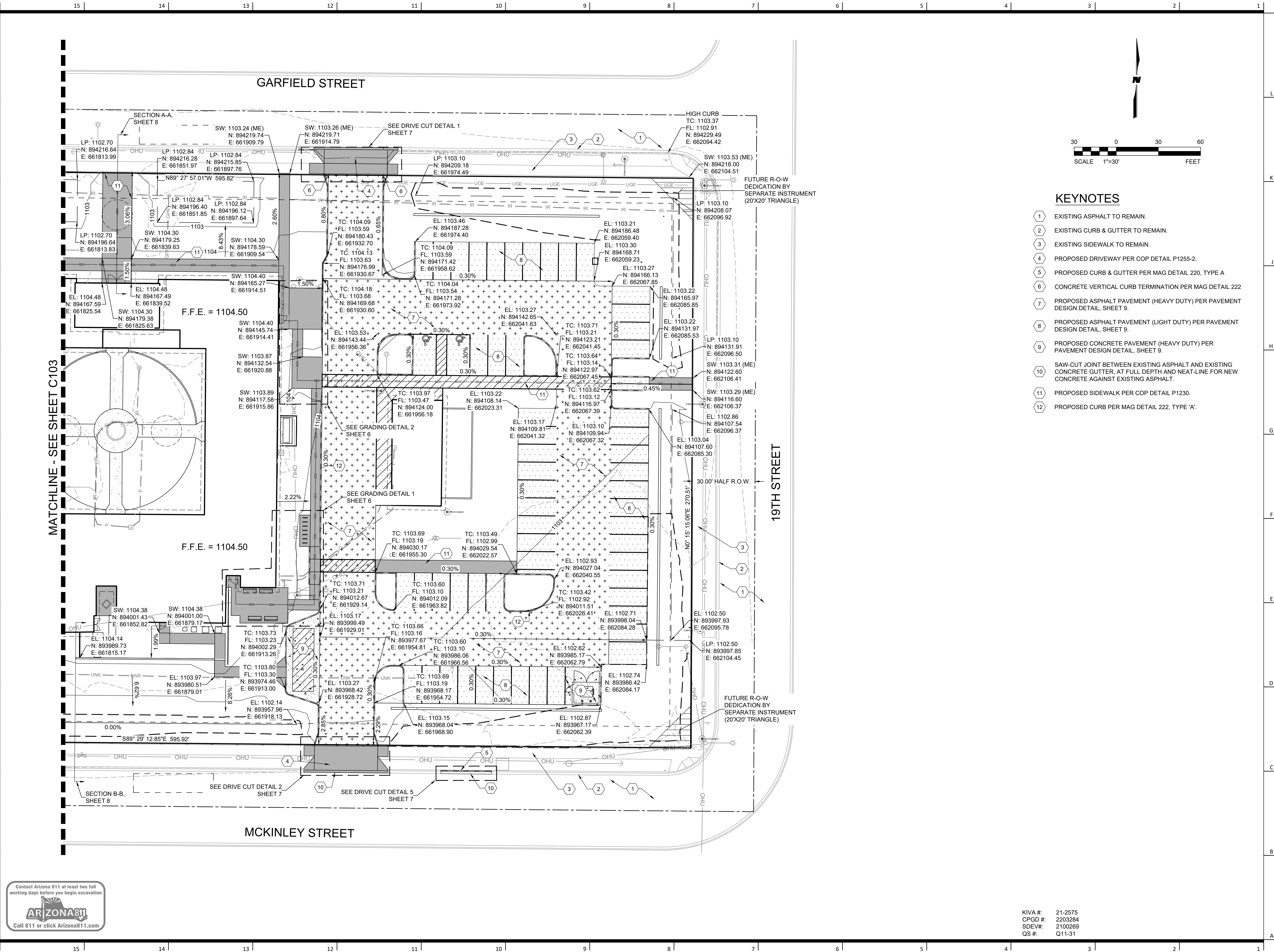
Project Number	NO.	Total
AH20300003-2	90	117



### KEYNOTES

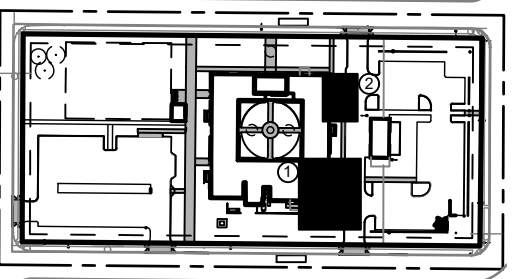
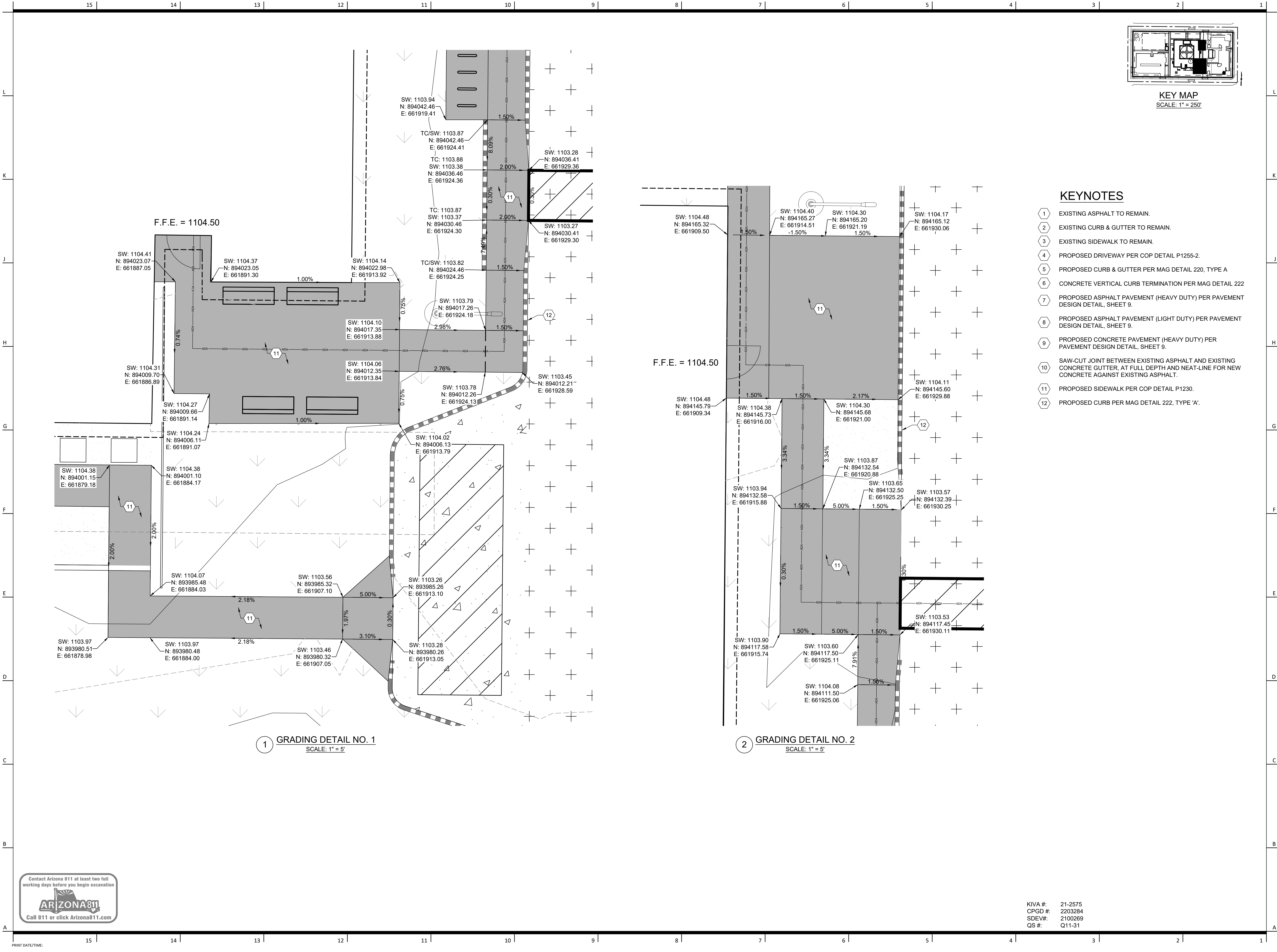
- EXISTING ASPHALT TO REMAIN.
- EXISTING CURB & GUTTER TO REMAIN.
- EXISTING SIDEWALK TO REMAIN.
- PROPOSED DRIVEWAY PER COP DETAIL P1255-2.
- PROPOSED CURB & GUTTER PER MAG DETAIL 220, TYPE A
- CONCRETE VERTICAL CURB TERMINATION PER MAG DETAIL 222
- PROPOSED ASPHALT PAVEMENT (HEAVY DUTY) PER PAVEMENT DESIGN DETAIL, SHEET 9.
- PROPOSED ASPHALT PAVEMENT (LIGHT DUTY) PER PAVEMENT DESIGN DETAIL, SHEET 9.
- PROPOSED CONCRETE PAVEMENT (HEAVY DUTY) PER PAVEMENT DESIGN DETAIL, SHEET 9.
- SAW-CUT JOINT BETWEEN EXISTING ASPHALT AND EXISTING CONCRETE GUTTER, AT FULL DEPTH AND NEAT-LINE FOR NEW CONCRETE AGAINST EXISTING ASPHALT.
- PROPOSED SIDEWALK PER COP DETAIL P1230.
- PROPOSED CURB PER MAG DETAIL 222, TYPE 'A'.

KIVA #: 21-2575  
CPGD #: 2203284  
SDEV#: 2100269  
QS #: Q11-31



PRINT DATE/TIME:





KEY MAP  
SCALE: 1" = 250'

KEYNOTES

- 1 EXISTING ASPHALT TO REMAIN.
- 2 EXISTING CURB & GUTTER TO REMAIN.
- 3 EXISTING SIDEWALK TO REMAIN.
- 4 PROPOSED DRIVEWAY PER COP DETAIL P1255-2.
- 5 PROPOSED CURB & GUTTER PER MAG DETAIL 220, TYPE A
- 6 CONCRETE VERTICAL CURB TERMINATION PER MAG DETAIL 222
- 7 PROPOSED ASPHALT PAVEMENT (HEAVY DUTY) PER PAVEMENT DESIGN DETAIL, SHEET 9.
- 8 PROPOSED ASPHALT PAVEMENT (LIGHT DUTY) PER PAVEMENT DESIGN DETAIL, SHEET 9.
- 9 PROPOSED CONCRETE PAVEMENT (HEAVY DUTY) PER PAVEMENT DESIGN DETAIL, SHEET 9.
- 10 SAW-CUT JOINT BETWEEN EXISTING ASPHALT AND EXISTING CONCRETE GUTTER, AT FULL DEPTH AND NEAT-LINE FOR NEW CONCRETE AGAINST EXISTING ASPHALT.
- 11 PROPOSED SIDEWALK PER COP DETAIL P1230.
- 12 PROPOSED CURB PER MAG DETAIL 222, TYPE 'A'.

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

civil engineer:  
Wilson & Company  
410 N. 44th Street Suite 460  
Phoenix, AZ 85008  
602.283.2701  
www.wilsonco.com

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multistudio

mechanical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

historic preservation:  
Ryden Architects  
902 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

structural engineer:  
BDA design  
7047 E. Greenway Plwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

food service:  
Design-Tec Food Facilities  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



EXPIRES 09/30/24

REVISIONS

Number	DESCRIPTION	DATE
1	Delta 1 - COP 1st Review Comments	02/25/2022
2	Delta 2 - COP 2nd Review Comments	06/01/2022

PROJECT NO: 0520-0020  
DATE: JUNE 16, 2022  
WILSON & CO PN: 21-600-038

GRD/DRN 6 OF 10

GRADING DETAILS

C105

3RD PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	91	117



PRINT DATE/TIME:

AH20300003-2 : EDISON IMPACT HUB CONSTRUCTION. Q3.11-31



## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
**City of Phoenix**  
300 W. Washington Street  
Phoenix, AZ 85003  
602.252.6011  
www.phoenix.gov

architect:  
**Multistudio**  
523 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multistudio

mechanical engineer:  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

historic preservation:  
**Ryden Architects**  
902 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

landscape architect:  
**Floor Associates**  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

structural engineer:  
**BDA design**  
7047 E. Greenway Plwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaesign.com

food service:  
**Design-Tec Food Facilities**  
8345 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



EXPIRES 09/30/24

### REVISIONS

Number	DESCRIPTION	DATE
1	Delta 1 - COP 1st Review Comments	02/25/2022
2	Delta 2 - COP 2nd Review Comments	06/01/2022

PROJECT NO: 0520-0020  
DATE: JUNE 16, 2022  
WILSON & CO PN: 21-600-038

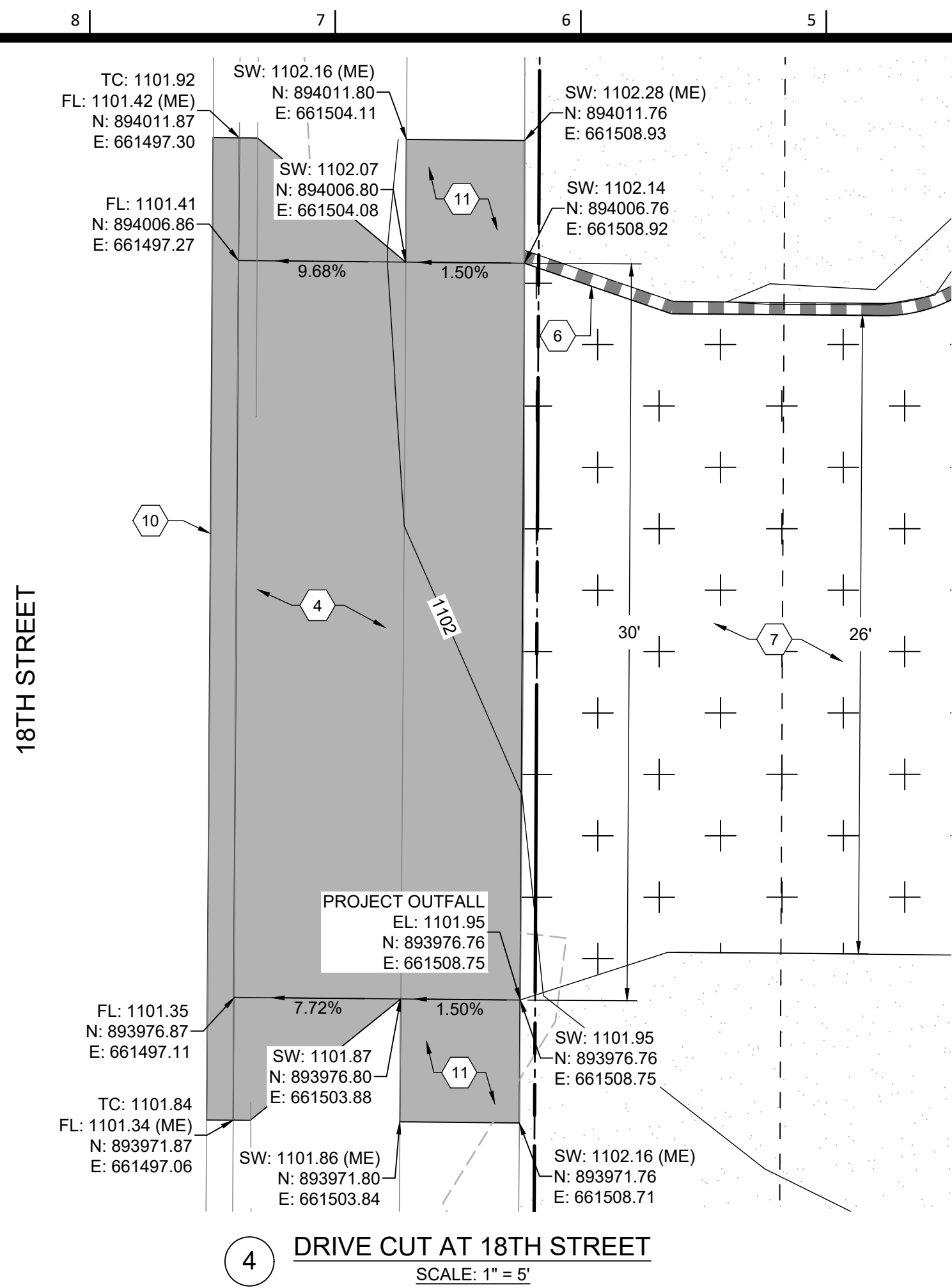
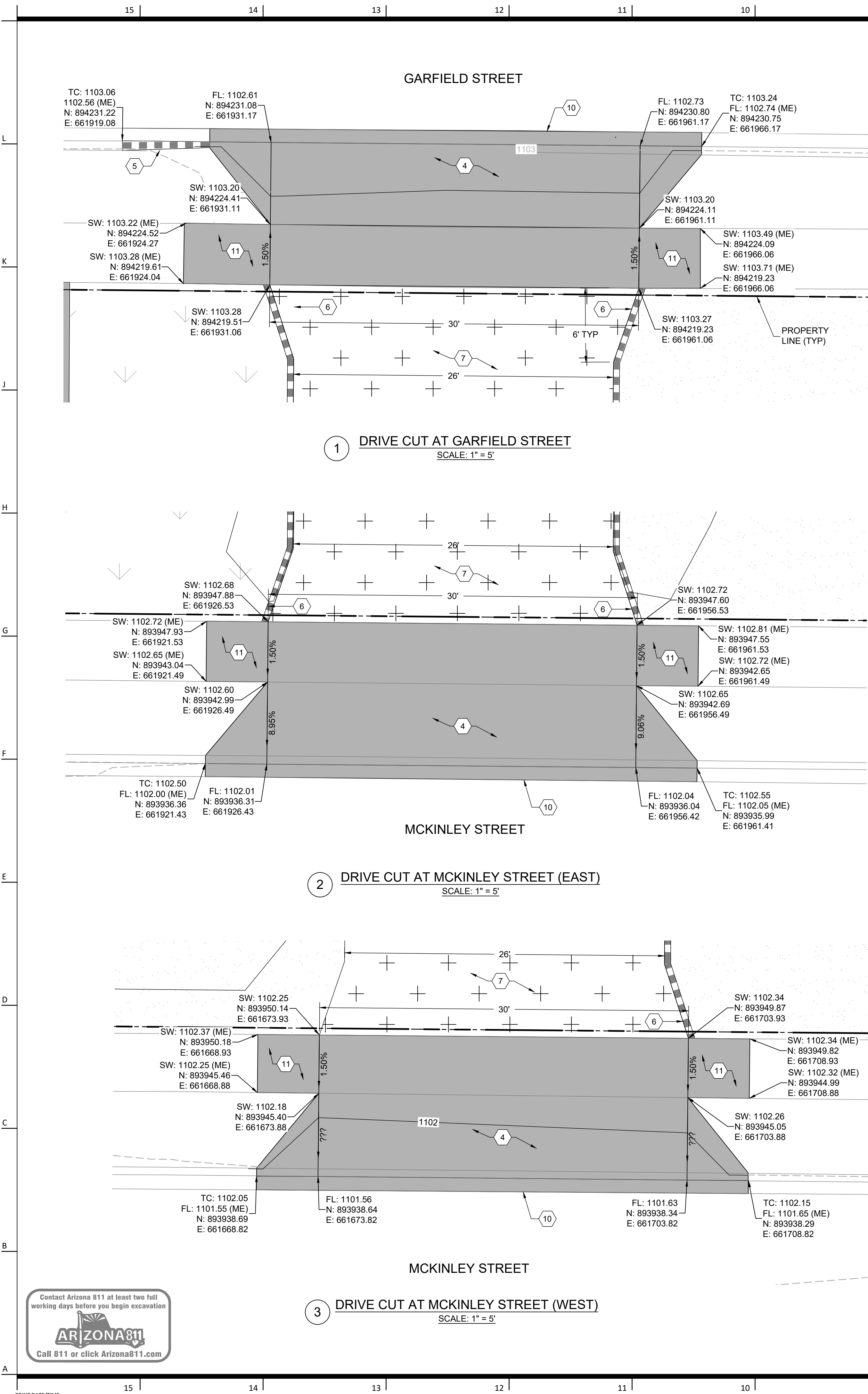
GRD/DRN 7 OF 10

DRIVECUT DETAIL

# C106

3RD PERMIT REVIEW

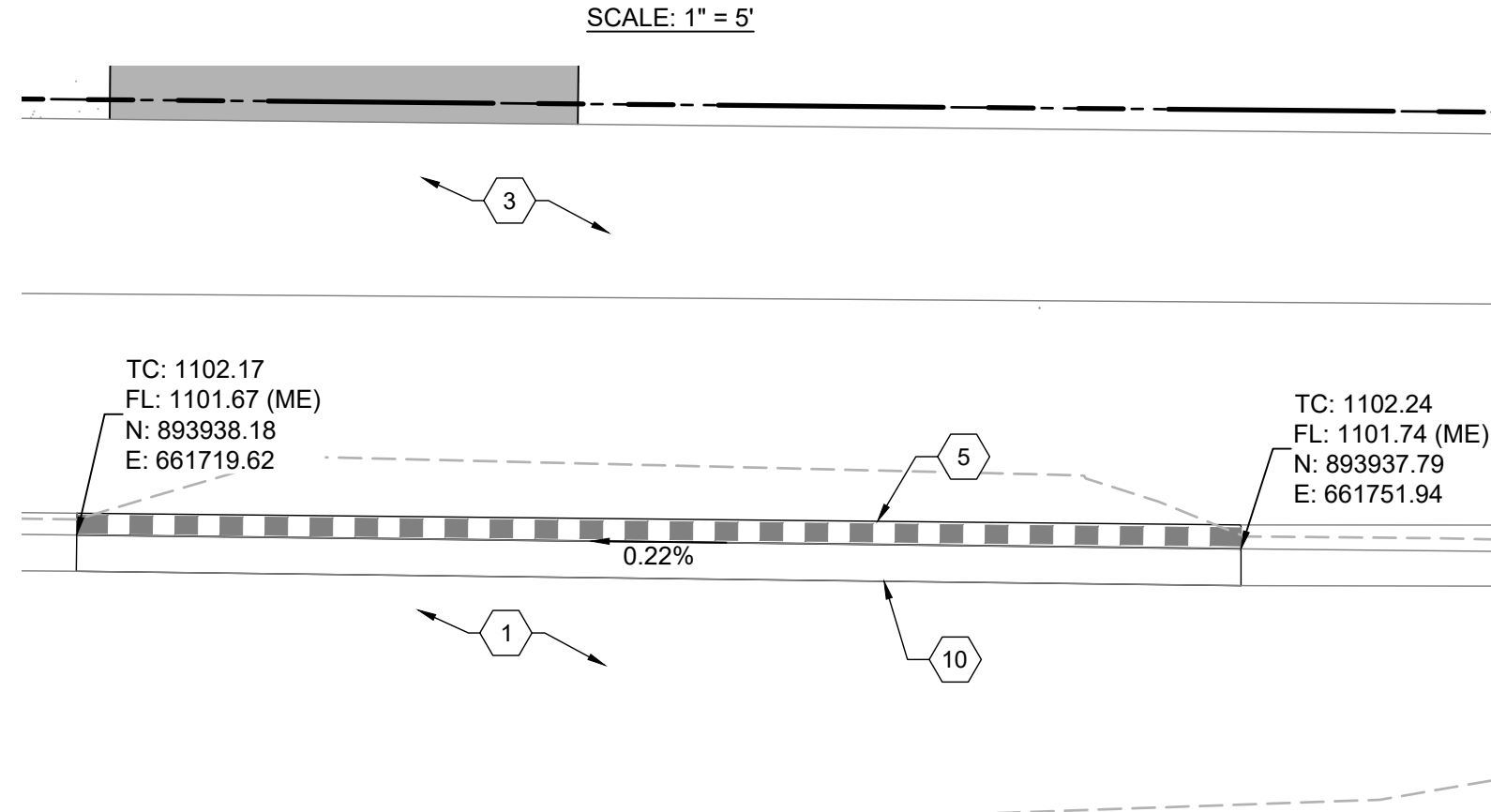
Project Number	NO.	Total
AH20300003-2	92	117



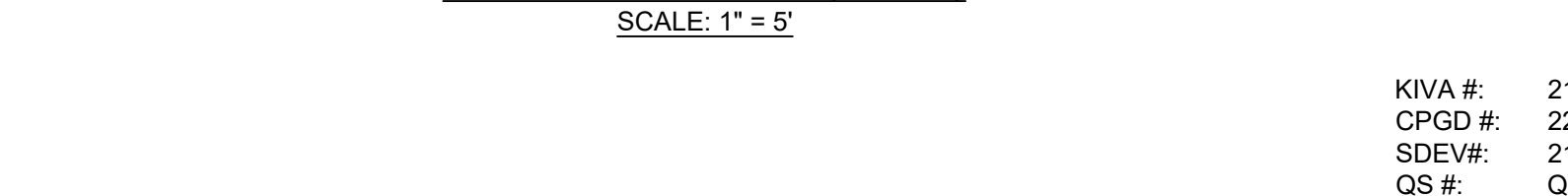
### KEYNOTES

- EXISTING ASPHALT TO REMAIN.
- EXISTING CURB & GUTTER TO REMAIN.
- EXISTING SIDEWALK TO REMAIN.
- PROPOSED DRIVEWAY PER COP DETAIL P1255-2.
- PROPOSED CURB & GUTTER PER MAG DETAIL 220, TYPE A
- CONCRETE VERTICAL CURB TERMINATION PER MAG DETAIL 222
- PROPOSED ASPHALT PAVEMENT (HEAVY DUTY) PER PAVEMENT DESIGN DETAIL, SHEET 9.
- PROPOSED ASPHALT PAVEMENT (LIGHT DUTY) PER PAVEMENT DESIGN DETAIL, SHEET 9.
- PROPOSED CONCRETE PAVEMENT (HEAVY DUTY) PER PAVEMENT DESIGN DETAIL, SHEET 9.
- SAW-CUT JOINT BETWEEN EXISTING ASPHALT AND EXISTING CONCRETE GUTTER, AT FULL DEPTH AND NEAT-LINE FOR NEW CONCRETE AGAINST EXISTING ASPHALT.
- PROPOSED SIDEWALK PER COP DETAIL P1230.
- PROPOSED CURB PER MAG DETAIL 222, TYPE 'A'.

### 5 CURB & GUTTER REPLACEMENT AT MCKINLEY STREET (EAST)



### 6 CURB & GUTTER REPLACEMENT AT MCKINLEY STREET (WEST)



KIVA #: 21-2575  
CPGD #: 2203284  
SDEV#: 2100269  
QS #: Q11-31





EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
**City of Phoenix**  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

civil engineer:  
**Wilson & Company**  
410 N. 44th Street Suite 460  
Phoenix, AZ 85008  
602.283.2701  
www.wilsonco.com

architect:  
**Multistudio**  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multistudio

mechanical engineer:  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

historic preservation:  
**Ryden Architects**  
902 W. McDowell Road  
Phoenix, AZ 85007  
602.253.1381  
www.rydenarchitects.com

landscape architect:  
**Floor Associates**  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

structural engineer:  
**BDA design**  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaesign.com

food service:  
**Design-Tec Food Facilities**  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



EXPIRES 09/30/24

REVISIONS

Number	DESCRIPTION	DATE
1	Delta 1 - COP 1st Review Comments	02/25/2022
2	Delta 2 - COP 2nd Review Comments	06/01/2022

PROJECT NO: 0520-0020  
DATE: JUNE 16, 2022  
WILSON & CO PN: 21-600-038

GRD/DRN 8 OF 9

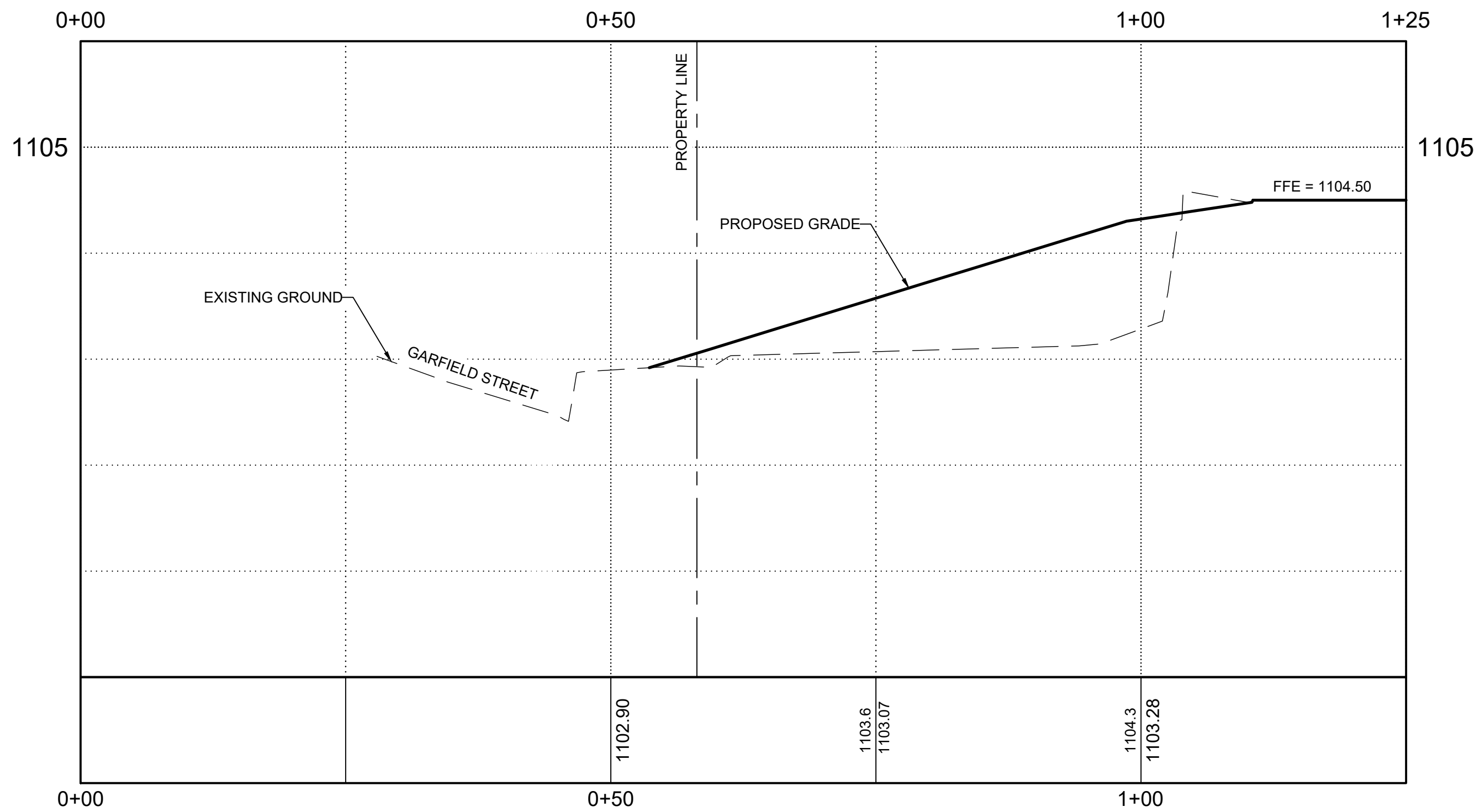
CROSS SECTIONS

C107

3RD PERMIT REVIEW

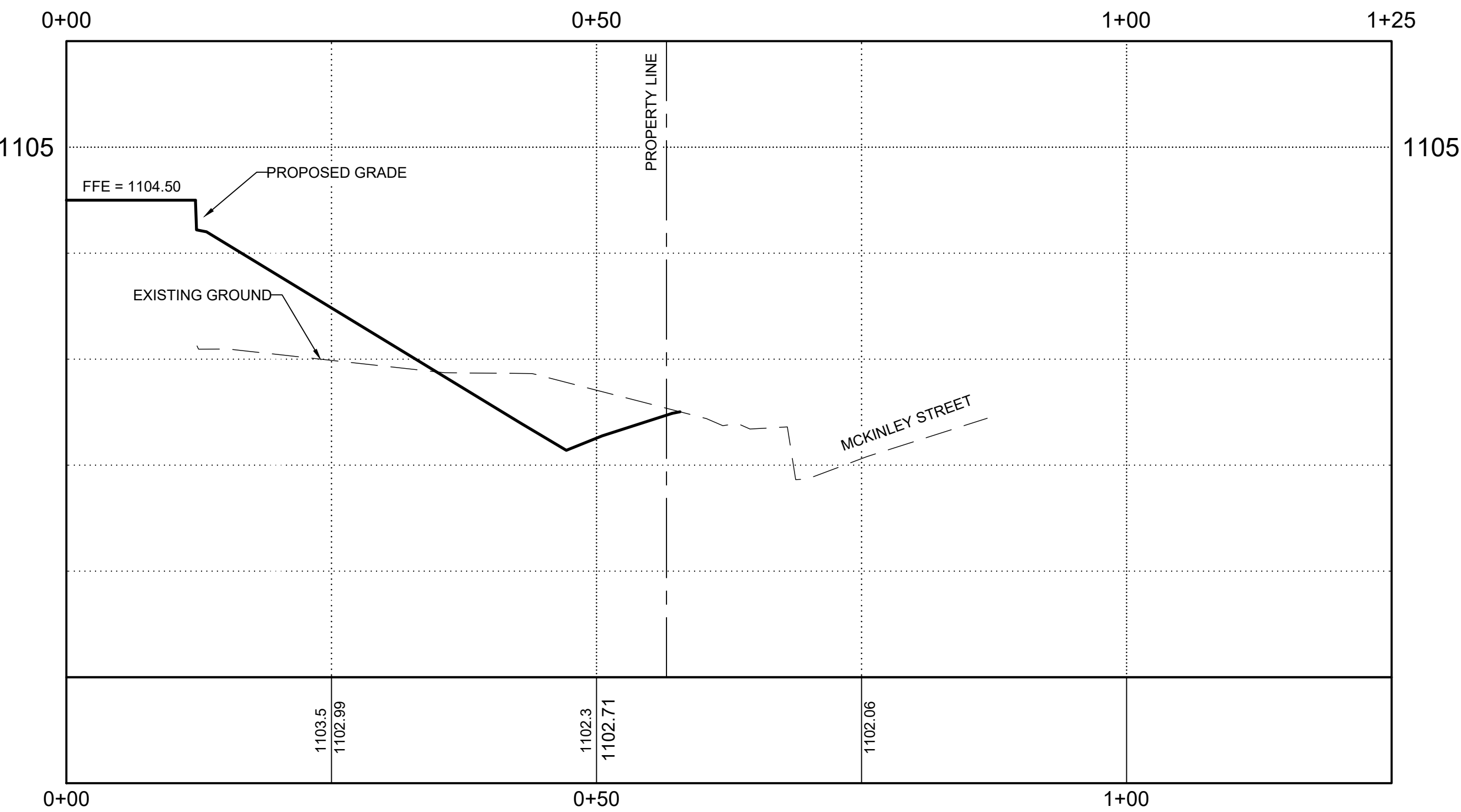
Project Number	NO.	Total
AH20300003-2	93	117

KIVA #: 21-2575  
CPGD #: 2203284  
SDEV#: 2100269  
QS #: Q11-31



SECTION A-A

SCALE: H 1" = 10' V 1" = 5'



SECTION B-B

SCALE: H 1" = 10' V 1" = 5'





## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multistudio

historic preservation:  
Ryden Architects  
902 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

food service:  
Design-Tec Food Facilities  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.773.0222

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



EXPIRES 09/30/24

### REVISIONS

Number	DESCRIPTION	DATE
1	Delta 1 - COP 1st Review Comments	02/25/2022
2	Delta 2 - COP 2nd Review Comments	06/01/2022

PROJECT NO: 0520-0020  
DATE: JUNE 16, 2022  
WILSON & CO PN: 21-600-038

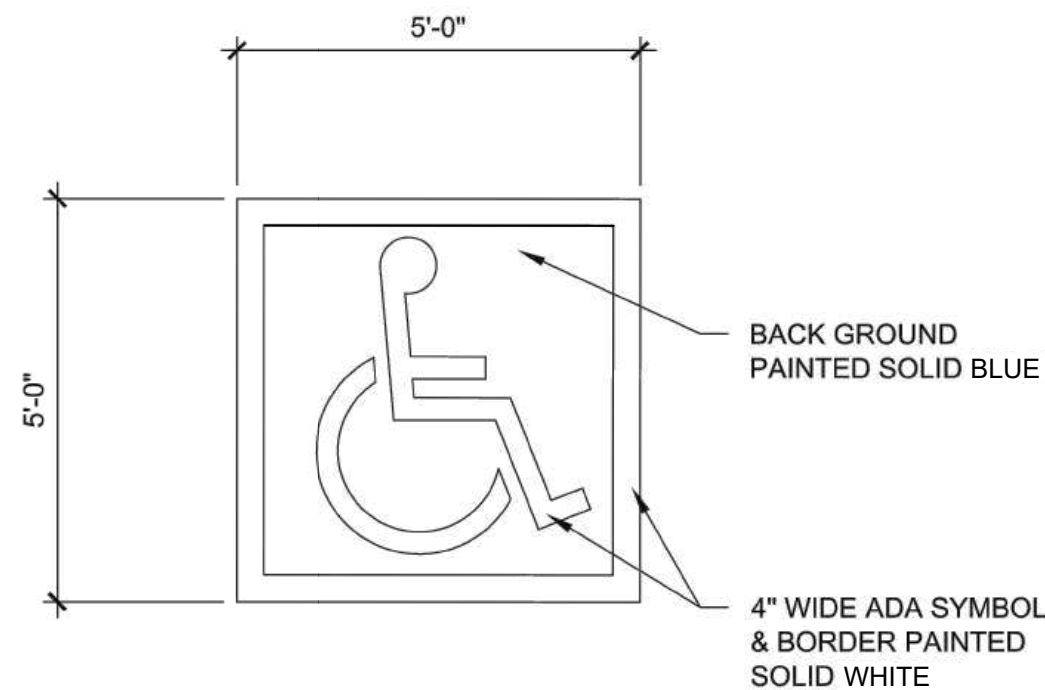
GRD/DRN 9 OF 10

DETAILS

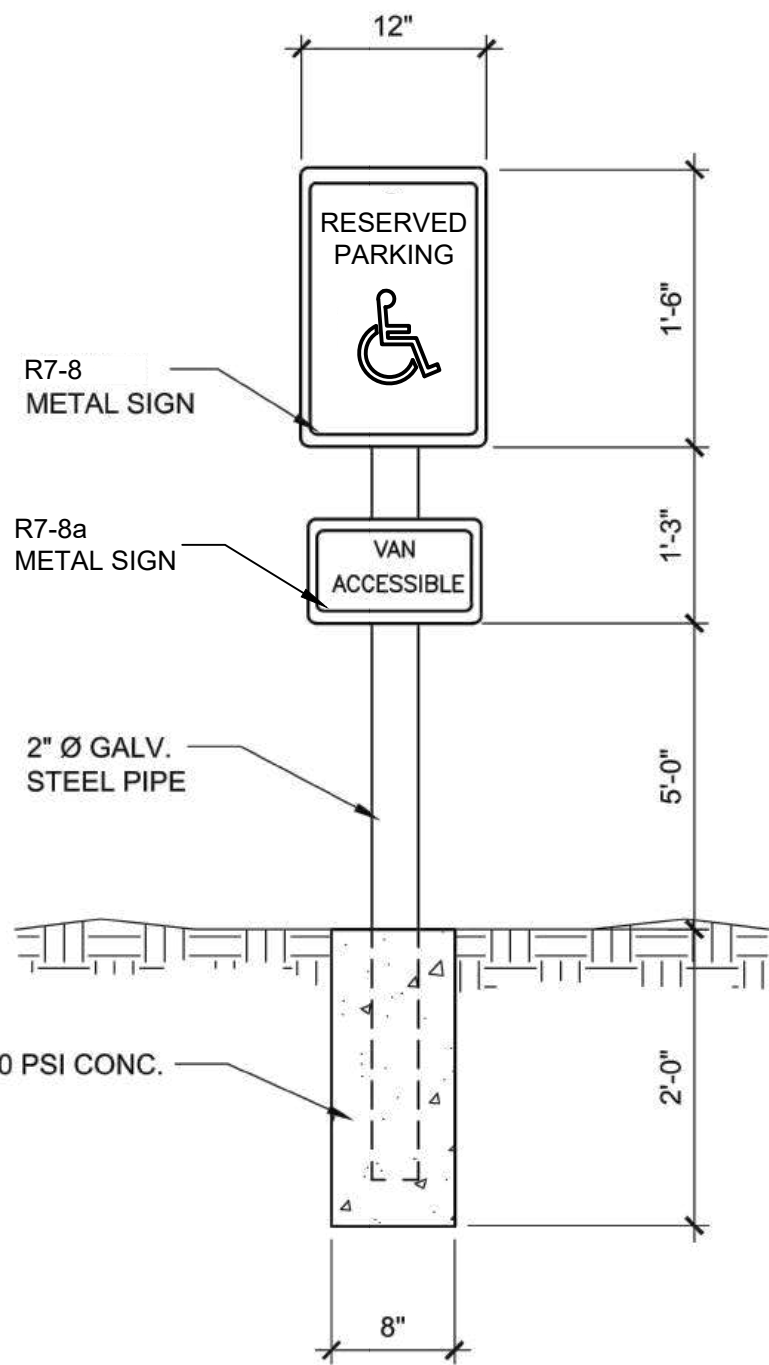
C108

3RD PERMIT REVIEW

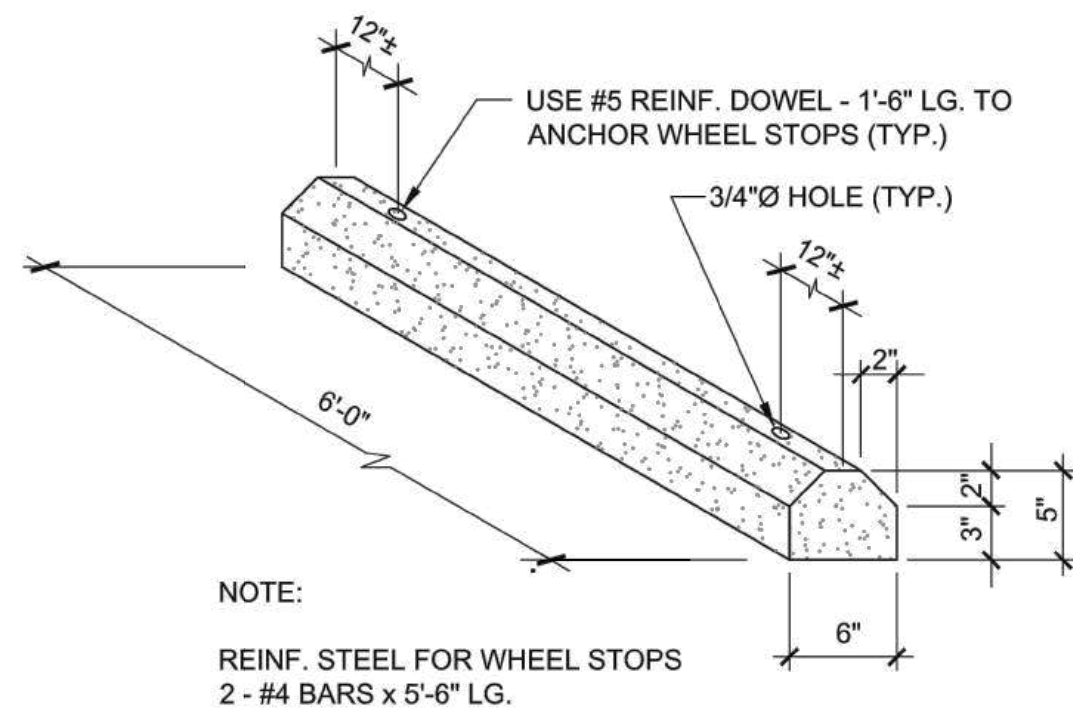
Project Number	NO.	Total
AH20300003-2	94	117



