

DESIGN PROFESSIONAL:

DES: — DFT: —
CHK: — DATE: —

REVISION LOG

NO.	DESCRIPTION	REV. BY	CHK. BY	DATE
1	CITY COMMENTS	JAH	JAH	4/12/12
2	OWNERS COMMENTS	JAH	JAH	4/12/12



APPLICABLE CODES

2006 INTERNATIONAL BUILDING CODE (IBC) WITH CITY OF PHOENIX ADJUSTMENTS
 2006 INTERNATIONAL MECHANICAL CODE (IMC) WITH CITY OF PHOENIX ADJUSTMENTS
 2006 INTERNATIONAL PLUMBING CODE (IPC) WITH CITY OF PHOENIX ADJUSTMENTS
 2008 INTERNATIONAL ELECTRICAL CODE (IEC) WITH CITY OF PHOENIX ADJUSTMENTS
 2006 INTERNATIONAL FIRE CODE (IFC) WITH CITY OF PHOENIX ADJUSTMENTS
 2006 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) WITH CITY OF PHOENIX ADJUSTMENTS
 2003 AMERICAN NATIONAL STANDARD ANSI A17.1-2003
 2006 IBC EXISTING BUILDING CODE
 -ALTERATIONS LEVEL 3

CODE SYMBOL LEGEND

	EGRESS WIDTH
	EGRESS CAPACITY
	ANTICIPATED LOAD
	NET CLEAR SQUARE FOOTAGE
	OCCUPANT LOAD
	OCCUPANCY TYPE
	TRAVEL DISTANCE (FT) AND ROUTE OF EXIT ACCESS
	1 HOUR FIRE RESISTANCE RATED CONSTRUCTION
	2 HOUR FIRE RESISTANCE RATED CONSTRUCTION
	AREA OF REFUGE
	EXISTING FIRE EXTINGUISHER CABINET
	NEW RECESSED FIRE EXTINGUISHER CABINET
	LOCATION OF ACCESSIBLE ELECTRONIC DOOR OPERATOR
	AREA OF ADDITION

BUILDING AREA SUMMARY
(GROSS FLOOR AREA)

FLOOR	EXISTING	ADDITIONS	TOTAL
FIRST	28,330 SF	1,090 SF	29,420 SF
SECOND	6,560 SF	555 SF	7,115 SF
SUB TOTAL	34,890 SF	1,645 SF	36,535 SF

CODE SUMMARY - KIOSK

OCCUPANCY: BUSINESS OCCUPANCY (B)
 CONSTRUCTION TYPE: II B
 BUILDING AREA: 122 SF
 OCCUPANCY LOAD: 2 OCCUPANTS
 EMERGENCY LIGHTS: NOT REQUIRED
 FIRE ALARM SYSTEM: NOT REQUIRED
 AUTOMATIC SPRINKLER SYSTEM: NOT REQUIRED.

PLUMBING FIXTURE COUNT:
 PER TABLE 2902.1 WATER CLOSETS LAV

GROUP 'B'
 1 1

THIS IS A FACTORY BUILT BUILDING AND REQUIRES A SEPARATE PERMIT.

CODE SUMMARY OPEN PARKING STRUCTURE

OCCUPANCY: STORAGE S-2
 CONSTRUCTION TYPE: II B

THE STRUCTURE IS OPEN ALL SIDES AND A CLEAR HEIGHT TO UNDERSIDE OF THE NON COMBUSTIBLE ROOF DECK OF 25 FEET MINIMUM. PER JOHN MERTENS, WITH THE FIRE DEPARTMENT, SPRINKLERS ARE NOT REQUIRED. THE STRUCTURE CAN ONLY BE USED FOR PARKING OF VEHICLES. PLANNING AND DEVELOPMENT DEPARTMENT IS IN AGREEMENT WITH THIS DECISION. THE ALLOWABLE AREA IS UNLIMITED PER 2006 IBC, SECTION 406.3.6, PARAGRAPH 3.

CODE SUMMARY

OCCUPANCY: MIXED USE OCCUPANCY (B & S-1)
 CONSTRUCTION TYPE: II B
 BUILDING AREA: MAINTENANCE & OPERATIONS BUILDING
 FIRST FLOOR = 29,420 SF
 SECOND FLOOR = 7,115 SF
 TOTAL = 36,535 SF
 FUELING FACILITY = 4,000 SF
 WASHING & INSPECTION = 4,000 SF

ALLOWABLE AREA: 3 STORY, 17,500 SF ALLOWABLE PER FLOOR (PER TABLE 503)

AREA MODIFICATIONS:
 At = ALLOWABLE TABULAR AREA = 17,500
 Lt = AREA INCREASE FOR FRONTAGE = 0.75
 Is = AREA INCREASE FOR SPRINKLERS = 2
 Aa = {At + [At x Lt]} + [At x Is]}

ALLOWABLE AREA PER FLOOR: 65,625 SF

BUILDING HEIGHT: 28'-5"

OCCUPANCY SEPARATIONS: NONE REQUIRED (PER TABLE 508.3.3)

OCCUPANCY CALCULATIONS:
 FIRST FLOOR = 290 OCCUPANTS
 SECOND FLR = 76 OCCUPANTS
 TOTAL = 366 OCCUPANTS

SPRINKLERED:
 EXISTING: AT MAINTENANCE BAYS
 NEW: ALTERED AREAS
 FRONTAGE = 100%

EXIT TRAVEL DISTANCE:
 B OCCUPANCY = 300' MAXIMUM ALLOWABLE
 S-1 OCCUPANCY = 250' MAXIMUM ALLOWABLE

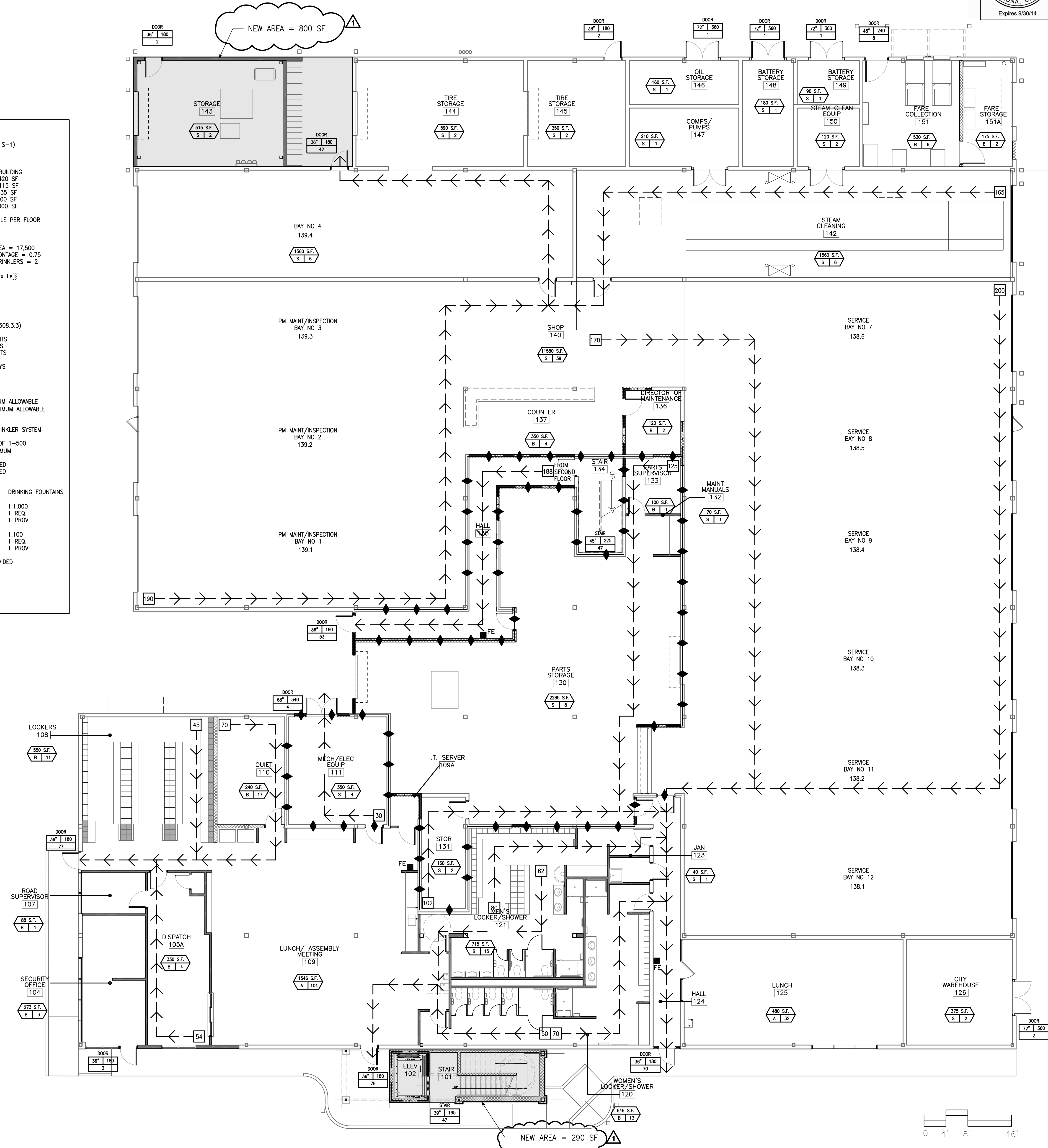
CORRIDOR FIRE-RESISTIVE RATING:
 0 HOURS REQUIRED WITH SPRINKLER SYSTEM

NUMBER OF EXITS:
 OCCUPANT LOAD PER STORY OF 1-500 REQUIRES TWO (2) EXITS MINIMUM
 FIRST FLOOR: 7 EXITS PROVIDED
 SECOND FLR: 2 EXITS PROVIDED

PLUMBING FIXTURE COUNT:
 PER TABLE 2902.1 WATER CLOSETS LAV DRINKING FOUNTAINS

FLOOR	1-100	1-100	1-1,000
FIRST FLOOR (GROUP 'S')	1:100	3 REQ.	1 REQ.
	8 PROV.	6 PROV.	1 PROV.
SECOND FLOOR (GROUP 'B')	1:80	1 REQ.	1 REQ.
	4 PROV.	4 PROV.	1 PROV.

PARKING COUNT:
 STAFF PARKING: 204 REQUIRED, 208 PROVIDED
 ACCESSIBLE: 7 REQUIRED, 7 PROVIDED
 MOTORCYCLE: - REQUIRED, 5 PROVIDED
 VISITORS: - REQUIRED, 4 PROVIDED
 TOTAL: 211 REQUIRED, 224 PROVIDED



1 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

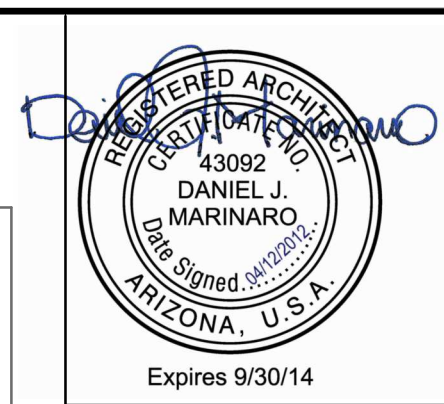
PER CITY OF PHOENIX ORDINANCE G-4396, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.

CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA

CODE COMPLIANCE
 FIRST FLOOR PLAN

DES:	DR:	SMV	CHK:	JAH	SHEET NO.	TOTAL SHEETS
DJM	DR	SMV	CHK:	JAH	AS-BUILT: -	30 OF 122

DATE: 02/21/12
 SCALE: 1/8" = 1'-0"



DESIGN PROFESSIONAL:

DES: DFT: 7227 N. 16TH Street, Suite 140
Phoenix, AZ 85020
www.wendel.com
602.988.0700 602.988.8825

CHK: DATE:

REVISION LOG

NO.	DESCRIPTION	REV. BY	CHK. BY	DATE
1	CITY COMMENTS	JAH	JAH	4/12/12
2	OWNERS COMMENTS	JAH	JAH	4/12/12



APPLICABLE CODES

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 2006 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) WITH CITY OF PHOENIX
 2003 AMERICAN NATIONAL STANDARD ANSI A17.1-2003
 2006 IBC EXISTING BUILDING CODE
 -ALTERATIONS LEVEL 3

CODE SYMBOL LEGEND

DOOR: XX' x YY' / 20

EGRESS WIDTH: XX' x YY' / 20

EGRESS CAPACITY: ANTICIPATED LOAD

NET CLEAR SQUARE FOOTAGE: SF

OCCUPANT LOAD: X / XX

OCCUPANCY TYPE: X / XX

TRAVEL DISTANCE (FT) AND ROUTE OF EXIT ACCESS: 65'

1 HOUR FIRE RESISTANCE RATED CONSTRUCTION

2 HOUR FIRE RESISTANCE RATED CONSTRUCTION

AREA OF REFUGE: AR

EXISTING FIRE EXTINGUISHER CABINET: EFE

NEW RECESSED FIRE EXTINGUISHER CABINET: FE

LOCATION OF ACCESSIBLE ELECTRONIC DOOR OPERATOR

AREA OF ADDITION

CODE SUMMARY

OCCUPANCY: MIXED USE OCCUPANCY (B & S-1)

CONSTRUCTION TYPE: II B

BUILDING AREA: MAINTENANCE & OPERATIONS BUILDING
 FIRST FLOOR = 29,420 SF
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FUELING FACILITY = 4,000 SF
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AREA MODIFICATIONS:
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ALLOWABLE AREA PER FLOOR: 65,625 SF

BUILDING HEIGHT: 28'-5"

OCCUPANCY SEPARATIONS: NONE REQUIRED (PER TABLE 508.3.3)

OCCUPANCY CALCULATIONS: FIRST FLOOR = 290 OCCUPANTS
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SPRINKLERED: EXISTING: AT MAINTENANCE BAYS
 NEW: ALTERED AREAS

FRONTAGE = 100%

EXIT TRAVEL DISTANCE: B OCCUPANCY = 300' MAXIMUM ALLOWABLE
 S-1 OCCUPANCY = 250' MAXIMUM ALLOWABLE

CORRIDOR FIRE-RESISTIVE RATING: 0 HOURS REQUIRED WITH SPRINKLER SYSTEM

NUMBER OF EXITS: OCCUPANT LOAD PER STORY OF 1-500 REQUIRES TWO (2) EXITS MINIMUM

FIRST FLOOR: 7 EXITS PROVIDED
 SECOND FLR: 2 EXITS PROVIDED

PLUMBING FIXTURE COUNT: PER TABLE 2902.1

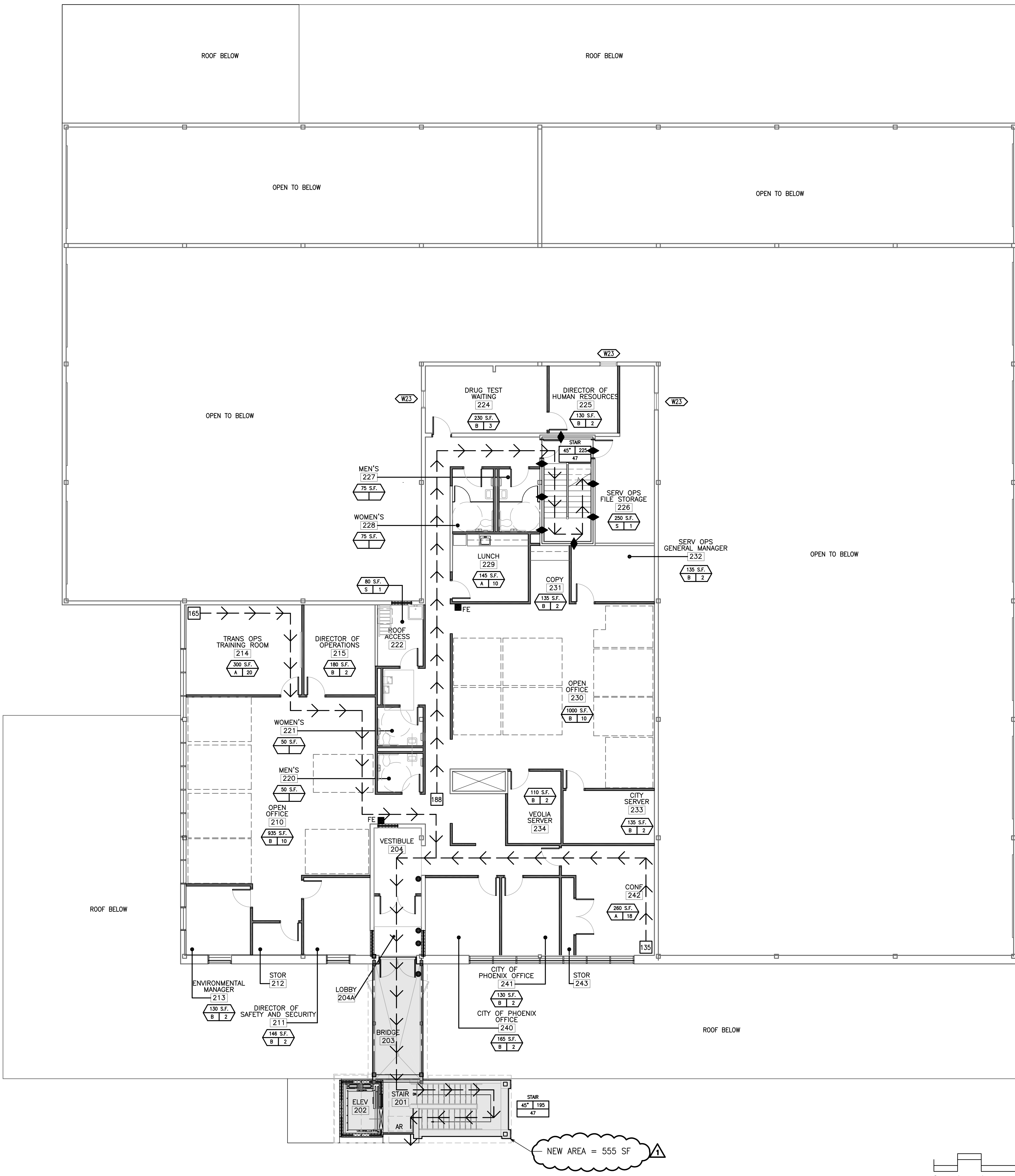
	WATER CLOSETS	LAV	DRINKING FOUNTAINS
FIRST FLOOR (GROUP 'S')	1:100	1:100	1:1,000
	3 REQ.	3 REQ.	1 REQ.
	8 PROV.	6 PROV.	1 PROV.
SECOND FLOOR (GROUP 'B')	1:50	1:80	1:100
	2 REQ.	1 REQ.	1 REQ.
	4 PROV.	4 PROV.	1 PROV.

PARKING COUNT: REQUIRED PROVIDED

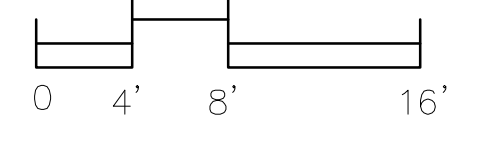
	REQUIRED	PROVIDED
STAFF PARKING	204	208
ACCESSIBLE	7	7
MOTORCYCLE	-	5
VISITORS	-	4
TOTAL	211	224

BUILDING AREA SUMMARY
(GROSS FLOOR AREA)

FLOOR	EXISTING	ADDITIONS	TOTAL
FIRST	28,330 SF	1,090 SF	29,420 SF
SECOND	6,560 SF	555 SF	7,115 SF
SUB TOTAL	34,890 SF	1,645 SF	36,535 SF



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



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CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION

NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA

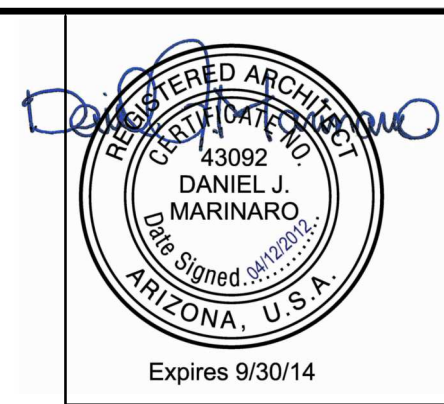
CODE COMPLIANCE

SECOND FLOOR PLAN

DES: DJM	DR: SMV	CHK: JAH	SHEET NO.	TOTAL SHEET COUNT
DATE: 02/21/12	AS-BUILT: -		A012	31 OF 122

SCALE: AS NOTED

12-10-2012 JAH 01/14/2012 MARINARO, DANIEL J. 02/21/12 02/21/12 02/21/12 02/21/12



DESIGN PROFESSIONAL: _____

DES: _____ DFT: _____

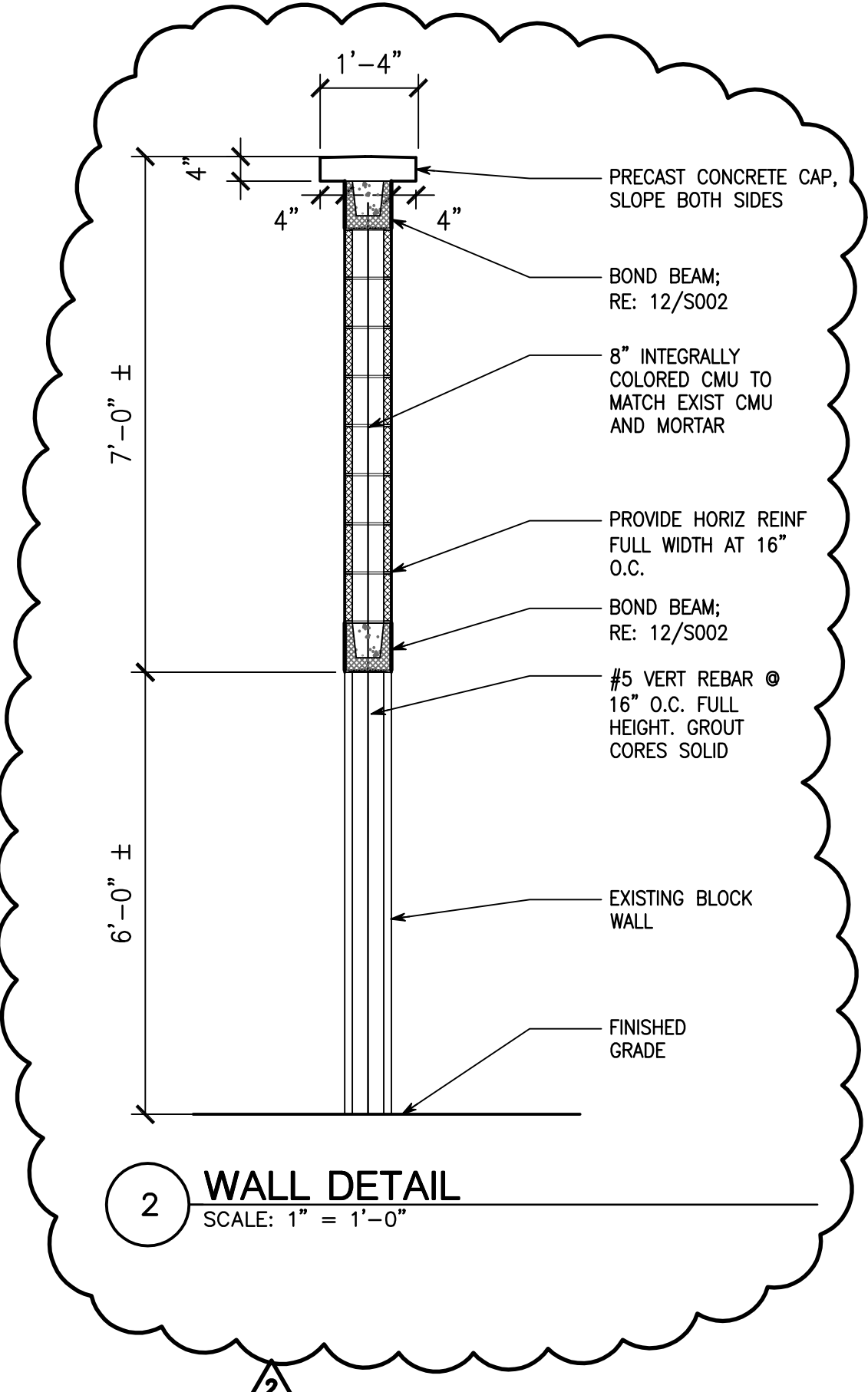
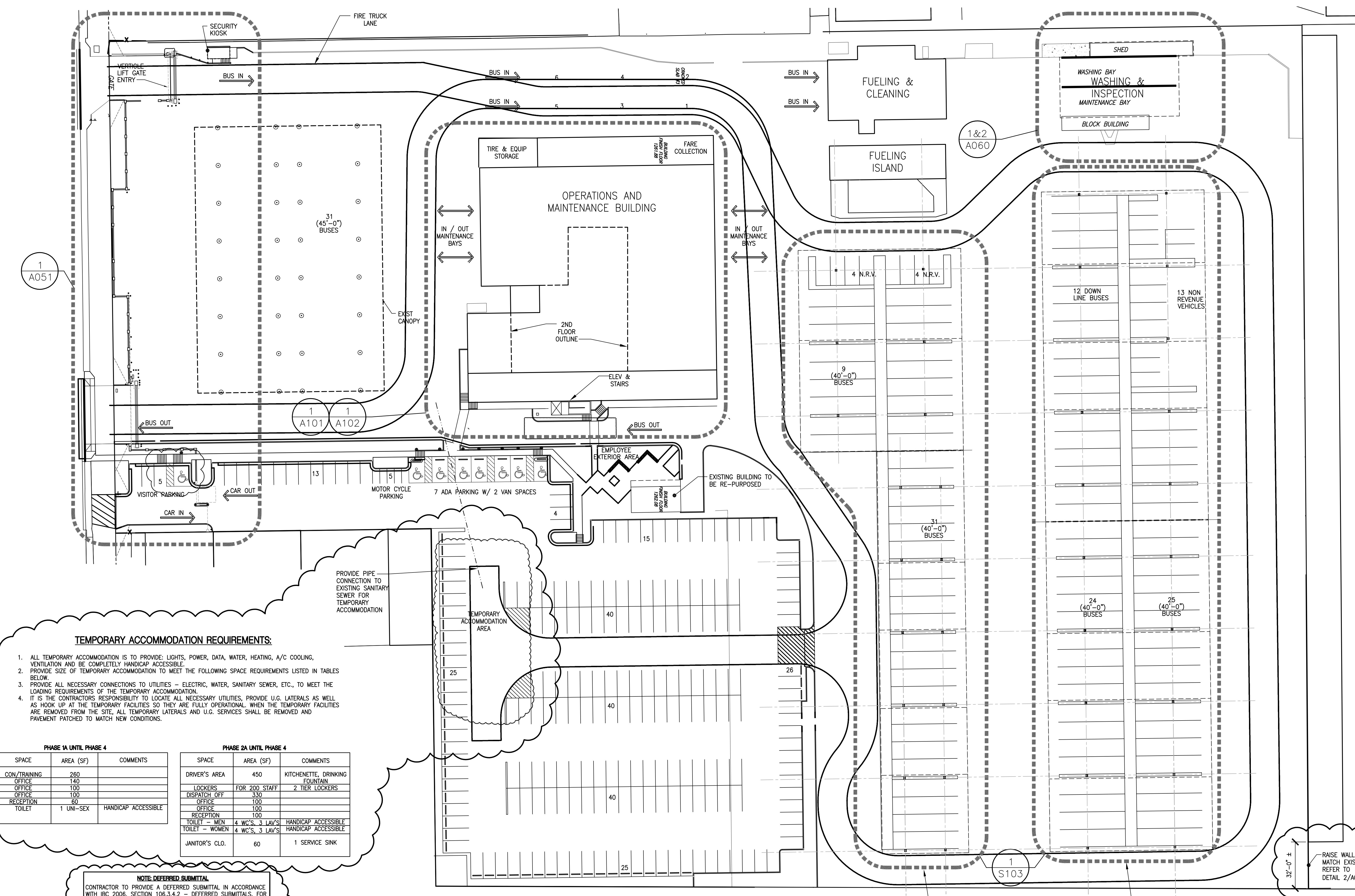
CHK: _____ DATE: _____

REVISION LOG

NO.	DESCRIPTION	REV. BY	CHK. BY	DATE
1	CITY COMMENTS	JAH	JAH	4/12/12
2	OWNERS COMMENTS	JAH	JAH	4/12/12

GENERAL CONSTRUCTION NOTES:

- REFER TO CIVIL DRAWINGS FOR EXTENT OF SITE WORK.
- REFER TO LA DRAWINGS FOR LANDSCAPE WORK.



TEMPORARY ACCOMMODATION REQUIREMENTS:

- ALL TEMPORARY ACCOMMODATION IS TO PROVIDE: LIGHTS, POWER, DATA, WATER, HEATING, A/C COOLING, VENTILATION AND BE COMPLETELY HANDICAP ACCESSIBLE.
- PROVIDE SIZE OF TEMPORARY ACCOMMODATION TO MEET THE FOLLOWING SPACE REQUIREMENTS LISTED IN TABLES BELOW.
- PROVIDE ALL NECESSARY CONNECTIONS TO UTILITIES - ELECTRIC, WATER, SANITARY SEWER, ETC., TO MEET THE LOADING REQUIREMENTS OF THE TEMPORARY ACCOMMODATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL NECESSARY UTILITIES, PROVIDE U.G. LATERALS AS WELL AS HOOK UP AT THE TEMPORARY FACILITIES SO THEY ARE FULLY OPERATIONAL. WHEN THE TEMPORARY FACILITIES ARE REMOVED FROM THE SITE, ALL TEMPORARY LATERALS AND U.G. SERVICES SHALL BE REMOVED AND PAVEMENT PATCHED TO MATCH NEW CONDITIONS.

PHASE 1A UNTIL PHASE 4			PHASE 2A UNTIL PHASE 4		
SPACE	AREA (SF)	COMMENTS	SPACE	AREA (SF)	COMMENTS
CON/TRAINING	260		DRIVER'S AREA	450	KITCHENETTE, DRINKING FOUNTAIN
OFFICE	140		LOCKERS	FOR 200 STAFF	2 TIER LOCKERS
OFFICE	100		DISPATCH OFF	350	
OFFICE	100		OFFICE	100	
RECEPTION	60		OFFICE	100	
TOILET	1 UNI-SEX	HANDICAP ACCESSIBLE	RECEPTION	100	
			TOILET - MEN	4 W.C.'S, 3 LAV'S	HANDICAP ACCESSIBLE
			TOILET - WOMEN	4 W.C.'S, 3 LAV'S	HANDICAP ACCESSIBLE
			JANITOR'S CLO.	60	1 SERVICE SINK

NOTE DEFERRED SUBMITTAL
 CONTRACTOR TO PROVIDE A DEFERRED SUBMITTAL IN ACCORDANCE WITH IBC 2006, SECTION 106.3.4.2 - DEFERRED SUBMITTALS, FOR THE TEMPORARY ACCOMMODATION FACILITIES. THE TEMPORARY ACCOMMODATION SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

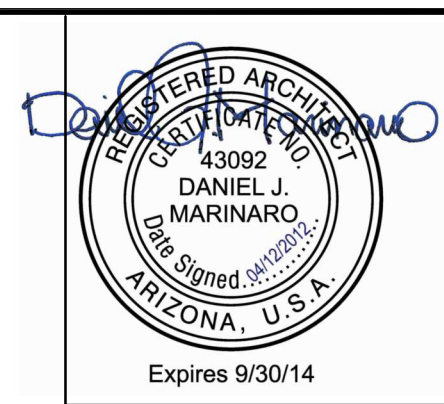
1 ARCHITECTURAL SITE PLAN
 SCALE: 1" = 30'-0"

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PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA

ARCHITECTURAL SITE PLAN

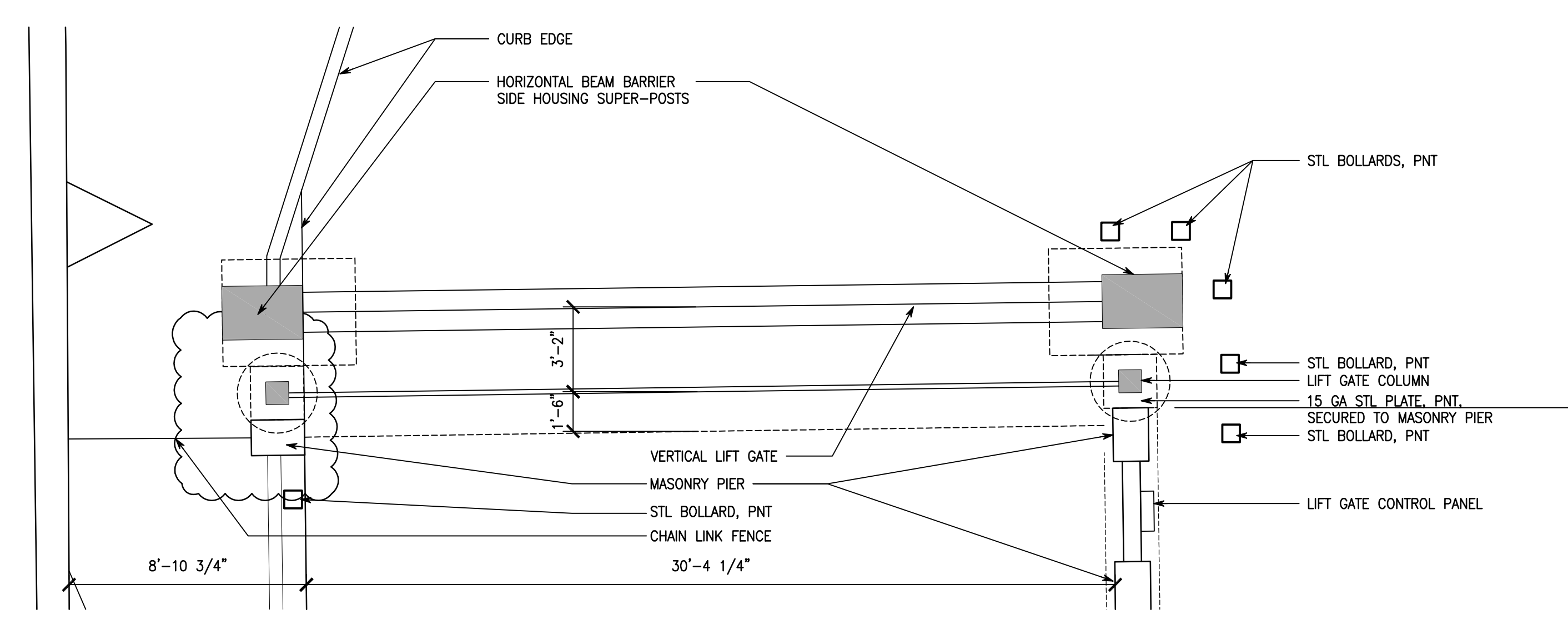
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DATE: 02/21/12	AS-BUILT: -		A050	32 OF 122
SCALE: AS NOTED				