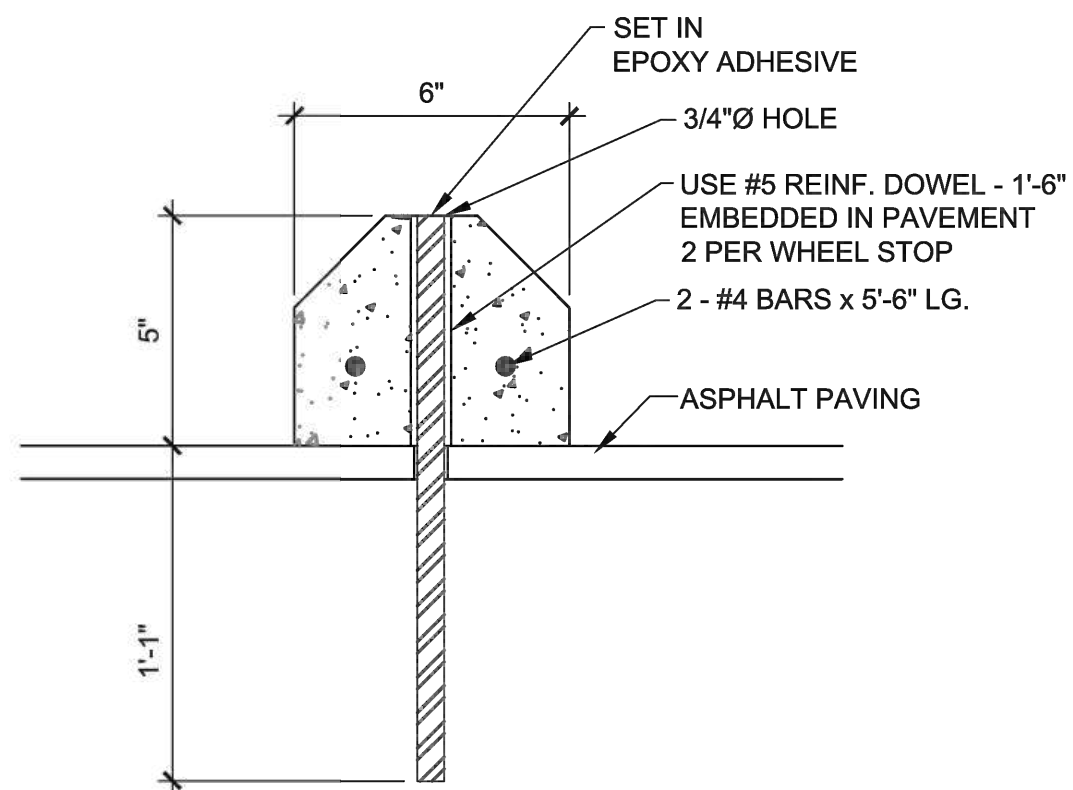
WHEELSTOP - TYPICAL SECTION  
SCALE: N.T.S.



ADA PARKING SIGN DETAIL  
SCALE: N.T.S.

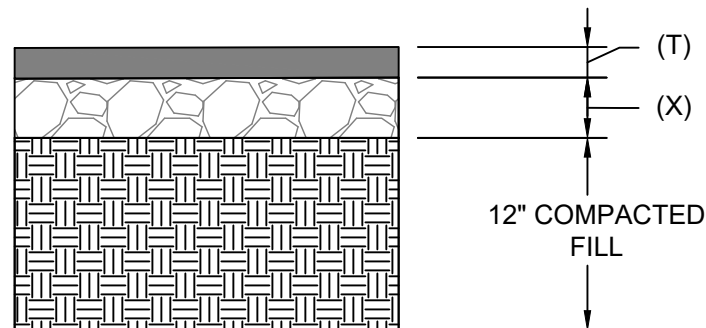


WHEELSTOP DETAIL  
SCALE: N.T.S.



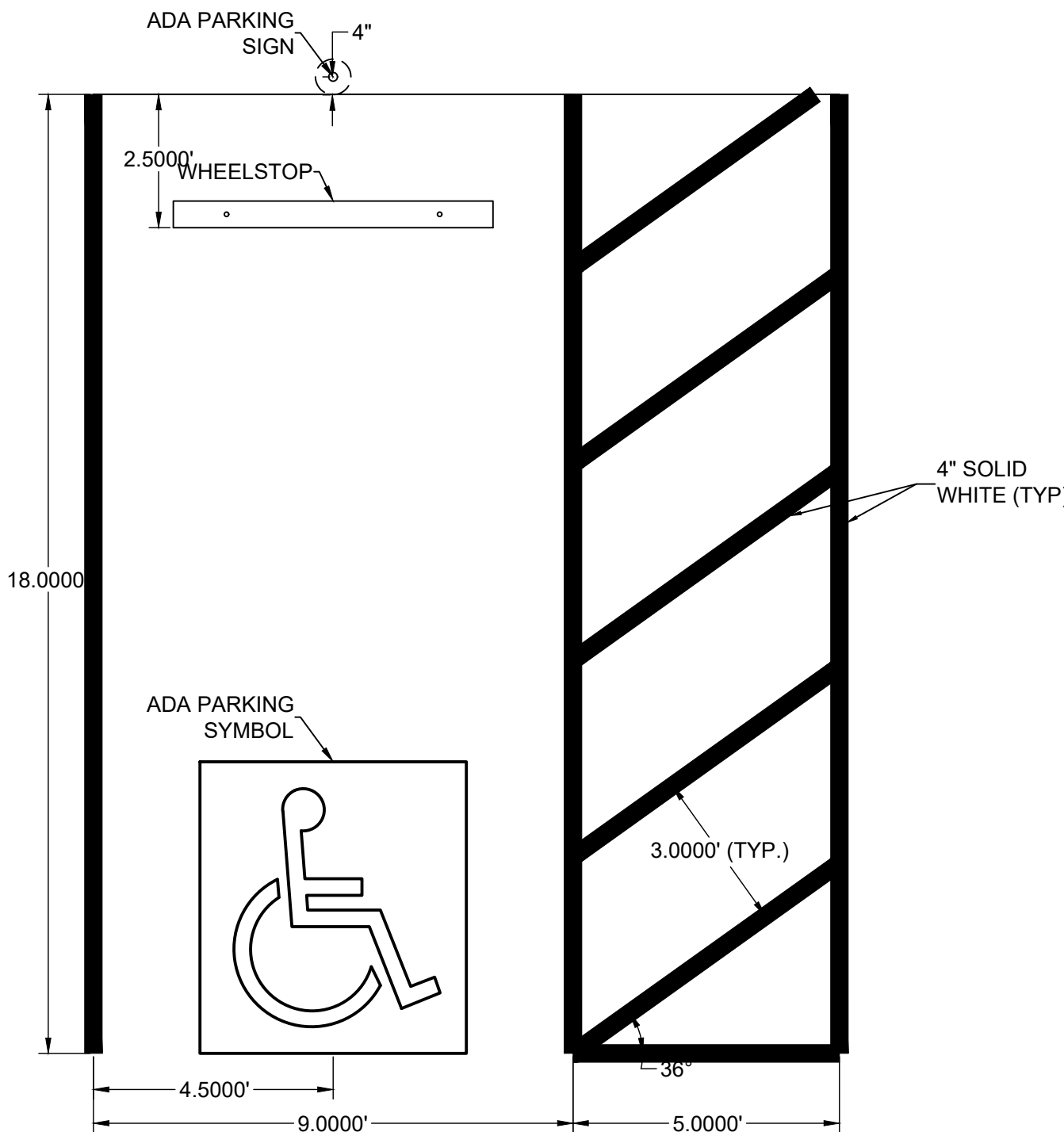
WHEELSTOP - TYPICAL SECTION  
SCALE: N.T.S.

PAVEMENT TYPE	SURFACE COURSE (T) (INCHES)	BASE COURSE (X) (INCHES)
CONCRETE (HEAVY DUTY)	6	4
ASPHALT (LIGHT DUTY)	2.50	6
ASPHALT (HEAVY DUTY)	3	7

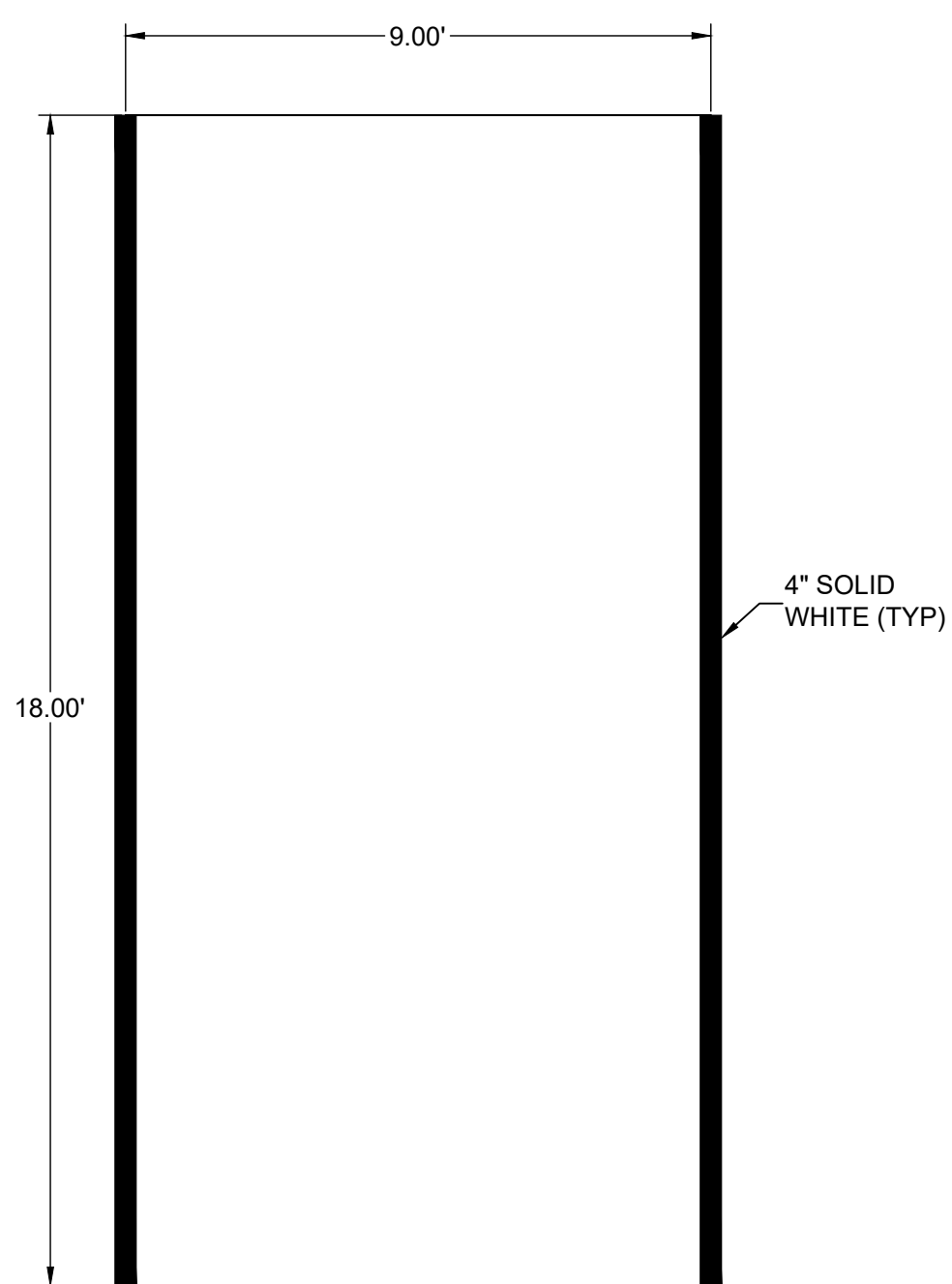


- NOTES
1. COMPACT FILL TO AT LEAST 95% STANDARD PROCTOR (ASTM D698) DENSITY.
  2. GRANULAR MATERIAL SHALL BE COMPACTED AT ± 2% OF OPTIMUM MOISTURE CONTENT.
  3. CLAYEY SOILS SHALL BE COMPACTED AT +3% OF OPTIMUM MOISTURE CONTENT.
  4. PRIOR TO PLACING NEW FILL, A MINIMUM DEPTH OF 12" SHALL BE THOROUGHLY SCARIFIED.

PAVEMENT DESIGN DETAIL  
SCALE: N.T.S.



ADA PARKING - TYPICAL DETAIL  
SCALE: N.T.S.

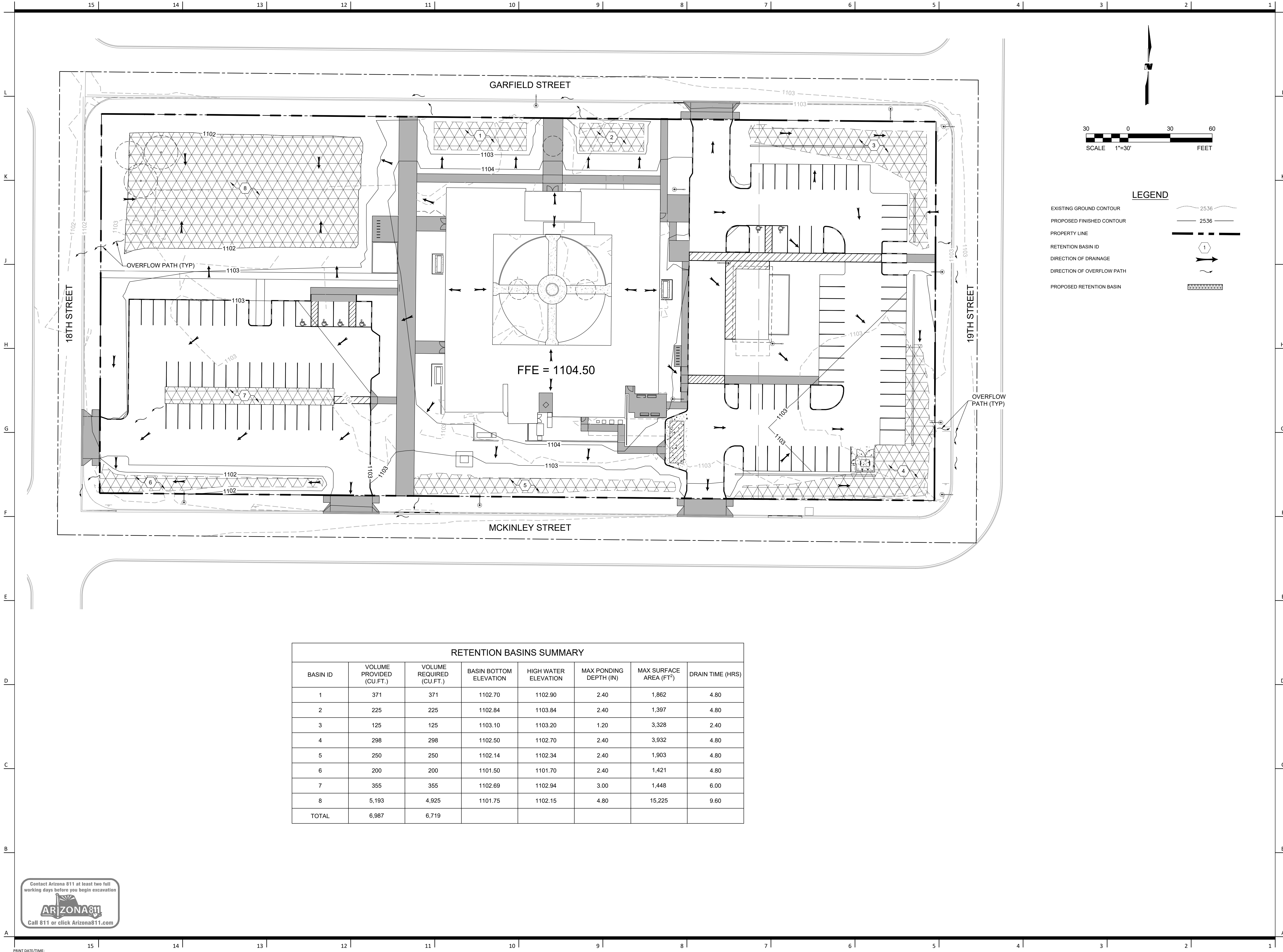


REGULAR PARKING - TYPICAL DETAIL  
SCALE: N.T.S.

KIVA #: 21-2575  
CPGD #: 2203284  
SDEV#: 2100269  
QS #: Q11-31







multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
**City of Phoenix**  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

civil engineer:  
**Wilson & Company**  
410 N. 48th Street Suite 460  
Phoenix, AZ 85008  
602.283.2701  
www.wilsonco.com

architect:  
**Multistudio**  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multistudio

mechanical engineer:  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85382  
480.968.3070  
www.appliedengineering.com

historic preservation:  
**Ryden Architects**  
902 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

landscape architect:  
**Floor Associates**  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

structural engineer:  
**BDA design**  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

food service:  
**Design-Tec Food Facilities**  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



EXPIRES 09/30/24

### REVISIONS

Number	DESCRIPTION	DATE
1	Delta 1 - COP 1st Review Comments	02/25/2022
2	Delta 2 - COP 2nd Review Comments	06/01/2022

PROJECT NO: 0520-0020  
DATE: JUNE 16, 2022  
WILSON & CO PN: 21-600-038

GRD/DRN 10 OF 10

RETENTION BASIN PLAN

# C109

3RD PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	95	117

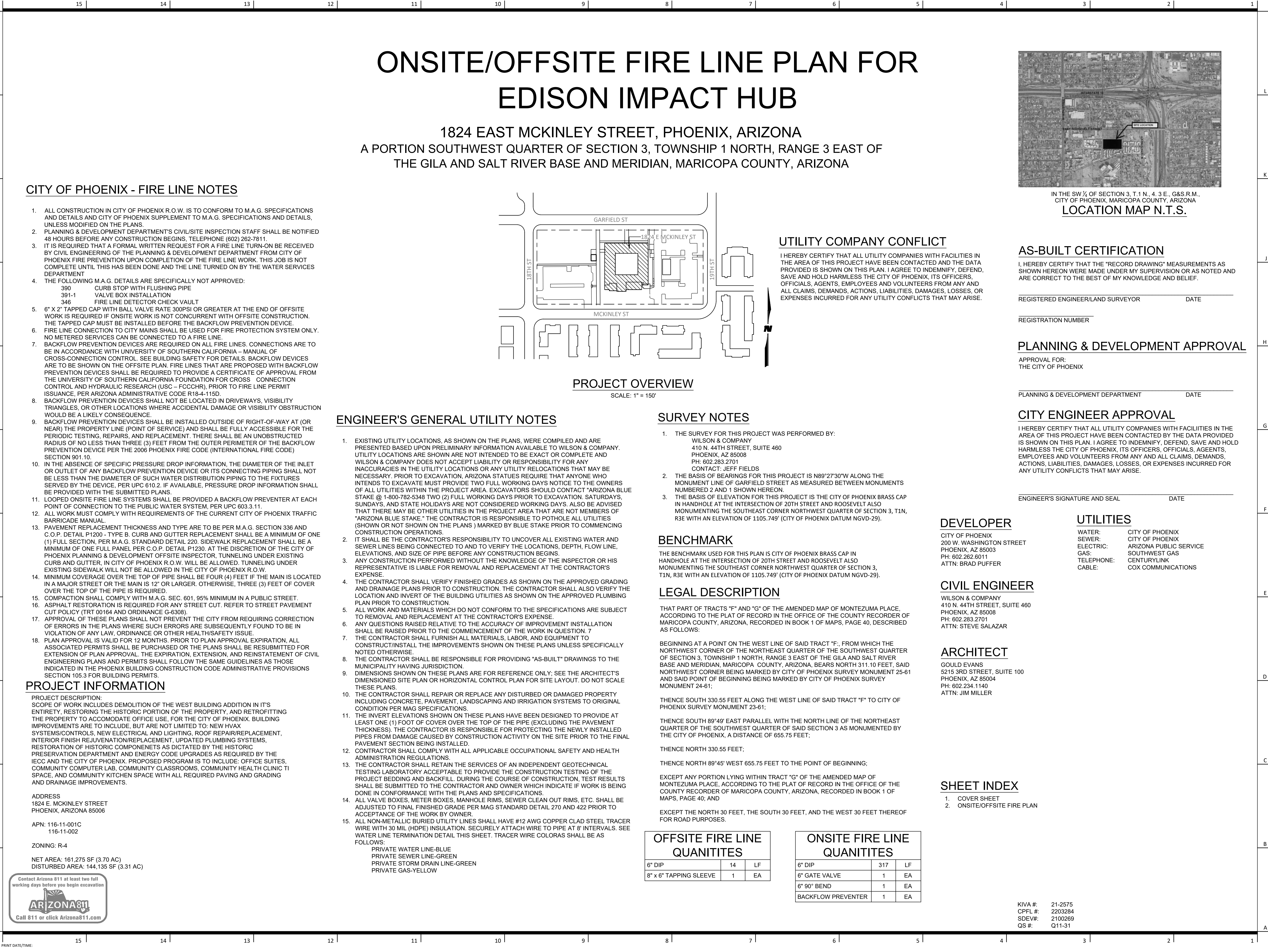


PRINT DATE/TIME:

AH20300003-2 : EDISON IMPACT HUB CONSTRUCTION. Q3.11-31



M:\MSD\21-600-038-002\_Disciplines\Sheets\Fire Line\EH - 1 - FIRE LINE - COVER SHEET.dwg





## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
**City of Phoenix**  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
**Multistudio**  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multistudio

historic preservation:  
**Ryden Architects**  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

structural engineer:  
**BDA design**  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

landscape architect:  
**Floor Associates**  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

food service:  
**Design-Tec Food Facilities**  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



EXPIRES 09/30/24

### REVISIONS

Number	DESCRIPTION	DATE
1	Delta 1 - COP 1st Review Comments	02/25/2022
2	Delta 2 - COP 2nd Review Comments	06/01/2022

PROJECT NO: 0520-0020  
DATE: JUNE 16, 2022  
WILSON & CO PN: 21-600-038

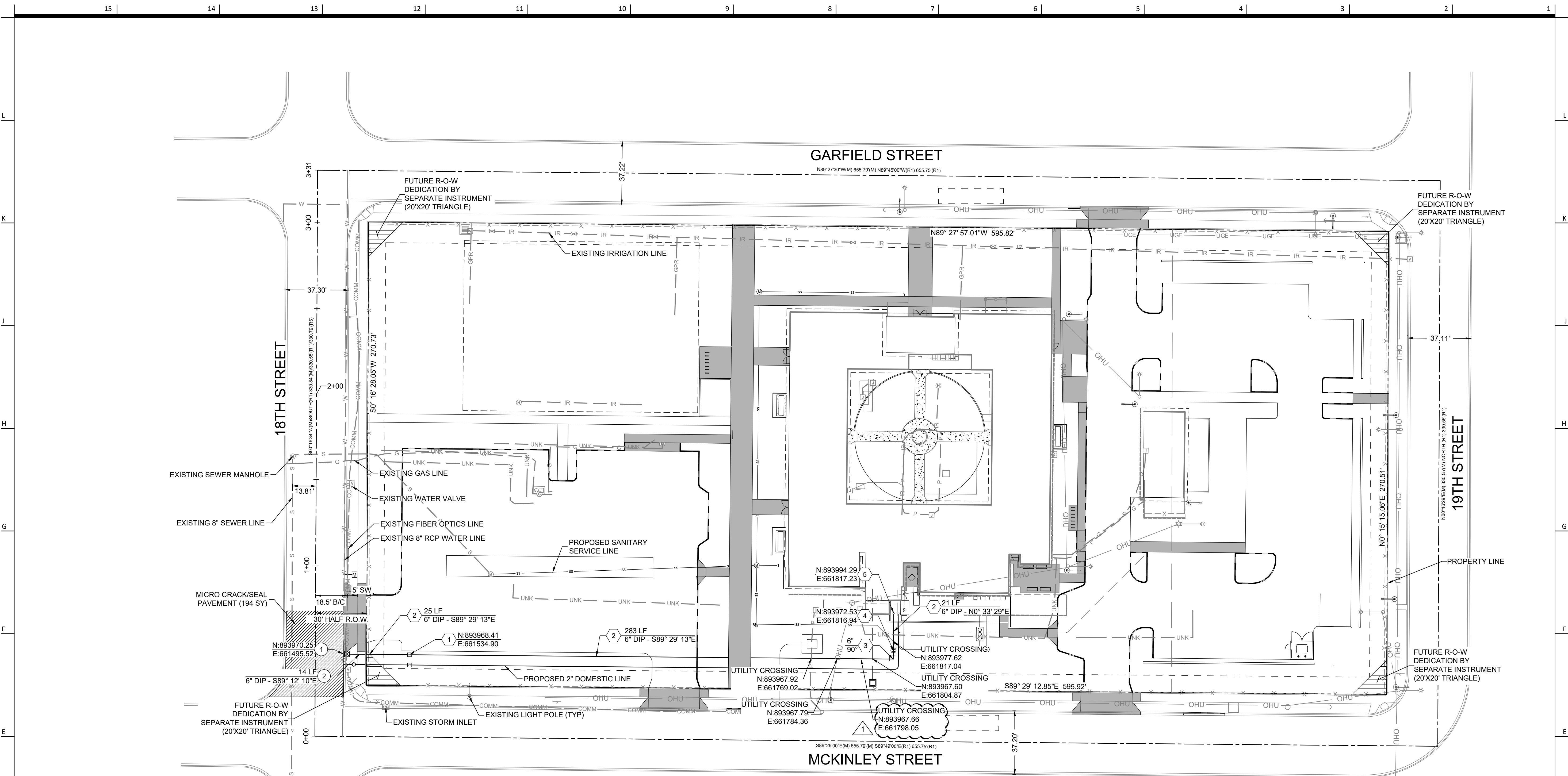
FIRE LINE 2 OF 2

ONSITE AND OFFSITE  
FIRE LINE PLAN

# C201

3RD PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	97	117



### LEGEND

—	PROPOSED WATER LINE
—	PROPOSED SANITARY SEWER
—	EXISTING SANITARY SEWER
—	EXISTING GAS LINE
—	EXISTING FIBER OPTIC LINE
—	EXISTING WATER LINE

### ONSITE FIRE LINE KEYNOTES

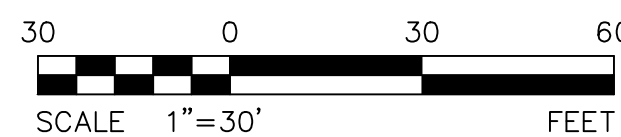
- NEW 6" ZURN-WILKINS MODEL 450 BACKFLOW PREVENTER (OR APPROVED EQUAL). INSTALL PER MANUFACTURER SPECIFICATIONS.
- NEW DUCTILE IRON PIPE (PRESSURE CLASS 350). THRUST BLOCKS WILL NOT BE ALLOWED IN THE CITY OF PHOENIX RIGHT-OF-WAY. JOINT RESTRAINTS PER MAG DETAILS 302-1, 302-2, 303-1, AND 303-2 SHALL BE USED WHEN BENDS ARE ALLOWED IN THE CITY OF PHOENIX RIGHT-OF-WAY. SIZE AND LENGTH INDICATED PER PLAN.
- NEW (PRESSURE CLASS 350) DUCTILE IRON PIPE FITTING. INSTALL THRUST BLOCKS PER MAG DETAIL 380 AND NFPA (2013 ED.) SECTION 10.8.2. SIZE, TYPE OR ANGLE INDICATED ON PLAN.
- NEW 6" GATE VALVE PER MAG DETAIL 391-1, TYPE C, AND MAG SPECIFICATION 630.
- CONNECT TO BUILDING FIRE RISER PER FIRE SUPPRESSION PLANS. VERIFY SIZE AND LOCATION PRIOR TO CONSTRUCTION.

### OFFSITE IMPROVEMENT KEYNOTES

- INSTALL 8"x6" TAPPING SLEEVE, BOX, AND COVER PER MAG DETAIL 340, CITY OF PHOENIX DETAIL P1391, AND MAG SPECIFICATIONS SECTION 630.
- NEW 6" DUCTILE IRON PIPE (PRESSURE CLASS 350). THRUST BLOCKS WILL NOT BE ALLOWED IN THE CITY OF PHOENIX RIGHT-OF-WAY. JOINT RESTRAINTS PER MAG DETAILS 302-1, 302-2, 303-1, 303-2 SHALL BE USED WHEN BENDS ARE ALLOWED IN CITY OF PHOENIX RIGHT-OF-WAY. LENGTH INDICATED PER PLAN.

### NOTE TO CONTRACTOR

VERIFY VERTICAL AND HORIZONTAL  
LOCATIONS OF ALL POTENTIAL  
CONFLICTING UTILITIES PRIOR TO  
CONSTRUCTION.



KIVA #: 21-2575  
CPFL #: 2203284  
SDEV#: 2100269  
QS #: Q11-31









# CITY OF PHOENIX - WATER NOTES

1. PLANNING & DEVELOPMENT SERVICES DEPARTMENT'S CIVIL/SITE INSPECTION STALL SHALL BE NOTIFIED 48 HOURS BEFORE ANY CONSTRUCTION BEGINS TELEPHONE 602-262-7811.
2. ALL WATER VALVE BOXES SHALL BE PER CITY OF PHOENIX SUPPLEMENT TO M.A.G. SPECIFICATIONS AND DETAILS P1391, TYPE A ONLY.
3. ALL CONSTRUCTION IN CITY OF PHOENIX RIGHT-OF-WAY, OR EASEMENT, IS TO CONFORM TO M.A.G. SPECIFICATIONS AND DETAILS AND CITY OF PHOENIX SUPPLEMENT TO M.A.G. SPECIFICATIONS AND DETAILS, UNLESS MODIFIED ON THE PLANS.
4. ALL DUCTILE IRON PIPE WATER MAIN VALVES, FITTINGS, AND BENDS SHALL BE RESTRAINED. RESTRAINED JOINT REQUIREMENTS AND APPROVED RESTRAINING SYSTEM ARE SHOWN IN CITY OF PHOENIX SUPPLEMENT TO M.A.G. SPECIFICATIONS, SECTION 750.3. THE LENGTH OF THE RESTRAINTS MUST BE PER M.A.G. STANDARD DETAILS 303-1 AND 303-2. THRUST BLOCKS ARE NOT ALLOWED TO BE USED IN LIEU OF APPROVED RESTRAINED JOINT SYSTEMS. THRUST BLOCKS CAN BE USED IN ADDITION TO THE APPROVED RESTRAINED JOINT SYSTEM WHERE A SPECIFIC CITY OF PHOENIX SUPPLEMENT TO M.A.G. STANDARD DETAIL CALLS OUT FOR THRUST BLOCKING, SUCH AS CURRENT DETAILS, P1343, P1351 AND P1360 OR WHEN OTHERWISE APPROVED BY WATER SERVICES DEPARTMENT.
5. THE FOLLOWING M.A.G. DETAILS ARE SPECIFICALLY NOT APPROVED:

302-1	JOINT RESTRAINT WITH ROADS
302-2	JOINT RESTRAINT WITH ROADS - ANCHOR BLOCKS
321	STANDARD WATER METER VAULTS
345-1	3", 4" AND 6" WATER METER
345-2	4" AND 6" WATER METER WITH ON-SITE FIRE HYDRANTS
370	VERTICAL REALIGNMENT OF WATER MAINS
381	ANCHOR BLOCKS FOR VERTICAL BENDS
390	CURB STOP WITH FLUSHING PIPE
391-1	VALVE BOX INSTALLATION
6. COMPACTIONS SHALL COMPLY WITH M.A.G. SECTION 601 & CITY OF PHOENIX SUPPLEMENTS.
7. NEW WATER LINES ARE TO BE BUILT IN ACCORDANCE WITH THE CITY OF PHOENIX "STANDARD UTILITY LOCATIONS".
8. THIS SET OF PLANS HAS BEEN INITIALLY REVIEWED BY THE CITY OF PHOENIX. SUCH REVIEW IS PART OF THE PROCESS THAT DEVELOPER(S)/CONTRACTOR(S) MUST GO THROUGH IN ORDER TO OBTAIN A CONSTRUCTION PERMIT. THE RESULTS OF SUCH INITIAL REVIEW SHALL NOT DICTATE THE CITY OF PHOENIX'S FINAL DETERMINATION AS TO ACCEPTABILITY OF THE PLANS, NOR SHALL IT PREVENT THE CITY OF PHOENIX FROM REQUIRING ERRORS AND OMISSIONS, AS FOUND ON PLANS, BE ADDRESSED BY DEVELOPER(S)/CONTRACTOR(S), WHERE SUCH ERRORS AND OMISSIONS CAUSE THE PLANS TO BE IN VIOLATION OF OR INADEQUATE UNDER APPLICABLE FEDERAL/STATE/COUNTY/LOCAL CODES, ORDINANCES, REGULATIONS, OR OTHER LAWS. THIS REVIEWED AND STAMPED SET OF PLANS MUST BE KEPT AT THE CONSTRUCTION SITE AT ALL TIMES.
9. PIPE DEFLECTION SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.
10. ALL WORK MUST COMPLY WITH REQUIREMENTS OF THE CURRENT CITY OF PHOENIX "TRAFFIC BARRICADE MANUAL".
11. THE CONTRACTOR IS TO NOTIFY THE PUBLIC THAT WILL BE AFFECTED BY ANY SHUTDOWNS A MINIMUM OF 48 HOURS IN ADVANCE.
12. A SIX (6) FOOT MINIMUM HORIZONTAL SEPARATION FROM ANY UNDERGROUND UTILITY SHALL BE PROVIDED FOR SEWER MAINS, SEWER SERVICES, WATER MAINS, AND WATER SERVICES. THE MINIMUM HORIZONTAL SEPARATION IS MEASURED FROM OUTSIDE OF SEWER MAIN, SEWER SERVICE, WATER MAIN OR WATER SERVICE TO OUTSIDE OF UNDERGROUND UTILITY.
13. A ONE (1) FOOT MINIMUM VERTICAL SEPARATION FROM ANY DRY UNDERGROUND UTILITY CROSSING SHALL BE PROVIDED FOR SEWER MAINS, SEWER SERVICES, WATER MAINS, AND WATER SERVICES. THE MINIMUM VERTICAL SEPARATION IS MEASURED FROM OUTSIDE OF SEWER MAIN, SEWER SERVICE, WATER MAIN, OR WATER SERVICE TO OUTSIDE OF DRY UNDERGROUND UTILITY.
14. A TWO (2) FOOT MINIMUM VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN ANY SEWER MAIN AND STORM DRAIN CROSSING A WATER MAIN. THE MINIMUM VERTICAL SEPARATION IS MEASURED FROM OUTSIDE OF WATER MAIN TO OUTSIDE OF SEWER MAIN OR STORM DRAIN MAIN. SEE M.A.G. STANDARD DETAIL 404 FOR ADDITIONAL INFORMATION AND/OR PROVISIONS FOR CLEARANCE.
15. EXCEPTIONS OR DEVIATIONS FROM THE ABOVE MINIMUM CLEARANCES MUST BE APPROVED AND SHOWN ON THE APPROVED WATER AND SEWER PLANS. WHEN UTILITY CONFLICTS ARE FOUND DURING CONSTRUCTION, ALL CHANGES AND REVISIONS MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
16. ANY AND ALL MORE STRINGENT REQUIREMENTS REQUIRED BY FEDERAL, STATE, COUNTY, OR LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
17. WATER SERVICES SHALL BE INSTALLED PERPENDICULAR TO THE WATER MAIN. WATER SERVICES AT THE END OF CUL-DE-SACS MAY VARY AS NECESSARY, BUT WILL BE APPROVED ON A CASE BY CASE BASIS.
18. ALL SERVICES SHALL RUN IN A STRAIGHT LINE FROM THE WATER MAIN TO THE METER BOX.
19. NEITHER WATER SERVICE METER BOX NOR ANY PORTION OF WATER SERVICE SHALL BE INSTALLED UNDER AN EXISTING OR PROPOSED DRIVEWAY OR SIDEWALK RAMP.
20. CONCRETE OR ASPHALT DAMAGED DURING THE COURSE OF CONSTRUCTION SHALL BE REMOVED AND REPLACED IN KIND PRIOR TO FINAL INSPECTION.
21. RECORD DRAWING SUBMITTALS MUST COMPLY PER THE WATER SERVICES DEPARTMENT ENGINEERING POLICY P-68. A COPY OF THE POLICY CAN BE OBTAINED IN THE DEPARTMENT'S WEBSITE.  
[HTTP://PHOENIX.GOV/WATERSERVICES/DESIGN/ENGPOLICIES/INDEX.HTML](http://phoenix.gov/waterservices/design/engpolicies/index.html)
22. IN ACCORDANCE WITH AAAC R-18-4-213, ALL MATERIALS ADDED AFTER JANUARY 1, 1993 WHICH MAY COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NATIONAL FOUNDATION STANDARDS 60 AND 61.



# CITY OF PHOENIX - SEWER NOTES

- DEVELOPMENT SERVICES DEPARTMENT'S FIELD INSPECTION GROUP SHALL BE NOTIFIED 48 HOURS BEFORE ANY CONSTRUCTION BEGINS, TELEPHONE (602) 262-7811.
2. ANY SEWER MAIN 15 INCH IN SIZE OR 12 FEET IN DEPTH, OR GREATER, REQUIRES 5' MANHOLES
3. ALL MANHOLES NEWLY CONSTRUCTED OR EXISTING THAT ARE WORKED IN FOR CONNECTIONS SHALL BE PAINTED WITH INSECTICIDE PAINT PER CITY OF PHOENIX SUPPLEMENT TO M.A.G. SECTION 627.
4. MANHOLES WITH 60" DIAMETER AND PIPES GREATER THAN 12" REQUIRE COATING PER C.O.P. SUPPLEMENT 262. ANY EXISTING MANHOLES WITH CORROSION COATING THAT ARE DISTURBED OR ADJUSTED TO NEW FINISH GRASSES SHALL HAVE ANY DAMAGED COATING REPAIRED, INCLUDING ALL ADJUSTING RINGS.
5. THIS SET OF PLANS HAVE BEEN INITIALLY REVIEWED BY THE CITY OF PHOENIX. SUCH REVIEW IS PART OF THE PROCESS THAT DEVELOPER(S)/CONTRACTOR(S) MUST GO THROUGH IN ORDER TO OBTAIN A CONSTRUCTION PERMIT. THE RESULTS OF SUCH INITIAL REVIEW, HOWEVER, SHALL NOT DICATE THE CITY OF PHOENIX'S FINAL DETERMINATION AS TO THE ACCEPTABILITY OF THE PLANS, NOR SHALL IT PREVENT THE CITY OF PHOENIX FROM REQUIRING THAT ERRORS AND OMISSIONS, AS FOUND ON PLANS, BE ADDRESSED BY DEVELOPER(S)/CONTRACTOR(S), WHERE SUCH ERRORS AND OMISSIONS CAUSE THE PLANS TO BE IN VIOLATION OF OR INADEQUATE UNDER APPLICABLE FEDERAL/STATE/COUNTY/LOCAL CODES, ORDINANCES, REGULATIONS, OR OTHER LAWS. THIS REVIEWED AND STAMPED SET OF PLANS MUST BE KEPT AT THE CONSTRUCTION SITE AT ALL TIMES.
6. ALL CONSTRUCTION IN CITY OF PHOENIX RIGHT-OF-WAY, OR EASEMENT, IS TO CONFORM TO M.A.G. SPECIFICATIONS AND DETAILS AND CITY OF PHOENIX SUPPLEMENT TO M.A.G. SPECIFICATIONS AND DETAILS, UNLESS MODIFIED ON THE PLANS.
7. ALL SEWER MAINS MUST HAVE A T.V. INSPECTION BEFORE ACCEPTANCE AS COMPLETE (SEE CITY OF PHOENIX SUPPLEMENT TO M.A.G. SPECIFICATION SECTION 615.11 (C)).
8. TRAFFIC REGULATIONS: ALL WORK MUST COMPLY WITH REQUIREMENTS OF THE CURRENT CITY OF PHOENIX "TRAFFIC BARRICADE MANUAL".
9. THE FOLLOWING M.A.G. DETAILS ARE SPECIFICALLY NOT APPROVED: 425, 24" ALUMINUM FRAME AND COVER.
10. NEW MANHOLES AREA TO BE BUILT WITHOUT STEPS.
11. COMPACTION SHALL COMPLY WITH M.A.G. SEC. 601 & CITY OF PHOENIX SUPPLEMENTS.
12. NEW SEWER LINES ARE TO BE BUILT IN ACCORDANCE WITH CITY OF PHOENIX "STANDARD UTILITY LOCATIONS".
13. A SIX (6) FOOT MINIMUM HORIZONTAL SEPARATION FROM ANY UNDERGROUND UTILITY SHALL BE PROVIDED FOR SEWER MAINS, SEWER SERVICES, WATER MAINS, AND WATER SERVICES. THE MINIMUM HORIZONTAL SEPARATION IS MEASURED FROM OUTSIDE OF SEWER MAIN, SEWER SERVICE, WATER MAIN OR WATER SERVICE TO OUTSIDE OF UNDERGROUND UTILITY.
14. A ONE (1) FOOT MINIMUM VERTICAL SEPARATION FROM ANY DRY UNDERGROUND UTILITY CROSSING SHALL BE PROVIDED FOR SEWER MAINS, SEWER SERVICES, WATER MAINS, AND WATER SERVICES. THE MINIMUM VERTICAL SEPARATION IS MEASURED FROM OUTSIDE OF SEWER MAIN, SEWER SERVICE, WATER MAIN, OR WATER SERVICE TO OUTSIDE OF DRY UNDERGROUND UTILITY.
15. A TWO (2) FOOT MINIMUM VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN ANY SEWER MAIN OR STORM DRAIN MAIN CROSSING A WATER MAIN. THE MINIMUM VERTICAL SEPARATION IS MEASURED FROM OUTSIDE OF WATER MAIN TO OUTSIDE OF SEWER MAIN OR STORM DRAIN MAIN. SEE M.A.G. STANDARD DETAIL 404 FOR ADDITIONAL INFORMATION AND/OR PROVISIONS FOR CLEARANCE.
16. EXCEPTIONS OR DEVIATIONS FROM THE ABOVE MINIMUM CLEARANCES MUST BE APPROVED AND SHOWN ON THE APPROVED WATER AND SEWER PLANS. WHEN UTILITY CONFLICTS ARE FOUND DURING CONSTRUCTION, ALL CHANGES AND REVISIONS MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
17. ANY AND ALL MORE STRINGENT SEPARATION REQUIREMENTS REQUIRED BY FEDERAL, STATE, COUNTY OR LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
18. ANY SEWER LINES THAT ARE INSTALLED WITH LESS THAN .004FT/FT SLOPE MUST BE INSTALLED USING A LASER.
19. WHEN DIP SEWER PIPE IS USED, LINING IS REQUIRED PER CITY OF PHOENIX SUPPLEMENT TO M.A.G. SEC. 750.1
20. CONCRETE OR ASPHALT DAMAGED DURING THE COURSE OF CONSTRUCTION SHALL BE REMOVED AND REPLACED IN KIND PRIOR TO FINAL INSPECTION.
21. RECORD DRAWINGS SUBMITTALS MUST COMPLY WITH WATER SERVICES DEPARTMENT ENGINEERING POLICY P-69. A COPY OF THE POLICY CAN BE OBTAINED IN THE DEPARTMENTS WEBSITE: [HTTP://PHOENIX.GOV/WATERSERVICES/DESIGN/ENGPOLICIES/INDEX.XHTML](http://phoenix.gov/waterservices/design/engpolicies/index.xhtml)
22. ASPHALT RESTORATION IS REQUIRED FOR ANY STREET CUT. REFER TO STREET PAVEMENT CUT POLICY (TRT 00164 AND ORDINANCE G-6308)
23. PLAN APPROVAL IS VALID FOR 12 MONTHS. PRIOR TO PLAN APPROVAL EXPIRATION, ALL ASSOCIATED PERMITS SHALL BE PURCHASED, OR THE PLANS SHALL BE RESUBMITTED FOR EXTENSION OF PLAN APPROVAL. THE EXPIRATION, EXTENSION, AND REINSTATEMENT OF CIVIL ENGINEERING PLANS AND PERMITS SHALL FOLLOW THE SAME GUIDELINES AS THOSE INDICATED IN THE PHOENIX BUILDING CONSTRUCTION CODE ADMINISTRATIVE PROPOSITIONS SECTION 105.3 FOR BUILDING PERMITS.

## GENERAL NOTES

1. PER PHOENIX CITY CODE, CHAPTER 2, SECTION 2-28, THESE PLANS ARE OFFICIAL USE ONLY AND MAY NOT BE FURNISHED FOR INSPECTION OR COPYING, EXCEPT AS SPECIFICALLY STATED IN THE CITY CODE OR AS REQUIRED BY LAW.
2. ASPHALT RESTORATION IS REQUIRED FOR ANY STREET CUT. REFER TO STREET PAVEMENT CUT POLICY (TRT 00164 AND ORDINANCE G-6308)
3. PLAN APPROVAL IS VALID FOR 12 MONTHS. PRIOR TO PLAN APPROVAL EXPIRATION, ALL ASSOCIATED PERMITS SHALL BE PURCHASED, OR THE PLANS SHALL BE RESUBMITTED FOR EXTENSION OF PLAN APPROVAL. THE EXPIRATION, EXTENSION, AND REINSTATEMENT OF CIVIL ENGINEERING PLANS AND PERMITS SHALL FOLLOW THE SAME GUIDELINES AS THOSE INDICATED IN THE PHOENIX BUILDING CONSTRUCTION CODE ADMINISTRATIVE PROVISIONS SECTION 105.3 FOR BUILDING PERMITS.
4. ALL SEWER DRAIN LINES SHALL COMPLY WITH THE CITY OF PHOENIX ADOPTED 2018 EDITION OF THE INTERNATIONAL PLUMBING CODE IPC 101 AND THE CITY OF PHOENIX DESIGN STANDARDS MANUAL FOR WATER AND WASTEWATERS.
5. INLET AND OUTLET CONNECTIONS AT PRIVATE SEWER SYSTEM MANHOLES SHALL BE MADE BY THE USE OF FLEXIBLE COMPRESSION JOINTS NOT LESS THAN 12 INCHES AND NOT MORE THAN 3 FEET FROM THE MANHOLE. NO FLEXIBLE COMPRESSION JOINTS SHALL BE EMBEDDED IN THE MANHOLE BASE, IPC 305.2, UFG 719.6
6. CONTRACTOR SHALL TEST ALL SEWER AND WATER PIPING PER IPC SECTIONS 107.2 AND 312 PRIOR TO BACKFILL AND COVER, CALL FOR INSPECTION AND WITNESS TESTING PRIOR TO CONCEALING WATER AND SEWER PIPING.
7. ALL NON-METALLIC BURIED UTILITY LINES SHALL HAVE #12 AWG COPPER CLAD STEEL STEEL TRACER WIRE WITH 30 MIL (HDPE) INSULATION. SECURELY ATTACH WIRE TO PIPE AT 8' INTERVALS. TRACER WIRE COLORS SHALL BE AS FOLLOWS:
  - PRIVATE WATER LINE - BLUE
  - PRIVATE SEWER LINE - GREEN
  - PRIVATE STORM DRAIN LINE - GREEN

KIVA #: 21-2575  
CPGD #: 2203284  
SDEV#: 2100269  
QS #: Q11-31

# multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

# EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:	civil engineer:
<b>City of Phoenix</b>	<b>Wilson &amp; Company</b>
200 W. Washington Street	410 N 44th Street Suite 460
Phoenix, AZ 85003	Phoenix, AZ 85008
602.262.6011	602.283.2701
<a href="http://www.phoenix.gov">www.phoenix.gov</a>	<a href="http://www.wilsonco.com">www.wilsonco.com</a>

architect:  
**Multistudio**  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

mechanical engineer:  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

historic preservation: **Ryden Architects**  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
[www.rydenarchitects.com](http://www.rydenarchitects.com)

landscape architect: **Floor Associates**  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
[www.floorassociates.com](http://www.floorassociates.com)

structural engineer: <b>BDA design</b> 7047 E. Greenway Pkwy #250 Scottsdale, AZ 85254 480.398.7729 <a href="http://www.bdadesign.com">www.bdadesign.com</a>	food service: <b>Design-Tec Food Facilities</b> 8346 N. 5th Street Phoenix, AZ 85020 602.273.0222
---	---

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS  
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR  
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



EXPIRES 09/30/24

## REVISIONS

Number	DESCRIPTION	DATE
1	Delta 1 - COP 1st Review Comments	02/25/2022
2	Delta 2 - COP 2nd Review Comments	06/01/2022

PROJECT NO: 0520-0020  
DATE: JUNE 16, 2022  
WILSON & CO PN: 21-600-038

UTIL 2 OF 4

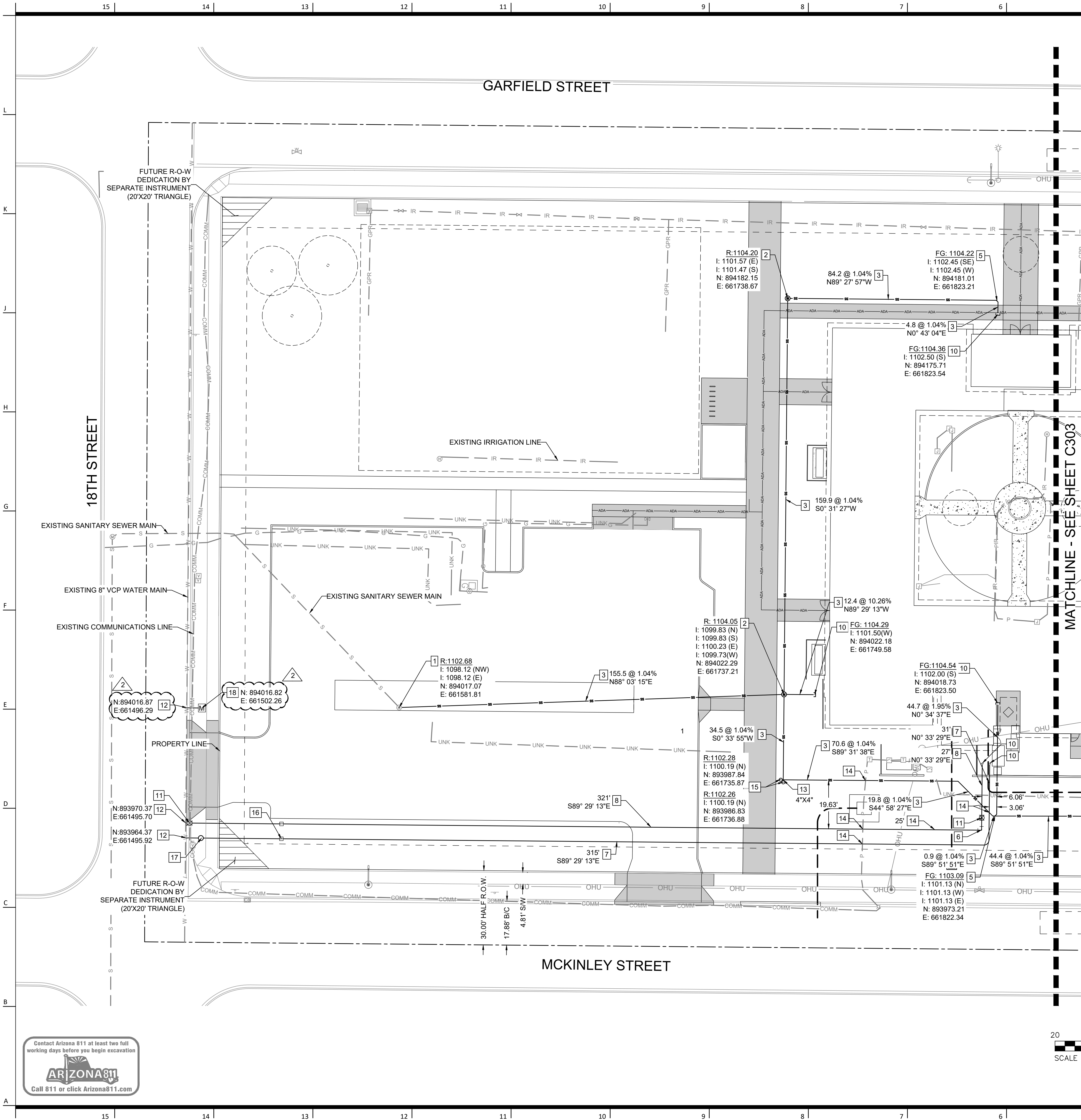
## UTILITY NOTES

# C301

### 3RD PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	99	117





PRIVATE UTILITY KEYNOTES

- CONNECT TO EXISTING SEWER MANHOLE. CONTRACTOR TO VERIFY SIZE, LOCATION, INVERT AND CONDITION OF EXISTING SANITARY SEWER MAIN PRIOR TO CONSTRUCTION.
- NEW PRIVATE MANHOLE WITH 24" FRAME AND COVER PER M.A.G. DETAIL 420-1 AND 420-2. PAINT MANHOLE INTERIOR PER C.O.P. SPECIFICATION SECTION 627. RIM AND INVERT INDICATED ON PLAN
- NEW PVC SDR-35 SEWER OF 4" PVC, LENGTH AND SLOPE ARE INDICATED ON PLAN. INSTALL NEW TRACER WIRE PER GENERAL UTILITY NOTE 7, SHEET C301.
- NEW TWO-WAY SEWER CLEANOUT RIM AND INVER INDICATED ON PLAN, CONTRACTOR TO ADJUST RIM TO FINAL GRADE.
- PROPOSED 4" SDR-35 WYE
- PROPOSED 90° BEND. CONTRACTOR TO INSTALL WATER TIGHT FITTINGS
- PROPOSED 2" DOMESTIC WATER SERVICE
- PROPOSED 6" DIP FIRE LINE
- PROPOSED SANITARY GREASE INTERCEPTOR
- PROPOSED PLUG (SIZE VARIES)
- PROPOSED 6" WATER VALVE
- CONNECT TO EXISTING 8" RCP WATER LINE
- PROPOSED TEE (SIZE VARIES)
- UTILITY CROSSING
- PROPOSED 4" SANITARY CLEAN OUT
- PROPOSED BACKFLOW PREVENTER
- NEW 2" WATER METER PER COP STANDARDS.
- PROPOSED 1.5" IRRIGATION METER PER C.O.P. DETAIL P1342. SEE LANDSCAPE FOR CONTINUATION.

LEGEND

- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- EXISTING GAS LINE
- EXISTING FIBER OPTIC LINE
- EXISTING WATER LINE

GENERAL NOTES

- PER PHOENIX CITY CODE, CHAPTER 2, SECTION 2-28, THESE PLANS ARE OFFICIAL USE ONLY AND MAY NOT BE FURNISHED FOR INSPECTION OR COPYING, EXCEPT AS SPECIFICALLY STATED IN THE CITY CODE OR AS REQUIRED BY LAW.
- ASPHALT RESTORATION IS REQUIRED FOR ANY STREET CUT. REFER TO STREET PAVEMENT CUT POLICY (TRT 00164 AND ORDINANCE G-6308)
- PLAN APPROVAL IS VALID FOR 12 MONTHS. PRIOR TO PLAN APPROVAL EXPIRATION, ALL ASSOCIATED PERMITS SHALL BE PURCHASED, OR THE PLANS SHALL BE RESUBMITTED FOR EXTENSION OF PLAN APPROVAL. THE EXPIRATION, EXTENSION, AND REINSTATEMENT OF CIVIL ENGINEERING PLANS AND PERMITS SHALL FOLLOW THE SAME GUIDELINES AS THOSE INDICATED IN THE PHOENIX BUILDING CONSTRUCTION CODE ADMINISTRATIVE PROVISIONS SECTION 105.3 FOR BUILDING PERMITS.
- ALL SEWER DRAIN LINES SHALL COMPLY WITH THE CITY OF PHOENIX ADOPTED 2018 EDITION OF THE INTERNATIONAL PLUMBING CODE IPC 101 AND THE CITY OF PHOENIX DESIGN STANDARDS MANUAL FOR WATER AND WASTEWATERS.
- INLET AND OUTLET CONNECTIONS AT PRIVATE SEWER SYSTEM MANHOLES SHALL BE MADE BY THE USE OF FLEXIBLE COMPRESSION JOINTS NOT LESS THAN 12 INCHES AND NOT MORE THAN 3 FEET FROM THE MANHOLE. NO FLEXIBLE COMPRESSION JOINTS SHALL BE EMBEDDED IN THE MANHOLE BASE, IPC 305.2, UPC 719.6
- CONTRACTOR SHALL TEST ALL SEWER AND WATER PIPING PER IPC SECTIONS 107.2 AND 312 PRIOR TO BACKFILL AND COVER. CALL FOR INSPECTION AND WITNESS TESTING PRIOR TO CONCEALING WATER AND SEWER PIPING.
- ALL NON-METALLIC BURIED UTILITY LINES SHALL HAVE #12 AWG COPPER CLAD STEEL STEEL TRACER WIRE WITH 30 MIL (HDPE) INSULATION. SECURELY ATTACH WIRE TO PIPE AT 8' INTERVALS. TRACER WIRE COLORS SHALL BE AS FOLLOWS:
  - PRIVATE WATER LINE - BLUE
  - PRIVATE SEWER LINE - GREEN
  - PRIVATE STORM DRAIN LINE - GREEN

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

civil engineer:  
Wilson & Company  
410 N. 48th Street Suite 460  
Phoenix, AZ 85008  
602.283.2701  
www.wilsonco.com

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multistudio

mechanical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

historic preservation:  
Ryden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

food service:  
Design-Tec Food Facilities  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



EXPIRES 09/30/24

REVISIONS

Number	DESCRIPTION	DATE
1	Delta 1 - COP 1st Review Comments	02/25/2022
2	Delta 2 - COP 2nd Review Comments	06/01/2022

PROJECT NO: 0520-0020  
DATE: JUNE 16, 2022  
WILSON & CO PN: 21-600-038

UTIL 3 OF 4

OVERALL UTILITY  
-WEST

C302

3RD PERMIT REVIEW

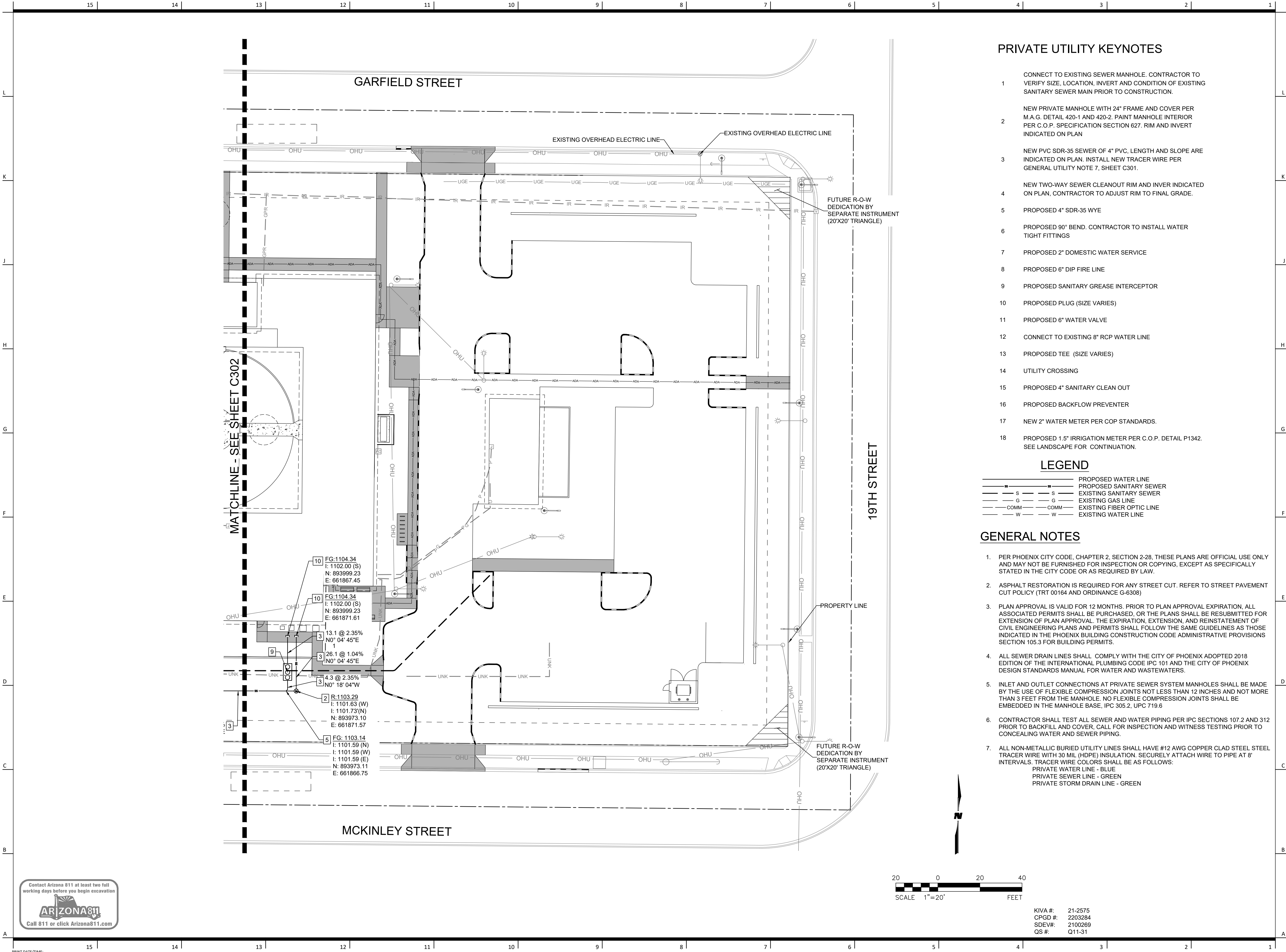
Project Number	NO.	Total
AH20300003-2	100	117



PRINT DATE/TIME:

AH20300003-2 : EDISON IMPACT HUB CONSTRUCTION. Q3.11-31





PRIVATE UTILITY KEYNOTES

- CONNECT TO EXISTING SEWER MANHOLE. CONTRACTOR TO VERIFY SIZE, LOCATION, INVERT AND CONDITION OF EXISTING SANITARY SEWER MAIN PRIOR TO CONSTRUCTION.
- NEW PRIVATE MANHOLE WITH 24" FRAME AND COVER PER M.A.G. DETAIL 420-1 AND 420-2. PAINT MANHOLE INTERIOR PER C.O.P. SPECIFICATION SECTION 627. RIM AND INVERT INDICATED ON PLAN
- NEW PVC SDR-35 SEWER OF 4" PVC, LENGTH AND SLOPE ARE INDICATED ON PLAN. INSTALL NEW TRACER WIRE PER GENERAL UTILITY NOTE 7, SHEET C301.
- NEW TWO-WAY SEWER CLEANOUT RIM AND INVER INDICATED ON PLAN, CONTRACTOR TO ADJUST RIM TO FINAL GRADE.
- PROPOSED 4" SDR-35 WYE
- PROPOSED 90° BEND. CONTRACTOR TO INSTALL WATER TIGHT FITTINGS
- PROPOSED 2" DOMESTIC WATER SERVICE
- PROPOSED 6" DIP FIRE LINE
- PROPOSED SANITARY GREASE INTERCEPTOR
- PROPOSED PLUG (SIZE VARIES)
- PROPOSED 6" WATER VALVE
- CONNECT TO EXISTING 8" RCP WATER LINE
- PROPOSED TEE (SIZE VARIES)
- UTILITY CROSSING
- PROPOSED 4" SANITARY CLEAN OUT
- PROPOSED BACKFLOW PREVENTER
- NEW 2" WATER METER PER COP STANDARDS.
- PROPOSED 1.5" IRRIGATION METER PER C.O.P. DETAIL P1342. SEE LANDSCAPE FOR CONTINUATION.

LEGEND

- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- EXISTING GAS LINE
- EXISTING FIBER OPTIC LINE
- EXISTING WATER LINE

GENERAL NOTES

- PER PHOENIX CITY CODE, CHAPTER 2, SECTION 2-28, THESE PLANS ARE OFFICIAL USE ONLY AND MAY NOT BE FURNISHED FOR INSPECTION OR COPYING, EXCEPT AS SPECIFICALLY STATED IN THE CITY CODE OR AS REQUIRED BY LAW.
- ASPHALT RESTORATION IS REQUIRED FOR ANY STREET CUT. REFER TO STREET PAVEMENT CUT POLICY (TRT 00164 AND ORDINANCE G-6308)
- PLAN APPROVAL IS VALID FOR 12 MONTHS. PRIOR TO PLAN APPROVAL EXPIRATION, ALL ASSOCIATED PERMITS SHALL BE PURCHASED, OR THE PLANS SHALL BE RESUBMITTED FOR EXTENSION OF PLAN APPROVAL. THE EXPIRATION, EXTENSION, AND REINSTATEMENT OF CIVIL ENGINEERING PLANS AND PERMITS SHALL FOLLOW THE SAME GUIDELINES AS THOSE INDICATED IN THE PHOENIX BUILDING CONSTRUCTION CODE ADMINISTRATIVE PROVISIONS SECTION 105.3 FOR BUILDING PERMITS.
- ALL SEWER DRAIN LINES SHALL COMPLY WITH THE CITY OF PHOENIX ADOPTED 2018 EDITION OF THE INTERNATIONAL PLUMBING CODE IPC 101 AND THE CITY OF PHOENIX DESIGN STANDARDS MANUAL FOR WATER AND WASTEWATERS.
- INLET AND OUTLET CONNECTIONS AT PRIVATE SEWER SYSTEM MANHOLES SHALL BE MADE BY THE USE OF FLEXIBLE COMPRESSION JOINTS NOT LESS THAN 12 INCHES AND NOT MORE THAN 3 FEET FROM THE MANHOLE. NO FLEXIBLE COMPRESSION JOINTS SHALL BE EMBEDDED IN THE MANHOLE BASE, IPC 305.2, UPC 719.6
- CONTRACTOR SHALL TEST ALL SEWER AND WATER PIPING PER IPC SECTIONS 107.2 AND 312 PRIOR TO BACKFILL AND COVER, CALL FOR INSPECTION AND WITNESS TESTING PRIOR TO CONCEALING WATER AND SEWER PIPING.
- ALL NON-METALLIC BURIED UTILITY LINES SHALL HAVE #12 AWG COPPER CLAD STEEL STEEL TRACER WIRE WITH 30 MIL (HDPE) INSULATION. SECURELY ATTACH WIRE TO PIPE AT 8' INTERVALS. TRACER WIRE COLORS SHALL BE AS FOLLOWS:
  - PRIVATE WATER LINE - BLUE
  - PRIVATE SEWER LINE - GREEN
  - PRIVATE STORM DRAIN LINE - GREEN

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

civil engineer:  
Wilson & Company  
410 N. 44th Street Suite 460  
Phoenix, AZ 85008  
602.283.2701  
www.wilsonco.com

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multi.studio

mechanical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85382  
480.968.3070  
www.appliedengineering.com

historic preservation:  
Ryden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

food service:  
Design-Tec Food Facilities  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



EXPIRES 09/30/24

REVISIONS

Number	DESCRIPTION	DATE
1	Delta 1 - COP 1st Review Comments	02/25/2022
2	Delta 2 - COP 2nd Review Comments	06/01/2022

PROJECT NO: 0520-0020  
DATE: JUNE 16, 2022  
WILSON & CO PN: 21-600-038

UTIL 4 OF 4

OVERALL UTILITY  
-EAST

C303

3RD PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	101	117



PRINT DATE/TIME:

AH20300003-2 : EDISON IMPACT HUB CONSTRUCTION. Q3.11-31



M:\MSD\21-600-038-002\_Discliplines\ Sheets\1 - STORMWATER MANAGEMENT PLAN - COVER SHEET.dwg

# STORMWATER MANAGEMENT PLAN FOR EDISON IMPACT HUB

1824 EAST MCKINLEY STREET, PHOENIX, ARIZONA  
A PORTION SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 1 NORTH, RANGE 3 EAST OF  
THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



IN THE SW ¼ OF SECTION 3, T.1 N., 4. 3 E., G&S R.M.,  
CITY OF PHOENIX, MARICOPA COUNTY, ARIZONA  
**LOCATION MAP N.T.S.**

## STORM WATER MANAGEMENT PLAN NOTES

- A COPY OF THE APPROVED GRADING AND DRAINAGE PLAN FOR THIS PROJECT, TOGETHER WITH A COPY OF THE NOTICE OF INTENT (NOI) AND THIS STORM WATER MANAGEMENT PLAN (SWMP), SHALL BE MAINTAINED ON THE SITE AND AVAILABLE FOR REVIEW. THOSE ELEMENTS OF THE GRADING AND DRAINAGE PLAN PERTINENT TO OR REFERENCED ON THE SWMP SHALL BE CONSIDERED A PART OF THE SWMP.
- PLANNING AND DEVELOPMENT DEPARTMENT'S CIVIL/SITE INSPECTION GROUP SHALL BE NOTIFIED 48 HOURS BEFORE ANY ON-SITE AND/OR OFF-SITE CONSTRUCTION BEGINS, AT 602-262-7811.
- THE OPERATOR SHALL OBTAIN A DUST CONTROL PERMIT FROM MARICOPA COUNTY HEALTH DEPARTMENT AND PERFORM MEASURES AS REQUIRED BY THE PERMIT TO PREVENT EXCESS DUST.
- THE OPERATOR SHALL PERFORM, AT A MINIMUM, A VISUAL OF THE CONSTRUCTION SITE ONCE EVERY MONTH AND WITHIN 24 HOURS OF RAINFALL GRATER THAN OR EQUAL TO A HALF OF A INCH OR MORE. THE OPERATOR SHALL PREPARE A REPORT DOCUMENTING HIS/HER FINDINGS ON THE CONDITIONS OF THE SWMP CONTROLS AND NOTE ANY EROSION PROBLEM AREAS. THE OPERATOR'S REPORT IS TO BE SUBMITTED TO THE PLANNING AND DEVELOPMENT DEPARTMENT CIVIL/SITE INSPECTOR FOR REVIEW AND APPROVAL. FACILITIES SHALL BE MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED.
- THE OPERATOR SHALL AMEND THIS PLAN AS NECESSARY DURING THE COURSE OF CONSTRUCTION TO RESOLVE ANY PROBLEM AREAS, WHICH BECOME EVIDENT DURING THE CONSTRUCTION AND/OR DURING RAINFALLS.
- THE PERMITTEE SHALL FILE A NOTICE OF TERMINATION (N.O.T.) AFTER COMPLETION OF CONSTRUCTION AND PLACEMENT OF FINAL LANDSCAPE MATERIALS. THE N.O.T. IS TO BE SUBMITTED TO THE PLANNING AND DEVELOPMENT DEPARTMENT CIVIL/SITE INSPECTOR TO FINAL THE SWMP PERMIT.
- THE PERMITTEE SHALL SAVE ALL RECORDS, INCLUDING THE N.O.I., SWMP, N.O.T., AND INSPECTION REPORTS, ON FILE FOR A MINIMUM OF THREE YEARS FROM THE DATE OF FILING THE N.O.T.
- THE IMPLEMENTATION OF THESE PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED AND THE N.O.T. IS SUBMITTED TO THE PLANNING AND DEVELOPMENT DEPARTMENT CIVIL/SITE INSPECTOR.
- THE FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS, AND MUST BE INSTALLED AND IN OPERATION PRIOR TO ANY GRADING OR LAND CLEARING. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
- PLAN APPROVAL IS VALID FOR 180 DAYS. PRIOR TO PLAN APPROVAL EXPIRATION, ALL ASSOCIATED PERMITS SHALL BE PURCHASED OR THE PLANS SHALL BE RESUBMITTED FOR EXTENSION OF PLAN APPROVAL. THE EXPIRATION, EXTENSION, AND REINSTATEMENT OF CIVIL ENGINEERING PLANS AND PERMITS SHALL FOLLOW THE SAME GUIDELINES AS THOSE INDICATED IN THE PHOENIX BUILDING CONSTRUCTION CODE ADMINISTRATIVE PROVISIONS SECTION 105.3 FOR BUILDING PERMITS.

## PROJECT INFORMATION

PROJECT DESCRIPTION:  
SCOPE OF WORK INCLUDES DEMOLITION OF THE WEST BUILDING ADDITION IN IT'S ENTIRETY, RESTORING THE HISTORIC PORTION OF THE PROPERTY, AND RETROFITTING THE PROPERTY TO ACCOMMODATE OFFICE USE, FOR THE CITY OF PHOENIX. BUILDING IMPROVEMENTS ARE TO INCLUDE, BUT ARE NOT LIMITED TO: NEW HVAC SYSTEMS/CONTROLS, NEW ELECTRICAL AND LIGHTING, ROOF REPAIR/REPLACEMENT, INTERIOR FINISH REJUVENATION/REPLACEMENT, UPDATED PLUMBING SYSTEMS, RESTORATION OF HISTORIC COMPONENTS AS DICTATED BY THE HISTORIC PRESERVATION DEPARTMENT AND ENERGY CODE UPGRADES AS REQUIRED BY THE IECC AND THE CITY OF PHOENIX. PROPOSED PROGRAM IS TO INCLUDE: OFFICE SUITES, COMMUNITY COMPUTER LAB, COMMUNITY CLASSROOMS, COMMUNITY HEALTH CLINIC TI SPACE, AND COMMUNITY KITCHEN SPACE.

SITE IMPROVEMENTS ARE TO INCLUDE: RE-CONFIGURED PARKING/VEHICLE ENTRIES TO COMPLY WITH CURRENT COP CODES AND STANDARDS, UPDATED LIGHTING (AS REQUIRED), UPDATED LANDSCAPE AND HARDSCAPE ELEMENTS, BUILDING ENTRY UPGRADES TO COMPLY WITH CURRENT ADA STANDARDS, AND COMMUNITY ART PIECE (AS SELECTED BY THE CITY OF PHOENIX)

ADDRESS  
1824 E. MCKINLEY STREET  
PHOENIX, ARIZONA 85006

APN: 116-11-001C  
116-11-002

ZONING: R-4

NET AREA: 161,275 SF (3.70 AC)  
DISTURBED AREA: 144,135 (3.31 AC)



## LEGAL DESCRIPTION

EXHIBIT "A" FROM A COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY TITLE FILE NO: 104062EW AMENDMENT NO: 1, DATED JULY 15, 2019 AT 7:30 A.M.