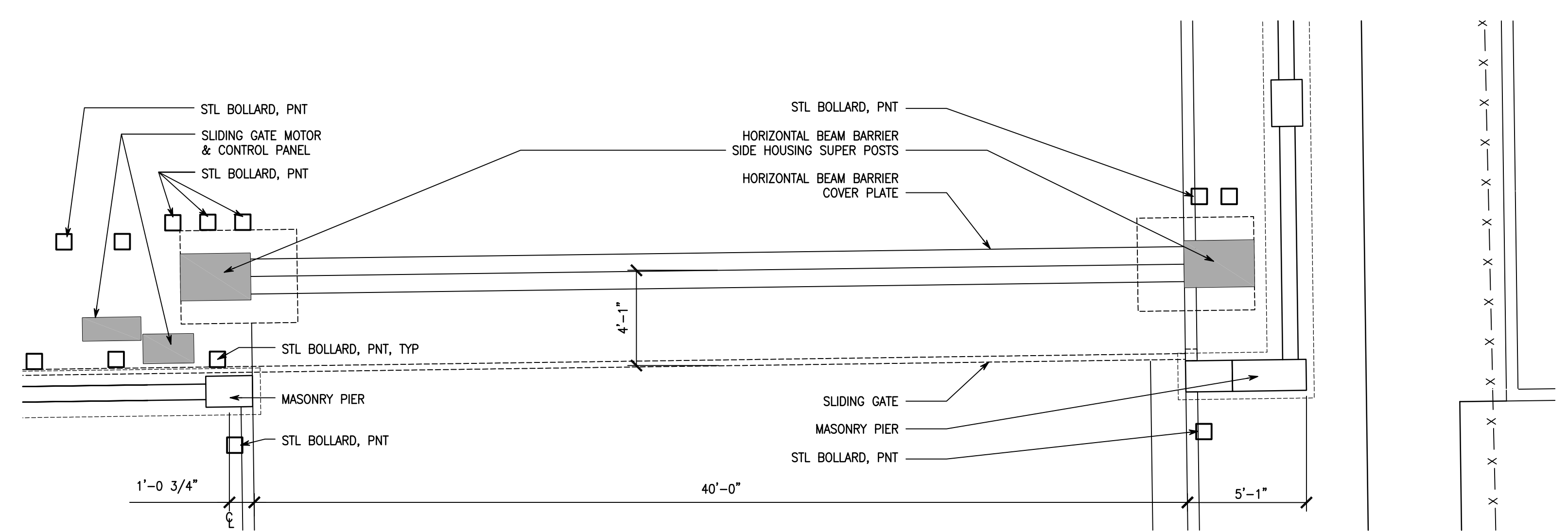
DESIGN PROFESSIONAL:

DES: DFT: **wendel**
 CHK: DATE: 7227 N. 16th Street, Suite 140
 Phoenix, AZ 85020
 www.wendelcompanies.com
 P: 714.888.8700 F: 714.888.8825
 ARCHITECTURE • ENGINEERING • PLANNING
 ENERGY SERVICES • CONSTRUCTION MANAGEMENT

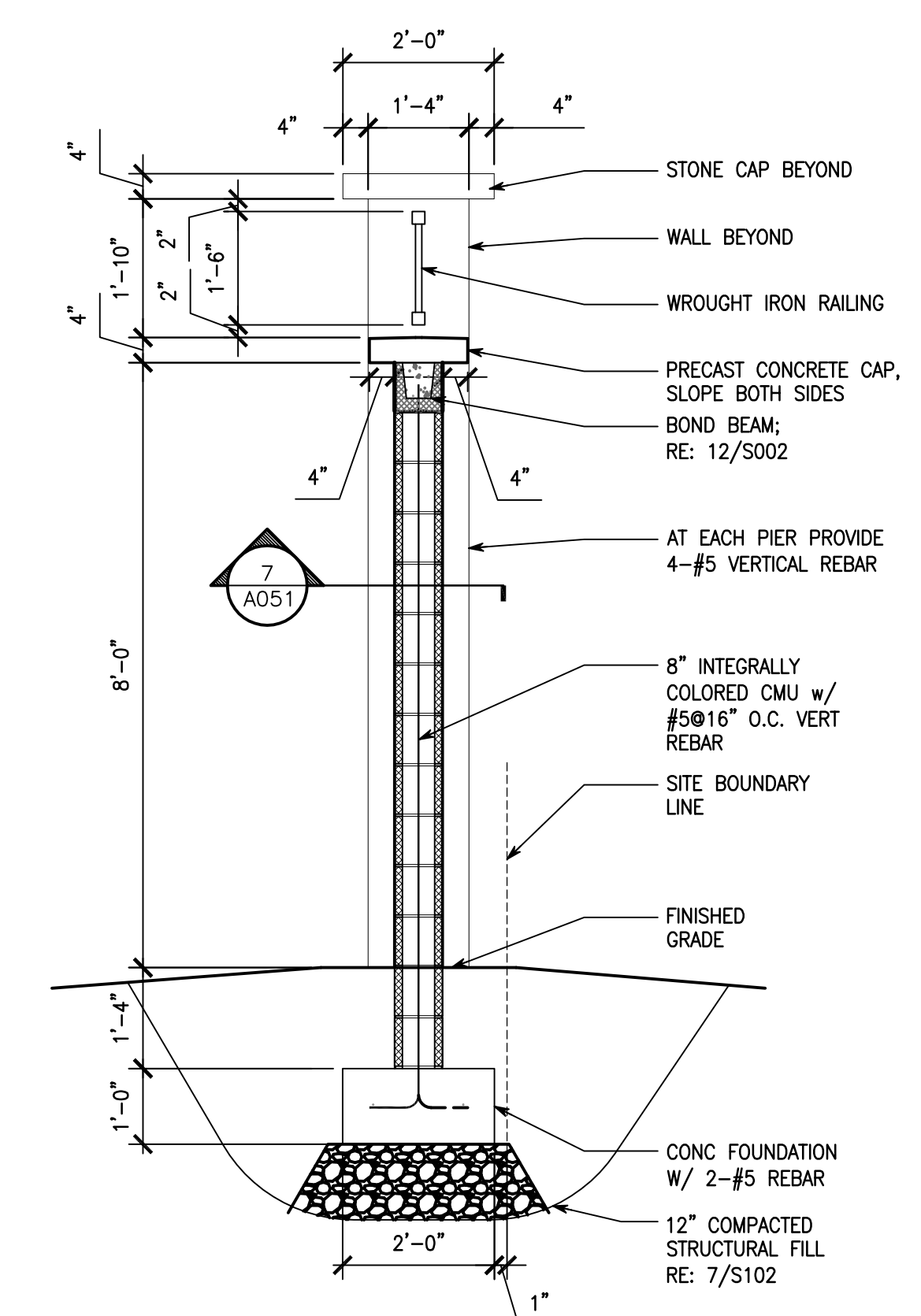
REVISION LOG				
NO.	DESCRIPTION	REV. BY	CHK. BY	DATE
1	CITY COMMENTS	JAH	JAH	4/12/12
2	OWNERS COMMENTS	JAH	JAH	4/12/12



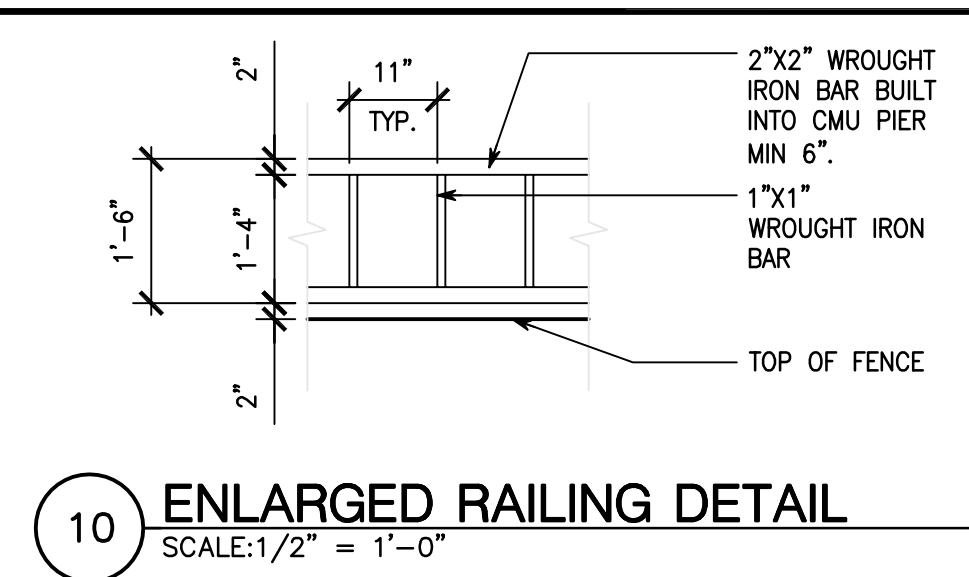
5 WEST GATE PLAN
SCALE: 1/4" = 1'-0"



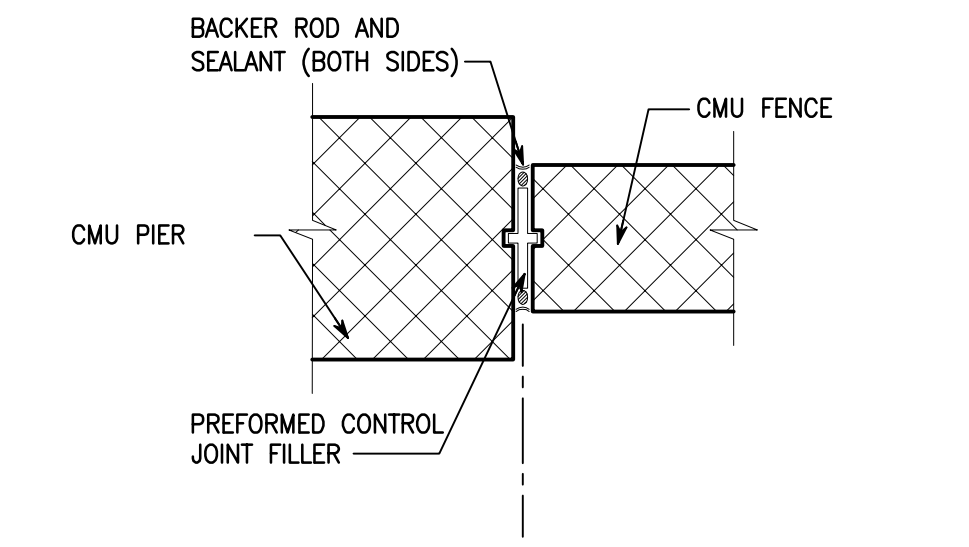
6 EAST GATE PLAN
SCALE: 1/4" = 1'-0"



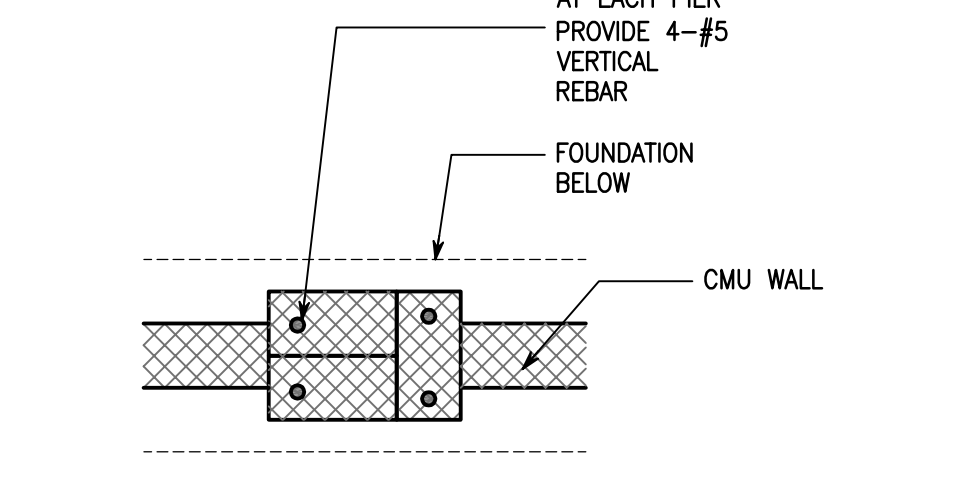
4 CMU FENCE DETAIL
SCALE: 1/2" = 1'-0"



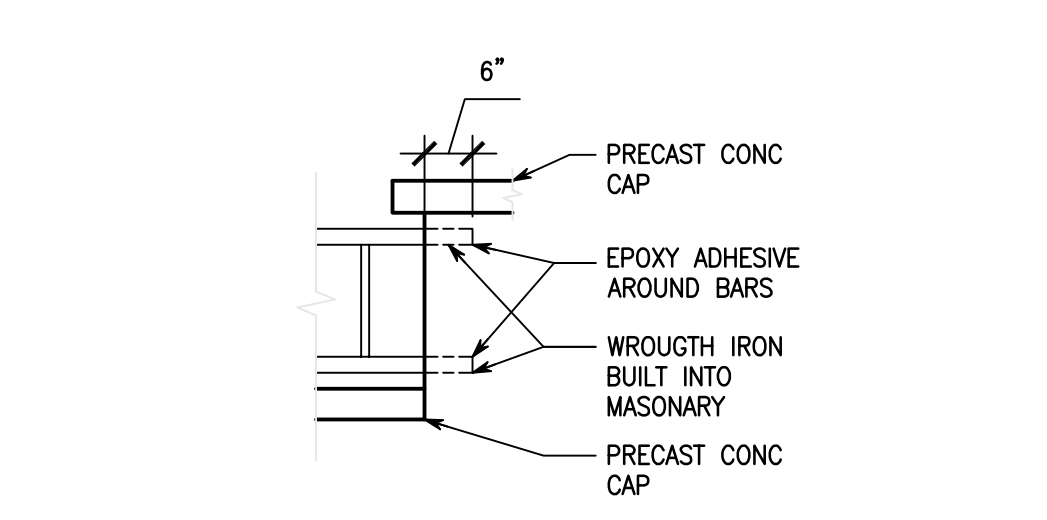
10 ENLARGED RAILING DETAIL
SCALE: 1/2" = 1'-0"