THAT PART OF TRACTS "F" AND "G" OF THE AMENDED MAP OF MONTEZUMA PLACE, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 1 OF MAPS, PAGE 40, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST LINE OF SAID TRACT "F", FROM WHICH THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 1 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEARS NORTH 311.10 FEET, SAID NORTHWEST CORNER BEING MARKED BY CITY OF PHOENIX SURVEY MONUMENT 25-61 AND SAID POINT OF BEGINNING BEING MARKED BY CITY OF PHOENIX SURVEY MONUMENT 24-61;

THENCE SOUTH 330.55 FEET ALONG THE WEST LINE OF SAID TRACT "F" TO CITY OF PHOENIX SURVEY MONUMENT 23-61;

THENCE SOUTH 89°49' EAST PARALLEL WITH THE NORTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 3 AS MONUMENTED BY THE CITY OF PHOENIX, A DISTANCE OF 655.75 FEET;

THENCE NORTH 330.55 FEET;

THENCE NORTH 89°45' WEST 655.75 FEET TO THE POINT OF BEGINNING;

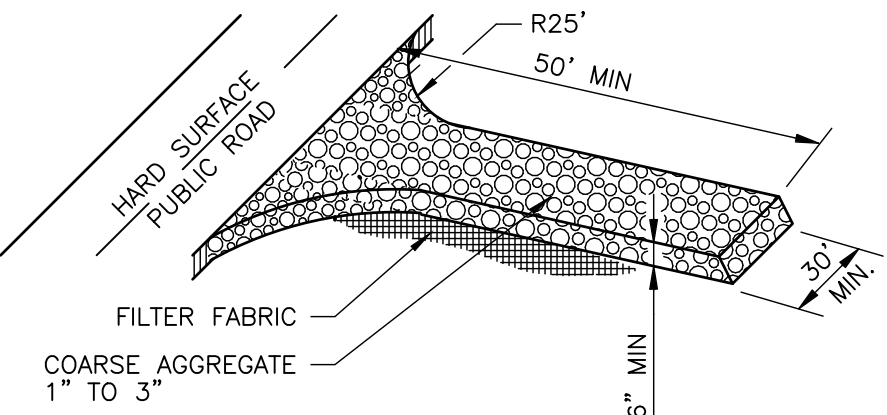
EXCEPT ANY PORTION LYING WITHIN TRACT "G" OF THE AMENDED MAP OF MONTEZUMA PLACE, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 1 OF MAPS, PAGE 40; AND

EXCEPT THE NORTH 30 FEET, THE SOUTH 30 FEET, AND THE WEST 30 FEET THEREOF FOR ROAD PURPOSES

Types	Ideal Soil Characteristics	Relative Cost Comparison (average life expectancy)	Environmental Considerations
Freshwater	None	Low initial cost, high long-term maintenance cost (0 months)	Minimal environmental hazard. If applied excessively, may result in erosion and sediment runoff. Supply may be limited in some areas and, depending on the source, may require a water right permit.

## DUST CONTROL MEASURES

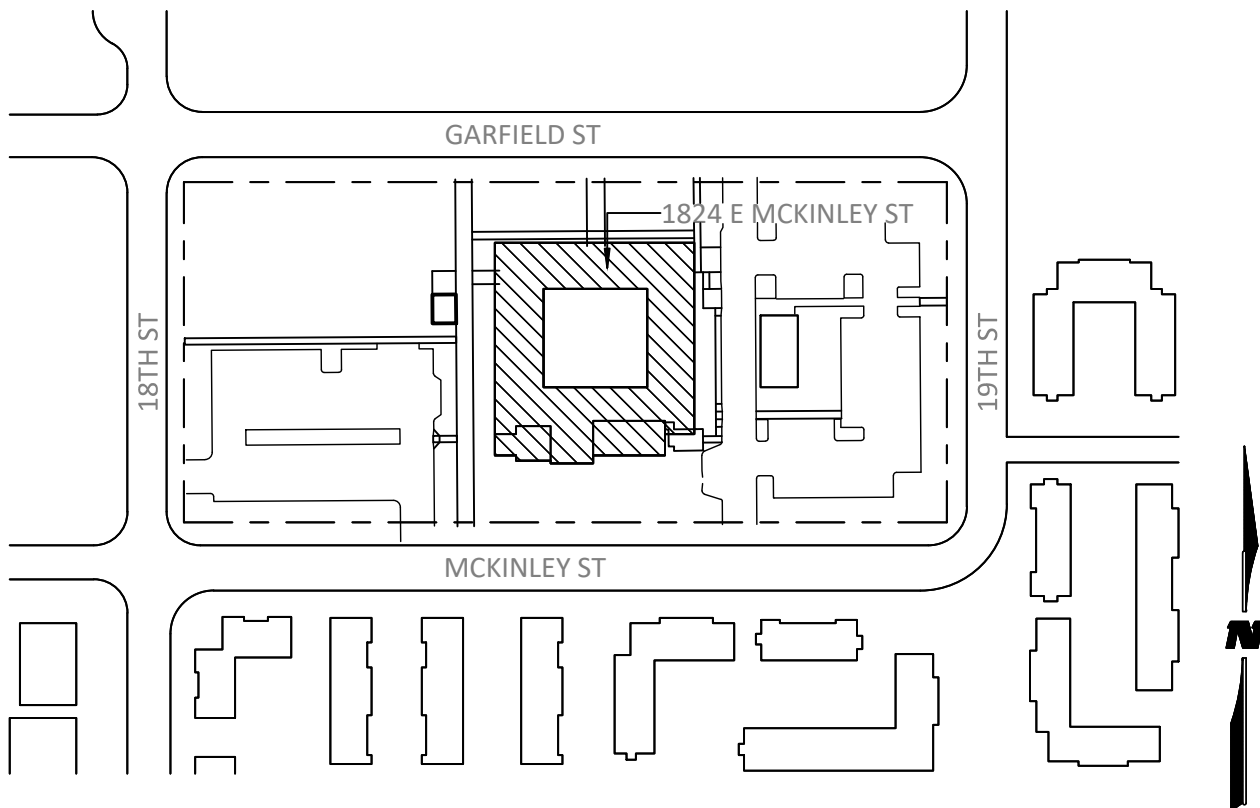
PER MARICOPA COUNTY FLOOD CONTROL  
EROSION CONTROL MANUAL  
BMP EC-7



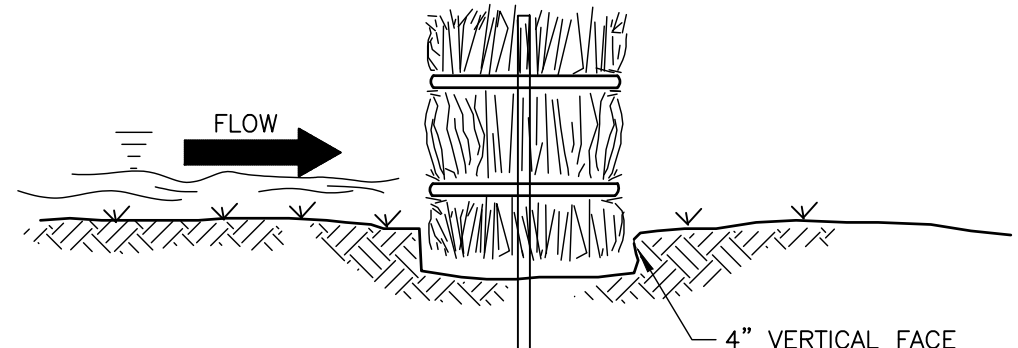
STABILIZED CONSTRUCTION ENTRANCE

## CONSTRUCTION ENTRANCE/EXIT

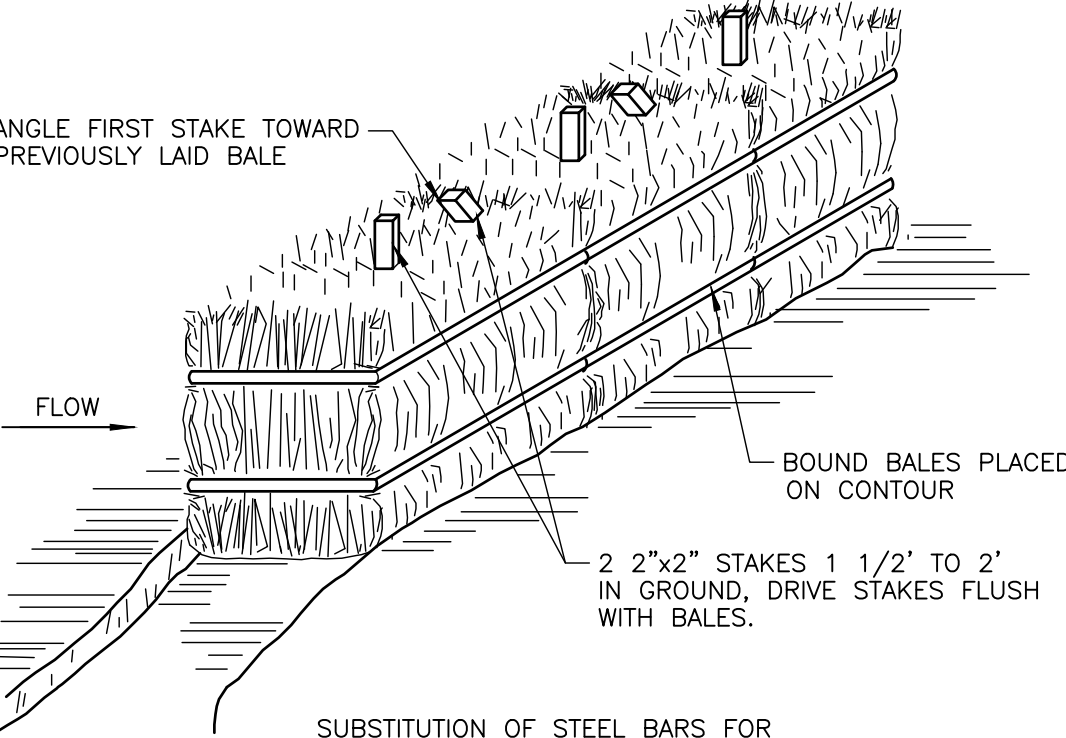
SCALE: N.T.S.  
PER MARICOPA COUNTY FLOOD CONTROL  
EROSION CONTROL MANUAL  
BMP EC-5



PROJECT OVERVIEW  
SCALE: 1" = 150'



\* PROMOTES ON SITE SEDIMENTATION BY CREATING A TEMPORARY POND.  
BEDDING DETAIL

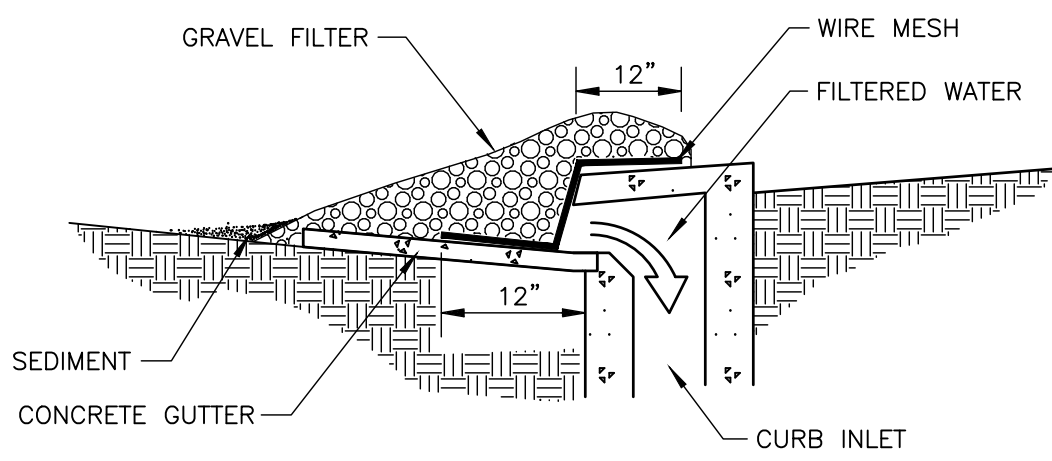
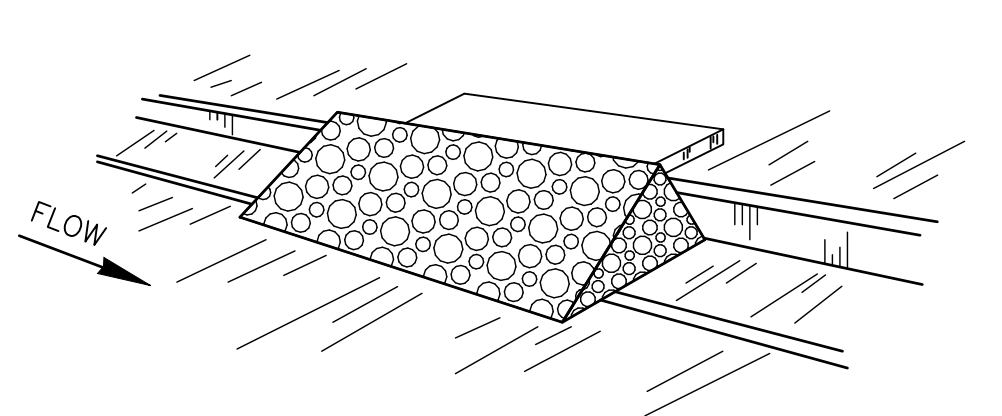


ANCHORING DETAIL

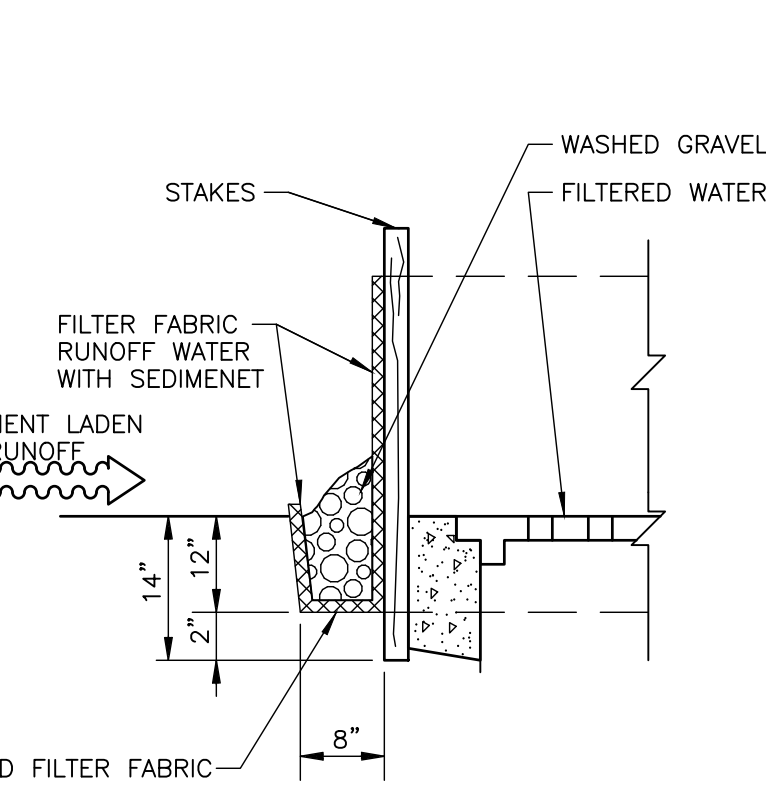
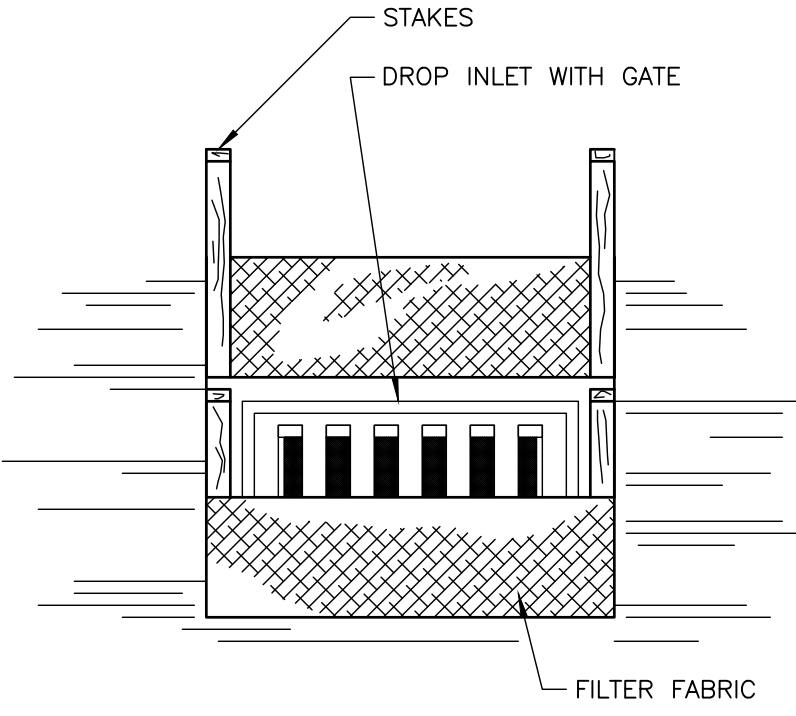
STRAW BALE BARRIERS

## ORGANIC FILTER BARRIER

SCALE: N.T.S.  
PER MARICOPA COUNTY FLOOD CONTROL  
EROSION CONTROL MANUAL  
BMP SPC-1



CURB INLET PROTECTION



FILTER FABRIC FENCE DROP INLET FILTER

## STORM DRAIN INLET PROTECTION

SCALE: N.T.S.  
PER MARICOPA COUNTY FLOOD CONTROL  
EROSION CONTROL MANUAL  
BMP SPC-7

KIVA #: 21-2575  
CPGD #: 2203284  
SDEV#: 2100269  
QS #: Q11-31

## DEVELOPER

CITY OF PHOENIX  
200 W. WASHINGTON STREET  
PHOENIX, AZ 85003  
PH: 602.262.6011  
ATTN: BRAD PUFFER

## CIVIL ENGINEER

WILSON & COMPANY  
410 N. 44TH STREET, SUITE 460  
PHOENIX, AZ 85008  
PH: 602.283.2701  
ATTN: STEVE SALAZAR

## ARCHITECT

GOULD EVANS  
5215 3RD STREET, SUITE 100  
PHOENIX, AZ 85004  
PH: 602.234.1140  
ATTN: JIM MILLER

## UTILITIES

WATER: CITY OF PHOENIX  
SEWER: CITY OF PHOENIX  
ELECTRIC: ARIZONA PUBLIC SERVICE  
GAS: SOUTHWEST GAS  
TELEPHONE: CENTURYLINK  
CABLE: COX COMMUNICATIONS

## SHEET INDEX

- COVER SHEET
- STORMWATER MANAGEMENT PLAN

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

civil engineer:  
Wilson & Company  
410 N. 44th Street Suite 460  
Phoenix, AZ 85008  
602.283.2701  
www.wilsonco.com

architect:  
Multistudio  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multistudio

mechanical engineer:  
Applied Engineering  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

historic preservation:  
Ryden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.233.5381  
www.rydenarchitects.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1507  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

structural engineer:  
BDA design  
7047 E. Greenway Pkwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdadesign.com

food service:  
Design-Tec Food Facilities  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

**Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.**

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



EXPIRES 09/30/24

## REVISIONS

Number	DESCRIPTION	DATE
1	Delta 1 - COP 1st Review Comments	02/25/2022
2	Delta 2 - COP 2nd Review Comments	06/01/2022

PROJECT NO: 0520-0020  
DATE: JUNE 16, 2022  
WILSON & CO PN: 21-600-038

SWMP 1 OF 2

SWMP COVER SHEET

C400

3RD PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	102	117

AH20300003-2 : EDISON IMPACT HUB CONSTRUCTION. Q3.11-31



## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

owner:  
**City of Phoenix**  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
**Multistudio**  
521 South 3rd Street #100  
Phoenix, AZ 85004  
602.234.1140  
multistudio

historic preservation:  
**Ryden Architects**  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

structural engineer:  
**BDA design**  
7047 E. Greenway Plwy #250  
Scottsdale, AZ 85254  
480.398.7729  
www.bdaesign.com

mechanical engineer:  
**Applied Engineering**  
2800 S. Rural Road #101  
Tempe, AZ 85282  
480.968.3070  
www.appliedengineering.com

landscape architect:  
**Floor Associates**  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

food service:  
**Design-Tec Food Facilities**  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0222

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS  
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR  
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



EXPIRES 09/30/24

### REVISIONS

Number	DESCRIPTION	DATE
1	Delta 1 - COP 1st Review Comments	02/25/2022
2	Delta 2 - COP 2nd Review Comments	06/01/2022

PROJECT NO: 0520-0020  
DATE: JUNE 16, 2022  
WILSON & CO PN: 21-600-038

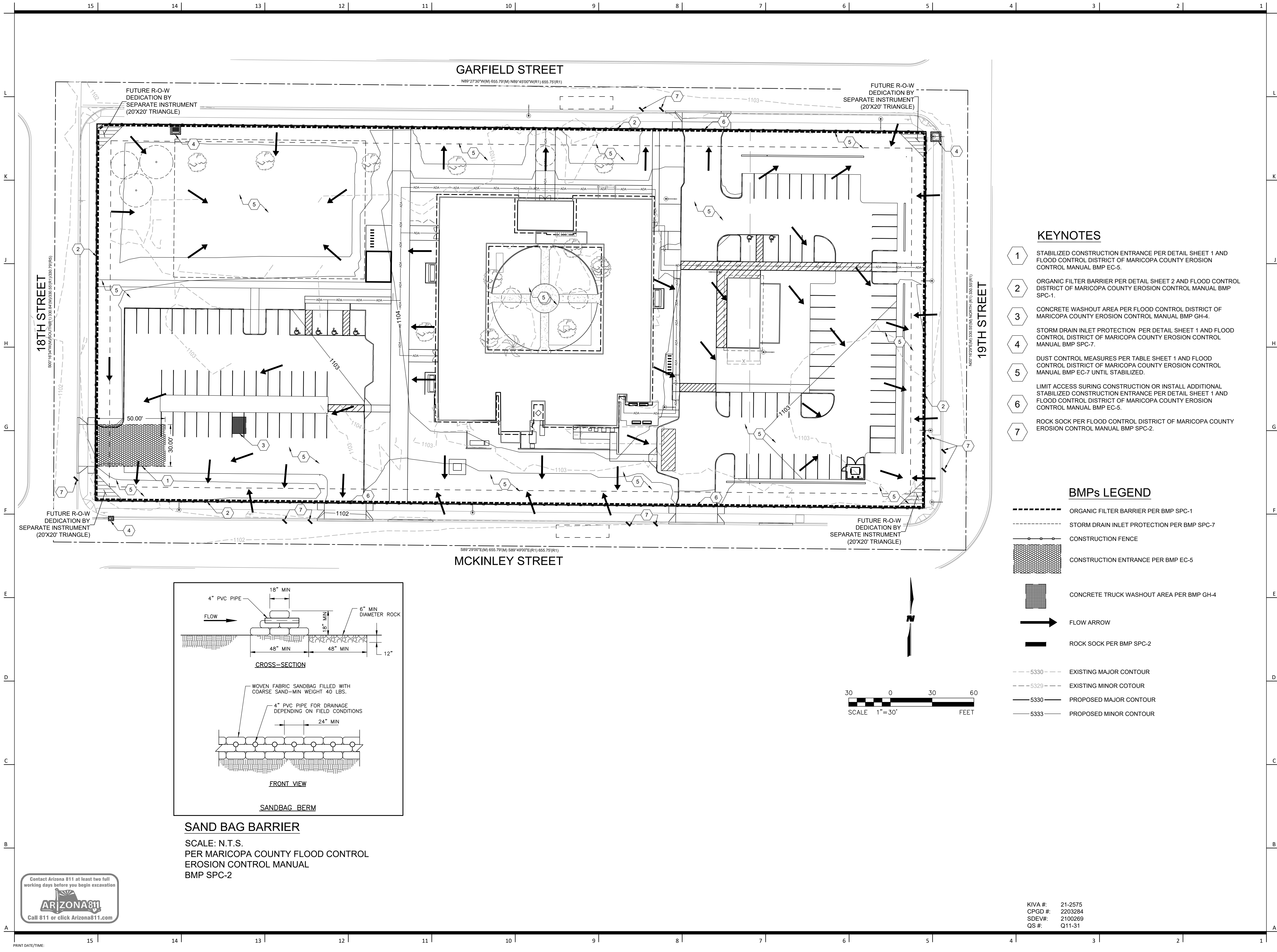
SWMP 2 OF 2

STORMWATER  
MANAGEMENT PLAN

# C401

3RD PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	103	117



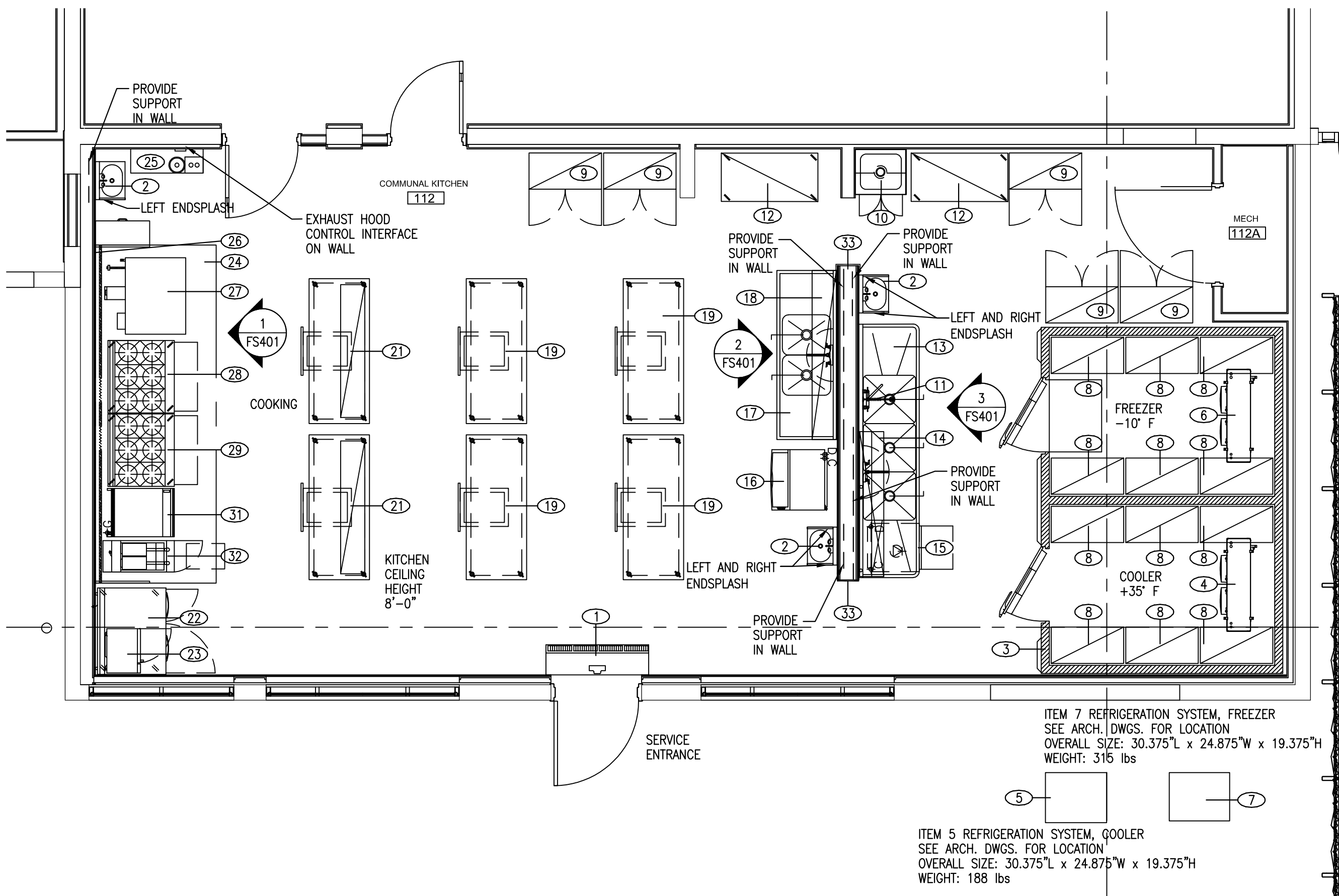


EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

OWNER: <b>City of Phoenix</b> 200 W. Washington Street Phoenix, AZ 85003 602.262.6011 www.phoenix.gov	Civil engineer: <b>Wilson &amp; Company</b> 420 N. 44th Street Suite 400 Phoenix, AZ 85008 602.383.2703 www.wilsonco.com
architect: <b>Multistudio</b> 511 South 3rd Street #320 Phoenix, AZ 85004 602.386.5442 multi.studio	mechanical engineer: <b>Applied Engineering</b> 2880'S Rural Road #320 Tempe, AZ 85282 480.366.3070 www.appliedengineering.com
historic preservation: <b>Ryden Architects</b> 902 W McDowell Road Phoenix, AZ 85007 602.253.5381 www.rydenarchitects.com	landscape architect: <b>Floor Associates</b> 1425 N. 1st Street #1007 Phoenix, AZ 85004 602.462.1425 www.floorassociates.com
structural engineer: <b>BDA design</b> 8047 E. Greenway Place #750 Scottsdale, AZ 85254 480.388.7729	food service: <b>Design-Tec Food Facilities</b> 8047 E. Greenway Place #750 Scottsdale, AZ 85254 480.388.7729

- GENERAL NOTES:
1. THESE PLANS ARE PROVIDED FOR THE PURPOSE OF INDICATING LOCATIONS AND EQUIPMENT REQUIREMENTS ONLY AND DO NOT RELIEVE THE CONTRACTOR AND ALL OTHER TRADES INVOLVED OF THE RESPONSIBILITY TO COMPLY WITH ALL CODES.
  2. GENERAL CONTRACTOR TO PROVIDE ALL SLEEVES OR OPENINGS NECESSARY FOR CONDUITS, REFRIGERATION LINES, AND EXHAUST OUTLETS.
  3. GENERAL CONTRACTOR TO PROVIDE ALL BACKING IN WALLS FOR WALL HUNG EQUIPMENT, SHELVING, ETC., AS INDICATED ON PLANS.
  4. KITCHEN EQUIPMENT CONTRACTOR TO PROVIDE AND INSTALL EXHAUST HOODS. GENERAL CONTRACTOR TO PROVIDE AND INSTALL EXHAUST BLOWERS AND ALL FINAL DUCT CONNECTIONS ALL FULLY WELDED TO MEET N.F.P.A. 96 AND LOCAL CODES.
  5. KITCHEN EQUIPMENT CONTRACTOR TO PROVIDE WET CHEMICAL FIRE SUPPRESSION SYSTEM FOR COOKING EQUIPMENT IN ACCORDANCE WITH ALL CODES.
  6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TRASH RESULTING FROM THE INSTALLATION OF EQUIPMENT AND FIXTURES.
  7. ALL ITEMS SCHEDULED FOR MOUNTING EITHER IN THE FLOOR OR WALLS BY THE GENERAL CONTRACTOR SHALL BE DELIVERED TO THE JOB SITE EARLY IN THE CONSTRUCTION SCHEDULE.
  8. ITEM NUMBERS SHOWN ON PLANS CORRESPOND TO THE SAME ITEMS ON EQUIPMENT SCHEDULE, ROUGH-IN PLANS, AND SPECIFICATIONS.
  9. REFER TO THE EQUIPMENT SCHEDULE ON SHEET FS-2 FOR EQUIPMENT NOMENCLATURE.
  10. PERMIT REQUIRED FOR UL300 FIRE SUPPRESSION SYSTEM. SHOP DRAWINGS TO BE SUBMITTED AS A DEFERRED SUBMITTAL.



FOOD SERVICE EQUIPMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

THESE DRAWINGS ARE PROVIDED FOR COORDINATION PURPOSES. REFER TO SEALED ENGINEERING DRAWINGS FOR CODE COMPLIANCE REVIEW

REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT NO: 0520-0020  
DATE: February 25, 2022

Food Service Equipment  
Floor Plan

FS101

2nd PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	104	117



EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

OWNER:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
511 South 3rd Street #300  
Phoenix, AZ 85004  
602.386.1442  
multistudio

mechanical engineer:  
Applied Engineering  
28815. Rural Road #101  
Tempe, AZ 85282  
480.366.3070  
www.appliedengineering.com

structural engineer:  
BDA design  
1947 E. Greenway Place #750  
Scottsdale, AZ 85254  
480.388.7729

landscaped architect:  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

food service:  
Design-Tec Food Facilities  
8046 N. 5th Street  
Phoenix, AZ 85020  
602.273.0232

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

THESE DRAWINGS ARE PROVIDED FOR COORDINATION PURPOSES. REFER TO SEALED ENGINEERING DRAWINGS FOR CODE COMPLIANCE REVIEW

REVISIONS

Number DESCRIPTION DATE

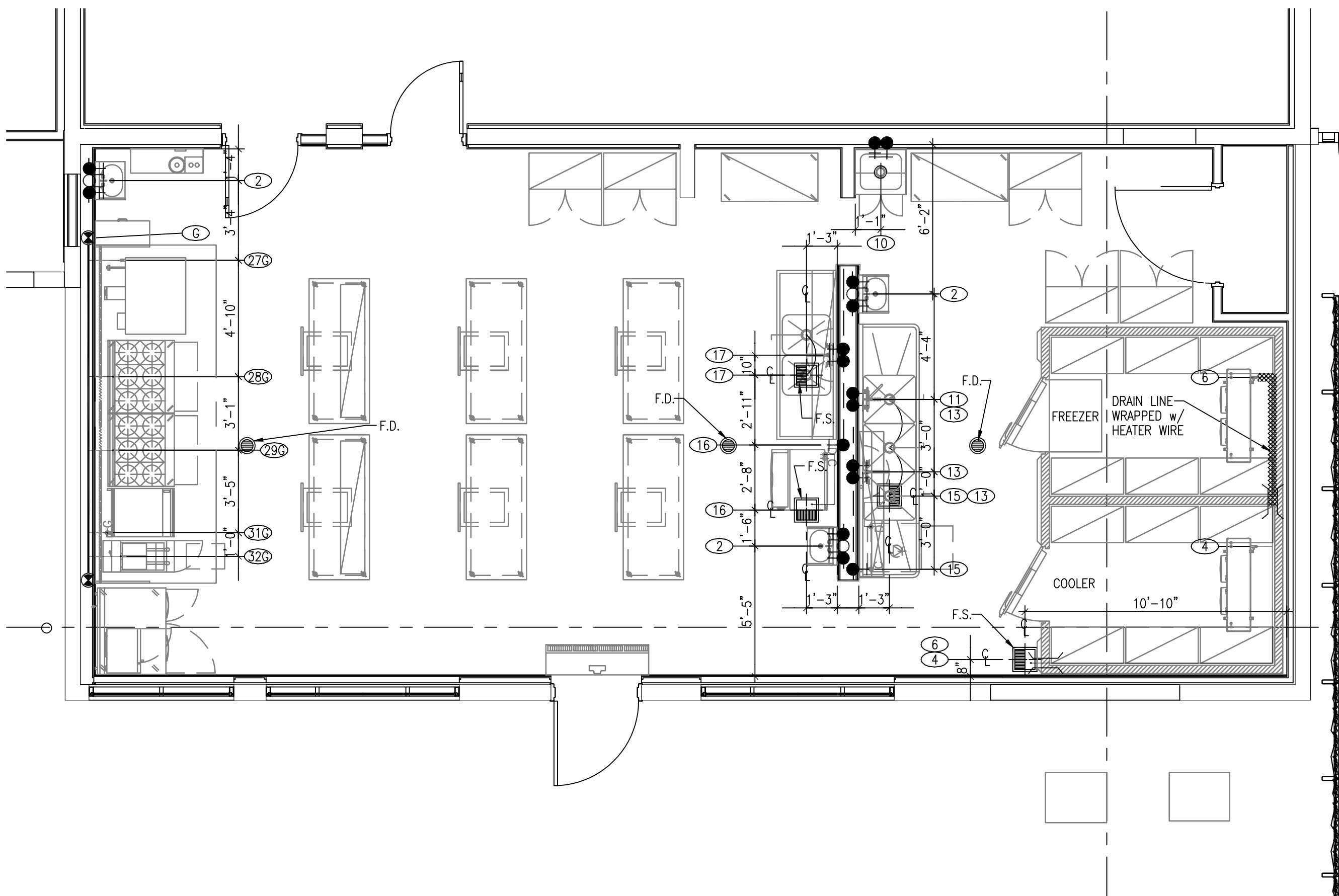
PROJECT NO: 0520-0020  
DATE: February 25, 2022

Food Service Equipment  
Plumbing Rough-in

FS102

2nd PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	105	117



PLUMBING NOTES:

- THIS PLUMBING ROUGH-IN PLAN IS INTENDED TO SHOW ROUGH-IN LOCATIONS, FINAL CONNECTION LOCATION & REQUIREMENTS. REFER TO THE PLUMBING SPECIFICATIONS AND DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL DIMENSIONS SHOWN ARE FROM FACE OF FINISHED WALLS, AND/OR C/L OF COLUMN TO THE CENTER LINE OF OUTLET; AND FROM C/L OF OUTLET TO C/L OF OUTLET.
- WHEREVER POSSIBLE ALL PIPING SHALL BE RUN WITHIN WALLS AND STUBBED OUT FROM WALL AT HEIGHT INDICATED ABOVE FINISHED FLOOR.
- ALL EXPOSED PLUMBING SHALL BE PROPERLY CLEANED AND PAINTED WITH NON-LEAD BEARING ALUMINUM COLOR PAINT. ALL PIPING AND FITTINGS APPEARING ABOVE THE COUNTER TOP SHALL BE CHROME PLATED.
- ROUGH-INS SHOWN IN PARTITIONS MUST FALL WITHIN PARTITIONS REGARDLESS OF DIMENSIONS.

PLUMBING CLARIFICATIONS:

- ROUGH-IN PLUMBING PERFORMED BY THE PLUMBING CONTRACTOR SHALL INCLUDE ALL MATERIALS, PIPES, VALVES, FITTINGS, UNDERGROUND TRAPS, FLOOR SINKS, FLOOR DRAINS, VENTS, FLOOR DRAIN AND FLOOR SINK COVERS AND STOPS AT THE ENDS OF WATER LINES.
- FINAL CONNECTION PERFORMED BY THE PLUMBING CONTRACTOR SHALL INCLUDE ALL MATERIALS, PIPING, VALVES, FITTINGS, TRAPS, EXTENDED WASTES AND WHATEVER IS NECESSARY TO PROPERLY CONNECT PRESSURE REDUCING VALVES, AND VACUUM BREAKERS AND THE EQUIPMENT ITEM TO THE ROUGH-IN OUTLET. THIS INCLUDES STOPS ON ALL WATER LINES, CLEANOUTS ON ALL DIRECT CONNECTED DRAIN LINES AND HARD COPPER DRAINS TO FLOOR SINKS FROM APPLIANCES.
- CERTAIN MATERIALS WILL BE FURNISHED BY THE KITCHEN EQUIPMENT CONTR. SUCH AS SOLENOID VALVES, VACUUM BREAKERS FOR THE DISPOSERS; HOSE REELS INCLUDING CONTROL VALVES, VACUUM BREAKER AND CHECK VALVES; MOST SINKS COMPLETE WITH FAUCETS; AND WATER FILTER UNITS.
- THESE ITEMS SHALL BE TURNED OVER TO THE PLUMBING CONTRACTOR FOR INSTALLATION.
- THE GAS SUPPLY LINES SHALL BE INSTALLED BY THE PLUMBING CONTR. COMPLETE WITH STOPS FOR EACH INDIVIDUAL PIECE OF EQUIPMENT WITH NO PIPE SIZE SMALLER THAN THE FITTING ON THE EQUIPMENT.
- WHEN A BATTERY OF TWO OR MORE GAS APPLIANCES ARE CONNECTED WITH A SINGLE MANIFOLD, THE K.E.C. SHALL SET, LEVEL AND CONNECT THE MANIFOLD BETWEEN APPLIANCES. THE PLUMBING CONTRACTOR SHALL MAKE THE FINAL CONNECTIONS.
- ALL WATER LINES SHALL BE IN HARD COPPER TO FINAL CONNECTION POINT WITHOUT REDUCTION IN SIZE.
- ALL DRAINS EXTENDED TO FLOOR SINKS OR FLOOR DRAINS SHALL BE OF HARD COPPER WITHOUT REDUCTION IN SIZE.
- PROVIDE 1" HARD COPPER DRAIN FROM ALL COIL DRIP PANS ALONG THE COOLER WALL TO FLOOR SINK OR STANDPIPE DRAIN. PITCH THE DRAINS FOR GOOD DRAINAGE. FREEZER COIL DRAIN SHALL BE WRAPPED AND HEATED OVER THE ENTIRE EXPOSED SURFACE IN THE FREEZER UNIT. INSTALL A P-TRAP IN THE FREEZER DRAIN OUTSIDE OF FIXTURE AT OR NEAR THE FLOOR SINK.