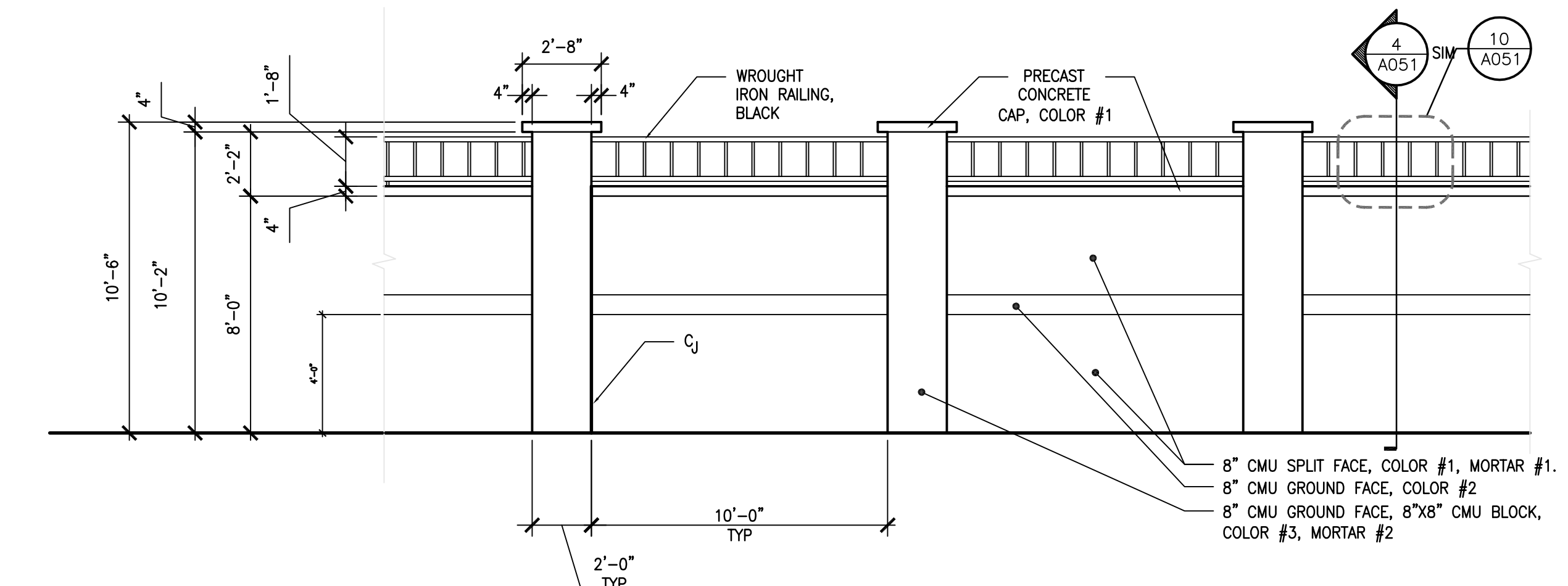
8 CONTROL JOINT DETAIL
SCALE: 1-1/2" = 1'-0"



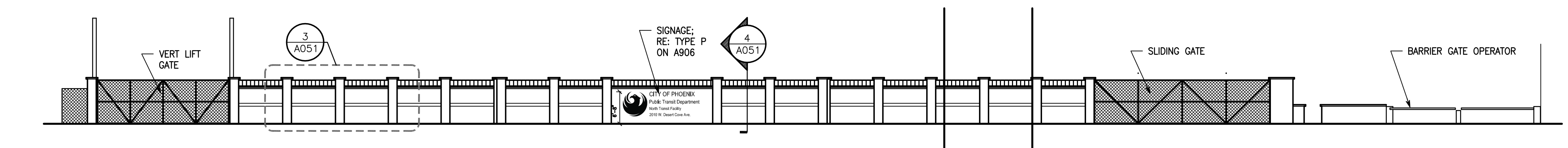
7 PIER PLAN
SCALE: 1/2" = 1'-0"



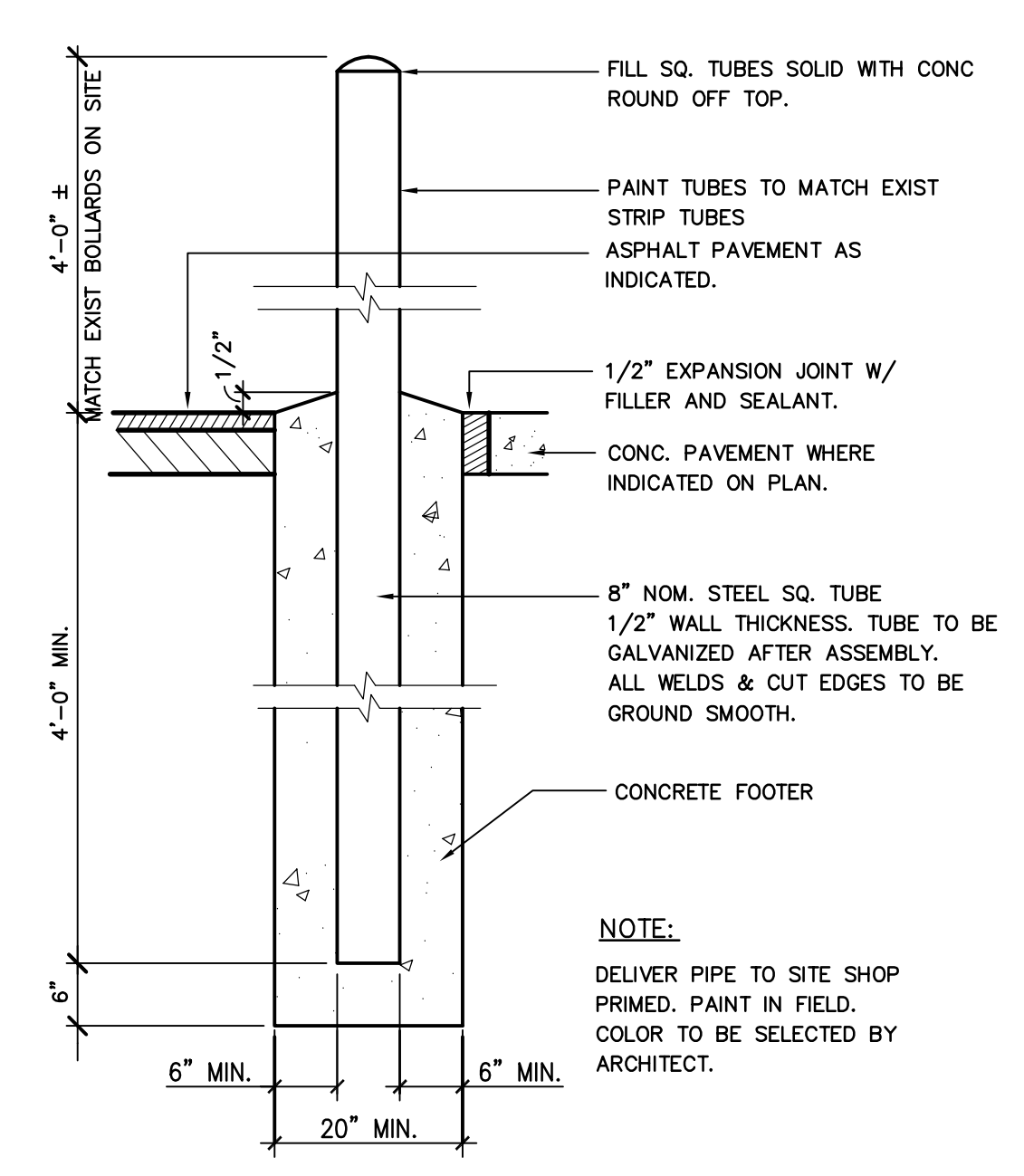
11 ANCHORING RAILING DETAIL
SCALE: 1/2" = 1'-0"



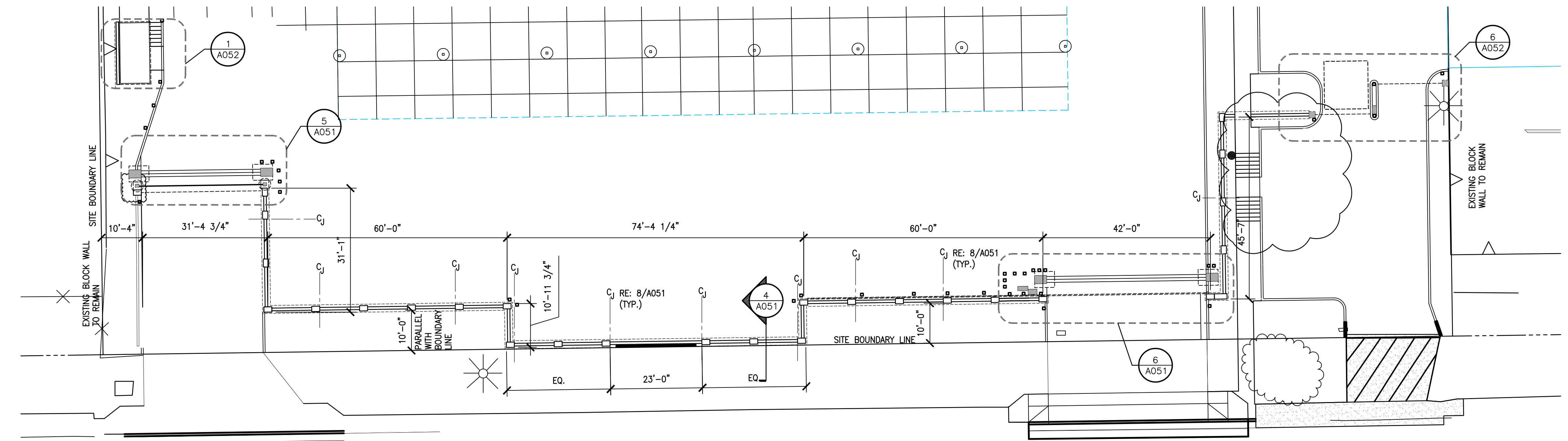
3 ENLARGED TYPICAL CMU FENCE ELEVATION
SCALE: 1/4" = 1'-0"



2 CMU FENCE ELEVATION
SCALE: 1/16" = 1'-0"



9 BOLLARD DETAIL
SCALE: N.T.S.



1 CMU FENCE SITE PLAN
SCALE: 1/16" = 1'-0"

NOTE:
CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING SITE APPROVAL AND A SEPARATE PERMIT FOR THE NEW CMU FENCE.

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**CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION**

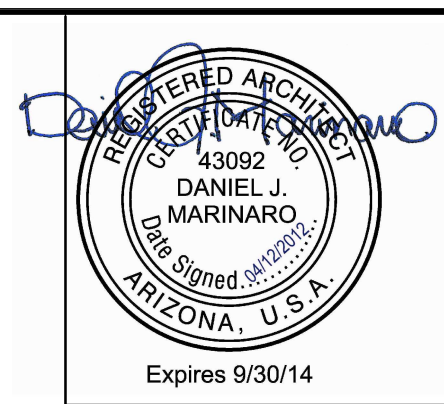
**NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA**

MASONRY WALL AND SECURITY GATE,
PLANS, ELEVATIONS, & DETAILS

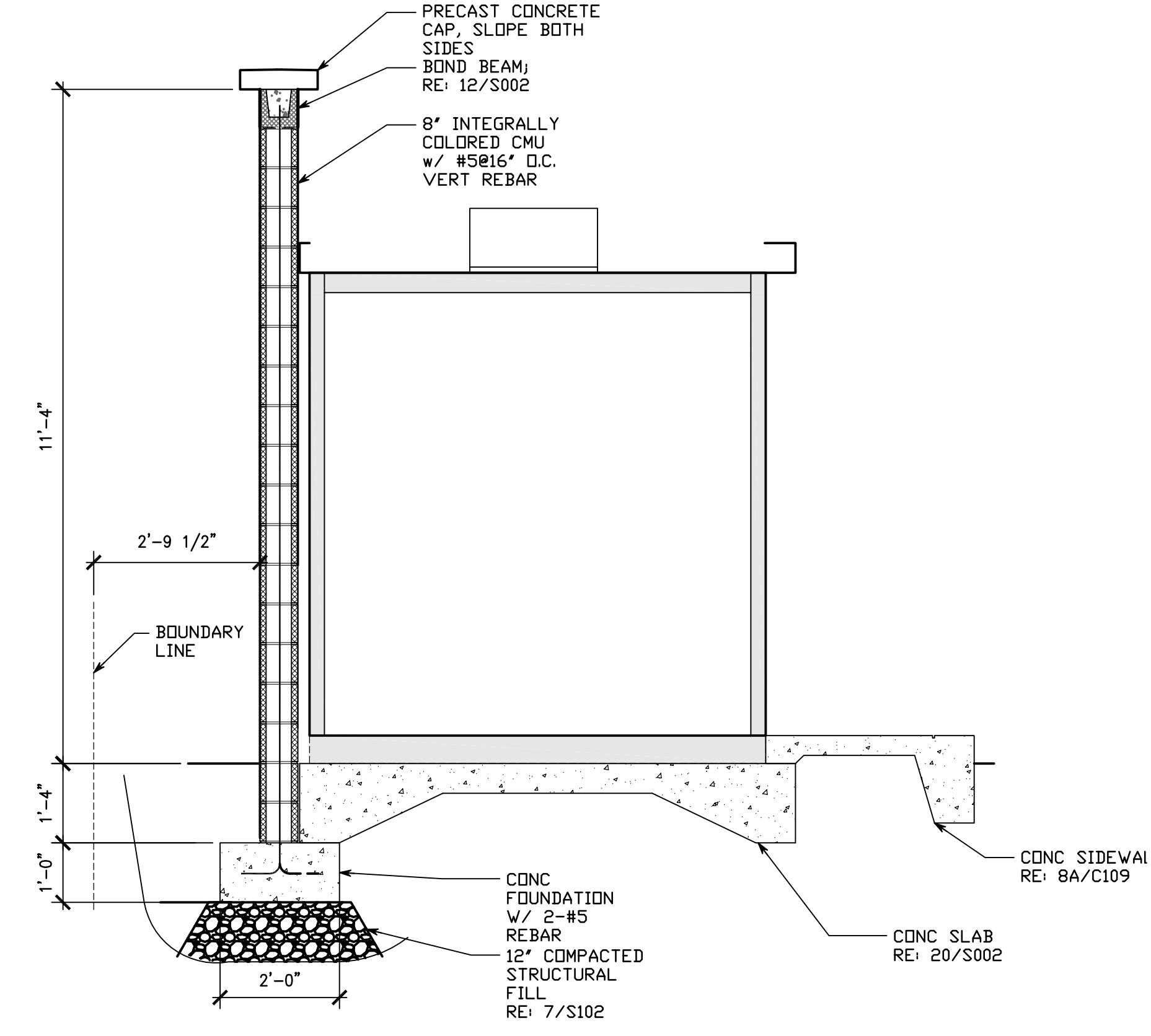
DES: DJM	DR: SMV	CHK: JAH	SHEET NO.	TOTAL SHEET COUNT
DATE: 02/21/12	AS-BUILT: -		A051	33 OF 122