PLUMBING REQUIREMENTS

- SINK, HAND WASH - 1/2" H.W. & 1/2" C.W. @ +24" A.F.F., 1-1/2" DIRECT WASTE w/CLEANOUT @ +18" A.F.F.
- COIL, COOLER - 1" HARD COPPER CONDENSATE DRAIN FROM COIL DRIP PAN ALONG THE COOLER WALL, THROUGH WALL TO A FLOOR SINK.
- COIL, FREEZER - 1" HARD COPPER CONDENSATE DRAIN FROM COIL DRIP PAN ALONG THE COOLER/FREEZER WALL, THROUGH WALL TO A FLOOR SINK. DRAIN SHALL BE WRAPPED AND HEATED OVER THE ENTIRE EXPOSED SURFACE IN THE FREEZER UNIT. INSTALL A P-TRAP IN THE FREEZER DRAIN OUTSIDE OF FIXTURE AT OR NEAR THE FLOOR SINK.
- JANITOR SINK, CABINET - 1/2" H.W. & 1/2" C.W. @ +30" A.F.F. 3" DIRECT WASTE w/ CLEANOUT FLUSH w/ FINISH FLOOR.
- PRE-RINSE - 1/2" H.W. & 1/2" C.W. @ +12" A.F.F.
- SINK, THREE COMPARTMENT - 1/2" H.W. & 1/2" C.W. @ +12" A.F.F. (TWO LOCATIONS). EXTEND 2" HARD COPPER DRAIN TO FLOOR SINK. PLUMB THROUGH GREASE INTERCEPTOR.
- DISHMACHINE, UNDERCOUNTER - 1/2" C.W. @ +12" A.F.F., EXTEND 1-1/2" HARD COPPER DRAIN TO FLOOR SINK.
- ICE MACHINE w/SINK - 1/2" C.W. @ +60" A.F.F., EXTEND 1/2" HARD COPPER DRAIN TO FLOOR SINK. PLUMB WATER FILTER UPSTREAM FROM UNIT. INSTALL PVR IN LINE @ +60" A.F.F.
- SINK, PREP - 1/2" H.W. & 3/4" C.W. @ +12" A.F.F., EXTEND 2" HARD COPPER DRAIN TO FLOOR SINK.
- PROVIDE GAS LOOP DOWN FROM OVERHEAD TO HANDLE 790,000 B.T.U.s FOR THE FOLLOWING ITEMS:
  - DOUBLE CONVECTION OVEN - (2) 3/4" N.P.T., NATURAL GAS @ +9" & +38" A.F.F. 144,000 B.T.U.s
  - RANGE, SIX BURNER w/OVEN - 3/4" N.P.T., NATURAL GAS @ +24" A.F.F. 243,000 B.T.U.s
  - RANGE, SIX BURNER w/OVEN - 3/4" N.P.T., NATURAL GAS @ +24" A.F.F. 243,000 B.T.U.s
  - GRIDDLE, 24" w/STAND - 3/4" N.P.T., NATURAL GAS @ +24" A.F.F. 60,000 B.T.U.s
  - FRYER w/FILTER - 3/4" N.P.T., NATURAL GAS @ +24" A.F.F. 100,000 B.T.U.s

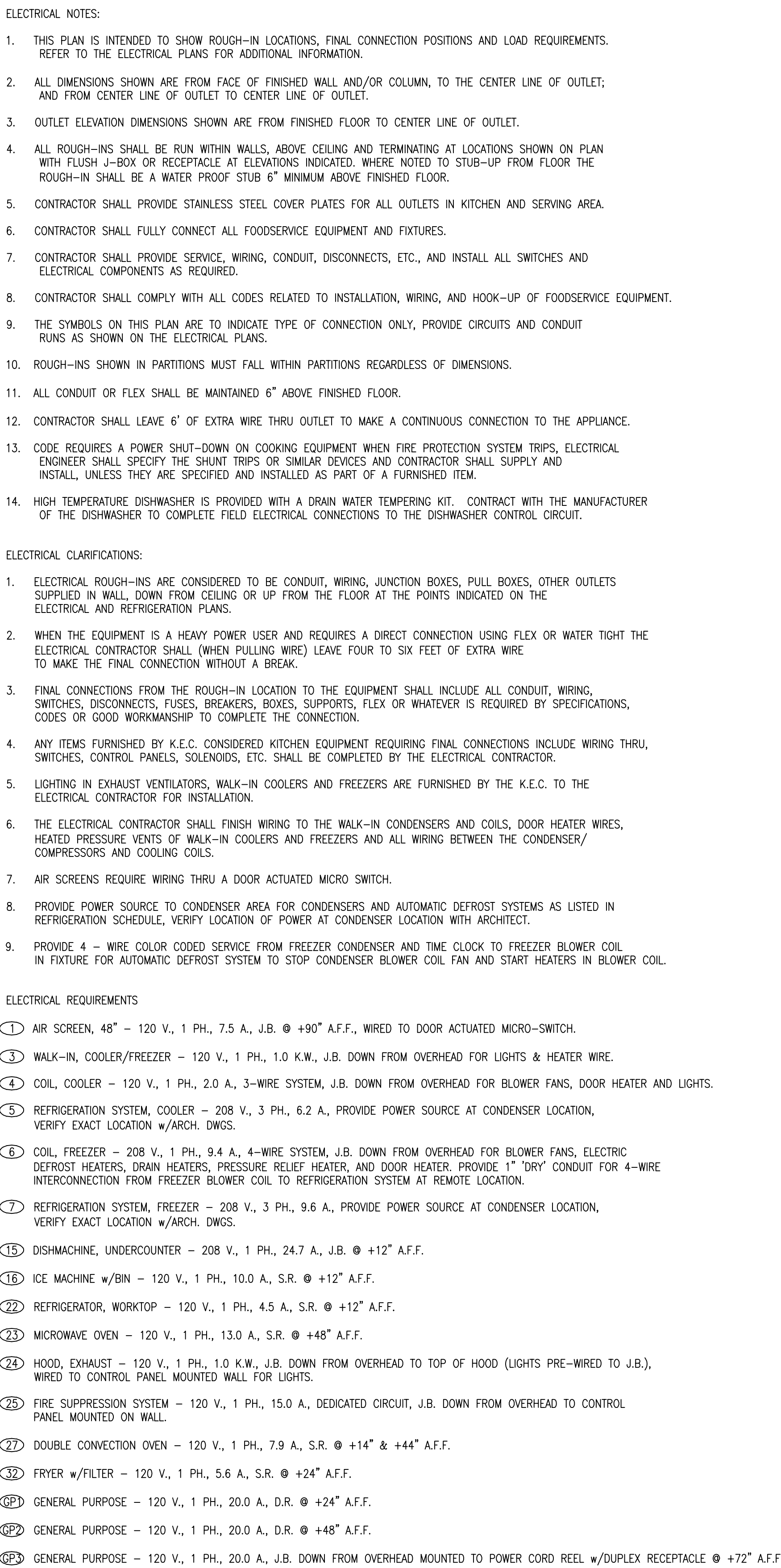
FOOD SERVICE EQUIPMENT PLUMBING ROUGH-IN

SCALE: 1/4" = 1'-0"

PLUMBING SYMBOLS

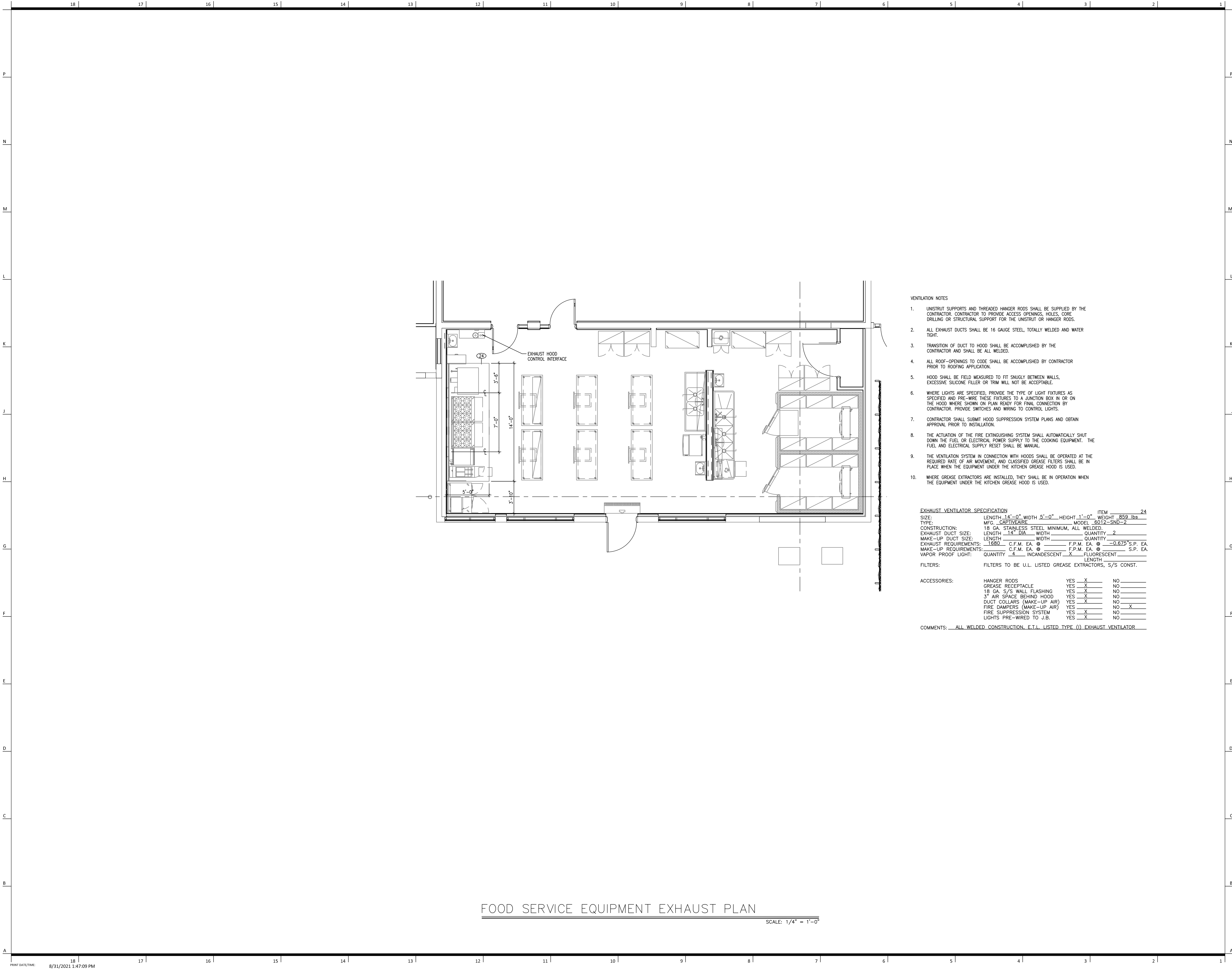
- HOT WATER
- COLD WATER
- FUEL GAS
- STEAM
- DIRECT WASTE
- STAND PIPE DRAIN
- FLOOR DRAIN
- TYPICAL FLOOR SINK w/ 1/2 COVER
- SLEEVE THRU WALL





Project Number	NO.	Total
AH20300003-2	106	117





FOOD SERVICE EQUIPMENT EXHAUST PLAN  
SCALE: 1/4" = 1'-0"

- VENTILATION NOTES
1. UNISTRUT SUPPORTS AND THREADED HANGER RODS SHALL BE SUPPLIED BY THE CONTRACTOR. CONTRACTOR TO PROVIDE ACCESS OPENINGS, HOLES, CORE, DRILLING OR STRUCTURAL SUPPORT FOR THE UNISTRUT OR HANGER RODS.
  2. ALL EXHAUST DUCTS SHALL BE 18 GAUGE STEEL, TOTALLY WELDED AND WATER TIGHT.
  3. TRANSITION OF DUCT TO HOOD SHALL BE ACCOMPLISHED BY THE CONTRACTOR AND SHALL BE ALL WELDED.
  4. ALL ROOF-OPENINGS TO CODE SHALL BE ACCOMPLISHED BY CONTRACTOR PRIOR TO ROOFING APPLICATION.
  5. HOOD SHALL BE FIELD MEASURED TO FIT SNUGLY BETWEEN WALLS, EXCESSIVE SILICONE FILLER OR TRIM WILL NOT BE ACCEPTABLE.
  6. WHERE LIGHTS ARE SPECIFIED, PROVIDE THE TYPE OF LIGHT FIXTURES AS SPECIFIED AND PRE-WIRE THESE FIXTURES TO A JUNCTION BOX IN OR ON THE HOOD WHERE SHOWN ON PLAN READY FOR FINAL CONNECTION BY CONTRACTOR. PROVIDE SWITCHES AND WIRING TO CONTROL LIGHTS.
  7. CONTRACTOR SHALL SUBMIT HOOD SUPPRESSION SYSTEM PLANS AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
  8. THE ACTUATION OF THE FIRE EXTINGUISHING SYSTEM SHALL AUTOMATICALLY SHUT DOWN THE FUEL OR ELECTRICAL POWER SUPPLY TO THE COOKING EQUIPMENT. THE FUEL AND ELECTRICAL SUPPLY RESET SHALL BE MANUAL.
  9. THE VENTILATION SYSTEM IN CONNECTION WITH HOODS SHALL BE OPERATED AT THE REQUIRED RATE OF AIR MOVEMENT, AND CLASSIFIED GREASE FILTERS SHALL BE IN PLACE WHEN THE EQUIPMENT UNDER THE KITCHEN GREASE HOOD IS USED.
  10. WHERE GREASE EXTRACTORS ARE INSTALLED, THEY SHALL BE IN OPERATION WHEN THE EQUIPMENT UNDER THE KITCHEN GREASE HOOD IS USED.
- EXHAUST VENTILATOR SPECIFICATION
- |                       |   |         |
|-----------------------|---|---------|
| SIZE:                 | LENGTH 14'-0" WIDTH 5'-0" HEIGHT 1'-0" WEIGHT 859 lbs   | ITEM 24 |
| TYPE:                 | MFG. CAPTIVEAIRE MODEL 6012-SND-2                       |         |
| CONSTRUCTION:         | 18 GA. STAINLESS STEEL MINIMUM, ALL WELDED.             |         |
| EXHAUST DUCT SIZE:    | LENGTH 14'-0" DIA. 14" WIDTH 14" QUANTITY 2             |         |
| MAKE-UP DUCT SIZE:    | LENGTH 14'-0" WIDTH 14" QUANTITY 2                      |         |
| EXHAUST REQUIREMENTS: | 1680 C.F.M. EA. 0 F.P.M. EA. 0 -0.675"S.P. EA.          |         |
| MAKE-UP REQUIREMENTS: | C.F.M. EA. 0 F.P.M. EA. 0 S.P. EA.                      |         |
| VAPOR PROOF LIGHT:    | QUANTITY 4 INCANDESCENT X FLUORESCENT LENGTH            |         |
| FILTERS:              | FILTERS TO BE U.L. LISTED GREASE EXTRACTORS, S/S CONST. |         |
- ACCESSORIES:
- |                            |       |      |
|----------------------------|-------|------|
| HANGER RODS                | YES X | NO   |
| GREASE RECEPTACLE          | YES X | NO   |
| 18 GA. S/S WALL FLASHING   | YES X | NO   |
| 3" AIR SPACE BEHIND HOOD   | YES X | NO   |
| DUCT COLLARS (MAKE-UP AIR) | YES X | NO   |
| FIRE DAMPERS (MAKE-UP AIR) | YES   | NO X |
| FIRE SUPPRESSION SYSTEM    | YES   | NO   |
| LIGHTS PRE-WIRED TO J.B.   | YES X | NO   |
- COMMENTS: ALL WELDED CONSTRUCTION, E.T.L. LISTED TYPE (I) EXHAUST VENTILATOR

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

OWNER: <b>City of Phoenix</b> 200 W. Washington Street Phoenix, AZ 85003 602.262.6011 www.phoenix.gov	OWNER: <b>Wilson &amp; Company</b> 420 N. 44th Street Suite 400 Phoenix, AZ 85008 602.383.2703 www.wilsonco.com
ARCHITECT: <b>Multistudio</b> 511 South 3rd Street #300 Phoenix, AZ 85004 602.253.5381 multi.studio	MECHANICAL ENGINEER: <b>Applied Engineering</b> 2805 S. Rural Road #300 Tempe, AZ 85282 480.366.3070 www.appliedengineering.com
HISTORIC PRESERVATION: <b>Ryden Architects</b> 902 W. McDowell Road Phoenix, AZ 85007 602.253.5381 www.rydenarchitects.com	LANDSCAPE ARCHITECT: <b>Floor Associates</b> 1425 N. 1st Street #1007 Phoenix, AZ 85004 602.462.1425 www.floorassociates.com
STRUCTURAL ENGINEER: <b>BDA design</b> 1041 E. Greenway Plaza #750 Scottsdale, AZ 85254 480.388.7729	FOOD SERVICE: <b>Design-Tec Food Facilities</b> 8046 N. 5th Street Phoenix, AZ 85020 602.273.0232

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

THESE DRAWINGS ARE PROVIDED FOR COORDINATION PURPOSES. REFER TO SEALED ENGINEERING DRAWINGS FOR CODE COMPLIANCE REVIEW

### REVISIONS

Number	DESCRIPTION	DATE
--------	-------------	------

PROJECT NO: 0520-0020  
DATE: February 25, 2022

Food Service Equipment  
Exhaust Plan

FS104

2nd PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	107	117

AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION, Q.S.11-31



EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

OWNER:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

architect:  
Multistudio  
511 South 3rd Street #300  
Phoenix, AZ 85004  
602.366.1440  
multistudio

mechanical engineer:  
Applied Engineering  
2805 S. Rural Road #101  
Tempe, AZ 85282  
480.366.3070  
www.appliedengineering.com

historic preservation:  
Ryden Architects  
902 W. McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.rydenarchitects.com

landscape architect:  
Floor Associates  
1425 N. 1st Street #1007  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

structural engineer:  
BDA design  
1047 E. Greenway Place #750  
Scottsdale, AZ 85254  
480.368.7729

food service:  
Design-Tec Food Facilities  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.273.0232

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

THESE DRAWINGS ARE PROVIDED FOR COORDINATION PURPOSES. REFER TO SEALED ENGINEERING DRAWINGS FOR CODE COMPLIANCE REVIEW

REVISIONS

Number DESCRIPTION DATE

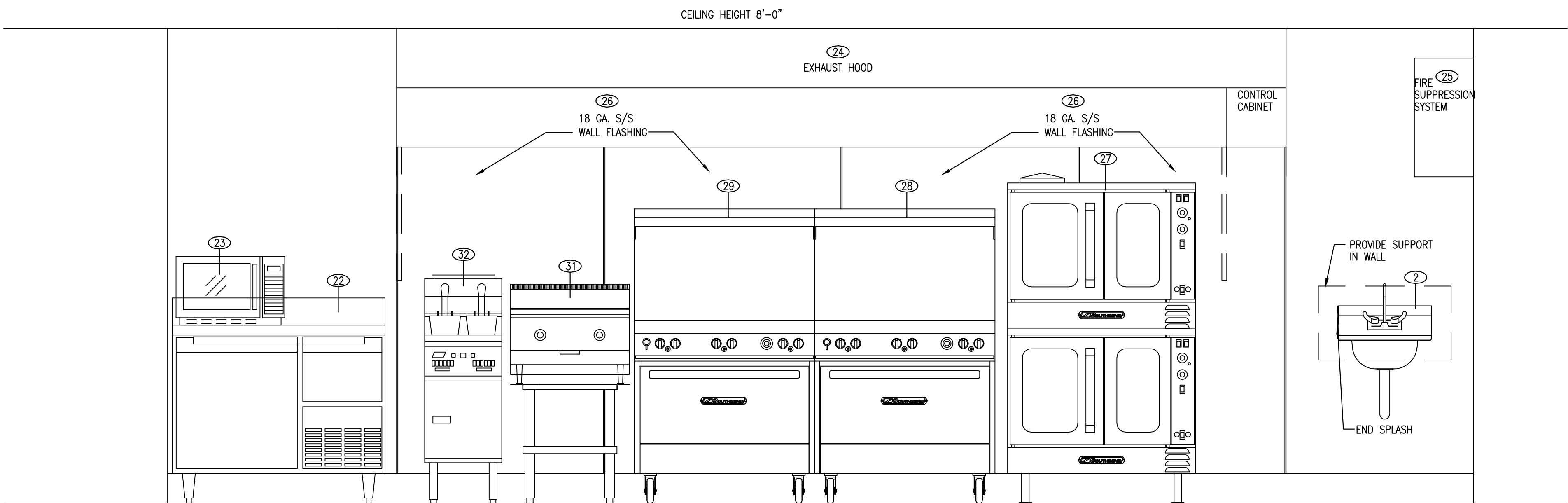
PROJECT NO: 0520-0020  
DATE: February 25, 2022

Food Service Equipment  
Elevations

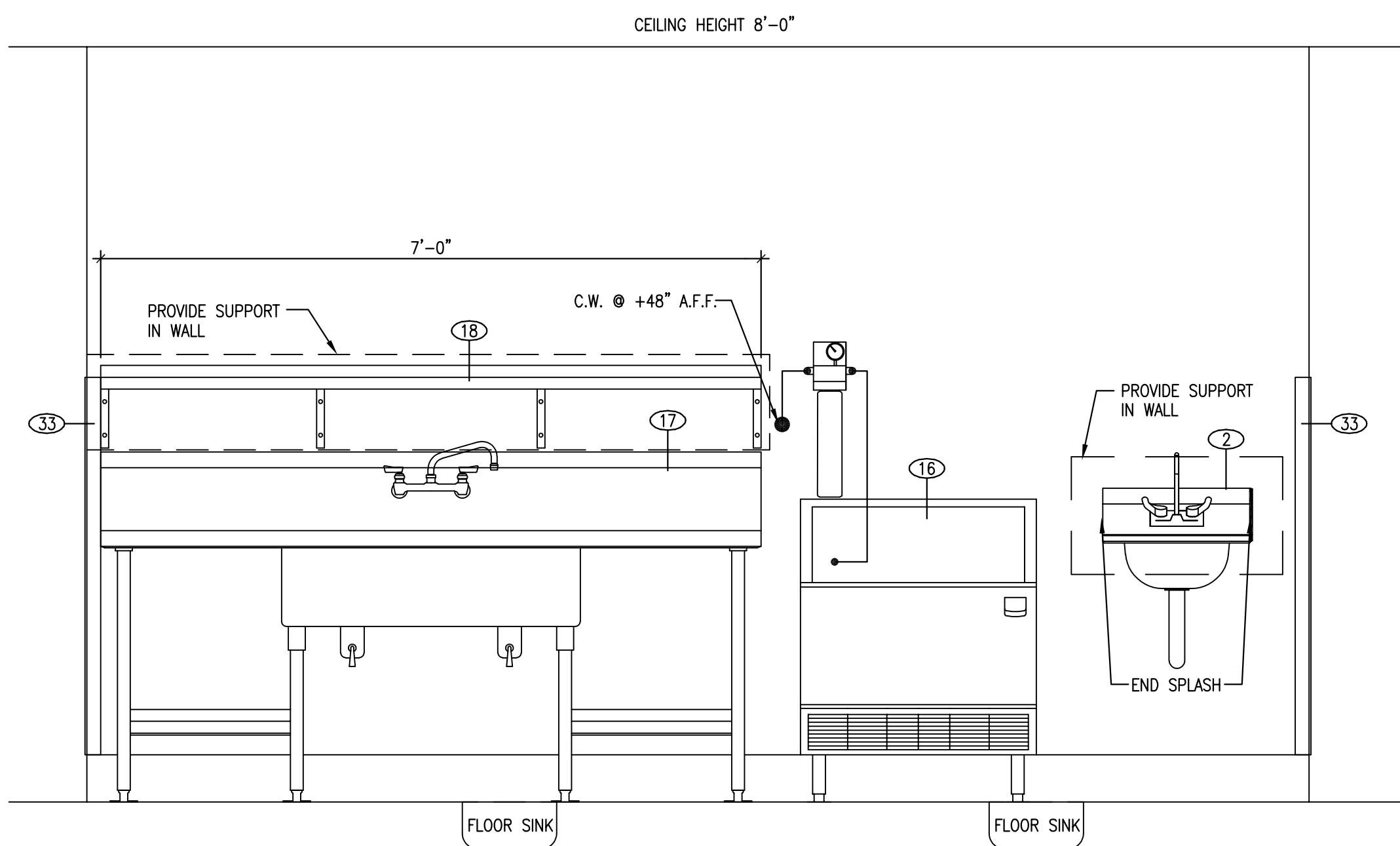
FS401

2nd PERMIT REVIEW

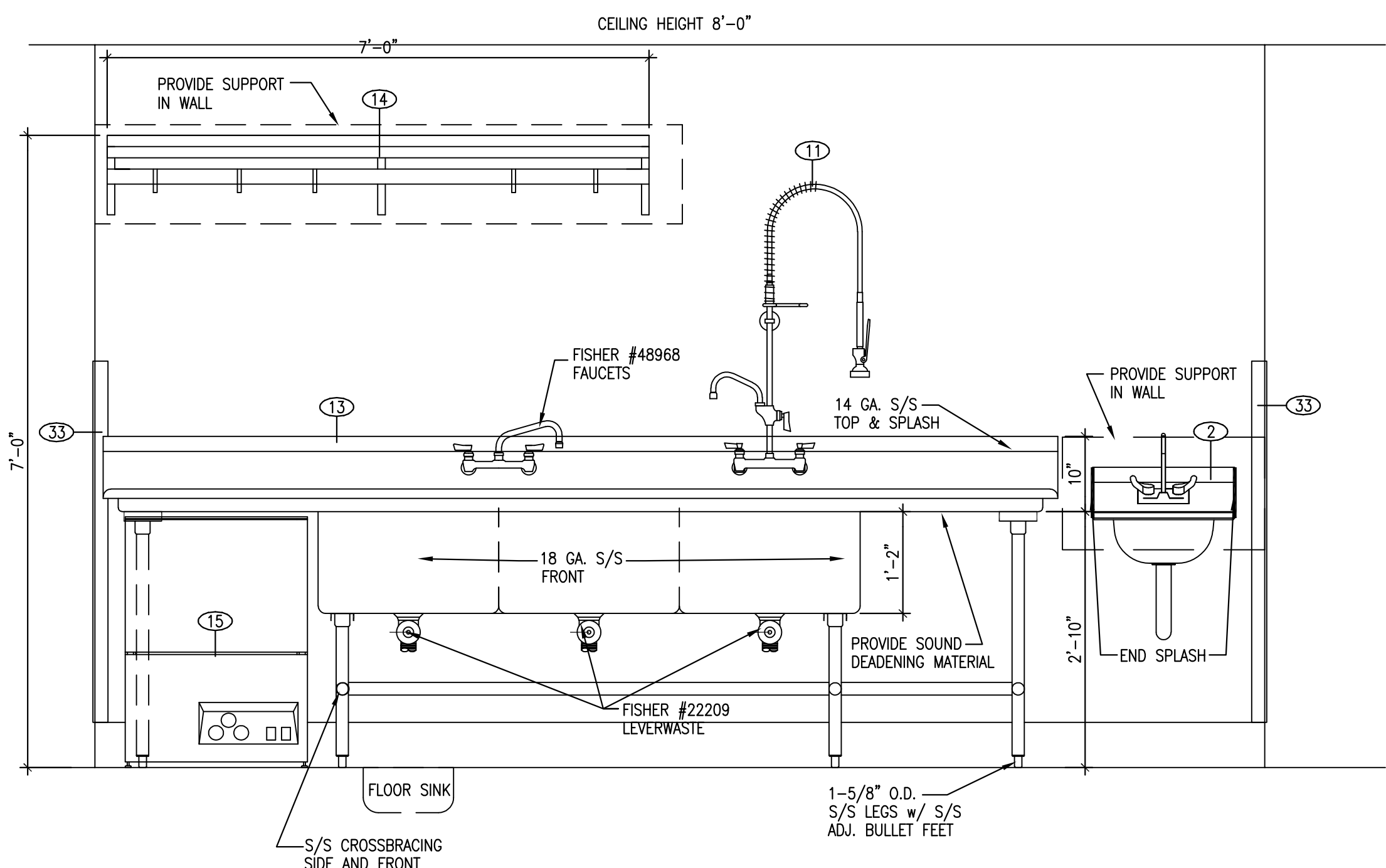
Project Number	NO.	Total
AH20300003-2	108	117



1 ELEVATION AT EXHAUST HOOD  
SCALE: 3/4" = 1' - 0"



2 ELEVATION AT PREP SINK/ICE MACHINE  
SCALE: 3/4" = 1' - 0"



3 ELEVATION AT THREE COMPARTMENT SINK  
SCALE: 3/4" = 1' - 0"

FOOD SERVICE EQUIPMENT ELEVATIONS

SCALE: 3/4" = 1'-0"



EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

OWNER:  
**City of Phoenix**  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

ARCHITECT:  
**Wilson & Company**  
420 N. 46th Street Suite 400  
Phoenix, AZ 85008  
602.283.2703  
www.wilsonco.com

MECHANICAL ENGINEER:  
**Applied Engineering**  
2505 S. Rural Road #300  
Tempe, AZ 85282  
602.366.3070  
www.appliedengineering.com

LANDSCAPE ARCHITECT:  
**Floor Associates**  
1425 N. 1st Street #1007  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

STRUCTURAL ENGINEER:  
**BDA design**  
1947 E. Greenway Place #750  
Scottsdale, AZ 85254  
480.388.7729

FOOD SERVICE:  
**Design-Tec Food Facilities**  
8946 N. 5th Street  
Phoenix, AZ 85020  
602.273.0232

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

THESE DRAWINGS ARE PROVIDED FOR COORDINATION PURPOSES. REFER TO SEALED ENGINEERING DRAWINGS FOR CODE COMPLIANCE REVIEW

REVISIONS

Number DESCRIPTION DATE

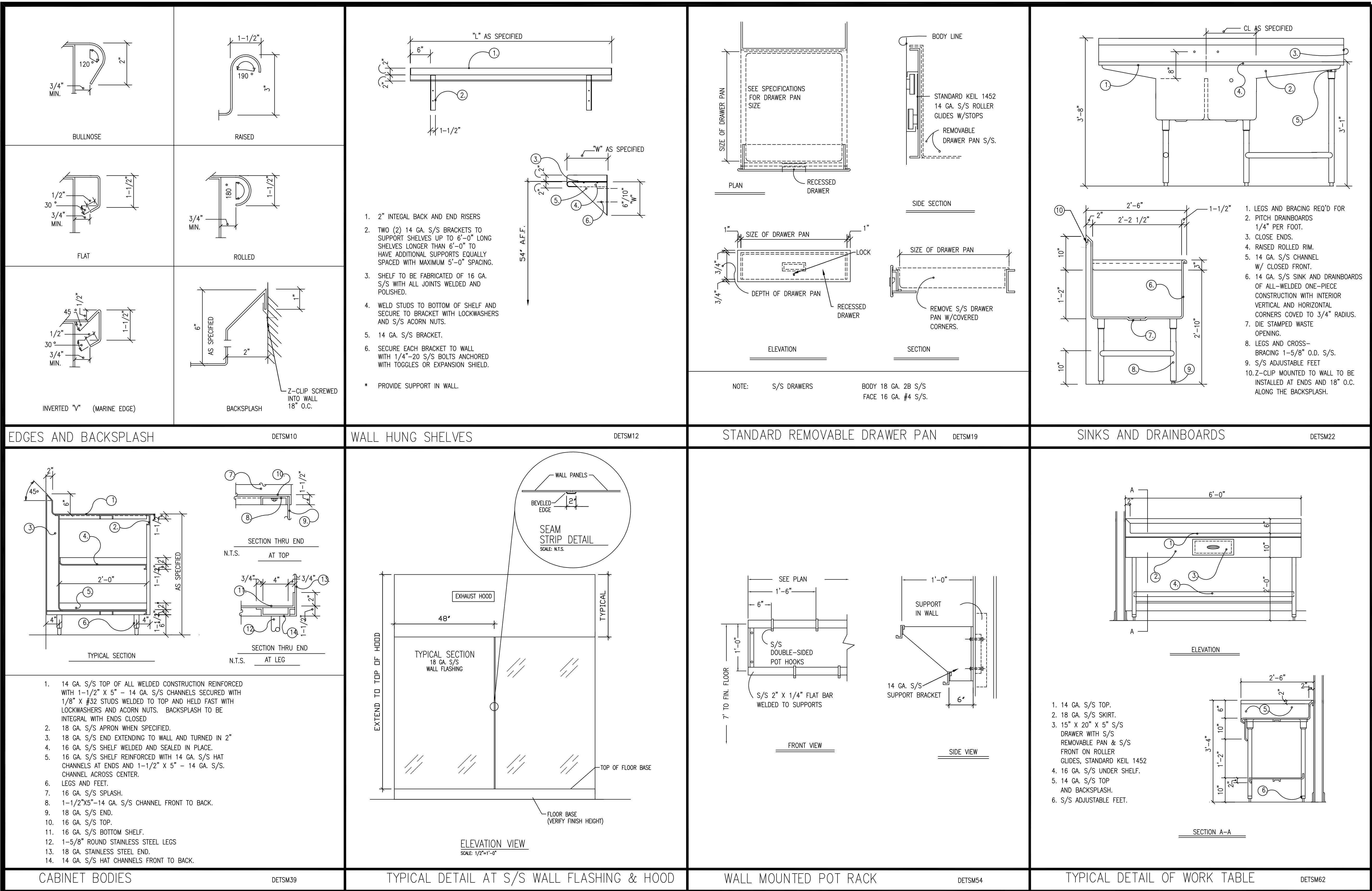
PROJECT NO: 0520-0020  
DATE: February 25, 2022

Food Service Equipment  
Special Details

FS501

2nd PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	109	117



FOOD SERVICE EQUIPMENT SPECIAL DETAILS

SCALE: NOT TO SCALE



HOOD INFORMATION – JOB#5050123

HOOD NO	TAG	MODEL	MANUFACTURER	LENGTH	MAX COOKING TEMP	TYPE	APPLIANCE DUTY	DESIGN CFM/FT	TOTAL EXH CFM	EXHAUST PLENUM RISER(S)							HOOD CONSTRUCTION	HOOD CONFIG	
										WIDTH	LENG	HEIGHT	DIA	CFM	VEL	SP		END TO END	ROW
1	24	6012 SND-2	CAPTIVEAIRE	14' 0"	600 DEG	I	HEAVY	240	3360			4"	14"	1680	1572	-0.675'	430 SS WHERE EXPOSED	ALONE	ALONE
												4"	14"	1680	1572	-0.675'			

HOOD INFORMATION

HOOD NO	TAG	FILTER(S)					LIGHT(S)			UTILITY CABINET(S)				FIRE SYSTEM PIPING	HOOD HANGING WEIGHT
		TYPE	QTY	HEIGHT	LENGTH	EFFICIENCY @ 7 MICRONS	QTY	TYPE	WIRE GUARD	LOCATION	SIZE	FIRE SYSTEM TYPE	SIZE	ELECTRICAL MODEL #	SWITCHES QUANTITY
1	24	CAPTRATE SOLO FILTER	10	20"	16'	85% SEE FILTER SPEC	4	RECESSED ROUND	NO	RIGHT	12"x27"x24"			DCV-1111	1 LIGHT 1 FAN
										WALL MNT	12"x36"x24"	TANK FS	4.0/4.0		

HOOD OPTIONS

HOOD NO	TAG	OPTION
1	24	INSULATION FOR TOP OF HOOD. INSULATION FOR BACK OF HOOD. RIGHT VERTICAL END PANEL 27" TOP WIDTH, 21" BOTTOM WIDTH, 68" HIGH INSULATED 430 SS. LEFT VERTICAL END PANEL 27" TOP WIDTH, 21" BOTTOM WIDTH, 68" HIGH INSULATED 430 SS. NO HANGING ANGLES ON WALL MOUNTED UTILITY CABINET(S).