SCALE: AS NOTED

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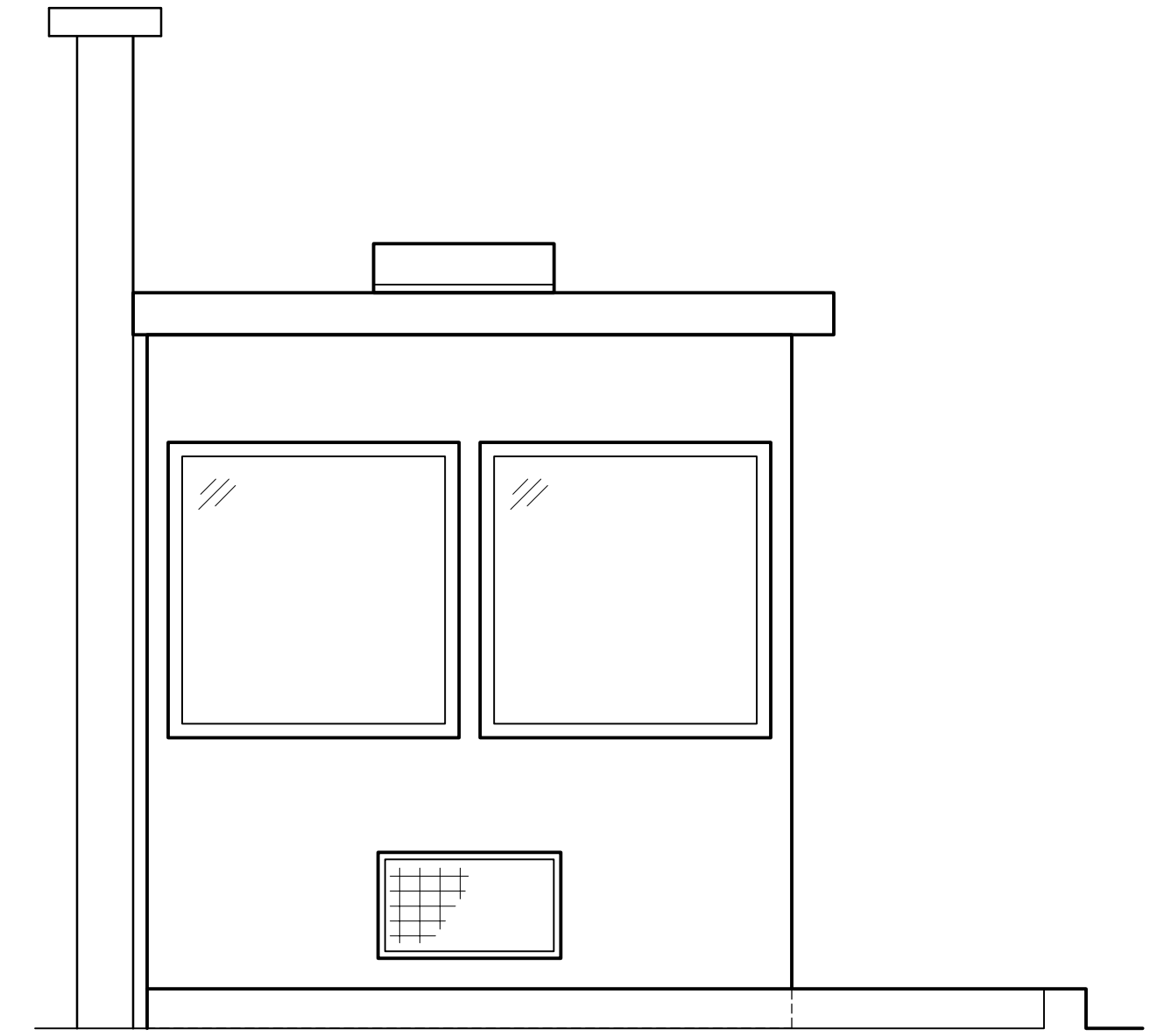
DESIGN PROFESSIONAL:			
DES:	DFT:	7227 N. 16th Street, Suite 140 Phoenix, AZ 85020	
CHK:	DATE:	www.wendel.com p:716.888.8788 f:716.888.8835	
REVISION LOG			
NO.	DESCRIPTION	REV. BY	CHK. BY
1	CITY COMMENTS		JAH
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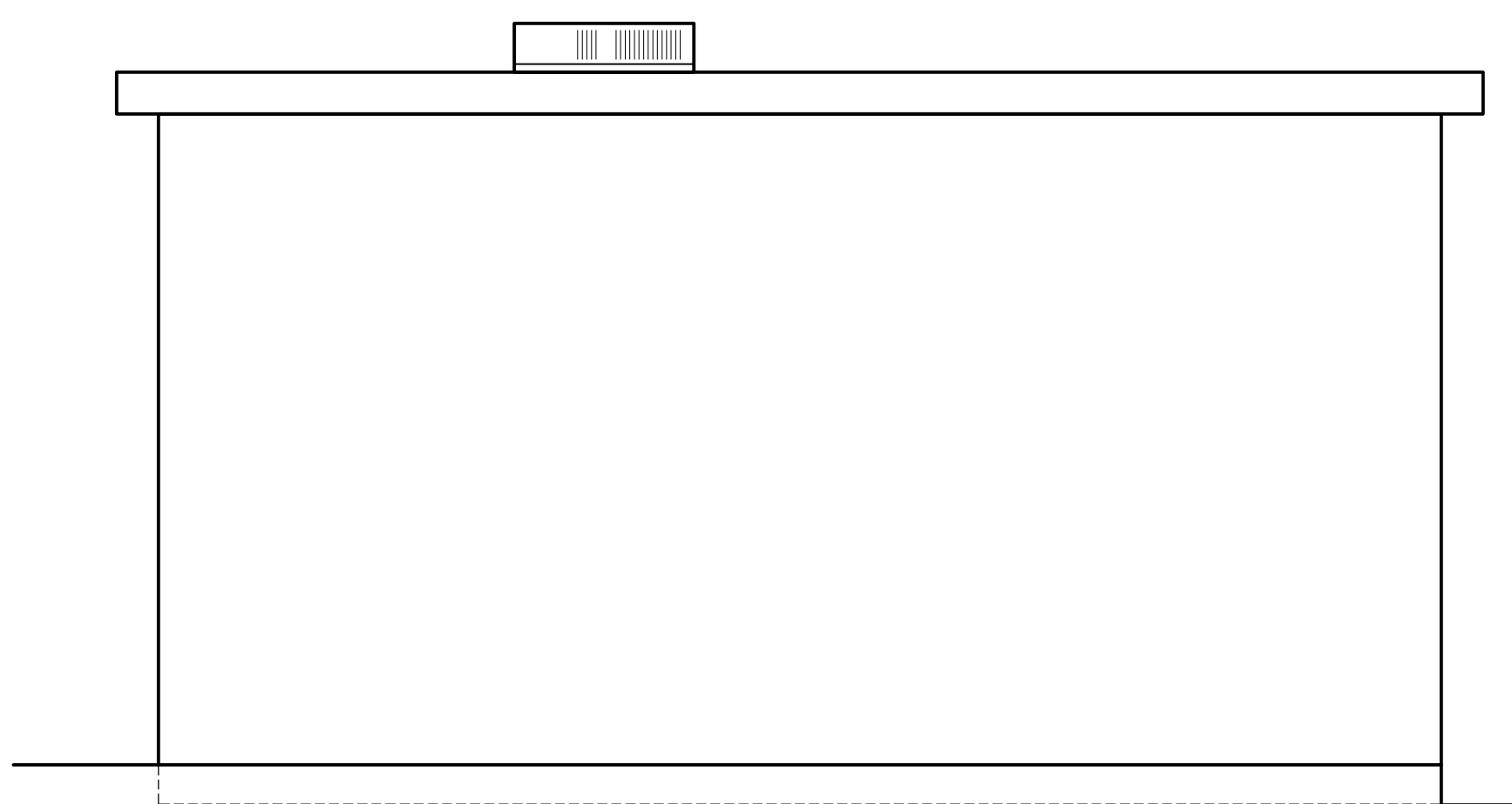
7 SECURITY KIOSK SECTION
SCALE: 1/2" = 1'-0"



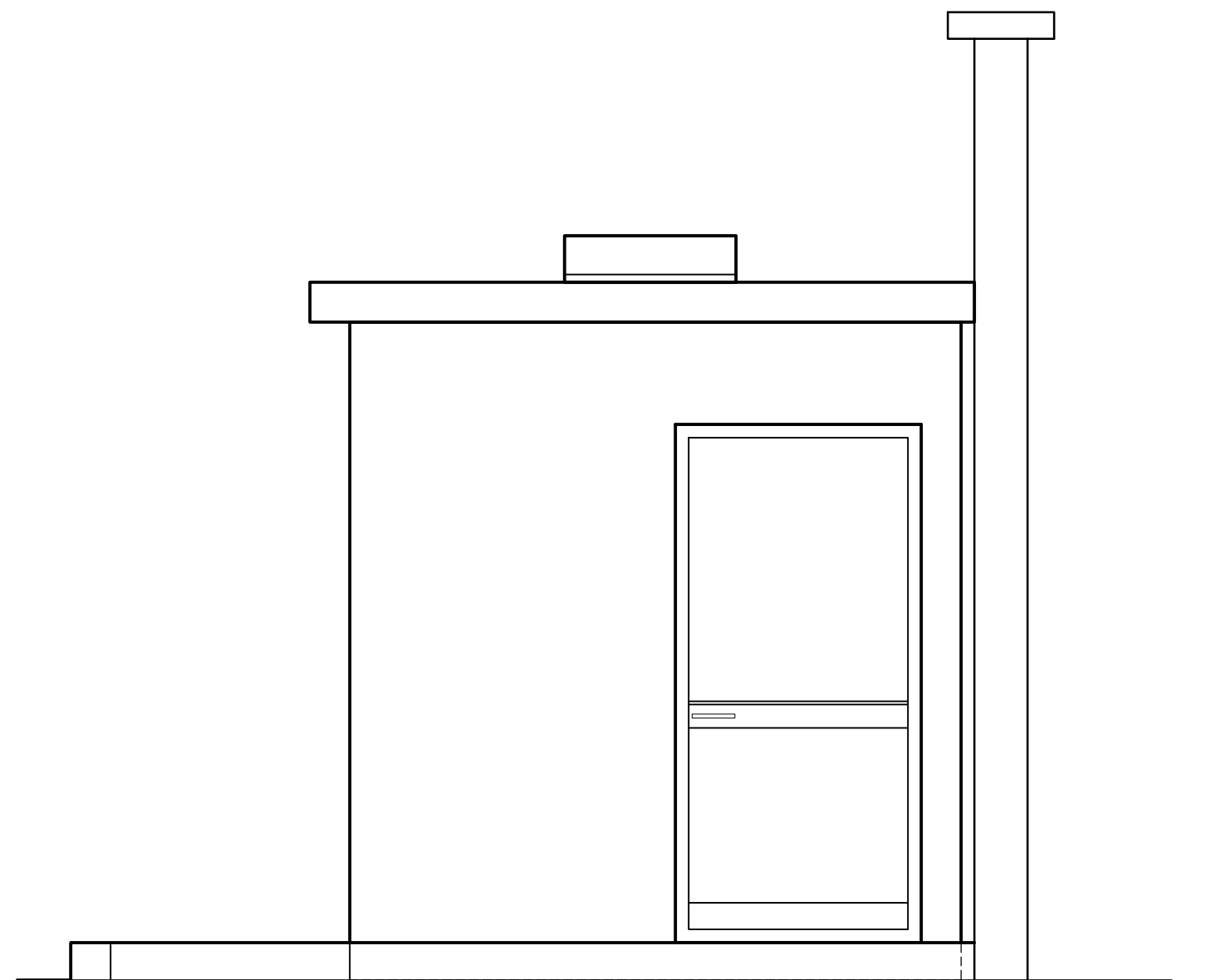
5 SECURITY KIOSK
SCALE: 1/2" = 1'-0"



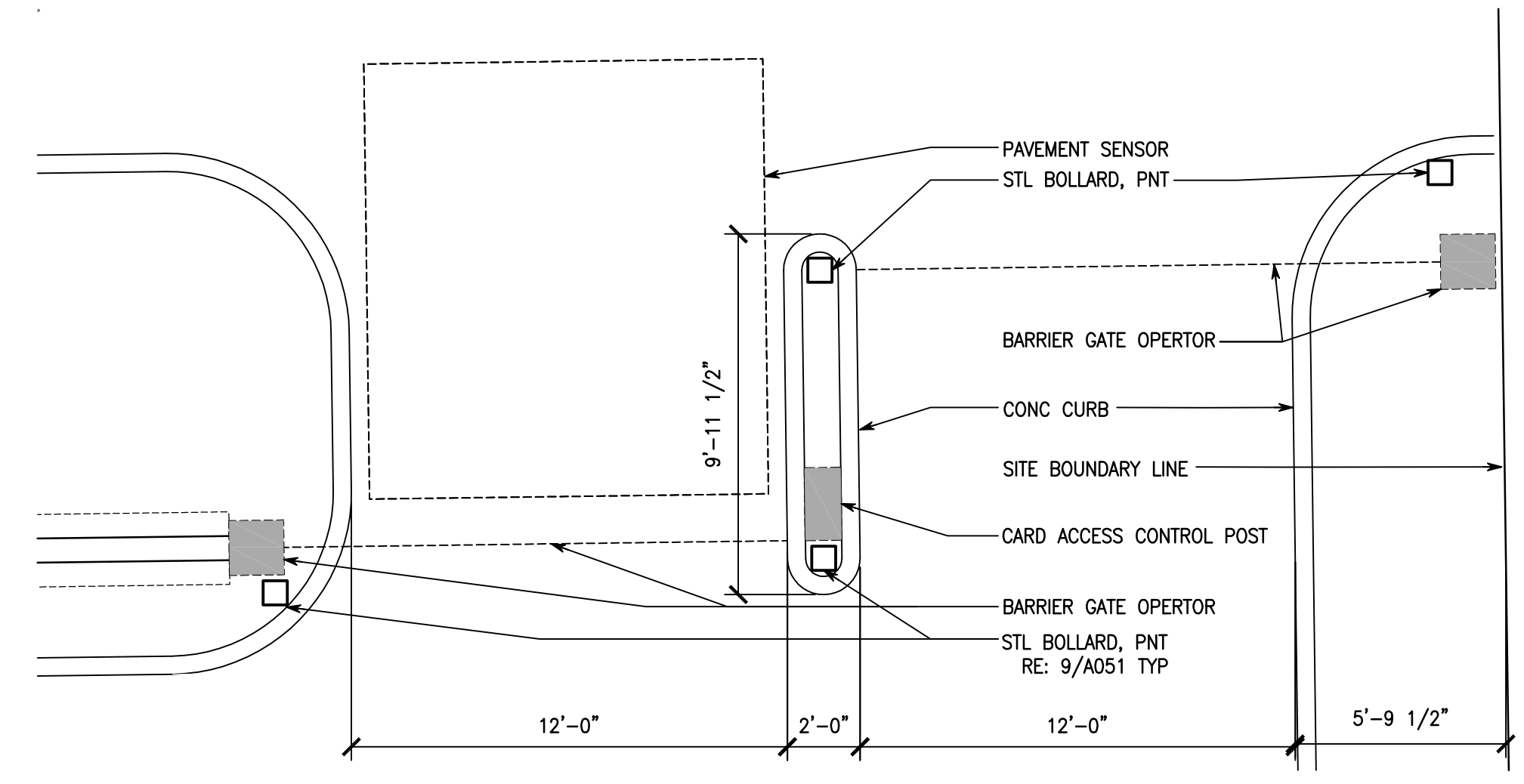
4 SECURITY KIOSK
SCALE: 1/2" = 1'-0"



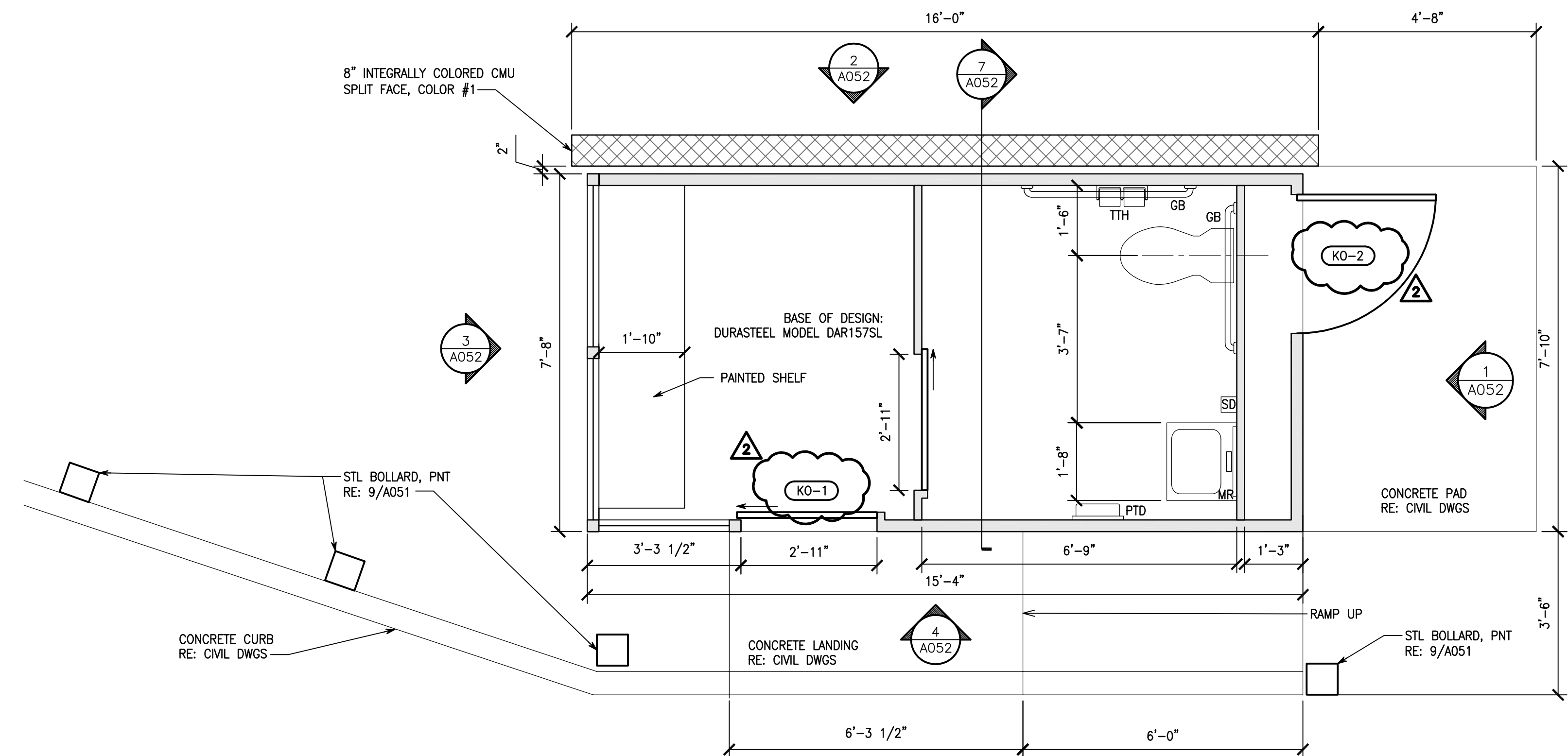
3 SECURITY KIOSK
SCALE: 1/2" = 1'-0"



2 SECURITY KIOSK
SCALE: 1/2" = 1'-0"



6 STAFF PARKING BARRIER GATE PLAN
SCALE: 1/4" = 1'-0"



1 SECURITY KIOSK
SCALE: 1/2" = 1'-0"

NOTE
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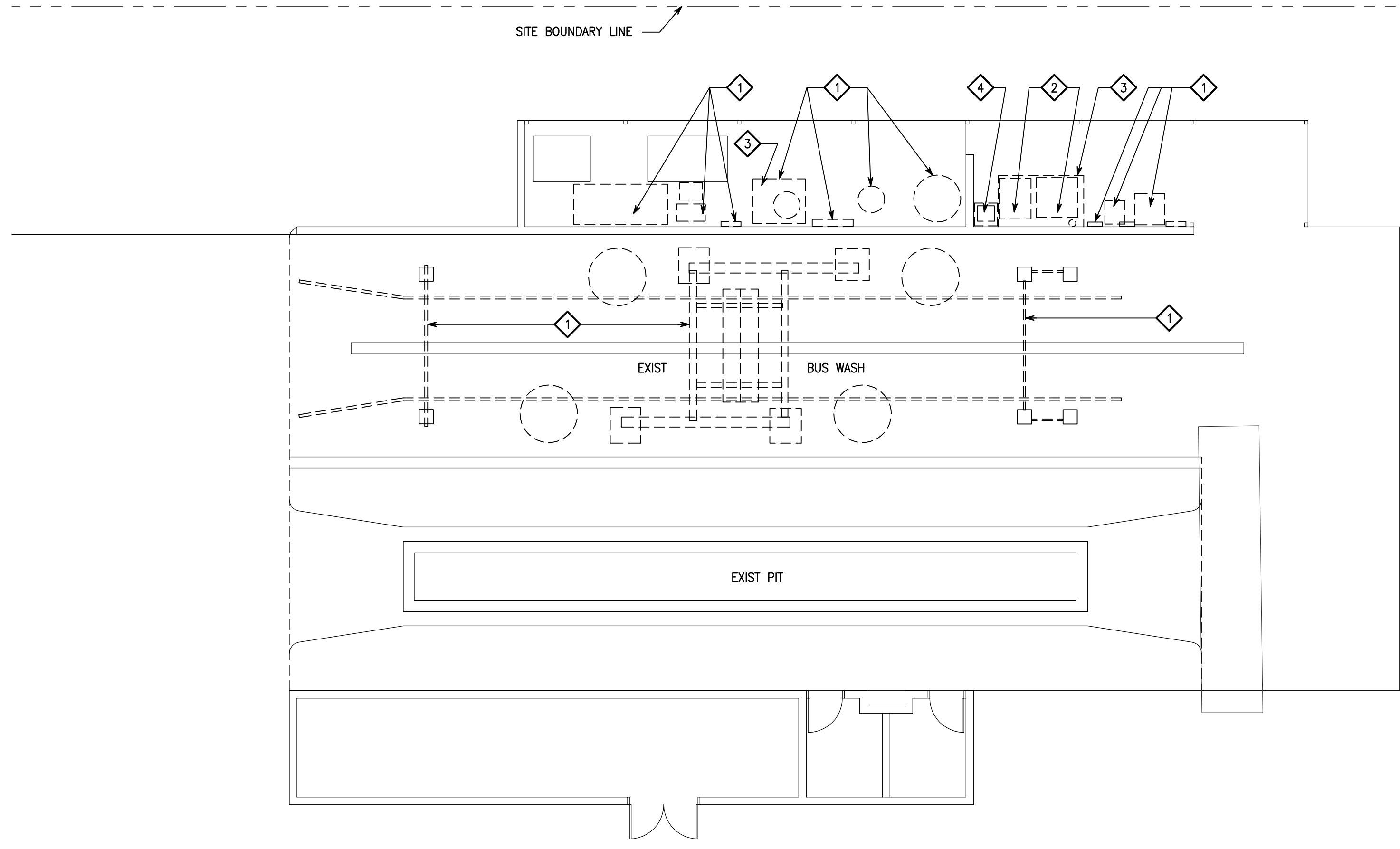
SECURITY KIOSK AND
SECURITY GATE DETAILS

DES: DJM	DR: SMV	CHK: JAH	SHEET NO.	TOTAL SHEET COUNT
DATE: 02/21/12	AS-BUILT: -		A052	34 OF 122

SCALE: AS NOTED



DESIGN PROFESSIONAL:			
DES:	DFT:	7227 N. 16th Street, Suite 140 Phoenix, AZ 85020	
CHK:	DATE:	www.wendel.com 480-944-8888	
REVISION LOG			
NO.	DESCRIPTION	REV. BY	DATE
1	CITY COMMENTS		4/12/12
2	OWNERS COMMENTS		4/12/12



1 EXIST BUS WASH EQUIPMENT DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

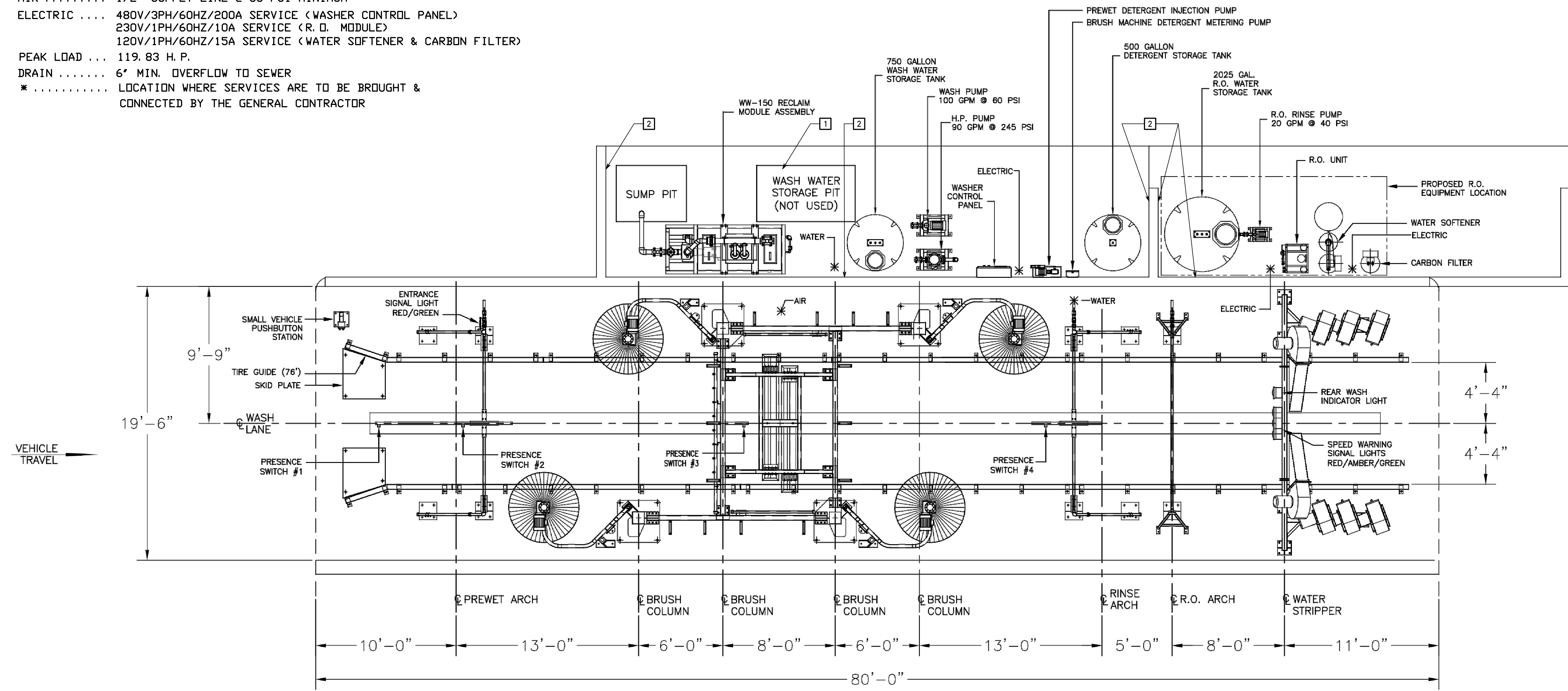
- DEMOLITION NOTES:**
- 1 REMOVE EXISTING BUS WASH EQUIPMENT IN ITS ENTIRETY TO INSTALL NEW SYSTEM. COORDINATE WITH OWNER FOR ANY PARTS THEY WISH TO SALVAGE.
 - 2 REMOVE EXISTING WASHING AND DRYING MACHINES IN THEIR ENTIRETY. HAND OVER WASHER AND DRYER TO OWNER.
 - 3 REMOVE EXISTING CONC PAD IN ITS ENTIRETY. FLUSH WITH EXIST FLOOR. PATCH CONC AS REQUIRED.
 - 4 REMOVE EXISTING MOP SINK; RE: PLUMB DWGS P204

- GENERAL NOTES:**
- REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DWG'S FOR EXTENT OF WORK TO UTILITIES AND CONNECTION DETAILS.

- CONSTRUCTION NOTES:**
- 1 BUST UP BOTTOM OF PIT TO ALLOW FOR DRAINAGE. FILL EXISTING STORAGE PIT WITH CRUSH STONE, COMPACTED AND 4" CONC SLAB WITH 6"x6" W/4WVF REINFORCEMENT ON TOP, LEVEL WITH EXISTING TOP OF FLOOR SLAB.
 - 2 ALL PIPES AND AREA SUPPORTS TO BE TREATED FOR CORROSION CONTROL. REPAIR AND SEAL ANY CRACKS OR PENETRATIONS IN WALLS. PAINT EXISTING MASONRY WALLS, FULL HEIGHT WITH EWC.

UTILITY SERVICES

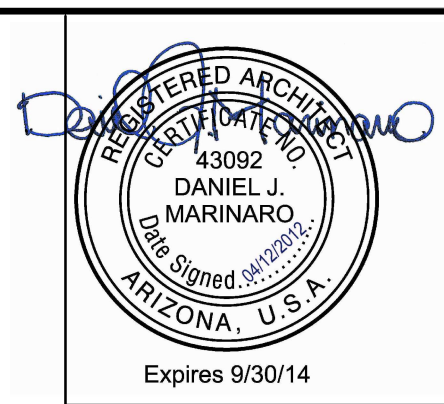
- WATER (2) 2" CITY WATER SUPPLY LINE @ 40 PSIG MINIMUM
1" CITY WATER SUPPLY LINE @ 40 PSIG MINIMUM
- AIR 1/2" SUPPLY LINE @ 80 PSI MINIMUM
- ELECTRIC 480V/3PH/60HZ/200A SERVICE (WASHER CONTROL PANEL)
230V/1PH/60HZ/10A SERVICE (R.O. MODULE)
120V/1PH/60HZ/15A SERVICE (WATER SOFTENER & CARBON FILTER)
- PEAK LOAD ... 119.83 H.P.
- DRAIN 6" MIN. OVERFLOW TO SEWER
- * LOCATION WHERE SERVICES ARE TO BE BROUGHT & CONNECTED BY THE GENERAL CONTRACTOR



2 NEW BUS WASH EQUIPMENT LAYOUT PLAN
SCALE: 1/4" = 1'-0"

PER CITY OF PHOENIX ORDINANCE G-4396, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.

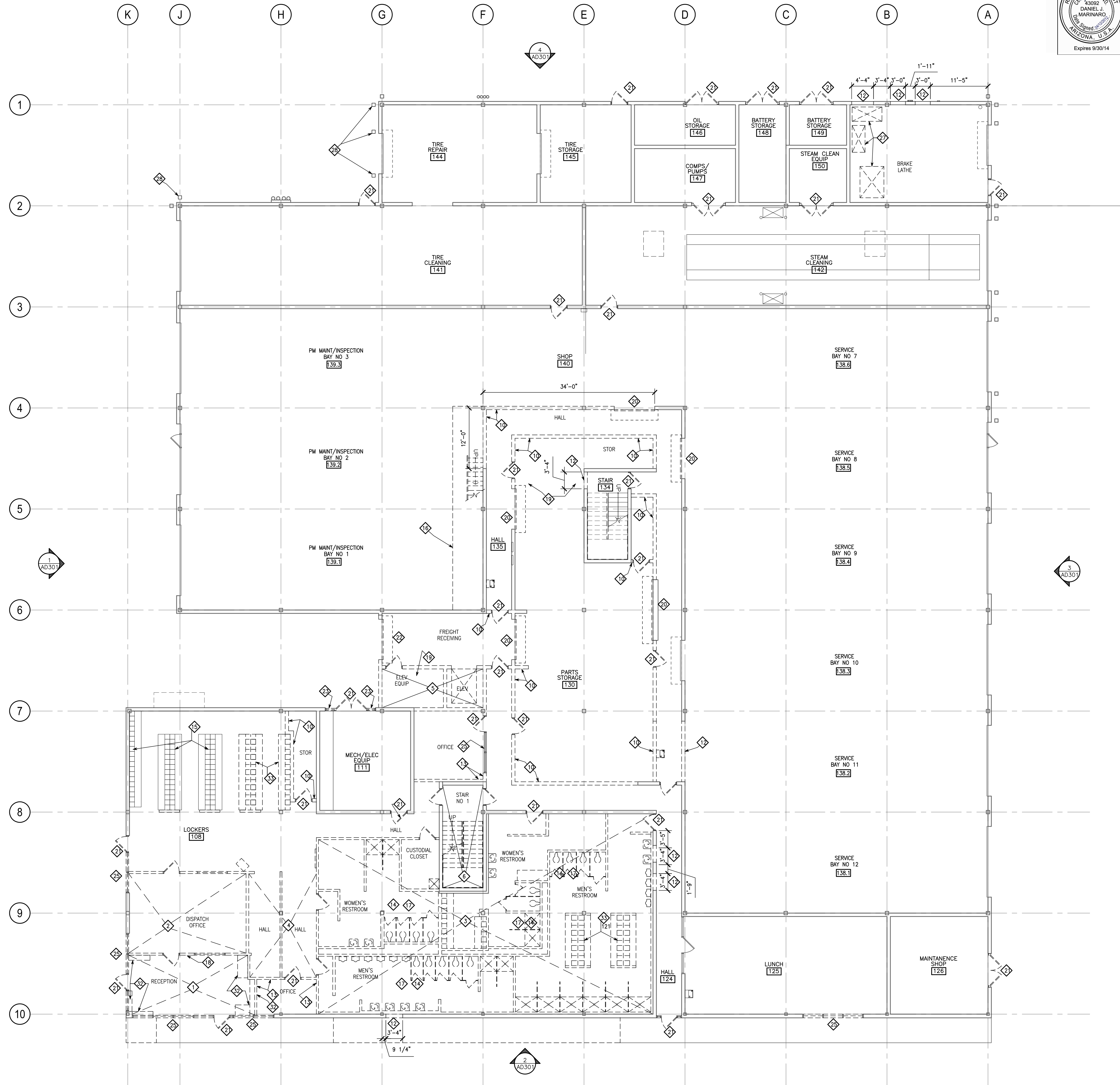
CITY OF PHOENIX, ARIZONA			
PUBLIC TRANSIT DEPARTMENT			
FACILITIES DIVISION			
NORTH TRANSIT FACILITY REFURBISHMENT			
PROJECT NO. PT-96130004-FTA			
DEMOLITION & BUS WASH EQUIPMENT			
LAYOUT PLAN			
DES: X	DR: X	CK: X	SHEET NO.
DATE: 02/21/12	AS-BUILT: -		TOTAL SHEET COUNT
SCALE: AS NOTED	A060	35	OF 122



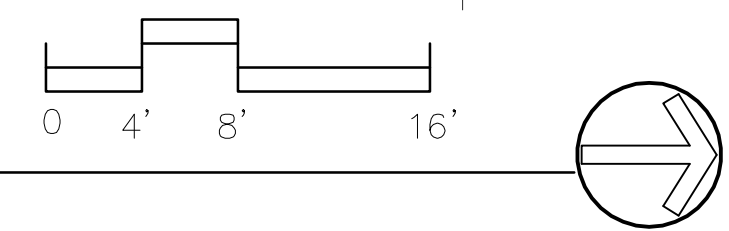
DESIGN PROFESSIONAL:		wendel			
DES: DJM	DFT:	7227 N. 16th Street, Suite 140 Phoenix, AZ 85020 www.wendelcorp.com 602.966.8700 478.623.8825 ARCHITECTURE • ENGINEERING • PLANNING ENERGY SERVICES • CONSTRUCTION MANAGEMENT			
CHK: []	DATE:	REVISION LOG			
NO.		DESCRIPTION	REV. BY	CHK. BY	DATE
1		CITY COMMENTS	JAH	JAH	4/12/12
2		OWNERS COMMENTS	JAH	JAH	4/12/12