WALL-MOUNT UTILITY CABINET

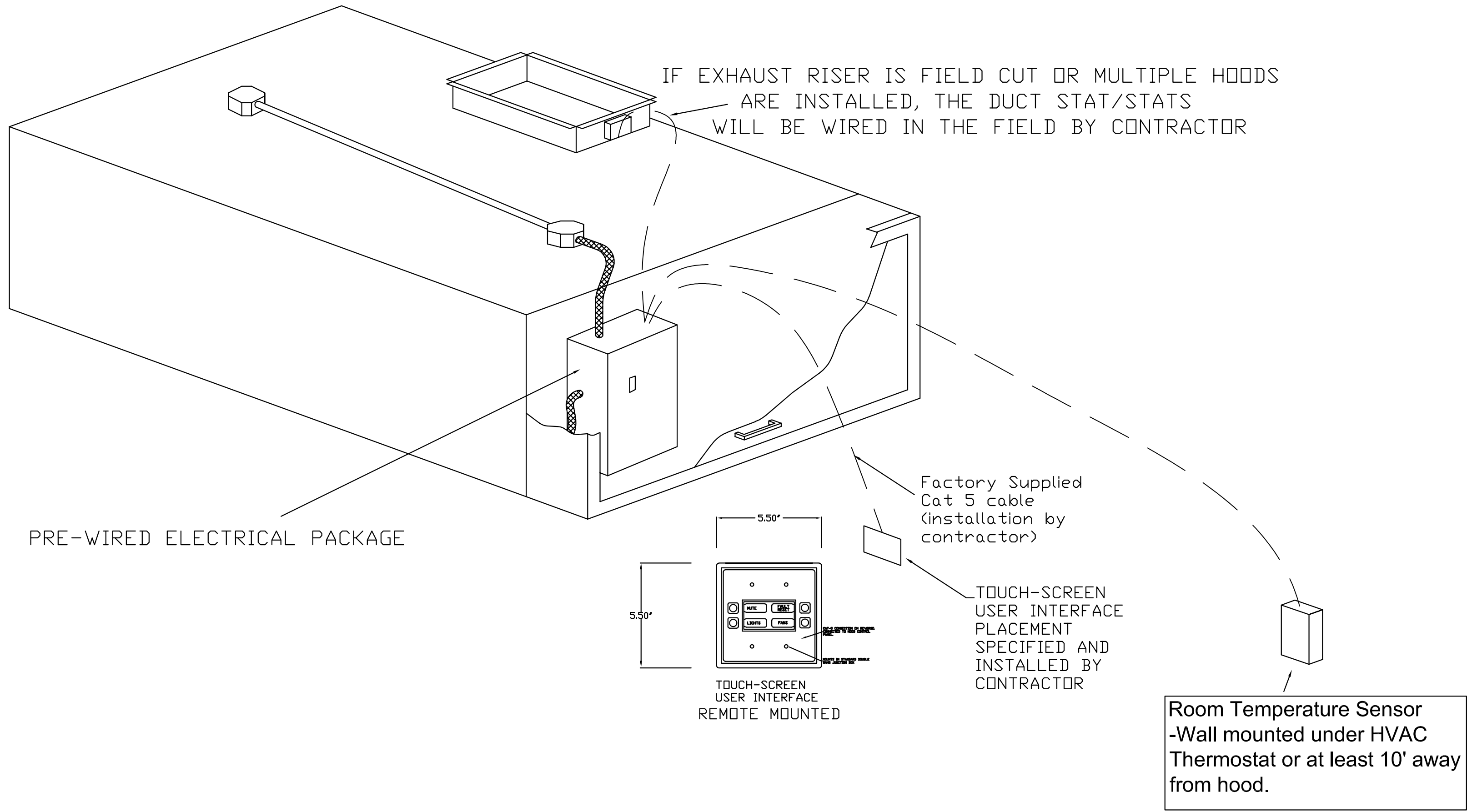
HOOD NO	LOCATION	SIZE	UTILITY CABINET(S)				WEIGHT
			FIRE SYSTEM TYPE	SIZE	ELECTRICAL MODEL #	SWITCHES QUANTITY	
1	WALL MNT	12"x36"x24"	TANK FS	4.0/4.0			300.00 LBS

FIRE SYSTEM INFORMATION – JOB#5050123

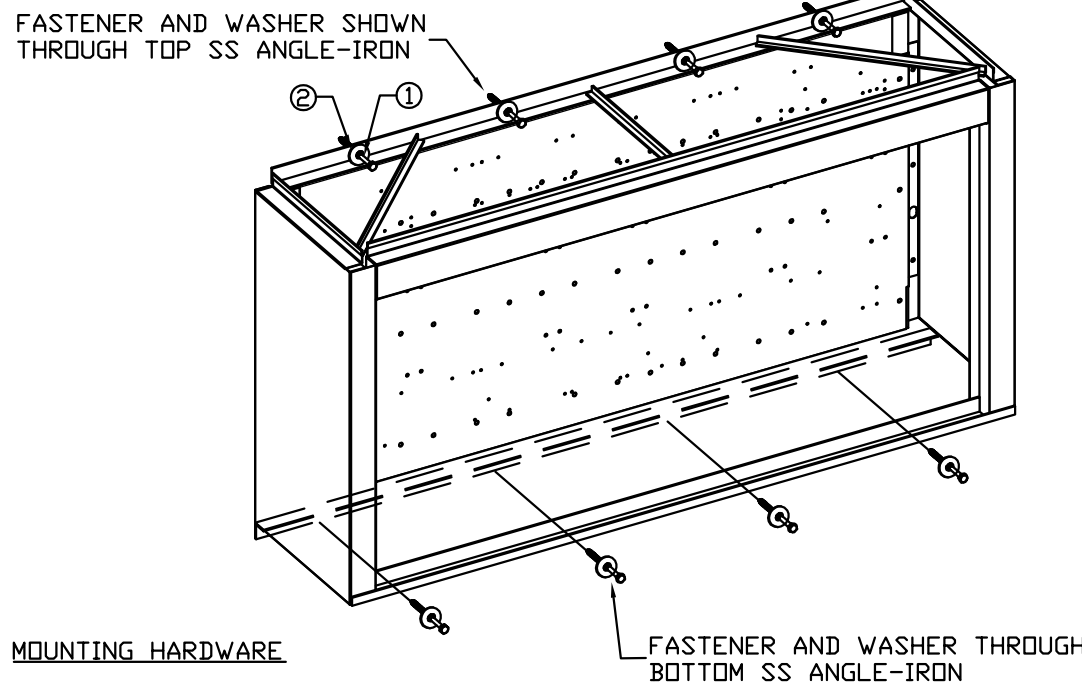
FIRE SYSTEM NO	TAG	TYPE	SIZE	FLOW POINTS	INSTALLATION	
					SYSTEM	LOCATION ON HOOD
1	25	TANK FS	4.0/4.0	32	WALL UTILITY CABINET LEFT	N/A

GAS VALVE(S)

FIRE SYSTEM NO	TAG	TYPE	SIZE	SUPPLIED BY
1	25	SC ELECTRICAL	TBD	CAPTIVEAIRE SYSTEMS



WALL-MOUNT UTILITY CABINET  
WALL-MOUNT OPTION



MOUNTING HARDWARE

- FASTENER
- WASHER

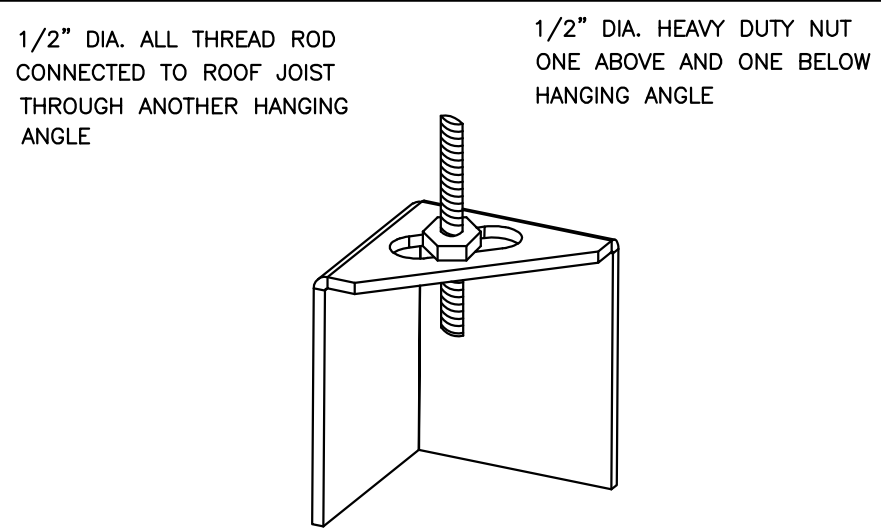
MOUNTING INSTRUCTIONS

UTILITY CABINET MUST BE SECURED TO THE WALL WITH A MINIMUM OF EIGHT (8) FASTENERS AND WASHERS.  
TOP AND BOTTOM OF CABINET BOTH REQUIRE FOUR (4) FASTENERS WITH WASHERS.  
MARK LOCATIONS ON TOP ANGLE IRON AND BOTTOM ANGLE IRON OF UTILITY CABINET.  
DRILL PILOT HOLES FOR FASTENERS.  
A. WHEN INSTALLING INTO CONCRETE/MASONRY WALL, USE 5/16" x 2-1/4" TAPCONS.  
B. WHEN INSTALLING INTO METAL STUDS, USE 5/16" x 1-1/2" SELF DRILLING SCREWS.  
C. WHEN INSTALLING INTO WOODEN STUDS, USE 5/16" x 3-1/2" LAG BOLTS.  
D. WHEN FASTENER LANDS ONLY ON DRYWALL, USE 5/16" x 4" LONG TOGGLE BOLTS.

NOTE:

WALL-MOUNTED UTILITY CABINETS UP TO 48" LONG, MUST HIT TWO (2) STUDS MINIMUM, FASTENED TOP AND BOTTOM OF THE WALL-MOUNT UTILITY CABINET.

WALL-MOUNTED UTILITY CABINETS OVER 48" LONG, MUST HIT THREE (3) STUDS MINIMUM, FASTENED TOP AND BOTTOM OF THE WALL-MOUNT UTILITY CABINET.



\*ROD AND NUTS TO BE SUPPLIED BY INSTALLING CONTRACTOR  
HANGING ANGLE IS PRE-PUNCHED AT FACTORY

ND-2 HANGING ANGLE DETAIL			
HOOD STYLE	DIM FROM REAR	DIM FROM FRONT (24"H)	DIM FROM FRONT (30"H)
CANOPY ND2	4.166"	2.246"	2.246"
ND2-PSP-F	4.166"	2.246"	2.246"
BACKSHELF 2847BD	2.00"	14.25"	—
VHB/VHB-G	36"x36"	42"x42"	48"x48"
FRONT/BACK DIMS BY SIZE	2.246"	2.246"	2.246"

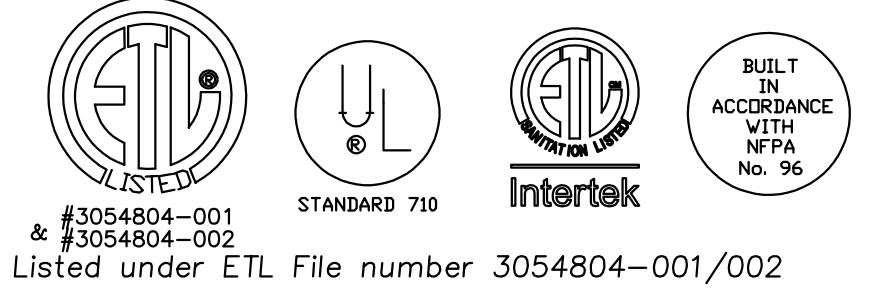
HANGING ANGLE LOCATIONS

EXHAUST CFM=LENGTH OF HOOD X CFM/LIN.FT. (LOAD)  
SUPPLY CFM=EXHAUST CFM X PERCENTAGE REQUIRED  
TOTAL DUCT AREA=144 X CFM / FPM(\*)  
DUCT LENGTH= DUCT DEPTH / TOTAL DUCT AREA

\*CAPTIVE-AIRE VENTILATOR DUCT SIZES ARE CALCULATED USING AN EXHAUST VELOCITY OF 1500-1800 FPM AND A SUPPLY VELOCITY OF 1000 FPM.

CALCULATIONS UTILIZED

CAPTIVE-AIRE HOODS ARE BUILT IN COMPLIANCE WITH:



BUILDING CODES

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

CITY OF PHOENIX  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

CITY ENGINEER  
Wilson & Company  
420 N 46th Street Suite 400  
Phoenix, AZ 85008  
602.383.2703  
www.wilsonco.com

ARCHITECT  
Multistudio  
511 South 1st Street #300  
Phoenix, AZ 85004  
602.262.1400  
multi.studio

MECHANICAL ENGINEER  
Applied Engineering  
2501 S. Rural Road #100  
Tempe, AZ 85282  
602.366.1070  
www.appliedengineering.com

HISTORIC PRESERVATION  
Hyden Architects  
902 W McDowell Road  
Phoenix, AZ 85007  
602.253.5381  
www.hydenarchitects.com

LANDSCAPE ARCHITECT  
Floor Associates  
1425 N. 1st Street #1607  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

STRUCTURAL ENGINEER  
BDA design  
1947 E. Greenway Place #750  
Scottsdale, AZ 85254  
480.388.7729

FOOD SERVICE  
Design-Tec Food Facilities  
8546 N. 5th Street  
Phoenix, AZ 85020  
602.270.0232

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

THESE DRAWINGS ARE PROVIDED FOR COORDINATION PURPOSES. REFER TO SEALED ENGINEERING DRAWINGS FOR CODE COMPLIANCE REVIEW

REVISIONS

Number DESCRIPTION DATE

PROJECT NO: 0520-0020  
DATE: February 25, 2022

Food Service Equipment  
Exhaust Hood Details

FS502

2nd PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	110	117

AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION, Q.S.11-31







	18	17	16	15	14	13	12	11	10	9	8	7	6	5	4	3	2	1
P																		
N																		
M																		
L																		
K																		
J																		
H																		
G																		
F																		
E																		
D																		
C																		
B																		
A																		
8/31/2021 1:47:09 PM																		

											ELECTRICAL										PLUMBING										
ITEM	NUMBER	AMOUNT REQUIRED	PURCHASED ITEM	EXISTING/RELOCATE	FUTURE/VENDOR/OWNER	FABRICATED ITEM	MILLWORK	ITEM	DESCRIPTION										VOLTS & PHASE	KILOWATTS/AMPS	HORSEPOWER	JUNCTION BOX	CONVENIENCE OUTLET	HOT WATER	COLD WATER	R/O WATER REQD.	DIRECT WASTE WITH CLEANOUT	INDIRECT WASTE	EXTEND DRAIN TO F.S.	GAS BTU.U. IN 1000'S	COMMENTS
1	1	X							AIR SCREEN, 48"	120	7.5 A.		X						1/2"	1/2"		1-1/2"				WIRED TO DOOR ACTUATED MICRO-SWITCH					
2	3	X							SINK, HAND WASH																	PROVIDE SUPPORT IN WALL					
3	1	X							WALK-IN, COOLER/FREEZER	120	1.0 KW		X													LIGHTS AND HEATER WIRES					
4	1	X							COIL, COOLER	120	2.0 A.		X									1"	X								
5	1	X							REFRIGERATION SYSTEM, COOLER	208/3	6.2 A.		X													WEIGHT: 188 lbs. SEE ARCH. DWGS. FOR LOCATION					
6	1	X							COIL, FREEZER	208/1	9.4 A.		X									1"	X			DRAIN LINE WRAPPED w/HEATER WIRE					
7	1	X							REFRIGERATION SYSTEM, FREEZER	208/3	9.6 A.		X													WEIGHT: 315 lbs. SEE ARCH. DWGS. FOR LOCATION					
8	12	X							SHELVING, 36" x 18"																						
9	5	X							SHELVING, 36" x 18"																	THREE SECURITY ENCLOSURE KITS					
10	1	X							JANITOR SINK, CABINET									1/2"	1/2"		2"										
11	1	X							PRE-RINSE									1/2"	1/2"												
12	2	X							POT AND PAN SHELVING, PORTABLE																						
13	1	X							SINK, THREE COMPARTMENT									1/2"	1/2"			2"	X			PLUMB THRU GREASE INTERCEPTOR					
14	1	X							SHELF, UTENSIL RACK, WALL MOUNTED																	PROVIDE SUPPORT IN WALL					
15	1	X							DISHMACHINE, UNDERCOUNTER	208/1	24.7 A.		X						3/4"		1-1/2"	X									
16	1	X							ICE MACHINE w/BIN	120	10.0 A.			X					1/2"		1/2"	X				PLUMB WATER FILTER UPSTREAM. CORD AND PLUG NEMA 5-15P					
17	1	X							SINK, PREP									1/2"	1/2"			2"	X								
18	1	X							SHELF, WALL MOUNTED																	PROVIDE SUPPORT IN WALL					
19	4	X							TABLE, WORK, PORTABLE																						
20									SPARE NUMBER																						
21	2	X							TABLE, WORK w/OVERSHELF, PORTABLE																						
22	1	X							REFRIGERATOR, WORKTOP	120	4.5 A.		X													CORD AND PLUG NEMA 5-15P					
23	1	X							MICROWAVE OVEN	120	13.0 A.			X												CORD AND PLUG. NEMA 5-15P					
24	1	X							EXHAUST HOOD	120	1.0 K.W.		X													LIGHTS PRE-WIRED TO J.B.					
25	1	X							FIRE SUPPRESSION SYSTEM	120	15.0 A.		X													DEDICATED CIRCUIT. MECHANICAL SOLENOID					
26	1	X			X				S/S WALL FLASHING																						
27	1	X							DOUBBLE CONVECTION OVEN	(2)120	7.9 A.		X											144	(2)3/4" N.P.T., NATURAL GAS						
28	1	X							RANGE, SIX BURNER w/OVEN															243	3/4" N.P.T., NATURAL GAS						
29	1	X							RANGE, SIX BURNER w/OVEN															243	3/4" N.P.T., NATURAL GAS						
30									SPARE NUMBER																						
31	1	X							GRIDDLE, 24" w/STAND															60	3/4" N.P.T., NATURAL GAS						
32	1	X							FRYER w/FILTER	120	5.6 A.		X											100	3/4" N.P.T., NATURAL GAS. CORD AND PLUG.						
33	2	X			X				CHANNEL GUARD																						
34									SPARE NUMBER																						
35									SPARE NUMBER																						

FOOD SERVICE EQUIPMENT SCHEDULE

SCALE: NOT TO SCHEDULE

multistudio

kansas city • lawrence • new orleans  
phoenix • san francisco

EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

OWNER:  
City of Phoenix  
200 W. Washington Street  
Phoenix, AZ 85003  
602.262.6011  
www.phoenix.gov

OWNER'S ENGINEER:  
Wilson & Company  
420 N. 44th Street Suite 400  
Phoenix, AZ 85008  
602.383.2703  
www.wilsonco.com

ARCHITECT:  
Multistudio  
511 South 3rd Street #300  
Phoenix, AZ 85004  
602.253.5381  
multi.studio

MECHANICAL ENGINEER:  
Applied Engineering  
2885 S. Rural Road #300  
Tempe, AZ 85282  
480.360.3070  
www.appliedengineering.com

HISTORIC PRESERVATION:  
Ryden Architects  
902 W. McDowell Road  
Phoenix, AZ 85007  
www.rydenarchitects.com

LANDSCAPE ARCHITECT:  
Floor Associates  
1425 N. 1st Street #1007  
Phoenix, AZ 85004  
602.462.1425  
www.floorassociates.com

STRUCTURAL ENGINEER:  
BDA design  
1047 E. Greenway Plaza #750  
Scottsdale, AZ 85254  
480.388.7729

FOOD SERVICE:  
Design-Tec Food Facilities  
8346 N. 5th Street  
Phoenix, AZ 85020  
602.270.0232

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

THESE DRAWINGS ARE PROVIDED FOR COORDINATION PURPOSES. REFER TO SEALED ENGINEERING DRAWINGS FOR CODE COMPLIANCE REVIEW

REVISIONS

Number DESCRIPTION DATE

PROJECT NO: 0520-0020  
DATE: February 25, 2022

Food Service Equipment  
Schedule

FS601

2nd PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	112	117

AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION. Q.S.11-31



15

14

13

12

11

10

9

8

7

6

5

4

3

2

1

PLANTING & IRRIG. NOTES

1. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY QUANTITIES INCLUDING TREES, SHRUBS, GROUNDCOVERS, DECOMPOSED GRANITE, MULCH & OTHER ITEMS SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION OF MAJOR DISCREPANCIES. IN CASE OF A DISCREPANCY BETWEEN THE NUMBER OF PLANTS INDICATED ON THE PLANT LIST, THE DRAWINGS SHALL BE ACCEPTED AS CORRECT.

2. ALL LANDSCAPE AND IRRIGATION MATERIALS & INSTALLATION SHALL COMPLY WITH SECTIONS 424, 425, 430 757 AND 795 OF THE M.A.G. SPECIFICATIONS.

3. IRRIGATION VALVE BOXES: INSTALL GREEN IRRIGATION BOXES IN TURF AREAS & TAN IRRIGATION BOXES IN ALL OTHER AREAS. BOXES SHALL BE LOCATED A MINIMUM OF 6' BEHIND ALL CIRCULATION AREAS & SHALL BE ORGANIZED IN AN ORDERLY MANNER INCLUDING GROUPING BOXES TOGETHER & SETTING THE BOXES IN LINE WITH ADJACENT WALKS AND CURBS. BOXES SHALL BE SET FLUSH WITH FINISH GRADE.

4. CONTRACTOR SHALL BE RESPONSIBLE FOR FULL IRRIGATION COVERAGE OF ALL PLANT MATERIAL.

5. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY COVER, BOXES, LIDS & MANHOLES IN AN EXPOSED CONDITION.

6. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS SET FORTH IN THE AMERICAN STANDARDS OF NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN & BY THE ARIZONA NURSERY ASSOCIATION RECOMMENDED TREE SPECIFICATIONS. BOX SIZES ARE SHOWN FOR REFERENCE ONLY.

7. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE.

8. SUBSTITUTIONS SHALL NOT BE ALLOWED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT.

9. LOCATE PLANTS AWAY FROM SPRINKLER HEADS, LIGHT FIXTURES & OTHER OBSTRUCTIONS.

10. THE CONTRACTOR SHALL REQUEST INSPECTION OF PLANT LAYOUT IN THE FIELD BY THE LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS IN ADVANCE FOR APPROVAL UNLESS OTHERWISE AGREED UPON.

11. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT SHRUBS & CONTAINER TREES FOR CONDITIONS OF ROOTBALLS. THE CONTRACTOR SHALL REQUEST INSPECTION 24 HOURS IN ADVANCE OF PLANTING. UPON SUCH INSPECTIONS IF THE ROOTBALL CONDITION IS UNACCEPTABLE THE CONTRACTOR SHALL SUPPLY REPLACEMENT PLANT AT NO COST.

12. WATER TEST ALL TREE PLANTING HOLES PRIOR TO PLANTING. IF TREE HOLE DOES NOT DRAIN WITHIN A 24 HOUR PERIOD, REFER TO HARDPAN DETAIL.

13. SEE SPECIFICATIONS FOR PLANTING BACKFILL MIX.

14. ALL TOP SOIL MIXTURES FOR PLANTS SHALL BE FREE OF GRASS AND NOXIOUS WEEDS. SEE SECTION 795 OF THE M.A.G. SPECIFICATIONS.

15. PLANTING AND IRRIGATION DESIGN MAY BE MODIFIED TO ADAPT TO WALK CONFIGURATIONS THAT DIFFER FROM THESE PLANS OR BECAUSE OF GRADE LIMITATIONS ON SITE.

16. SHRUBS AND GROUNDCOVER SHALL BE PLANTED A MINIMUM OF 3' AWAY FROM THE EDGE OF WALKS, WALLS, BUILDINGS AND CURBS UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT.

17. MAINTAIN 5' CLEARANCE OF CACTI FROM ALL PEDESTRIAN ROUTES UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT.

18. MAINTAIN 5' CLEARANCE OF PLANT MATERIAL FROM ALL FIRE HYDRANTS AND/OR FIRE DEPARTMENT CONNECTIONS ON SITE.

14

13

12

11

10

9

8

7

6

5

4

3

2

1

PLANTING & IRRIG. NOTES

19. SIGHT DISTANCE TRIANGLES SHALL BE CLEAR OF LANDSCAPING & OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 2 FEET. TREES WITHIN THE TRIANGLES SHALL HAVE A CANOPY THAT BEGINS AT 7 FEET IN HEIGHT UPON INSTALLATION.

20. ALL LANDSCAPED AREAS SHALL BE SPRAYED WITH WEED KILLER SUCH AS 'ROUND-UP' PER MANUFACTURER'S RECOMMENDATIONS & ALL WEEDS REMOVED 7-10 DAYS PRIOR TO PLACEMENT OF DECOMPOSED GRANITE.

21. ALL LANDSCAPE AREAS SHALL BE TREATED WITH PRE-EMERGENT AS PER MANUFACTURER'S INSTRUCTIONS -- WITH THE EXCEPTION OF AREAS RECEIVING SEED MIX. DEAD DEBRIS SHALL BE PROPERLY DISPOSED OF PRIOR TO PLACEMENT OF DECOMPOSED GRANITE.

22. THE CONTRACTOR SHALL PROVIDE THE LANDSCAPE ARCHITECT WITH A LETTER CERTIFYING THE CHEMICAL, DATE AND RATE OF APPLICATION FOR BOTH WEED KILLER AND PRE-EMERGENT.

23. LANDSCAPE AREAS NOT OTHERWISE COVERED BY TURF, PAVING OR BUILDINGS SHALL BE DECOMPOSED GRANITE -- 2" DEPTH UNLESS OTHERWISE NOTED. LANDSCAPE CONTRACTOR TO SUBMIT A QUANTITY OF TWO 5 LB. SAMPLE BAGS OF DECOMPOSED GRANITE TO LANDSCAPE ARCHITECT FOR APPROVAL.

24. AREAS OF DECOMPOSED GRANITE SHALL NOT EXCEED MORE THAN 7 FEET IN ANY DIRECTION WITHOUT PLANT MATERIAL UNLESS OTHERWISE NOTED BY THE LANDSCAPE ARCHITECT.

25. ALL ROCKS AND DEBRIS OF 1" DIA. SIZE OR LARGER SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF PRIOR TO THE PLACEMENT OF DECOMPOSED GRANITE -- WITH THE EXCEPTION OF ANY AREAS RECEIVING LARGER SIZE COBBLE. SEE PLANS FOR LOCATIONS.

26. ALL REVEGETATED PLANTING AREAS AND ANY DISTURBED AREAS SHALL RECEIVE A FINE GRADE OF NATIVE SOIL AND COBBLE TO REPRESENT THE 'NATIVE DESERT PAVEMENT' ADJACENT TO THE PROJECT -- REFER TO PLANTING DETAILS. FINAL PRODUCT SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

27. TOP DRESSING, DECOMPOSED GRANITE AND/OR DESERT PAVEMENT SHALL EXTEND UNDER SHRUBS UNLESS OTHERWISE NOTED ON THE PLANS.

28. FINISH GRADE IN ALL AREAS SHALL BE SMOOTH, EVEN AND 1/2" BELOW TOP OF CURBS, PAVING AND ADJACENT WALKS.

29. WHEN BOXED TREES ARE INSTALLED, THE BOTTOM OF THE TREE BOXES SHALL NOT BE REMOVED UPON PLANTING. THE SOIL LINE OF THE PLANTED TREE SHALL MATCH THE SURROUNDING FINISH GRADE.

30. NEW LANDSCAPING, SALVAGED PLANT MATERIAL AND LANDSCAPING INDICATED TO REMAIN WHICH IS DESTROYED, DAMAGED OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY AND LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

31. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A 1 (ONE) YEAR WARRANTY ON THE IRRIGATION SYSTEM, A 1 (ONE) YEAR WARRANTY ON ALL TREES, CACTI, OCOTILLOS AND 15 GALLON PLANT MATERIAL AND A 90 (NINETY) DAY WARRANTY ON ALL REMAINING PLANT MATERIAL.

32. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE ENTIRE PROJECT FOR A MAINTENANCE PERIOD OF 90 DAYS AFTER ACCEPTANCE OF WORK BY THE OWNER AS PER SECTION 430.8 OF THE M.A.G. SPECIFICATIONS. UPON COMPLETION OF THE MAINTENANCE PERIOD THE OWNER WILL ASSUME MAINTENANCE RESPONSIBILITIES.

33. ALL LANDSCAPE AREAS & MATERIALS, INCLUDING THOSE LOCATED IN THE RIGHT-OF-WAY SHALL BE MAINTAINED IN A HEALTHY, NEAT, WEED-FREE CONDITION. THIS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

34. CONTRACTOR SHALL PROVIDE LANDSCAPE ARCHITECT WITH NURSERY SOURCE LIST AND DIGITAL IMAGES OF ALL PLANT MATERIALS FOR REVIEW PRIOR TO PROCUREMENT OF ANY PLANT MATERIAL AND PRIOR TO SCHEDULING NURSERY VISITS.

13

12

11

10

9

8

7

6

5

4

3

2

1

CITY OF PHOENIX LANDSCAPE STANDARDS PER PHX / WU CODE, T5 DIST., SECT. 1309

A. GENERAL STANDARDS.

1. STREET TREES AND LANDSCAPING TREATMENTS SHALL BE USED FOR THE ENTIRE SITE EXCLUSIVE OF BUILDING(S) AND STRUCTURAL SHADE PROVIDED IN ACCORDANCE WITH THE LANDSCAPING REQUIREMENTS IN THIS SECTION, UNLESS THERE IS A CONFLICT WITH AN EXISTING OR PROPOSED PUBLIC UTILITY EASEMENT.

2. PLANNING AND DEVELOPMENT DEPARTMENT STAFF HAS THE AUTHORITY TO ACCEPT MODIFICATIONS TO LANDSCAPING REQUIREMENTS IN THE STREETScape TO ACCOMMODATE PUBLIC UTILITY EASEMENT CONDITIONS, AND TO ACCEPT ALTERNATIVE DESIGN SOLUTIONS CONSISTENT WITH A PEDESTRIAN ENVIRONMENT.

3. IF STREET TREES CANNOT BE PLANTED IN THE RIGHT-OF-WAY, ARCHITECTURALLY OR ARTISTICALLY INTEGRATED PUBLIC AMENITIES SHOULD BE PROVIDED. AMENITIES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

A. STRUCTURAL SHADE ELEMENTS (MAY BE CANTILEVERED).

B. SEATING (BENCHES/CHAIRS).

C. PUBLIC ART ELEMENTS.

D. COMMUNITY INFORMATION/NEWS EVENT BOARD/KIOSK.

E. AREA WAYFINDING SIGNAGE.

F. DESIGNER LIGHT FIXTURES.

G. ADDITIONAL BIKE RACKS.

4. STREET FURNITURE MAY BE LOCATED WITHIN THE PLANTER AREA. STREET FURNITURE MAY BE LOCATED ON PUBLIC SIDEWALKS ONLY WHEN ADDITIONAL WIDTH IS AVAILABLE IN COMPLIANCE WITH ADA ACCESSIBILITY REQUIREMENTS.

B. PLANTING GUIDELINES.

1. SHADE TREES ARE LIMITED TO THOSE SPECIFIED IN TABLE 1309.1. ALTERNATE TREE SPECIES MAY BE APPROVED IF THEY ARE ON THE ARIZONA DEPARTMENT OF WATER RESOURCES PHOENIX AMA-3550 LIST. TREE LOCATIONS IN CONFLICT WITH OVERHEAD POWER LINES MAY USE ALTERNATIVE TREE SPECIES THAT ARE ON THE APPROVED SRP OR APS UTILITY PLANT LIST.

A. MINIMUM CALIPER: TWO INCHES.

B. TREES IN THE RIGHT-OF-WAY SHOULD BE PLACED 25 FEET ON CENTER OR EQUIVALENT GROUPING.

C. A MINIMUM TWO-FOOT SIX-INCH RADIUS SHALL BE CLEAR OF HARDSCAPE AROUND THE BASE OF THE TREE.

D. AT INSTALLATION A MINIMUM 30 PERCENT OF ALL TREES SHALL HAVE A MINIMUM CALIPER OF THREE INCHES.

E. FIFTY PERCENT LIVING VEGETATION GROUND COVERAGE SHOULD BE PROVIDED WHEN A LANDSCAPE STRIP IS PRESENT OR REQUIRED AS PART OF REDEVELOPMENT.

F. WHEN PROVIDING A DOUBLE ROW OF TREES IN THE FRONT SETBACK OR IN THE RIGHT-OF-WAY, TREES SHOULD BE A MINIMUM OF TWO-INCH CALIPER WITH 30 PERCENT OF ALL TREES A MINIMUM OF THREE-INCH CALIPER. THE ROWS SHOULD BE PLACED PARALLEL ON EITHER SIDE OF THE SIDEWALK AND WHEN POSSIBLE, STAGGERED, TO PROVIDE FOR MAXIMUM SHADE.

2. SOIL VOLUME FOR SHADE TREE PLANTING IS REQUIRED ACCORDING TO TREE SPACING AS SPECIFIED ON TABLE 1309.2 AND AS FOLLOWS:

A. ROOT PATHS, SOIL TRENCHES, SOIL VAULTS, ENGINEERED SOIL SOLUTIONS, AND SUSPENDED SIDEWALK SYSTEMS ARE PERMITTED TO MEET SOIL VOLUME REQUIREMENTS.

B. UP TO 20 PERCENT OF REQUIRED SOIL VOLUME MAY BE FULFILLED BY STRUCTURAL SOIL.

C. SOIL COMPACTED DURING CONSTRUCTION SHOULD BE EXCAVATED AND WATER SETTLED.

3. ALL TREES PLANTED WITHIN TEN FEET OF A PUBLIC WATER/SEWER MAIN MUST COMPLY WITH THE WATER SERVICES DEPARTMENT'S DESIGN STANDARDS MANUAL FOR WATER AND WASTEWATER SYSTEMS OR AS APPROVED BY THE WATER SERVICES DEPARTMENT.

C. TREE SPECIES GUIDELINES. THE FOLLOWING SHOULD BE USED IN ACCORDANCE WITH THE GUIDELINES ESTABLISHED BELOW FOR TYPE OF TREES WITHIN THE WU CODE

D. EXISTING LANDSCAPE.

1. EXISTING NOXIOUS OR INVASIVE PLANTS SPECIES IDENTIFIED IN TABLE 1309.3 SHOULD BE REMOVED.

2. REMOVAL OF EXISTING PLANTS MEETING THE FOLLOWING CRITERIA SHOULD BE MINIMIZED:

A. TREES WITH FOUR-INCH CALIPER OR LARGER;

B. NATIVE CACTI THREE-FOOT AND TALLER OR NONNATIVE CACTI SIX-FOOT AND TALLER.

E. PROHIBITED PLANTS.

1. THE FOLLOWING PLANTS ARE PROHIBITED:

A. ARTIFICIAL PLANTS AND ARTIFICIAL TURF EXCEPT AT ACTIVE RECREATION SPORTS FIELDS.

B. NOXIOUS OR INVASIVE PLANTS SPECIES AS IDENTIFIED ON THE UNIVERSITY OF ARIZONA NONNATIVE INVASIVE PLANTS OF ARIZONA LIST AND TABLE 1309.3.

12

11

10

9

8

7

6

5

4

3

2

1

CITY OF PHOENIX LANDSCAPE STANDARDS PER PHX / WU CODE, T5 DIST., SECT. 1309

A. GENERAL STANDARDS.

1. STREET TREES AND LANDSCAPING TREATMENTS SHALL BE USED FOR THE ENTIRE SITE EXCLUSIVE OF BUILDING(S) AND STRUCTURAL SHADE PROVIDED IN ACCORDANCE WITH THE LANDSCAPING REQUIREMENTS IN THIS SECTION, UNLESS THERE IS A CONFLICT WITH AN EXISTING OR PROPOSED PUBLIC UTILITY EASEMENT.

2. PLANNING AND DEVELOPMENT DEPARTMENT STAFF HAS THE AUTHORITY TO ACCEPT MODIFICATIONS TO LANDSCAPING REQUIREMENTS IN THE STREETScape TO ACCOMMODATE PUBLIC UTILITY EASEMENT CONDITIONS, AND TO ACCEPT ALTERNATIVE DESIGN SOLUTIONS CONSISTENT WITH A PEDESTRIAN ENVIRONMENT.

3. IF STREET TREES CANNOT BE PLANTED IN THE RIGHT-OF-WAY, ARCHITECTURALLY OR ARTISTICALLY INTEGRATED PUBLIC AMENITIES SHOULD BE PROVIDED. AMENITIES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

A. STRUCTURAL SHADE ELEMENTS (MAY BE CANTILEVERED).

B. SEATING (BENCHES/CHAIRS).

C. PUBLIC ART ELEMENTS.

D. COMMUNITY INFORMATION/NEWS EVENT BOARD/KIOSK.

E. AREA WAYFINDING SIGNAGE.

F. DESIGNER LIGHT FIXTURES.

G. ADDITIONAL BIKE RACKS.

4. STREET FURNITURE MAY BE LOCATED WITHIN THE PLANTER AREA. STREET FURNITURE MAY BE LOCATED ON PUBLIC SIDEWALKS ONLY WHEN ADDITIONAL WIDTH IS AVAILABLE IN COMPLIANCE WITH ADA ACCESSIBILITY REQUIREMENTS.

B. PLANTING GUIDELINES.

1. SHADE TREES ARE LIMITED TO THOSE SPECIFIED IN TABLE 1309.1. ALTERNATE TREE SPECIES MAY BE APPROVED IF THEY ARE ON THE ARIZONA DEPARTMENT OF WATER RESOURCES PHOENIX AMA-3550 LIST. TREE LOCATIONS IN CONFLICT WITH OVERHEAD POWER LINES MAY USE ALTERNATIVE TREE SPECIES THAT ARE ON THE APPROVED SRP OR APS UTILITY PLANT LIST.

A. MINIMUM CALIPER: TWO INCHES.

B. TREES IN THE RIGHT-OF-WAY SHOULD BE PLACED 25 FEET ON CENTER OR EQUIVALENT GROUPING.

C. A MINIMUM TWO-FOOT SIX-INCH RADIUS SHALL BE CLEAR OF HARDSCAPE AROUND THE BASE OF THE TREE.

D. AT INSTALLATION A MINIMUM 30 PERCENT OF ALL TREES SHALL HAVE A MINIMUM CALIPER OF THREE INCHES.

E. FIFTY PERCENT LIVING VEGETATION GROUND COVERAGE SHOULD BE PROVIDED WHEN A LANDSCAPE STRIP IS PRESENT OR REQUIRED AS PART OF REDEVELOPMENT.

F. WHEN PROVIDING A DOUBLE ROW OF TREES IN THE FRONT SETBACK OR IN THE RIGHT-OF-WAY, TREES SHOULD BE A MINIMUM OF TWO-INCH CALIPER WITH 30 PERCENT OF ALL TREES A MINIMUM OF THREE-INCH CALIPER. THE ROWS SHOULD BE PLACED PARALLEL ON EITHER SIDE OF THE SIDEWALK AND WHEN POSSIBLE, STAGGERED, TO PROVIDE FOR MAXIMUM SHADE.

2. SOIL VOLUME FOR SHADE TREE PLANTING IS REQUIRED ACCORDING TO TREE SPACING AS SPECIFIED ON TABLE 1309.2 AND AS FOLLOWS:

A. ROOT PATHS, SOIL TRENCHES, SOIL VAULTS, ENGINEERED SOIL SOLUTIONS, AND SUSPENDED SIDEWALK SYSTEMS ARE PERMITTED TO MEET SOIL VOLUME REQUIREMENTS.

B. UP TO 20 PERCENT OF REQUIRED SOIL VOLUME MAY BE FULFILLED BY STRUCTURAL SOIL.

C. SOIL COMPACTED DURING CONSTRUCTION SHOULD BE EXCAVATED AND WATER SETTLED.

3. ALL TREES PLANTED WITHIN TEN FEET OF A PUBLIC WATER/SEWER MAIN MUST COMPLY WITH THE WATER SERVICES DEPARTMENT'S DESIGN STANDARDS MANUAL FOR WATER AND WASTEWATER SYSTEMS OR AS APPROVED BY THE WATER SERVICES DEPARTMENT.

C. TREE SPECIES GUIDELINES. THE FOLLOWING SHOULD BE USED IN ACCORDANCE WITH THE GUIDELINES ESTABLISHED BELOW FOR TYPE OF TREES WITHIN THE WU CODE

D. EXISTING LANDSCAPE.

1. EXISTING NOXIOUS OR INVASIVE PLANTS SPECIES IDENTIFIED IN TABLE 1309.3 SHOULD BE REMOVED.

2. REMOVAL OF EXISTING PLANTS MEETING THE FOLLOWING CRITERIA SHOULD BE MINIMIZED:

A. TREES WITH FOUR-INCH CALIPER OR LARGER;

B. NATIVE CACTI THREE-FOOT AND TALLER OR NONNATIVE CACTI SIX-FOOT AND TALLER.

E. PROHIBITED PLANTS.

1. THE FOLLOWING PLANTS ARE PROHIBITED:

A. ARTIFICIAL PLANTS AND ARTIFICIAL TURF EXCEPT AT ACTIVE RECREATION SPORTS FIELDS.

B. NOXIOUS OR INVASIVE PLANTS SPECIES AS IDENTIFIED ON THE UNIVERSITY OF ARIZONA NONNATIVE INVASIVE PLANTS OF ARIZONA LIST AND TABLE 1309.3.

11

10

9

8

7

6

5

4

3

2

1

CITY OF PHOENIX LANDSCAPE STANDARDS PER PHX / WU CODE, T5 DIST., SECT. 1309

A. GENERAL STANDARDS.

1. STREET TREES AND LANDSCAPING TREATMENTS SHALL BE USED FOR THE ENTIRE SITE EXCLUSIVE OF BUILDING(S) AND STRUCTURAL SHADE PROVIDED IN ACCORDANCE WITH THE LANDSCAPING REQUIREMENTS IN THIS SECTION, UNLESS THERE IS A CONFLICT WITH AN EXISTING OR PROPOSED PUBLIC UTILITY EASEMENT.

2. PLANNING AND DEVELOPMENT DEPARTMENT STAFF HAS THE AUTHORITY TO ACCEPT MODIFICATIONS TO LANDSCAPING REQUIREMENTS IN THE STREETScape TO ACCOMMODATE PUBLIC UTILITY EASEMENT CONDITIONS, AND TO ACCEPT ALTERNATIVE DESIGN SOLUTIONS CONSISTENT WITH A PEDESTRIAN ENVIRONMENT.

3. IF STREET TREES CANNOT BE PLANTED IN THE RIGHT-OF-WAY, ARCHITECTURALLY OR ARTISTICALLY INTEGRATED PUBLIC AMENITIES SHOULD BE PROVIDED. AMENITIES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

A. STRUCTURAL SHADE ELEMENTS (MAY BE CANTILEVERED).

B. SEATING (BENCHES/CHAIRS).

C. PUBLIC ART ELEMENTS.

D. COMMUNITY INFORMATION/NEWS EVENT BOARD/KIOSK.

E. AREA WAYFINDING SIGNAGE.

F. DESIGNER LIGHT FIXTURES.

G. ADDITIONAL BIKE RACKS.

4. STREET FURNITURE MAY BE LOCATED WITHIN THE PLANTER AREA. STREET FURNITURE MAY BE LOCATED ON PUBLIC SIDEWALKS ONLY WHEN ADDITIONAL WIDTH IS AVAILABLE IN COMPLIANCE WITH ADA ACCESSIBILITY REQUIREMENTS.

B. PLANTING GUIDELINES.

1. SHADE TREES ARE LIMITED TO THOSE SPECIFIED IN TABLE 1309.1. ALTERNATE TREE SPECIES MAY BE APPROVED IF THEY ARE ON THE ARIZONA DEPARTMENT OF WATER RESOURCES PHOENIX AMA-3550 LIST. TREE LOCATIONS IN CONFLICT WITH OVERHEAD POWER LINES MAY USE ALTERNATIVE TREE SPECIES THAT ARE ON THE APPROVED SRP OR APS UTILITY PLANT LIST.

A. MINIMUM CALIPER: TWO INCHES.

B. TREES IN THE RIGHT-OF-WAY SHOULD BE PLACED 25 FEET ON CENTER OR EQUIVALENT GROUPING.

C. A MINIMUM TWO-FOOT SIX-INCH RADIUS SHALL BE CLEAR OF HARDSCAPE AROUND THE BASE OF THE TREE.

D. AT INSTALLATION A MINIMUM 30 PERCENT OF ALL TREES SHALL HAVE A MINIMUM CALIPER OF THREE INCHES.

E. FIFTY PERCENT LIVING VEGETATION GROUND COVERAGE SHOULD BE PROVIDED WHEN A LANDSCAPE STRIP IS PRESENT OR REQUIRED AS PART OF REDEVELOPMENT.

F. WHEN PROVIDING A DOUBLE ROW OF TREES IN THE FRONT SETBACK OR IN THE RIGHT-OF-WAY, TREES SHOULD BE A MINIMUM OF TWO-INCH CALIPER WITH 30 PERCENT OF ALL TREES A MINIMUM OF THREE-INCH CALIPER. THE ROWS SHOULD BE PLACED PARALLEL ON EITHER SIDE OF THE SIDEWALK AND WHEN POSSIBLE, STAGGERED, TO PROVIDE FOR MAXIMUM SHADE.

2. SOIL VOLUME FOR SHADE TREE PLANTING IS REQUIRED ACCORDING TO TREE SPACING AS SPECIFIED ON TABLE 1309.2 AND AS FOLLOWS:

A. ROOT PATHS, SOIL TRENCHES, SOIL VAULTS, ENGINEERED SOIL SOLUTIONS, AND SUSPENDED SIDEWALK SYSTEMS ARE PERMITTED TO MEET SOIL VOLUME REQUIREMENTS.

B. UP TO 20 PERCENT OF REQUIRED SOIL VOLUME MAY BE FULFILLED BY STRUCTURAL SOIL.

C. SOIL COMPACTED DURING CONSTRUCTION SHOULD BE EXCAVATED AND WATER SETTLED.

3. ALL TREES PLANTED WITHIN TEN FEET OF A PUBLIC WATER/SEWER MAIN MUST COMPLY WITH THE WATER SERVICES DEPARTMENT'S DESIGN STANDARDS MANUAL FOR WATER AND WASTEWATER SYSTEMS OR AS APPROVED BY THE WATER SERVICES DEPARTMENT.

C. TREE SPECIES GUIDELINES. THE FOLLOWING SHOULD BE USED IN ACCORDANCE WITH THE GUIDELINES ESTABLISHED BELOW FOR TYPE OF TREES WITHIN THE WU CODE

D. EXISTING LANDSCAPE.

1. EXISTING NOXIOUS OR INVASIVE PLANTS SPECIES IDENTIFIED IN TABLE 1309.3 SHOULD BE REMOVED.

2. REMOVAL OF EXISTING PLANTS MEETING THE FOLLOWING CRITERIA SHOULD BE MINIMIZED:

A. TREES WITH FOUR-INCH CALIPER OR LARGER;

B. NATIVE CACTI THREE-FOOT AND TALLER OR NONNATIVE CACTI SIX-FOOT AND TALLER.

E. PROHIBITED PLANTS.

1. THE FOLLOWING PLANTS ARE PROHIBITED:

A. ARTIFICIAL PLANTS AND ARTIFICIAL TURF EXCEPT AT ACTIVE RECREATION SPORTS FIELDS.

B. NOXIOUS OR INVASIVE PLANTS SPECIES AS IDENTIFIED ON THE UNIVERSITY OF ARIZONA NONNATIVE INVASIVE PLANTS OF ARIZONA LIST AND TABLE 1309.3.

10

9

8

7

6

5

4

3

2

1

CITY OF PHOENIX LANDSCAPE STANDARDS PER PHX / WU CODE, T5 DIST., SECT. 1309

A. GENERAL STANDARDS.

1. STREET TREES AND LANDSCAPING TREATMENTS SHALL BE USED FOR THE ENTIRE SITE EXCLUSIVE OF BUILDING(S) AND STRUCTURAL SHADE PROVIDED IN ACCORDANCE WITH THE LANDSCAPING REQUIREMENTS IN THIS SECTION, UNLESS THERE IS A CONFLICT WITH AN EXISTING OR PROPOSED PUBLIC UTILITY EASEMENT.

2. PLANNING AND DEVELOPMENT DEPARTMENT STAFF HAS THE AUTHORITY TO ACCEPT MODIFICATIONS TO LANDSCAPING REQUIREMENTS IN THE STREETScape TO ACCOMMODATE PUBLIC UTILITY EASEMENT CONDITIONS, AND TO ACCEPT ALTERNATIVE DESIGN SOLUTIONS CONSISTENT WITH A PEDESTRIAN ENVIRONMENT.

3. IF STREET TREES CANNOT BE PLANTED IN THE RIGHT-OF-WAY, ARCHITECTURALLY OR ARTISTICALLY INTEGRATED PUBLIC AMENITIES SHOULD BE PROVIDED. AMENITIES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

A. STRUCTURAL SHADE ELEMENTS (MAY BE CANTILEVERED).

B. SEATING (BENCHES/CHAIRS).

C. PUBLIC ART ELEMENTS.

D. COMMUNITY INFORMATION/NEWS EVENT BOARD/KIOSK.

E. AREA WAYFINDING SIGNAGE.

F. DESIGNER LIGHT FIXTURES.

G. ADDITIONAL BIKE RACKS.

4. STREET FURNITURE MAY BE LOCATED WITHIN THE PLANTER AREA. STREET FURNITURE MAY BE LOCATED ON PUBLIC SIDEWALKS ONLY WHEN ADDITIONAL WIDTH IS AVAILABLE IN COMPLIANCE WITH ADA ACCESSIBILITY REQUIREMENTS.

B. PLANTING GUIDELINES.

1. SHADE TREES ARE LIMITED TO THOSE SPECIFIED IN TABLE 1309.1. ALTERNATE TREE SPECIES MAY BE APPROVED IF THEY ARE ON THE ARIZONA DEPARTMENT OF WATER RESOURCES PHOENIX AMA-3550 LIST. TREE LOCATIONS IN CONFLICT WITH OVERHEAD POWER LINES MAY USE ALTERNATIVE TREE SPECIES THAT ARE ON THE APPROVED SRP OR APS UTILITY PLANT LIST.

A. MINIMUM CALIPER: TWO INCHES.

B. TREES IN THE RIGHT-OF-WAY SHOULD BE PLACED 25 FEET ON CENTER OR EQUIVALENT GROUPING.

C. A MINIMUM TWO-FOOT SIX-INCH RADIUS SHALL BE CLEAR OF HARDSCAPE AROUND THE BASE OF THE TREE.

D. AT INSTALLATION A MINIMUM 30 PERCENT OF ALL TREES SHALL HAVE A MINIMUM CALIPER OF THREE INCHES.

E. FIFTY PERCENT LIVING VEGETATION GROUND COVERAGE SHOULD BE PROVIDED WHEN A LANDSCAPE STRIP IS PRESENT OR REQUIRED AS PART OF REDEVELOPMENT.

F. WHEN PROVIDING A DOUBLE ROW OF TREES IN THE FRONT SETBACK OR IN THE RIGHT-OF-WAY, TREES SHOULD BE A MINIMUM OF TWO-INCH CALIPER WITH 30 PERCENT OF ALL TREES A MINIMUM OF THREE-INCH CALIPER. THE ROWS SHOULD BE PLACED PARALLEL ON EITHER SIDE OF THE SIDEWALK AND WHEN POSSIBLE, STAGGERED, TO PROVIDE FOR MAXIMUM SHADE.

2. SOIL VOLUME FOR SHADE TREE PLANTING IS REQUIRED ACCORDING TO TREE SPACING AS SPECIFIED ON TABLE 1309.2 AND AS FOLLOWS:

A. ROOT PATHS, SOIL TRENCHES, SOIL VAULTS, ENGINEERED SOIL SOLUTIONS, AND SUSPENDED SIDEWALK SYSTEMS ARE PERMITTED TO MEET SOIL VOLUME REQUIREMENTS.

B. UP TO 20 PERCENT OF REQUIRED SOIL VOLUME MAY BE FULFILLED BY STRUCTURAL SOIL.

C. SOIL COMPACTED DURING CONSTRUCTION SHOULD BE EXCAVATED AND WATER SETTLED.

3. ALL TREES PLANTED WITHIN TEN FEET OF A PUBLIC WATER/SEWER MAIN MUST COMPLY WITH THE WATER SERVICES DEPARTMENT'S DESIGN STANDARDS MANUAL FOR WATER AND WASTEWATER SYSTEMS OR AS APPROVED BY THE WATER SERVICES DEPARTMENT.

C. TREE SPECIES GUIDELINES. THE FOLLOWING SHOULD BE USED IN ACCORDANCE WITH THE GUIDELINES ESTABLISHED BELOW FOR TYPE OF TREES WITHIN THE WU CODE

D. EXISTING LANDSCAPE.

1. EXISTING NOXIOUS OR INVASIVE PLANTS SPECIES IDENTIFIED IN TABLE 1309.3 SHOULD BE REMOVED.

2. REMOVAL OF EXISTING PLANTS MEETING THE FOLLOWING CRITERIA SHOULD BE MINIMIZED:

A. TREES WITH FOUR-INCH CALIPER OR LARGER;

B. NATIVE CACTI THREE-FOOT AND TALLER OR NONNATIVE CACTI SIX-FOOT AND TALLER.

E. PROHIBITED PLANTS.

1. THE FOLLOWING PLANTS ARE PROHIBITED:

A. ARTIFICIAL PLANTS AND ARTIFICIAL TURF EXCEPT AT ACTIVE RECREATION SPORTS FIELDS.

B. NOXIOUS OR INVASIVE PLANTS SPECIES AS IDENTIFIED ON THE UNIVERSITY OF ARIZONA NONNATIVE INVASIVE PLANTS OF ARIZONA LIST AND TABLE 1309.3.

9

8

7

6

5

4

3

2

1

CITY OF PHOENIX LANDSCAPE STANDARDS PER PHX / WU CODE, T5 DIST., SECT. 1309

A. GENERAL STANDARDS.

1. STREET TREES AND LANDSCAPING TREATMENTS SHALL BE USED FOR THE ENTIRE SITE EXCLUSIVE OF BUILDING(S) AND STRUCTURAL SHADE PROVIDED IN ACCORDANCE WITH THE LANDSCAPING REQUIREMENTS IN THIS SECTION, UNLESS THERE IS A CONFLICT WITH AN EXISTING OR PROPOSED PUBLIC UTILITY EASEMENT.

2. PLANNING AND DEVELOPMENT DEPARTMENT STAFF HAS THE AUTHORITY TO ACCEPT MODIFICATIONS TO LANDSCAPING REQUIREMENTS IN THE STREETScape TO ACCOMMODATE PUBLIC UTILITY EASEMENT CONDITIONS, AND TO ACCEPT ALTERNATIVE DESIGN SOLUTIONS CONSISTENT WITH A PEDESTRIAN ENVIRONMENT.

3. IF STREET TREES CANNOT BE PLANTED IN THE RIGHT-OF-WAY, ARCHITECTURALLY OR ARTISTICALLY INTEGRATED PUBLIC AMENITIES SHOULD BE PROVIDED. AMENITIES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

A. STRUCTURAL SHADE ELEMENTS (MAY BE CANTILEVERED).

B. SEATING (BENCHES/CHAIRS).

C. PUBLIC ART ELEMENTS.

D. COMMUNITY INFORMATION/NEWS EVENT BOARD/KIOSK.

E. AREA WAYFINDING SIGNAGE.

F. DESIGNER LIGHT FIXTURES.

G. ADDITIONAL BIKE RACKS.

4. STREET FURNITURE MAY BE LOCATED WITHIN THE PLANTER AREA. STREET FURNITURE MAY BE LOCATED ON PUBLIC SIDEWALKS ONLY WHEN ADDITIONAL WIDTH IS AVAILABLE IN COMPLIANCE WITH ADA ACCESSIBILITY REQUIREMENTS.

B. PLANTING GUIDELINES.

1. SHADE TREES ARE LIMITED TO THOSE SPECIFIED IN TABLE 1309.1. ALTERNATE TREE SPECIES MAY BE APPROVED IF THEY ARE ON THE ARIZONA DEPARTMENT OF WATER RESOURCES PHOENIX AMA-3550 LIST. TREE LOCATIONS IN CONFLICT WITH OVERHEAD POWER LINES MAY USE ALTERNATIVE TREE SPECIES THAT ARE ON THE APPROVED SRP OR APS UTILITY PLANT LIST.

A. MINIMUM CALIPER: TWO INCHES.

B. TREES IN THE RIGHT-OF-WAY SHOULD BE PLACED 25 FEET ON CENTER OR EQUIVALENT GROUPING.

C. A MINIMUM TWO-FOOT SIX-INCH RADIUS SHALL BE CLEAR OF HARDSCAPE AROUND THE BASE OF THE TREE.

D. AT INSTALLATION A MINIMUM 30 PERCENT OF ALL TREES SHALL HAVE A MINIMUM CALIPER OF THREE INCHES.

E. FIFTY PERCENT LIVING VEGETATION GROUND COVERAGE SHOULD BE PROVIDED WHEN A LANDSCAPE STRIP IS PRESENT OR REQUIRED AS PART OF REDEVELOPMENT.

F. WHEN PROVIDING A DOUBLE ROW OF TREES IN THE FRONT SETBACK OR IN THE RIGHT-OF-WAY, TREES SHOULD BE A MINIMUM OF TWO-INCH CALIPER WITH 30 PERCENT OF ALL TREES A MINIMUM OF THREE-INCH CALIPER. THE ROWS SHOULD BE PLACED PARALLEL ON EITHER SIDE OF THE SIDEWALK AND WHEN POSSIBLE, STAGGERED, TO PROVIDE FOR MAXIMUM SHADE.

2. SOIL VOLUME FOR SHADE TREE PLANTING IS REQUIRED ACCORDING TO TREE SPACING AS SPECIFIED ON TABLE 1309.2 AND AS FOLLOWS:

A. ROOT PATHS, SOIL TRENCHES, SOIL VAULTS, ENGINEERED SOIL SOLUTIONS, AND SUSPENDED SIDEWALK SYSTEMS ARE PERMITTED TO MEET SOIL VOLUME REQUIREMENTS.

B. UP TO 20 PERCENT OF REQUIRED SOIL VOLUME MAY BE FULFILLED BY STRUCTURAL SOIL.

C. SOIL COMPACTED DURING CONSTRUCTION SHOULD BE EXCAVATED AND WATER SETTLED.

3. ALL TREES PLANTED WITHIN TEN FEET OF A PUBLIC WATER/SEWER MAIN MUST COMPLY WITH THE WATER SERVICES DEPARTMENT'S DESIGN STANDARDS MANUAL FOR WATER AND WASTEWATER SYSTEMS OR AS APPROVED BY THE WATER SERVICES DEPARTMENT.

C. TREE SPECIES GUIDELINES. THE FOLLOWING SHOULD BE USED IN ACCORDANCE WITH THE GUIDELINES ESTABLISHED BELOW FOR TYPE OF TREES WITHIN THE WU CODE

D. EXISTING LANDSCAPE.

1. EXISTING NOXIOUS OR INVASIVE PLANTS SPECIES IDENTIFIED IN TABLE 1309.3 SHOULD BE REMOVED.

2. REMOVAL OF EXISTING PLANTS MEETING THE FOLLOWING CRITERIA SHOULD BE MINIMIZED:

A. TREES WITH FOUR-INCH CALIPER OR LARGER;

B. NATIVE CACTI THREE-FOOT AND TALLER OR NONNATIVE CACTI SIX-FOOT AND TALLER.

E. PROHIBITED PLANTS.

1. THE FOLLOWING PLANTS ARE PROHIBITED:

A. ARTIFICIAL PLANTS AND ARTIFICIAL TURF EXCEPT AT ACTIVE RECREATION SPORTS FIELDS.

B. NOXIOUS OR INVASIVE PLANTS SPECIES AS IDENTIFIED ON THE UNIVERSITY OF ARIZONA NONNATIVE INVASIVE PLANTS OF ARIZONA LIST AND TABLE 1309.3.

8

7

6

5

4

3

2

1

CITY OF PHOENIX LANDSCAPE STANDARDS PER PHX / WU CODE, T5 DIST., SECT. 1309

A. GENERAL STANDARDS.

1. STREET TREES AND LANDSCAPING TREATMENTS SHALL BE USED FOR THE ENTIRE SITE EXCLUSIVE OF BUILDING(S) AND STRUCTURAL SHADE PROVIDED IN ACCORDANCE WITH THE LANDSCAPING REQUIREMENTS IN THIS SECTION, UNLESS THERE IS A CONFLICT WITH AN EXISTING OR PROPOSED PUBLIC UTILITY EASEMENT.

2. PLANNING AND DEVELOPMENT DEPARTMENT STAFF HAS THE AUTHORITY TO ACCEPT MODIFICATIONS TO LANDSCAPING REQUIREMENTS IN THE STREETScape TO ACCOMMODATE PUBLIC UTILITY EASEMENT CONDITIONS, AND TO ACCEPT ALTERNATIVE DESIGN SOLUTIONS CONSISTENT WITH A PEDESTRIAN ENVIRONMENT.

3. IF STREET TREES CANNOT BE PLANTED IN THE RIGHT-OF-WAY, ARCHITECTURALLY OR ARTISTICALLY INTEGRATED PUBLIC AMENITIES SHOULD BE PROVIDED. AMENITIES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

A. STRUCTURAL SHADE ELEMENTS (MAY BE CANTILEVERED).

B. SEATING (BENCHES/CHAIRS).

C. PUBLIC ART ELEMENTS.

D. COMMUNITY INFORMATION/NEWS EVENT BOARD/KIOSK.

E. AREA WAYFINDING SIGNAGE.

F. DESIGNER LIGHT FIXTURES.

G. ADDITIONAL BIKE RACKS.

4. STREET FURNITURE MAY BE LOCATED WITHIN THE PLANTER AREA. STREET FURNITURE MAY BE LOCATED ON PUBLIC SIDEWALKS ONLY WHEN ADDITIONAL WIDTH IS AVAILABLE IN COMPLIANCE WITH ADA ACCESSIBILITY REQUIREMENTS.

B. PLANTING GUIDELINES.

1. SHADE TREES ARE LIMITED TO THOSE SPECIFIED IN TABLE 1309.1. ALTERNATE TREE SPECIES MAY BE APPROVED IF THEY ARE ON THE ARIZONA DEPARTMENT OF WATER RESOURCES PHOENIX AMA-3550 LIST. TREE LOCATIONS IN CONFLICT WITH OVERHEAD POWER LINES MAY USE ALTERNATIVE TREE SPECIES THAT ARE ON THE APPROVED SRP OR APS UTILITY PLANT LIST.

A. MINIMUM CALIPER: TWO INCHES.

B. TREES IN THE RIGHT-OF-WAY SHOULD BE PLACED 25 FEET ON CENTER OR EQUIVALENT GROUPING.

C. A MINIMUM TWO-FOOT SIX-INCH RADIUS SHALL BE CLEAR OF HARDSCAPE AROUND THE BASE OF THE TREE.

D. AT INSTALLATION A MINIMUM 30 PERCENT OF ALL TREES SHALL HAVE A MINIMUM CALIPER OF THREE INCHES.

E. FIFTY PERCENT LIVING VEGETATION GROUND COVERAGE SHOULD BE PROVIDED WHEN A LANDSCAPE STRIP IS PRESENT OR REQUIRED AS PART OF REDEVELOPMENT.

F. WHEN PROVIDING A DOUBLE ROW OF TREES IN THE FRONT SETBACK OR IN THE RIGHT-OF-WAY, TREES SHOULD BE A MINIMUM OF TWO-INCH CALIPER WITH 30 PERCENT OF ALL TREES A MINIMUM OF THREE-INCH CALIPER. THE ROWS SHOULD BE PLACED PARALLEL ON EITHER SIDE OF THE SIDEWALK AND WHEN POSSIBLE, STAGGERED, TO PROVIDE FOR MAXIMUM SHADE.

2. SOIL VOLUME FOR SHADE TREE PLANTING IS REQUIRED ACCORDING TO TREE SPACING AS SPECIFIED ON TABLE 1309.2 AND AS FOLLOWS:

A. ROOT PATHS, SOIL TRENCHES, SOIL VAULTS, ENGINEERED SOIL SOLUTIONS, AND SUSPENDED SIDEWALK SYSTEMS ARE PERMITTED TO MEET SOIL VOLUME REQUIREMENTS.

B. UP TO 20 PERCENT OF REQUIRED SOIL VOLUME MAY BE FULFILLED BY STRUCTURAL SOIL.

C. SOIL COMPACTED DURING CONSTRUCTION SHOULD BE EXCAVATED AND WATER SETTLED.

3. ALL TREES PLANTED WITHIN TEN FEET OF A PUBLIC WATER/SEWER MAIN MUST COMPLY WITH THE WATER SERVICES DEPARTMENT'S DESIGN STANDARDS MANUAL FOR WATER AND WASTEWATER SYSTEMS OR AS APPROVED BY THE WATER SERVICES DEPARTMENT.

C. TREE SPECIES GUIDELINES. THE FOLLOWING SHOULD BE USED IN ACCORDANCE WITH THE GUIDELINES ESTABLISHED BELOW FOR TYPE OF TREES WITHIN THE WU CODE

D. EXISTING LANDSCAPE.

1. EXISTING NOXIOUS OR INVASIVE PLANTS SPECIES IDENTIFIED IN TABLE 1309.3 SHOULD BE REMOVED.

2. REMOVAL OF EXISTING PLANTS MEETING THE FOLLOWING CRITERIA SHOULD BE MINIMIZED:

A. TREES WITH FOUR-INCH CALIPER OR LARGER;

B. NATIVE CACTI THREE-FOOT AND TALLER OR NONNATIVE CACTI SIX-FOOT AND TALLER.

E. PROHIBITED PLANTS.

1. THE FOLLOWING PLANTS ARE PROHIBITED:

A. ARTIFICIAL PLANTS AND ARTIFICIAL TURF EXCEPT AT ACTIVE RECREATION SPORTS FIELDS.

B. NOXIOUS OR INVASIVE PLANTS SPECIES AS IDENTIFIED ON THE UNIVERSITY OF ARIZONA NONNATIVE INVASIVE PLANTS OF ARIZONA LIST AND TABLE 1309.3.

7

6

5

4

3

2

1

CITY OF PHOENIX LANDSCAPE STANDARDS PER PHX / WU CODE, T5 DIST., SECT. 1309

A. GENERAL STANDARDS.

1. STREET TREES AND LANDSCAPING TREATMENTS SHALL BE USED FOR THE ENTIRE SITE EXCLUSIVE OF BUILDING(S) AND STRUCTURAL SHADE PROVIDED IN ACCORDANCE WITH THE LANDSCAPING REQUIREMENTS IN THIS SECTION, UNLESS THERE IS A CONFLICT WITH AN EXISTING OR PROPOSED PUBLIC UTILITY EASEMENT.

2. PLANNING AND DEVELOPMENT DEPARTMENT STAFF HAS THE AUTHORITY TO ACCEPT MODIFICATIONS TO LANDSCAPING REQUIREMENTS IN THE STREETScape TO ACCOMMODATE PUBLIC UTILITY EASEMENT CONDITIONS, AND TO ACCEPT ALTERNATIVE DESIGN SOLUTIONS CONSISTENT WITH A PEDESTRIAN ENVIRONMENT.

3. IF STREET TREES CANNOT BE PLANTED IN THE RIGHT-OF-WAY, ARCHITECTURALLY OR ARTISTICALLY INTEGRATED PUBLIC AMENITIES SHOULD BE PROVIDED. AMENITIES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

A. STRUCTURAL SHADE ELEMENTS (MAY BE CANTILEVERED).

B. SEATING (BENCHES/CHAIRS).

C. PUBLIC ART ELEMENTS.

D. COMMUNITY INFORMATION/NEWS EVENT BOARD/KIOSK.

E. AREA WAYFINDING SIGNAGE.

F. DESIGNER LIGHT FIXTURES.

G. ADDITIONAL BIKE RACKS.

4. STREET FURNITURE MAY BE LOCATED WITHIN THE PLANTER AREA. STREET FURNITURE MAY BE LOCATED ON PUBLIC SIDEWALKS ONLY WHEN ADDITIONAL WIDTH IS AVAILABLE IN COMPLIANCE WITH ADA ACCESSIBILITY REQUIREMENTS.

B. PLANTING GUIDELINES.

1. SHADE TREES ARE LIMITED TO THOSE SPECIFIED IN TABLE 1309.1. ALTERNATE TREE SPECIES MAY BE APPROVED IF THEY ARE ON THE ARIZONA DEPARTMENT OF WATER RESOURCES PHOENIX AMA-3550 LIST. TREE LOCATIONS IN CONFLICT WITH OVERHEAD POWER LINES MAY USE ALTERNATIVE TREE SPECIES THAT ARE ON THE APPROVED SRP OR APS UTILITY PLANT LIST.

A. MINIMUM CALIPER: TWO INCHES.

B. TREES IN THE RIGHT-OF-WAY SHOULD BE PLACED 25 FEET ON CENTER OR EQUIVALENT GROUPING.

C. A MINIMUM TWO-FOOT SIX-INCH RADIUS SHALL BE CLEAR OF HARDSCAPE AROUND THE BASE OF THE TREE.

D. AT INSTALLATION A MINIMUM 30 PERCENT OF ALL TREES SHALL HAVE A MINIMUM CALIPER OF THREE INCHES.

E. FIFTY PERCENT LIVING VEGETATION GROUND COVERAGE SHOULD BE PROVIDED WHEN A LANDSCAPE STRIP IS PRESENT OR REQUIRED AS PART OF REDEVELOPMENT.

F. WHEN PROVIDING A DOUBLE ROW OF TREES IN THE FRONT SETBACK OR IN THE RIGHT-OF-WAY, TREES SHOULD BE A MINIMUM OF TWO-INCH CALIPER WITH 30 PERCENT OF ALL TREES A MINIMUM OF THREE-INCH CALIPER. THE ROWS SHOULD BE PLACED PARALLEL ON EITHER SIDE OF THE SIDEWALK AND WHEN POSSIBLE, STAGGERED, TO PROVIDE FOR MAXIMUM SHADE.

2. SOIL VOLUME FOR SHADE TREE PLANTING IS REQUIRED ACCORDING TO TREE SPACING AS SPECIFIED ON TABLE 1309.2 AND AS FOLLOWS:

A. ROOT PATHS, SOIL TRENCHES, SOIL VAULTS, ENGINEERED SOIL SOLUTIONS, AND SUSPENDED SIDEWALK SYSTEMS ARE PERMITTED TO MEET SOIL VOLUME REQUIREMENTS.

B. UP TO 20 PERCENT OF REQUIRED SOIL VOLUME MAY BE FULFILLED BY STRUCTURAL SOIL.

C. SOIL COMPACTED DURING CONSTRUCTION SHOULD BE EXCAVATED AND WATER SETTLED.

3. ALL TREES PLANTED WITHIN TEN FEET OF A PUBLIC WATER/SEWER MAIN MUST COMPLY WITH THE WATER SERVICES DEPARTMENT'S DESIGN STANDARDS MANUAL FOR WATER AND WASTEWATER SYSTEMS OR AS APPROVED BY THE WATER SERVICES DEPARTMENT.

C. TREE SPECIES GUIDELINES. THE FOLLOWING SHOULD BE USED IN ACCORDANCE WITH THE GUIDELINES ESTABLISHED BELOW FOR TYPE OF TREES WITHIN THE WU CODE

D. EXISTING LANDSCAPE.

1. EXISTING NOXIOUS OR INVASIVE PLANTS SPECIES IDENTIFIED IN TABLE 1309.3 SHOULD BE REMOVED.

2. REMOVAL OF EXISTING PLANTS MEETING THE FOLLOWING CRITERIA SHOULD BE MINIMIZED:

A. TREES WITH FOUR-INCH CALIPER OR LARGER;

B. NATIVE CACTI THREE-FOOT AND TALLER OR NONNATIVE CACTI SIX-FOOT AND TALLER.

E. PROHIBITED PLANTS.

1. THE FOLLOWING PLANTS ARE PROHIBITED:

A. ARTIFICIAL PLANTS AND ARTIFICIAL TURF EXCEPT AT ACTIVE RECREATION SPORTS FIELDS.

B. NOXIOUS OR INVASIVE PLANTS SPECIES AS IDENTIFIED ON THE UNIVERSITY OF ARIZONA NONNATIVE INVASIVE PLANTS OF ARIZONA LIST AND TABLE 1309.3.

6

5

4

3

2

1

CITY OF PHOENIX LANDSCAPE STANDARDS PER PHX / WU CODE, T5 DIST., SECT. 1309

A. GENERAL STANDARDS.

1. STREET TREES AND LANDSCAPING TREATMENTS SHALL BE USED FOR THE ENTIRE SITE EXCLUSIVE OF BUILDING(S) AND STRUCTURAL SHADE PROVIDED IN ACCORDANCE WITH THE LANDSCAPING REQUIREMENTS IN THIS SECTION, UNLESS THERE IS A CONFLICT WITH AN EXISTING OR PROPOSED PUBLIC UTILITY EASEMENT.

2. PLANNING AND DEVELOPMENT DEPARTMENT STAFF HAS THE AUTHORITY TO ACCEPT MODIFICATIONS TO LANDSCAPING REQUIREMENTS IN THE STREETScape TO ACCOMMODATE PUBLIC UTILITY EASEMENT CONDITIONS, AND TO ACCEPT ALTERNATIVE DESIGN SOLUTIONS CONSISTENT WITH A PEDESTRIAN ENVIRONMENT.

3. IF STREET TREES CANNOT BE PLANTED IN THE RIGHT-OF-WAY, ARCHITECTURALLY OR ARTISTICALLY INTEGRATED PUBLIC AMENITIES SHOULD BE PROVIDED. AMENITIES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

A. STRUCTURAL SHADE ELEMENTS (MAY BE CANTILEVERED).

B. SEATING (BENCHES/CHAIRS).

C. PUBLIC ART ELEMENTS.

D. COMMUNITY INFORMATION/NEWS EVENT BOARD/KIOSK.

E. AREA WAYFINDING SIGNAGE.

F. DESIGNER LIGHT FIXTURES.

G. ADDITIONAL BIKE RACKS.

4. STREET FURNITURE MAY BE LOCATED WITHIN THE PLANTER AREA. STREET FURNITURE MAY BE LOCATED ON PUBLIC SIDEWALKS ONLY WHEN ADDITIONAL WIDTH IS AVAILABLE IN COMPLIANCE WITH ADA ACCESSIBILITY REQUIREMENTS.

B. PLANTING GUIDELINES.

1. SHADE TREES ARE LIMITED TO THOSE SPECIFIED IN TABLE 1309.1. ALTERNATE TREE SPECIES MAY BE APPROVED IF THEY ARE ON THE ARIZONA DEPARTMENT OF WATER RESOURCES PHOENIX AMA-3550 LIST. TREE LOCATIONS IN CONFLICT WITH OVERHEAD POWER LINES MAY USE ALTERNATIVE TREE SPECIES THAT ARE ON THE APPROVED SRP OR APS UTILITY PLANT LIST.

A. MINIMUM CALIPER: TWO INCHES.

B. TREES IN THE RIGHT-OF-WAY SHOULD BE PLACED 25 FEET ON CENTER OR EQUIVALENT GROUPING.

C. A MINIMUM TWO-FOOT SIX-INCH RADIUS SHALL BE CLEAR OF



EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

OWNER:  
CITY OF PHOENIX  
200 W. WASHINGTON ST PHOENIX, AZ 85003  
602.262.6011 | WWW.PHOENIX.GOV

CIVIL ENGINEER:  
WILSON & COMPANY  
410 N 44TH ST SUITE 460 PHOENIX, AZ 85008  
602.283.2701 | WWW.WILSONCO.COM

LANDSCAPE ARCHITECT:  
FLOOR ASSOCIATES  
KRISTINA FLOOR KRIS@FLOORASSOCIATES.COM  
1425 N. 1ST ST #1607 PHOENIX, AZ 85004  
602.462.1425 | WWW.FLOORASSOCIATES.COM

ARCHITECT:  
MULTISTUDIO  
521 S. 3RD ST #100 PHOENIX, AZ 85004  
602.234.1140 | MULTI.STUDIO

STRUCTURAL ENGINEER:  
BDA DESIGN  
7047 E. GREENWAY PKWY #250 SCOTTSDALE, AZ 85254  
480.398.7729 | WWW.BDADESIGN.COM

MECHANICAL/ELECTRICAL ENGINEER:  
APPLIED ENGINEERING  
2800 S. RURAL ROAD #101 TEMPE, AZ 85282  
480.968.3070 | WWW.APPLIEDENGINEERING.COM

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



EXPIRES: 12/31/23

**FLOOR**  
associates

1425 N. First Street  
Second Floor  
Phoenix, AZ 85004  
602.462.1425  
602.462.1427

REVISIONS

#	DESCRIPTION	DATE
01	PROGRESS PRINT	05.21.21
02	PSP	05.28.21
03	50% CDS	06.30.21
04	PSP-2ND SUBMITTAL	07.29.21
05	95% CDS	09.03.21
06	1ST PERMIT REVIEW	10.26.21
07	2ND PERMIT REVIEW	06.15.22

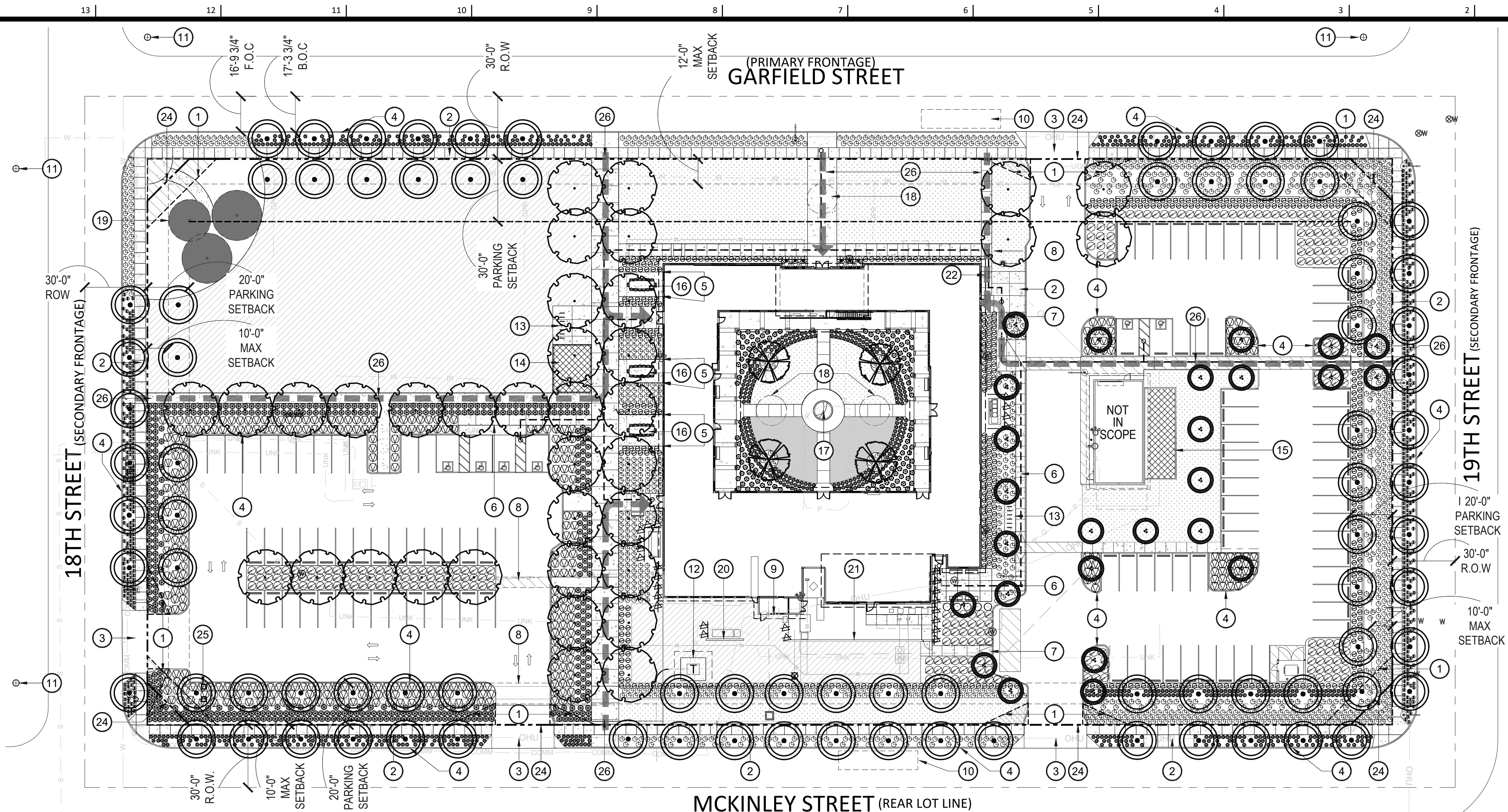
PROJECT NO: 0520-0020  
DATE: JUNE 15, 2022

Landscape Details

L101

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	114	117



PLANT LEGEND

SYM.	BOTANICAL NAME COMMON NAME	SIZE	MIN. CAL HT X W	QTY.
------	-------------------------------	------	--------------------	------

TREES

●	ACACIA ANEURA MULGA	2.0" CAL 9' H X 6' W	86
●	FRAXINUS VELUTINA 'FAN TEX' FAN TEX ASH	3.5" CAL 14' H X 9' W	36
●	SOPHORA SECUNDIFLORA TEXAS MOUNTAIN LAUREL	2.0" CAL 6' H X 4' W	26
●	ULMUS PARVIFOLIA CHINESE ELM	2.5" CAL 12' H X 10' W	4

SHRUBS

●	CALLISTEMON 'LITTLE JOHN' LITTLE JOHN DWARF BOTTLEBRUSH	5 GAL	378
●	LEUCOPHYLLUM LANGMANIAE 'LYNN'S LEGACY' LYNN'S LEGACY SAGE	5 GAL	6
●	MYRTUS COMMUNIS 'COMPACTA' DWARF MYRTLE	5 GAL	546
●	TECOMA X SIERRA APRICOT SIERRA APRICOT ESPERANZA	5 GAL	5

ACCENTS

●	EUPHORBIA RIGIDA GOPHER SPURGE	5 GAL	8
●	HESPERALOE PAVIFLORA RED YUCCA	5 GAL	487
●	HESPERALOE PARVIFLORA 'PERPA' BRAKELIGHTS CRIMSON YUCCA	5 GAL	952
●	HESPERALOE PARVIFLORA 'DESERT DUSK' DESERT DUSK YUCCA	5 GAL	132

VINES

●	BOUGAINVILLEA 'BARBARA KARST' BARBARA KARST BOUGAINVILLEA	5 GAL	27
---	--	-------	----

GROUND COVER

●	CARISSA MACROCARPA 'GREEN CARPET' GREEN CARPET DWARF NATAL PLUM	5 GAL	259
●	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	5 GAL	1398
●	RUELLIA BRITTONIANA 'KATIE' BLUE DWARF RUELLIA	5 GAL	551

SYM.	BOTANICAL NAME COMMON NAME	SIZE	MIN. CAL HT X W	QTY.
------	-------------------------------	------	--------------------	------

GARDENS

■	FLOWER, VEGETABLE, AND HERB GARDENS			988 SF
---	-------------------------------------	--	--	--------

TURF

■	HYBRID BERMUDA GRASS MID IRON	SOD		14,713 SF
---	----------------------------------	-----	--	-----------

TOPDRESS / DUST CONTROL

■	3/4" SCREENED DECOMPOSED GRANITE IN ALL LANDSCAPE AREAS; 2" MIN. DEPTH; COLOR: APACHE BROWN; AAMATERIALSINC.COM			43,450 SF
---	---	--	--	-----------

■	DECOMPOSED GRANITE 1/2" SCREENED DECOMPOSED GRANITE IN ALL LANDSCAPE AREAS; 2" MIN. DEPTH; COLOR: APACHE BROWN; AAMATERIALSINC.COM			24,134 SF
---	---	--	--	-----------

■	STABILIZED DECOMPOSED GRANITE SEE ARCH DRAWINGS FOR SIZE, COLOR AND DETAIL			
---	--	--	--	--

NOTE: THERE ARE NO EXISTING PLANTS TO REMAIN IN PLACE OR TO BE SALVAGED.

KEYNOTES

- 1 SITE VISIBILITY TRIANGLE, SEE CIVIL

2 SIDEWALK

3 DRIVEWAY

4 CURB

5 STEEL HEADER, ALIGN TO EDGE OF WINDOW. SEE ARCH FOR DETAIL

6 ACCESSIBLE PATH

7 RAMP

8 UNDERGROUND UTILITIES, SEE CIVIL
- 9 F.D.C. LOCATION, GATE ACCESS VIA KNOX BOX

10 FIRE DEPARTMENT ACCESS

11 EXISTING FIRE HYDRANT

12 TRANSFORMER-PROVIDE CLEARANCE

13 BIKE RACKS

14 POLLINATOR GARDEN

15 VEGETABLE & HERB GARDEN

16 OUTDOOR CLASSROOMS/ MEETING SPACE, TYP.
- 17 WATER FEATURE

18 COMMUNITY ART INSTALLATION BY OTHERS

19 FUTURE ART PIECE. LANDSCAPE TO BE DESIGNED IN COORDINATION WITH ARTIST

20 18' W X 8'H MASONRY SCREEN WALL

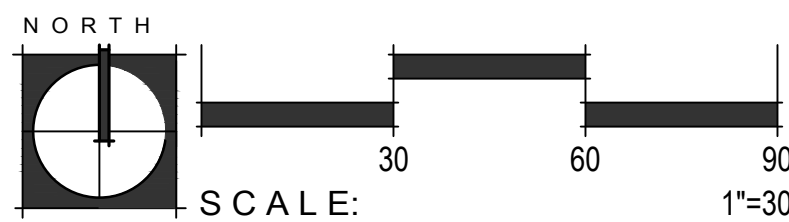
21 66'8"W X 8'H MASONRY SCREEN WALL

22 BUILDING OVERHANG, TYP.
- 23 NOT USED

24 PROPERTY LINE

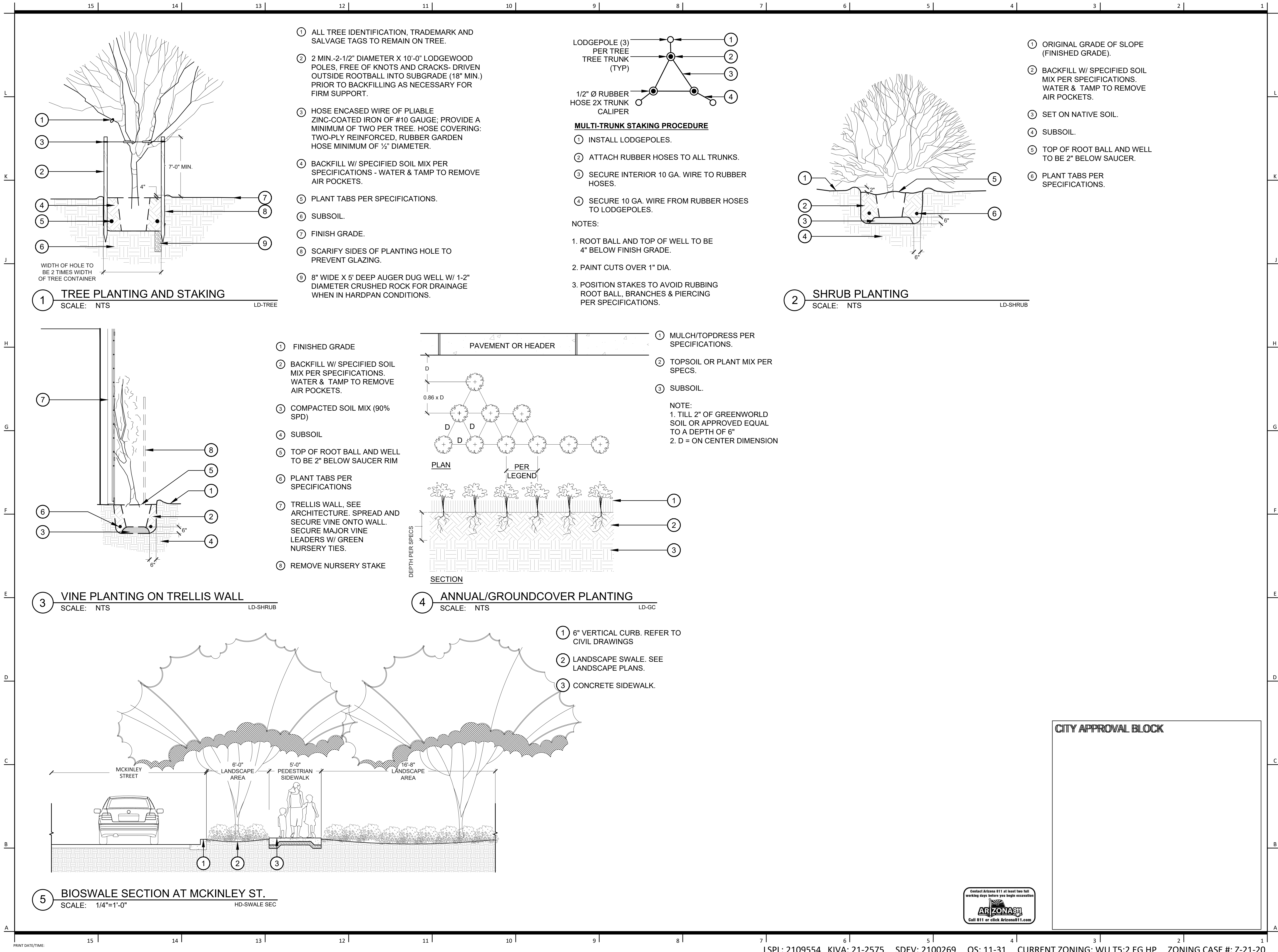
25 FIRELINE BFPU

26 ACCESSIBLE PEDESTRIAN PATHWAY

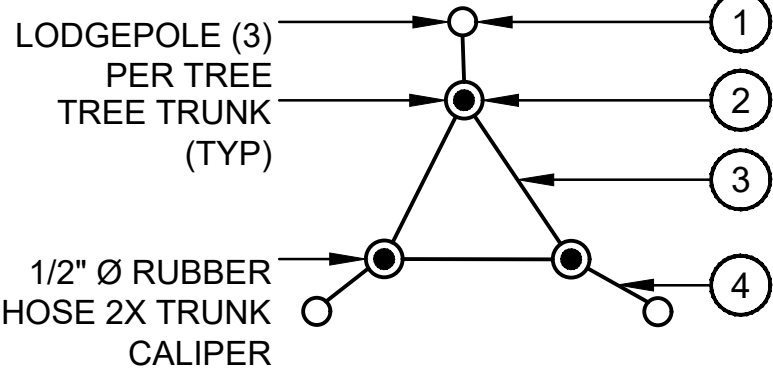


CITY APPROVAL BLOCK

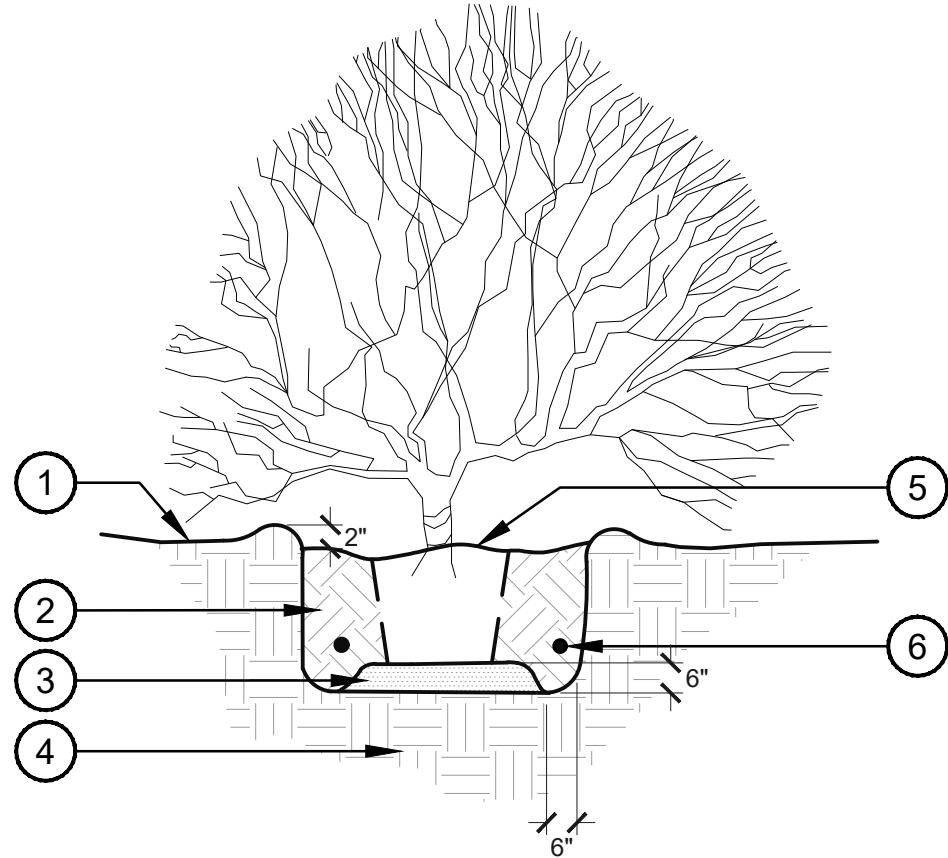




- 1 ALL TREE IDENTIFICATION, TRADEMARK AND SALVAGE TAGS TO REMAIN ON TREE.
- 2 2 MIN.-2-1/2" DIAMETER X 10'-0" LODGEWOOD POLES, FREE OF KNOTS AND CRACKS- DRIVEN OUTSIDE ROOTBALL INTO SUBGRADE (18" MIN.) PRIOR TO BACKFILLING AS NECESSARY FOR FIRM SUPPORT.
- 3 HOSE ENCASED WIRE OF PLIABLE ZINC-COATED IRON OF #10 GAUGE; PROVIDE A MINIMUM OF TWO PER TREE. HOSE COVERING: TWO-PLY REINFORCED, RUBBER GARDEN HOSE MINIMUM OF 1/2" DIAMETER.
- 4 BACKFILL W/ SPECIFIED SOIL MIX PER SPECIFICATIONS - WATER & TAMP TO REMOVE AIR POCKETS.
- 5 PLANT TABS PER SPECIFICATIONS.
- 6 SUBSOIL.
- 7 FINISH GRADE.
- 8 SCARIFY SIDES OF PLANTING HOLE TO PREVENT GLAZING.
- 9 8" WIDE X 5' DEEP AUGER DUG WELL W/ 1-2" DIAMETER CRUSHED ROCK FOR DRAINAGE WHEN IN HARDPAN CONDITIONS.

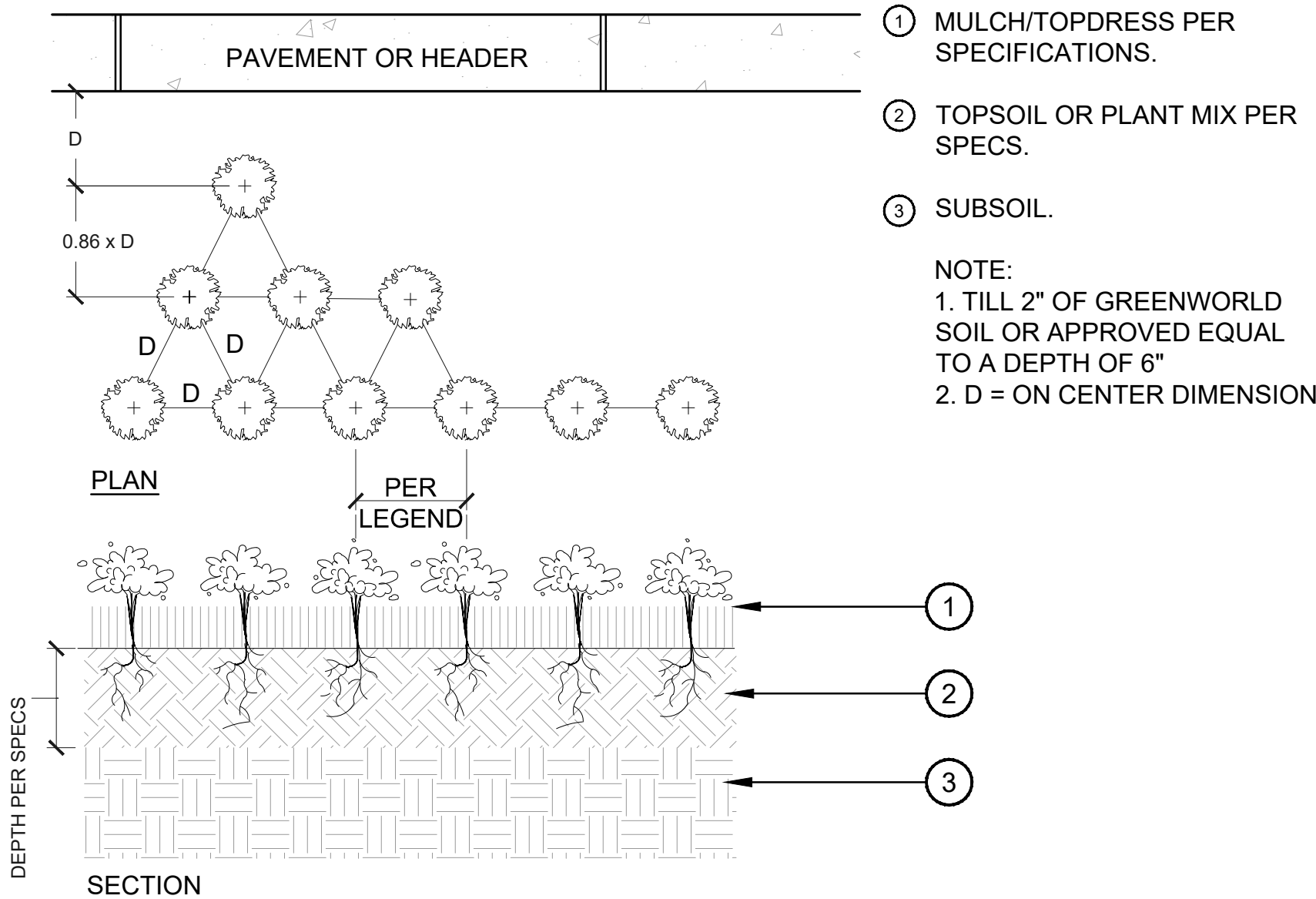


- MULTI-TRUNK STAKING PROCEDURE**
- 1 INSTALL LODGEPOLES.
  - 2 ATTACH RUBBER HOSES TO ALL TRUNKS.
  - 3 SECURE INTERIOR 10 GA. WIRE TO RUBBER HOSES.
  - 4 SECURE 10 GA. WIRE FROM RUBBER HOSES TO LODGEPOLES.
- NOTES:
- 1. ROOT BALL AND TOP OF WELL TO BE 4" BELOW FINISH GRADE.
  - 2. PAINT CUTS OVER 1" DIA.
  - 3. POSITION STAKES TO AVOID RUBBING ROOT BALL, BRANCHES & PIERCING PER SPECIFICATIONS.



- 1 ORIGINAL GRADE OF SLOPE (FINISHED GRADE).
- 2 BACKFILL W/ SPECIFIED SOIL MIX PER SPECIFICATIONS. WATER & TAMP TO REMOVE AIR POCKETS.
- 3 SET ON NATIVE SOIL.
- 4 SUBSOIL.
- 5 TOP OF ROOT BALL AND WELL TO BE 2" BELOW SAUCER.
- 6 PLANT TABS PER SPECIFICATIONS.

- 1 FINISHED GRADE
- 2 BACKFILL W/ SPECIFIED SOIL MIX PER SPECIFICATIONS. WATER & TAMP TO REMOVE AIR POCKETS.
- 3 COMPACTED SOIL MIX (90% SPD)
- 4 SUBSOIL
- 5 TOP OF ROOT BALL AND WELL TO BE 2" BELOW SAUCER RIM
- 6 PLANT TABS PER SPECIFICATIONS
- 7 TRELLIS WALL, SEE ARCHITECTURE. SPREAD AND SECURE VINE ONTO WALL. SECURE MAJOR VINE LEADERS W/ GREEN NURSERY TIES.
- 8 REMOVE NURSERY STAKE



- 1 MULCH/TOPDRESS PER SPECIFICATIONS.
  - 2 TOPSOIL OR PLANT MIX PER SPECS.
  - 3 SUBSOIL.
- NOTE:
- 1. TILL 2" OF GREENWORLD SOIL OR APPROVED EQUAL TO A DEPTH OF 6"
  - 2. D = ON CENTER DIMENSION

- 1 6" VERTICAL CURB. REFER TO CIVIL DRAWINGS
- 2 LANDSCAPE SWALE. SEE LANDSCAPE PLANS.
- 3 CONCRETE SIDEWALK.

CITY APPROVAL BLOCK



multistudio

## EDISON IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

OWNER:  
CITY OF PHOENIX  
200 W. WASHINGTON ST PHOENIX, AZ 85003  
602.262.6011 | WWW.PHOENIX.GOV

CIVIL ENGINEER:  
WILSON & COMPANY  
410 N 44TH ST SUITE 460 PHOENIX, AZ 85008  
602.283.2701 | WWW.WILSONCO.COM

LANDSCAPE ARCHITECT:  
FLOOR ASSOCIATES  
KRISTINA FLOOR KRIS@FLOORASSOCIATES.COM  
1425 N. 1ST ST #1607 PHOENIX, AZ 85004  
602.462.1425 | WWW.FLOORASSOCIATES.COM

ARCHITECT:  
MULTISTUDIO  
521 S. 3RD ST #100 PHOENIX, AZ 85004  
602.234.1140 | MULTI.STUDIO

STRUCTURAL ENGINEER:  
BDA DESIGN  
7047 E. GREENWAY PKWY #250 SCOTTSDALE, AZ 85254  
480.398.7729 | WWW.BDADESIGN.COM

MECHANICAL/ELECTRICAL ENGINEER:  
APPLIED ENGINEERING  
2800 S. RURAL ROAD #101 TEMPE, AZ 85282  
480.968.3070 | WWW.APPLIEDENGINEERING.COM

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



**FLOOR**  
associates

1425 N. First Street  
Second Floor  
Phoenix, AZ 85004

REVISIONS		
#	DESCRIPTION	DATE
01	PROGRESS PRINT	05.21.21
02	PSP	05.28.21
03	50% CDS	06.30.21
04	PSP-2NDSUBMITTAL	07.29.21
05	95% CDS	09.03.21
06	1ST PERMIT REVIEW	10.26.21
07	2ND PERMIT REVIEW	06.15.22

PROJECT NO: 0520-0020  
DATE: JUNE 15, 2022

Landscape Details  
**L201**

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	115	117



## IRRIGATION LEGEND

HUNTER PROS-04-CV SPRINKLER HEAD BODY WITH MP ROTATOR NOZZLES @ 40 PSI

○ MP800SR-F ▽ MP800SR-H ▼ MP800SR-Q

● MP800SR-T

□ MP2000-H ▢ MP2000-H ■ MP2000-Q

◻ MP3000-H ◼ MP3000-Q

● HUNTER ICV-SERIES ELEC. VALVE FOR TURF

⊕ HUNTER ICV-100 1" ELEC. VALVE, 1" Y-FILTER, AND 3/4" SENNINGER PRESSURE REGULATOR FOR DRIP

(A) HUNTER IC-600 SS32 STATION CONTROLLER

(B) HUNTER IC-600 SS 6 STATION CONTROLLER

⊙ HUNTER HQLRCR 1" QUICK COUPLER VALVE

✱ BRASS MAIN LINE BALL VALVE

⬮ FEBCO 825YA-1-1/2" R.P. BACKFLOW PREVENTER AND ENCLOSURE

M 1-1/2" WATER METER

⌘ HUNTER ICV-150 1-1/2" ELEC. VALVE FOR MASTER VALVE

⌘ HUNTER FCT-100 FLOW-SYNC

— 2" SCHEDULE 40 PVC MAIN LINE PIPE

- - - CLASS 200 PVC LATERAL LINE PIPE

— 3/4" CLASS 200 PVC PIPE FOR SHRUB EMITTERS

— 3/4" CLASS 200 PVC PIPE FOR TREE EMITTERS

USE BOWSMITH EMITTERS PER EMITTER SCHEDULE

— FLUSH END CAP

— SCHEDULE 80 PVC PIPE SLEEVE - MINIMUM 4"

— SCHEDULE 80 PVC WIRE SLEEVE - 2"

CONTROLLER STATION NO.

VALVE SIZE

1"

GPM (TURF)

SPR = SPRINKLER

S = SHRUB EMITTERS

T = TREE EMITTERS

NEW 1-1/2" IRRIG. WATER METER - SEE CIVIL  
STATION POINT  
N: 894016.82  
E: 661502.26

SITE VISIBILITY TRIANGLES

SITE VISIBILITY TRIANGLES

MCKINLEY STREET (REAR LOT LINE)

SITE VISIBILITY TRIANGLE

19TH STREET (SECONDARY FRONTAGE)

SITE VISIBILITY TRIANGLE

(PRIMARY FRONTAGE)  
GARFIELD STREET

SITE VISIBILITY TRIANGLES

SPRINKLER PLAN C - SEE BELOW

SPRINKLER PLAN D - SEE BELOW

SPRINKLER PLAN B - SEE BELOW

COORDINATE LOCATION OF IRRIGATION CONTROLLER WITH OWNER

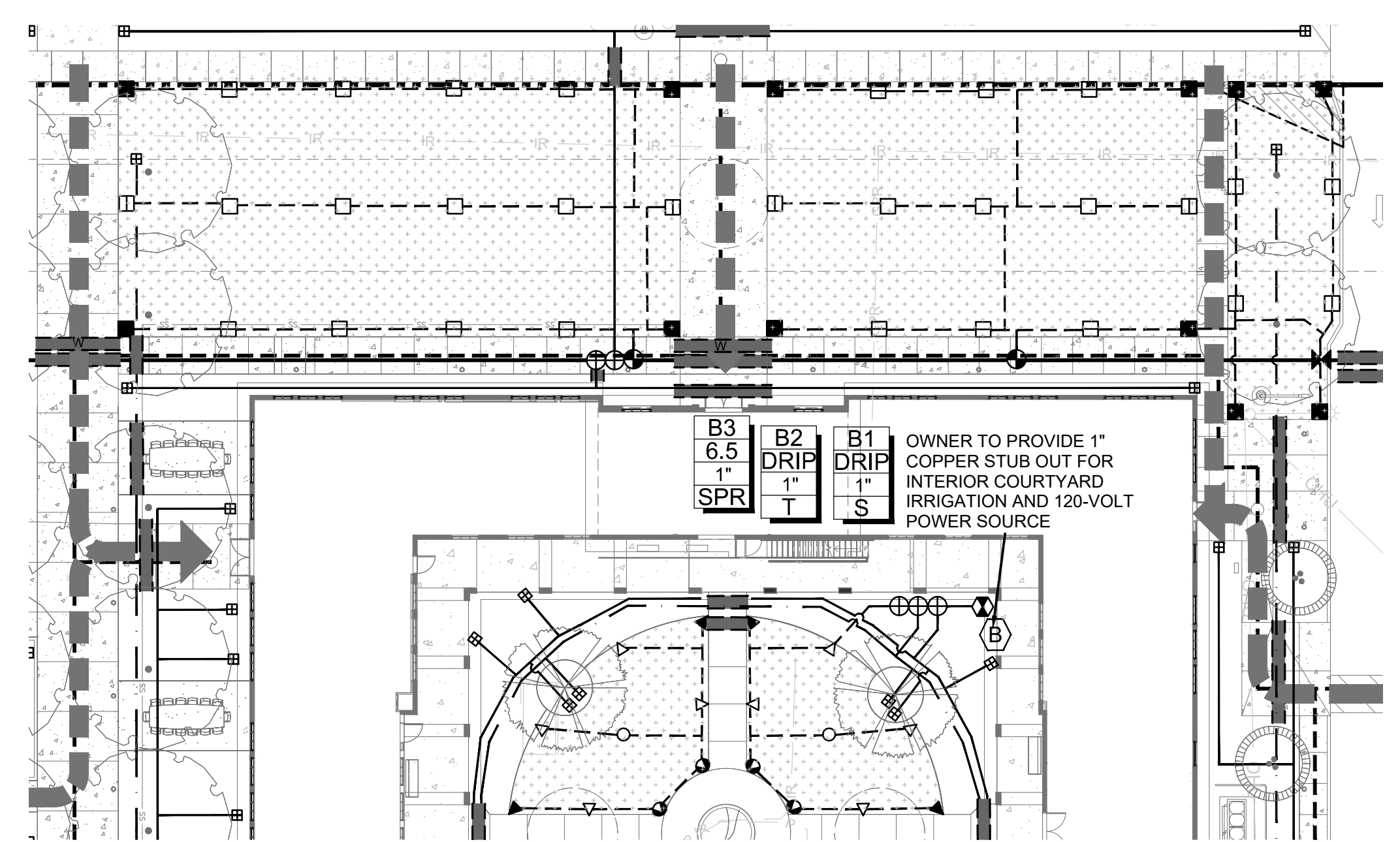
UTILITIES, SEE CIVIL

POLLINATOR GARDEN

VEG. AND HERB GARDEN

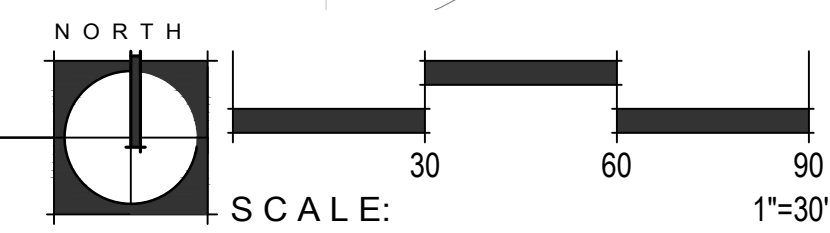
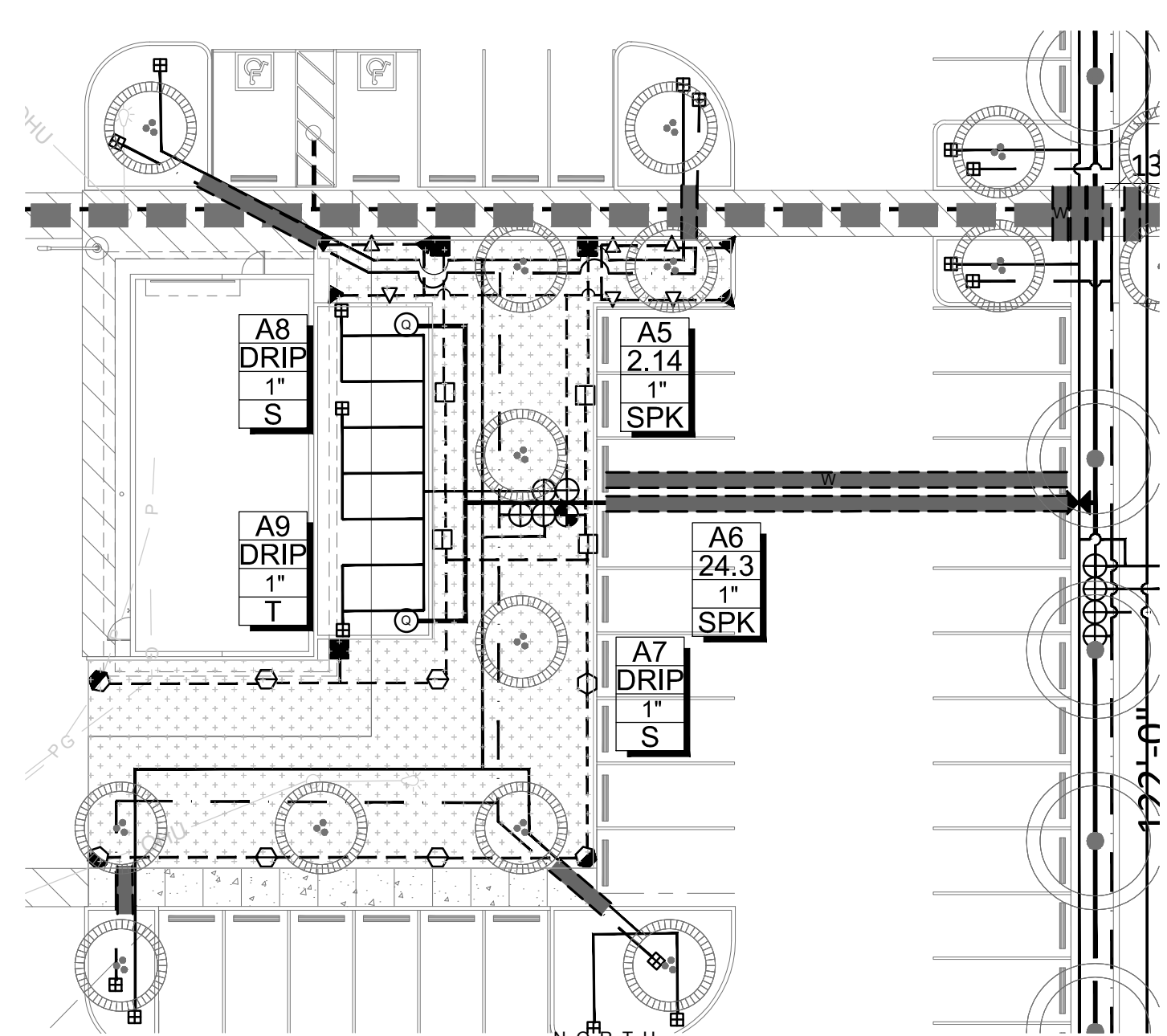
18TH STREET (SECONDARY FRONTAGE)

(A) IRRIGATION PLAN  
1"=30'



(C) SPRINKLER PLAN  
SCALE: 1"=20'

(D) SPRINKLER PLAN  
SCALE: 1"=20'



SPECTRUM  
9277 East Cherry Ln.  
P.O. Box 1219  
Peoria, Arizona 85025 USA  
Tel. 480.648.9036

SPECTRUM  
LANDSCAPE ARCHITECTS  
WWW.SPECTRUM.COM

CITY APPROVAL BLOCK

multistudio

EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

OWNER:  
CITY OF PHOENIX  
200 W. WASHINGTON ST PHOENIX, AZ 85003  
602.262.6011 | WWW.PHOENIX.GOV

CIVIL ENGINEER:  
WILSON & COMPANY  
410 N 44TH ST SUITE 460 PHOENIX, AZ 85008  
602.283.2701 | WWW.WILSONCO.COM

LANDSCAPE ARCHITECT:  
FLOOR ASSOCIATES  
KRISTINA FLOOR KRIS@FLOORASSOCIATES.COM  
1425 N. 1ST ST #1607 PHOENIX, AZ 85004  
602.462.1425 | WWW.FLOORASSOCIATES.COM

ARCHITECT:  
MULTISTUDIO  
521 S. 3RD ST #100 PHOENIX, AZ 85004  
602.234.1140 | MULTI.STUDIO

STRUCTURAL ENGINEER:  
BDA DESIGN  
7047 E. GREENWAY PKWY #250 SCOTTSDALE, AZ 85254  
480.398.7729 | WWW.BDADESIGN.COM

MECHANICAL/ELECTRICAL ENGINEER:  
APPLIED ENGINEERING  
2800 S. RURAL ROAD #101 TEMPE, AZ 85282  
480.968.3070 | WWW.APPLIEDENGINEERING.COM

Note: Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



FLOOR  
associates

1425 N. First Street  
Second Floor  
Phoenix, AZ 85004  
602.462.1425  
602.462.1427

REVISIONS		
#	DESCRIPTION	DATE
01	PROGRESS PRINT	05.21.21
02	PSP	05.28.21
03	50% CDS	06.30.21
04	PSP-2ND SUBMITTAL	07.29.21
05	95% CDS	09.03.21
06	1ST PERMIT REVIEW	10.26.21
07	2ND PERMIT REVIEW	06.15.22

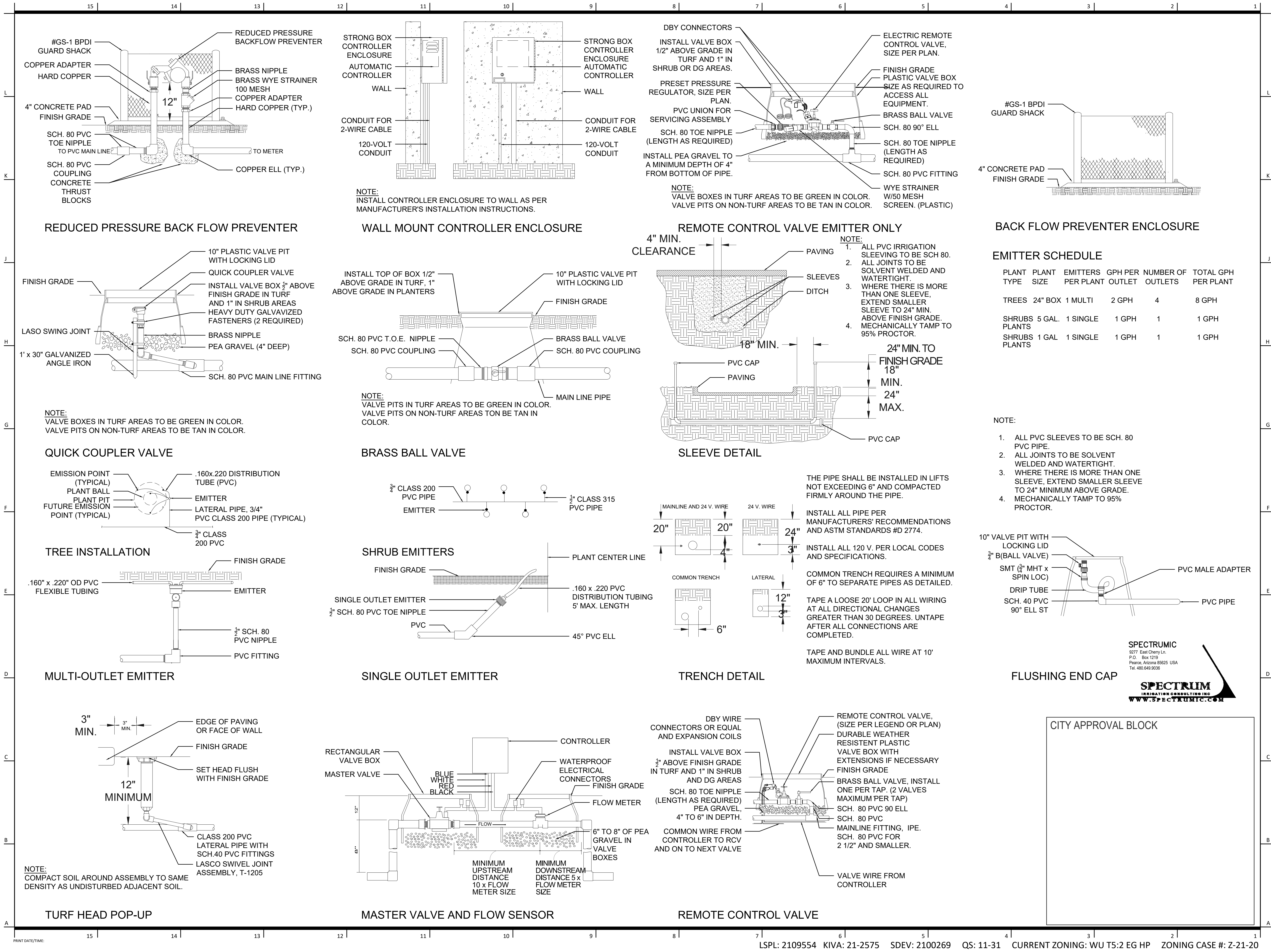
PROJECT NO: 0520-0020  
DATE: JUNE 15, 2022

Irrigation Plan  
L501

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	116	117





multistudio

EDISON  
IMPACT HUB

1824 E. MCKINLEY STREET  
PHOENIX, AZ 85006

OWNER:  
CITY OF PHOENIX  
200 W. WASHINGTON ST PHOENIX, AZ 85003  
602.262.6011 | WWW.PHOENIX.GOV

CIVIL ENGINEER:  
WILSON & COMPANY  
410 N 44TH ST SUITE 460 PHOENIX, AZ 85008  
602.283.2701 | WWW.WILSONCO.COM

LANDSCAPE ARCHITECT:  
FLOOR ASSOCIATES  
KRISTINA FLOOR KRIS@FLOORASSOCIATES.COM  
1425 N. 1ST ST #1607 PHOENIX, AZ 85004  
602.462.1425 | WWW.FLOORASSOCIATES.COM

ARCHITECT:  
MULTISTUDIO  
521 S. 3RD ST #100 PHOENIX, AZ 85004  
602.234.1140 | MULTI.STUDIO

STRUCTURAL ENGINEER:  
BDA DESIGN  
7047 E. GREENWAY PKWY #250 SCOTTSDALE, AZ 85254  
480.398.7729 | WWW.BDADESIGN.COM

MECHANICAL/ELECTRICAL ENGINEER:  
APPLIED ENGINEERING  
2800 S. RURAL ROAD #101 TEMPE, AZ 85282  
480.968.3070 | WWW.APPLIEDENGINEERING.COM

**Note:** Per City of Phoenix City Code Chapter 2, section 2-28, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

REGISTERED LANDSCAPE ARCHITECT  
22612  
KRISTINA J. FLOOR  
APPROVED  
6/15/22  
EXPIRES: 12/31/23

FLOOR  
associates

1425 N. First Street  
Second Floor  
Phoenix, AZ 85004

602.462.1425  
602.462.1427

REVISIONS

#	DESCRIPTION	DATE
01	PROGRESS PRINT	05.21.21
02	PSP	05.28.21
03	50% CDS	06.30.21
04	PSP-2NDSUBMITTAL	07.29.21
05	95% CDS	09.03.21
06	1ST PERMIT REVIEW	10.26.21
07	2ND PERMIT REVIEW	06.15.22

PROJECT NO: 0520-0020

DATE: JUNE 15, 2022

Irrigation Details

L601

2ND PERMIT REVIEW

Project Number	NO.	Total
AH20300003-2	117	117

AH20300003-2 - EDISON IMPACT HUB CONSTRUCTION. Q.S.11-31