- DEMO FLOOR PLAN GENERAL NOTES:**
- CONTRACTOR SHALL AT ALL TIMES PROVIDE AND MAINTAIN A SAFE PATH OF TRAVEL FOR EGRESS OF BUILDING OCCUPANTS ADJACENT TO THE CONSTRUCTION AREA TO A LEGAL OPEN SPACE.
 - REFER TO PLUMBING DRAWINGS FOR REMOVAL OF PLUMBING ITEMS
 - REFER TO MECHANICAL DRAWINGS FOR REMOVAL OF MECHANICAL ITEMS
 - REFER TO ELECTRICAL DRAWINGS FOR REMOVAL OF ELECTRICAL ITEMS
 - ALL EXISTING FIRE EXTINGUISHERS TO REMAIN UNLESS OTHERWISE NOTED
 - ANY ITEMS WHICH ARE INDICATED FOR REMOVAL MUST BE REMOVED IN THEIR ENTIRETY
 - REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED RETURN ELEMENTS OF CONSTRUCTION AND SURFACES TO REMAIN TO THEIR EXISTING CONDITION PRIOR TO START OF DEMOLITION. REPAIR ADJACENT CONSTRUCTION OF SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK
 - ALL CONTRACTORS TO VERIFY AND COORDINATE DIMENSIONS FOR REMOVALS AFFECTING INSTALLATION OF PROPOSED WORK. PROVIDE ALL REMOVALS AS REQUIRED FOR THE INSTALLATION OF THE PROPOSED WORK
 - ALL EXISTING FREE STANDING FURNITURE AND CASEWORK SHALL BE REMOVED BY OTHERS
 - IN ALL ROOMS WHICH RECEIVE UNDERFLOOR SERVICES REMOVE A PORTION OF THE EXISTING CEILING BELOW AS REQUIRED. RESTORE OR REPLACE REMOVED CEILING AREAS TO MATCH EXISTING OR AS INDICATED ON ROOM FINISH SCHEDULE (011)
 - CONTRACTOR TO REMOVE/SALVAGE ALL HARDWARE ON DOORS AND FRAMES THAT ARE TO BE REMOVED/DEMOLISHED. HAND OVER HARDWARE TO OWNER

- FLOOR PLAN DEMOLITION NOTES:**
- REMOVE ALL ITEMS INDICATED AT RECEPTION INCLUDING GWB WALLS, VCT FLOORING, DOORS, CASEWORK & ALL OTHER ITEMS REQ'D
 - REMOVE ALL ITEMS INDICATED AT DISPATCH INCLUDING GWB WALLS, VCT FLOORING, DOORS, CASEWORK & ALL OTHER ITEMS REQ'D
 - REMOVE ALL ITEMS INDICATED AT CUSTODIAL, BATHROOMS /LOCKER ROOMS INCLUDING GWB WALLS, DOORS, CASEWORK, PLUMBING & ALL OTHER ITEMS REQ'D. TERRAZZO FLOOR TO REMAIN. PREPARE TO RECEIVE NEW FLOOR FINISH SEE A301 FOR ROOM FINISH SCHEDULE
 - REMOVE ALL ITEMS INDICATED AT HALL INCLUDING WALLS, VCT FLOORING, DOORS, CASEWORK & ALL OTHER ITEMS REQ'D
 - REMOVE EXISTING FREIGHT ELEVATOR, MASONRY SHAFT AND ASSOCIATED ELEVATOR MACHINE ROOM WALLS AND EQUIPMENT. PATCH ALL DISTURBED CONTIGUOUS MATERIALS. INFILL ELEVATOR SHAFT WITH STONE AND PATCH FLOOR TO MATCH EXISTING FIRST FLOOR. PROVIDE SECOND FLOOR INFILL AT SHAFT LOCATION. RE: STRUCT DWGS
 - REMOVE ALL ITEMS INDICATED AT STAIR INCLUDING STAIR IN ITS ENTIRETY, FLOORING, DOORS, RAILINGS & ALL OTHER ITEMS REQ'D; RE: STRUCT DWGS
 - RESERVED
 - REMOVE EXISTING CMU WALL IN ITS ENTIRETY
 - REMOVE EXISTING CMU WALL IN ITS ENTIRETY - SEE STRUCT FOR LINTEL RE: 12/S002
 - CUT OPENING FOR NEW DOOR OR WINDOW - SEE STRUCT FOR LINTEL; RE: 12/S002
 - REMOVE EXISTING METAL STUD AND GWB PARTITION IN ITS ENTIRETY
 - EXISTING TERRAZZO FLOOR TO BE PATCHED IN ALL LOCATIONS WHERE TERRAZZO HAS BECOME LOOSE OR BROKEN AS A RESULT OF WALL DEMOLITION, OR WHERE EXISTING CRACKING EXISTS. AFTER PATCHING EFFORTS ARE COMPLETED AND NEW WALLS LOCATED, AREAS TO RECEIVE VCT OR CERAMIC TILE SHALL BE ROUGHENED TO RECEIVE AND BOND WITH NEW VCT AND / OR CERAMIC TILE ADHESIVE. BONDING AGENTS CAN BE USED TO INCREASE ADHESION AS LONG AS SUPPORTED BY AND PROVIDED IN ACCORDANCE WITH THE WRITTEN SPECIFICATIONS FOR THE TILE AND ADHESIVE.
 - EXISTING STEEL LOCKERS, CONCRETE BASE AND INTEGRAL BENCHES TO REMAIN. BROKEN OR DAMAGED LOCKERS, DOORS AND HARDWARE SHALL BE REPAIRED.
 - REMOVE EXISTING STEEL CATWALK AND STAIRS IN THEIR ENTIRETY. PATCH TO MATCH ALL EFFECTED CONTIGUOUS SURFACES AND MATERIALS.
 - EXISTING PLUMBING FIXTURES AND ASSOCIATED VALVES AND PLUMBING PIPING TO BE REMOVED OR REDIRECTED TO ACCOMMODATE NEW FIXTURES. SEE PROPOSED FLOOR PLAN ON A101 AND PLUMBING DWGS.
 - REMOVE EXISTING PARTITION WALL IN ITS ENTIRETY. COORDINATE RELOCATION OF EXISTING ELECTRICAL PANELS, ALARMS, ETC. WITH THE ELECTRICAL DWGS.
 - REMOVE EXISTING FENCE WALL IN ITS ENTIRETY
 - REMOVE & SALVAGE EXISTING OVERHEAD DOOR. PROVIDE TO OWNER FOR RE-USE
 - REMOVE EXISTING DOOR, FRAME & HARDWARE IN ITS ENTIRETY. SALVAGE HARDWARE AND HAND OVER TO OWNER.
 - REMOVE EXISTING OVERHEAD COILING DOOR & FRAME IN ITS ENTIRETY - RELOCATE AS NOTED TO DOOR 130-3.
 - REMOVE EXISTING LOUVER IN ITS ENTIRETY
 - REMOVE EXISTING WINDOW IN ITS ENTIRETY
 - REMOVE EXISTING STEEL WINDOW FRAMES, GLAZING AND SPANDREL PANELS BELOW EXISTING GLAZING IN THEIR ENTIRETY, TO RECEIVE NEW CMU KNEE WALL AND ALUMINUM GLAZING SYSTEM.
 - REMOVE EXISTING STEEL WINDOW FRAMES, GLAZING AND SPANDREL PANELS BELOW EXISTING GLAZING IN THEIR ENTIRETY, TO RECEIVE NEW CMU AND EPIS KNEE WALL AND ALUMINUM GLAZING SYSTEM.
 - EXISTING EQUIPMENT TO BE RELOCATED TO STORAGE 143
 - REMOVE EXIST BOLLARD IN ITS ENTIRETY
 - RESERVED
 - REMOVE EXISTING CARPET IN ITS ENTIRETY
 - REMOVE EXISTING VCT FLOORING IN ENTIRETY
 - REMOVE EXISTING CASEWORK IN ITS ENTIRETY
 - REMOVE LOCKERS, RELOCATE LOCKERS AS NOTED ON PROPOSED FLOOR PLAN ON SHEET A101. REMOVE LOCKER BASE FLUSH WITH EXISTING FLOOR, PREPARE FLOOR TO RECEIVE NEW FLOOR FINISH



FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



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CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA
FIRST FLOOR DEMOLITION PLAN

DES: DJM	DR: SMV	CHK: JAH	SHEET NO.	TOTAL SHEETS
DATE: 02/21/12	AS-BUILT: -		AD101	36 OF 122
SCALE: AS NOTED				



DESIGN PROFESSIONAL:

DES:	DFT:	7227 N. 16TH Street, Suite 140 Phoenix, AZ 85020		
CHK:	DATE:	www.wendel.com 6-716-888-0700 5716-821-8825		
REVISION LOG				
NO.	DESCRIPTION	REV. BY	CHK. BY	DATE
1	CITY COMMENTS			4/12/12
2	OWNERS COMMENTS	JAH	JAH	4/12/12

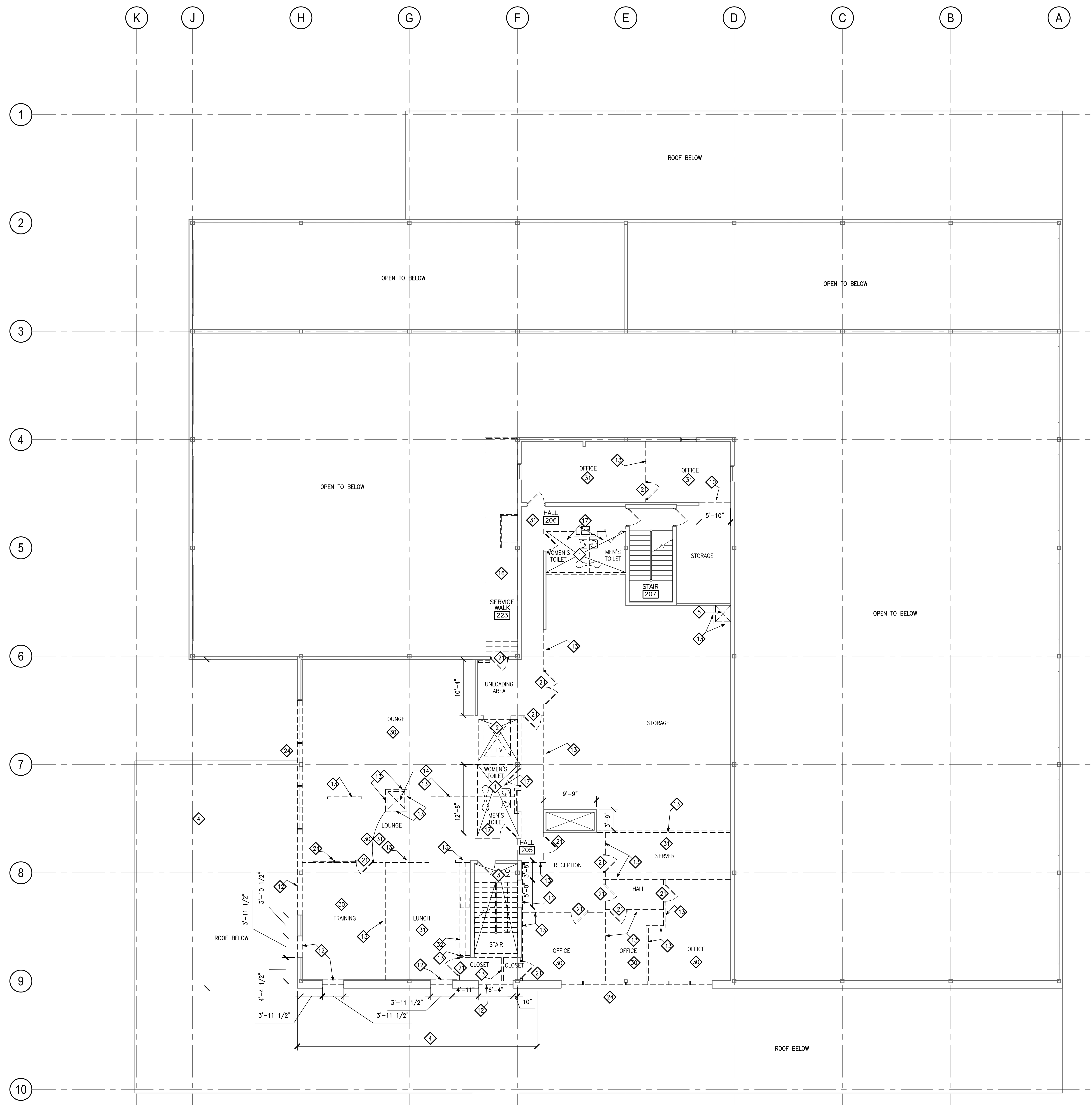


DEMO FLOOR PLAN GENERAL NOTES:

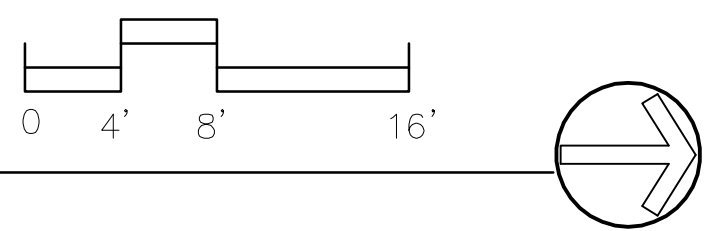
1. CONTRACTOR SHALL AT ALL TIMES PROVIDE AND MAINTAIN A SAFE PATH OF TRAVEL FOR EGRESS OF BUILDING OCCUPANTS ADJACENT TO THE CONSTRUCTION AREA TO A LEGAL OPEN SPACE
2. REFER TO PLUMBING DRAWINGS FOR REMOVAL OF PLUMBING ITEMS
3. REFER TO MECHANICAL DRAWINGS FOR REMOVAL OF MECHANICAL ITEMS
4. REFER TO ELECTRICAL DRAWINGS FOR REMOVAL OF ELECTRICAL ITEMS
5. ALL EXISTING FIRE EXTINGUISHERS TO REMAIN UNLESS OTHERWISE NOTED
6. ANY ITEMS WHICH ARE INDICATED FOR REMOVAL MUST BE REMOVED IN THEIR ENTIRETY
7. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED RETURN ELEMENTS OF CONSTRUCTION AND SURFACES TO REMAIN TO THEIR EXISTING CONDITION PRIOR TO START OF OPERATIONS. REPAIR ADJACENT CONSTRUCTION OF SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK
8. ALL CONTRACTORS TO VERIFY AND COORDINATE DIMENSIONS FOR REMOVALS AFFECTING INSTALLATION OF PROPOSED WORK. PROVIDE ALL REMOVALS AS REQUIRED FOR THE INSTALLATION OF THE PROPOSED WORK
9. ALL EXISTING FREE STANDING FURNITURE AND CASEWORK SHALL BE REMOVED BY OTHERS
10. IN ALL ROOMS WHICH RECEIVE UNDERFLOOR SERVICES REMOVE A PORTION OF THE EXISTING CEILING BELOW AS REQUIRED. RESTORE OR REPLACE REMOVED CEILING AREAS TO MATCH EXISTING OR AS INDICATED ON ROOM FINISH SCHEDULE (A301)
11. CONTRACTOR TO REMOVE/SALVAGE ALL HARDWARE ON DOORS AND FRAMES THAT ARE TO BE REMOVED/DEMOLISHED. HAND OVER HARDWARE TO OWNER

FLOOR PLAN DEMOLITION NOTES:

- 1 REMOVE ALL ITEMS INDICATED AT BATHROOMS INCLUDING GWB WALLS, FLOORING, DOORS, CASEWORK, PLUMBING, TOILET ACCESSORIES & ALL OTHER ITEMS REQ'D.
- 2 REMOVE EXISTING FREIGHT ELEVATOR, MASONRY SHAFT AND ASSOCIATED ELEVATOR MACHINE ROOM WALLS AND EQUIPMENT. PATCH ALL DISTURBED CONTIGUOUS MATERIALS. INFILL ELEVATOR SHAFT WITH STONE AND PATCH FLOOR TO MATCH EXISTING FIRST FLOOR. PROVIDE SECOND FLOOR INFILL AT SHAFT LOCATION.
- 3 REMOVE ALL ITEMS INDICATED AT STAIR INCLUDING STAIR IN ITS ENTIRETY, FLOORING, DOORS, RAILINGS & ALL OTHER ITEMS REQ'D
- 4 CAREFULLY REMOVE EXISTING METAL PANEL CLADDING AS NECESSARY TO FORM OPENING AND INSTALL STEEL FRAMING. REPLACE METAL PANEL UPON COMPLETION.
- 5 INFILL OPENING IN FLOOR WITH CONC TO MATCH EXIST FLOOR CONSTRUCTION AND FINISHED FLOOR LEVEL.
- 6 THRU 6 RESERVED
- 7 REMOVE EXISTING CMU WALL IN ITS ENTIRETY
- 8 REMOVE EXISTING CMU WALL IN ITS ENTIRETY - SEE STRUCT FOR LINTEL RE:12/S001
- 9 CUT OPENING FOR NEW DOOR OR WINDOW - RE: 5&6 ON A301 FOR STEEL FRAMING REQUIREMENTS.
- 10 REMOVE EXISTING METAL STUD AND GWB IN ITS ENTIRETY
- 11 REMOVE VENT STACK. FILL IN FLOOR STRUCTURE. PATCH TO MATCH EXISTING
- 12 RESERVED
- 13 REMOVE EXISTING STEEL CATWALK AND STAIRS IN THEIR ENTIRETY. PATCH TO MATCH ALL EFFECTED CONTIGUOUS SURFACES AND MATERIALS.
- 14 EXISTING PLUMBING FIXTURES AND ASSOCIATED VALVES AND PLUMBING PIPING TO BE REMOVED OR REDIRECTED TO ACCOMMODATE NEW FIXTURES. SEE PROPOSED FLOOR PLAN AND PLUMBING NARRATIVES.
- 15 RESERVED
- 16 RESERVED
- 17 RESERVED
- 18 RESERVED
- 19 RESERVED
- 20 REMOVE EXISTING DOOR, FRAME & HARDWARE IN ITS ENTIRETY. SALVAGE HARDWARE AND HAND OVER TO OWNER.
- 21 REMOVE EXISTING COILING DOOR & FRAME IN ITS ENTIRETY - RELOCATE AS NOTED TO DOOR A130-3.
- 22 REMOVE EXISTING LOUVER IN ITS ENTIRETY
- 23 REMOVE EXISTING WINDOW ITS ENTIRETY
- 24 RESERVED
- 25 RESERVED
- 26 RESERVED
- 27 RESERVED
- 28 RESERVED
- 29 RESERVED
- 30 REMOVE EXISTING CARPET IN ITS ENTIRETY
- 31 REMOVE EXISTING VCT FLOORING IN ENTIRETY
- 32 REMOVE EXISTING CASEWORK IN ITS ENTIRETY



1 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



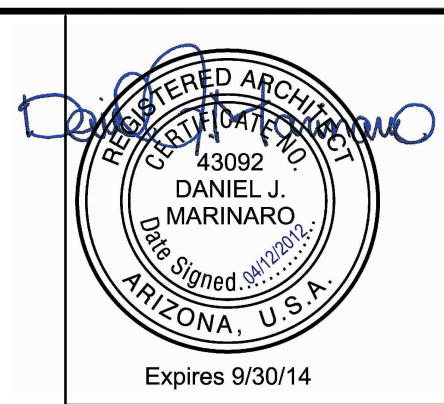
PER CITY OF PHOENIX ORDINANCE G-4396, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.

**CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION**

**NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA**

SECOND FLOOR DEMOLITION PLAN

DES: DJM	DR: SMV	CHK: JAH	SHEET NO.	TOTAL SHEET COUNT
DATE: 02/21/12	AS-BUILT: -		AD102	37 OF 122
SCALE: AS NOTED				



DESIGN PROFESSIONAL:		DATE:		
CHK:	DFT:	DATE:		
REVISION LOG				
NO.	DESCRIPTION	REV. BY	CHK. BY	DATE
1	CITY COMMENTS			4/12/12
2	OWNERS COMMENTS			4/12/12

ROOF PLAN GENERAL NOTES:

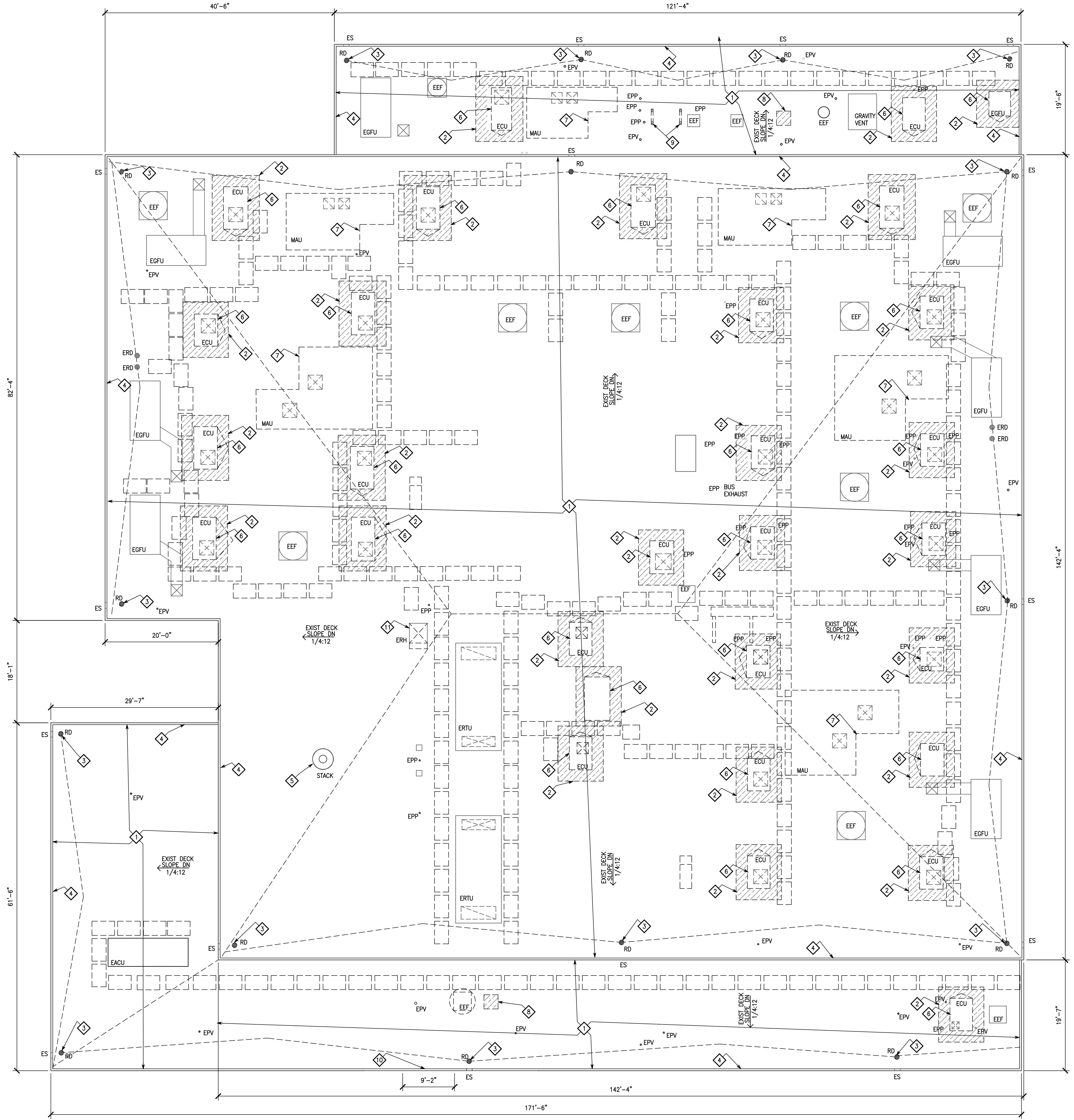
- COORDINATE ALL FINAL ROOF PENETRATIONS W/ MECH. EQUIPMENT AND PLUMBING DWGS.
- ALL DIMENSIONS ARE +/- AND TO BE VERIFIED IN THE FIELD.
- CONTRACTOR TO VERIFY IN FIELD ALL EXISTING ROOF PENETRATIONS, CONDITIONS AND DIMENSIONS PRIOR TO START OF WORK.
- CONTRACTOR PROHIBITED FROM STORING REMOVED OR NEW MATERIALS ON THE EXISTING ROOF.
- MAINTAIN ROOF IN WEATHER TIGHT CONDITION DURING ENTIRE ROOF REMOVAL AND INSTALLATION.
- MAINTAIN ROOF DRAINS IN FUNCTIONING CONDITION TO ENSURE ROOF DRAINAGE AT END OF EACH WORKDAY. PREVENT DEBRIS FROM ENTERING OR BLOCKING ROOF DRAINS. IF ROOF DRAINS WILL BE TEMPORARILY BLOCKED OR UNSERVICEABLE DUE TO ROOFING SYSTEM REMOVAL OR PARTIAL INSTALLATION OF NEW MEMBRANE ROOFING SYSTEM, PROVIDE ALTERNATIVE DRAINAGE METHOD TO REMOVE WATER AND ELIMINATE PONDING.
- IN AREAS WHERE THE ROOF IS BEING REPLACED MAINTAIN EXISTING ROOF SLOPES.

ROOF DEMOLITION NOTES:

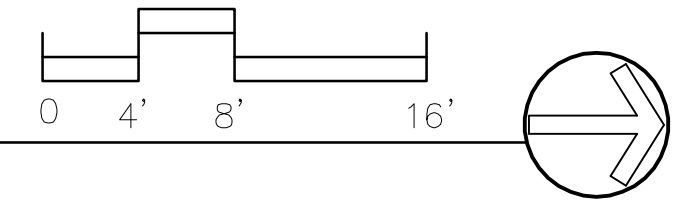
- 1. REMOVE EXISTING ROOFING SYSTEM IN ITS ENTIRETY DOWN TO METAL DECK, TO INCLUDE BUT NOT LIMITED TO: PVC MEMBRANE, RIGID INSULATION, SUBSTRATE BOARD, FLASHING, WALKWAY PADS, ETC..
- 2. REMOVE EXISTING STRUCTURAL METAL DECK, APPROX 80 SQ FT AT EVAPORATOR COOLER UNITS. REPLACE WITH NEW METAL DECK AND FORM OPENING FOR DUCTWORK.
- 3. REMOVE EXISTING ROOF DRAIN IN ITS ENTIRETY.
- 4. REMOVE AND REPLACE COPING ONCE ROOFING SYSTEM INSTALLED.
- 5. REMOVE EXIST STACK IN ITS ENTIRETY. PATCH OPENING IN METAL DECK READY TO RECEIVE NEW ROOF SYSTEM.
- 6. REMOVE EXISTING EVAPORATOR COOLER UNITS AND CURBS IN THEIR ENTIRETY.
- 7. REMOVE EXISTING MAKE-UP AIR UNITS AND CURBS IN THEIR ENTIRETY.
- 8. REMOVE EXISTING METAL DECK AS NECESSARY TO ACCOMMODATE DUCTWORK OPENINGS AND PIPE PENETRATIONS.
- 9. REMOVE EXISTING EQUIPMENT RAILS IN THEIR ENTIRETY.
- 10. REMOVE SECTION OF EXIST PARAPET WALL TO ACCOMMODATE BRIDGE.
- 11. REMOVE EXISTING ROOF HATCH AND DECK IN THEIR ENTIRETY INCLUDING BUT NOT LIMITED TO: HATCH, CURB, MTL DECK, STL ANGLE AS NECESSARY TO ACCOMMODATE LARGER ROOF HATCH.

ROOF PLAN KEYNOTES / LEGEND:

- EXISTING ROOF AND ROOF STRUCTURE TO BE REMOVED
- SLOPE DOWN 1/4:12 SLOPE ROOF DOWN IN DIRECTION SHOWN
- EXISTING PLUMBING VENT STACK
- EXISTING PIPE PENETRATION
- EXISTING EXHAUST FAN
- ROOF DRAIN TO BE REMOVED
- EXISTING ROOF DRAIN
- EXISTING SCUPPER, REFLASHED
- EXISTING EVAPORATOR COOLER UNIT
- EXISTING GAS FURNANCE UNIT
- EXISTING MAKE-UP AIR UNIT
- EXISTING AIR CONDITIONED UNIT
- MAKE-UP AIR UNIT TO BE REMOVED
- EVAPORATOR COOLER UNIT TO BE REMOVED
- EXISTING ROOF HATCH
- WALKWAY PADS TO BE REMOVED



1 ROOF DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



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CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA
DEMOLITION ROOF PLAN

DES: DJM	DR: SMV	CHK: JAH	SHEET NO.	TOTAL SHEET COUNT
DATE: 02/21/12	AS-BUILT: -		AD103.38	OF 122
SCALE: AS NOTED				



DESIGN PROFESSIONAL:

DES:	DFT:			
CHK:	DATE:			
REVISION LOG				
NO.	DESCRIPTION	REV. BY	CKD BY	DATE
1	CITY COMMENTS			4/12/12
2	OWNERS COMMENTS			4/12/12

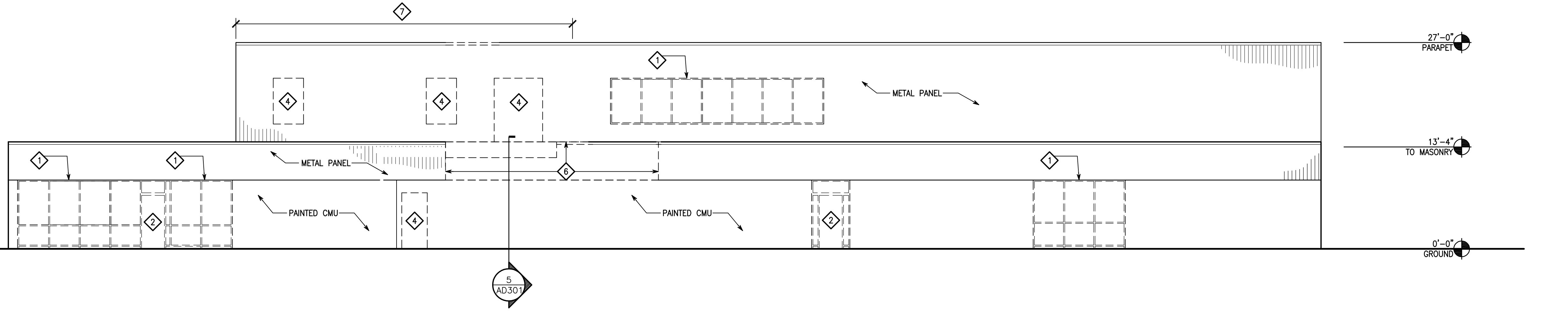


- ### DEMO FLOOR PLAN GENERAL NOTES:
1. REMOVE ALL ITEMS INDICATED BY DASHED LINES OR AS REQ'D FOR NEW CONSTRUCTION
 2. ALL ITEMS REMOVED WHICH ARE NOT RELOCATED OR RETURNED TO OWNER SHALL BE DISPOSED OF OFF-SITE AS REQ'D
 3. PATCH ALL FLOOR SLABS FLAT LEVEL & SMOOTH AS REQ'D FOR NEW FINISHES AS SCHEDULED WHERE WALLS, PLUMBING FIXTURES AND ALL OTHER ITEMS ARE REMOVED
 4. REPAIR AND RESTORE ALL ITEMS DAMAGED DURING PROJECT DURATION BY CONTRACTOR IN EXCESS OF SCOPE OF WORK, TO THEIR ORIGINAL CONDITION. ALL ITEMS NOT ABLE TO BE REPAIRED OR RESTORED TO THEIR ORIGINAL CONDITION ARE TO BE REPLACED WITH MATCHING ITEMS.
 5. ALL DIMENSIONS SHOWN "+/-" ARE TO BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS.

- ### ELEVATION DEMOLITION NOTES:
- 1. REMOVE WINDOW IN ITS ENTIRETY, INCLUDING GLASS, MTL FRAME AND TRIM.
 - 2. REMOVE HM DOOR AND FRAME IN THEIR ENTIRETY INCLUDING BET NOT LIMITED TO DOOR, HARDWARE, THRESHOLD AND FRAME.
 - 3. RESERVED.
 - 4. CUT OPENING FOR NEW DOOR OR WINDOW - SEE SHEET A301 FOR LINTEL. REMOVE EXISTING METAL PANEL SIDING AS NECESSARY TO FORM OPENING AND INSTALL STEEL FRAMING AROUND THE OPENING.
 - 5. REMOVE COLLING DOOR - RELOCATE TO DOOR 130-3.
 - 6. EXISTING METAL PANEL TO BE REMOVED, COORDINATE WITH NEW ADDITION LOCATION
 - 7. CAREFULLY REMOVE EXISTING METAL PANEL CLADDING AS NECESSARY TO FORM OPENING AND INSTALL STEEL FRAMING. REPLACE METAL PANEL UPON COMPLETION.

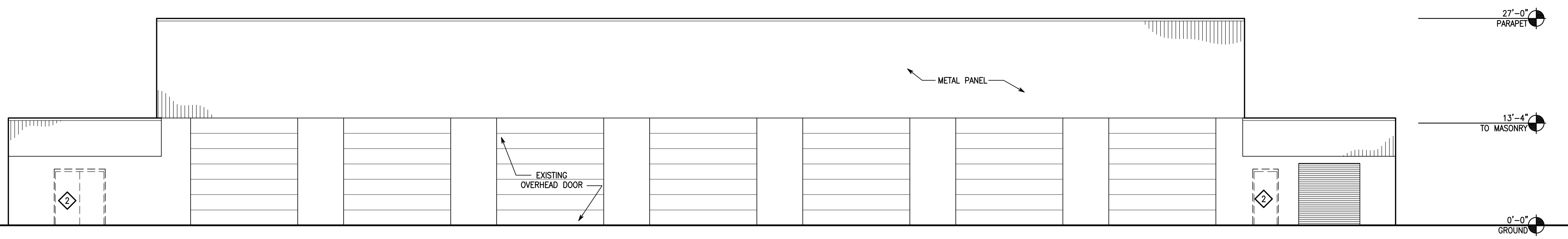
1 EXTERIOR SOUTH DEMOLITION ELEVATIONS

SCALE: 1/8" = 1'-0"



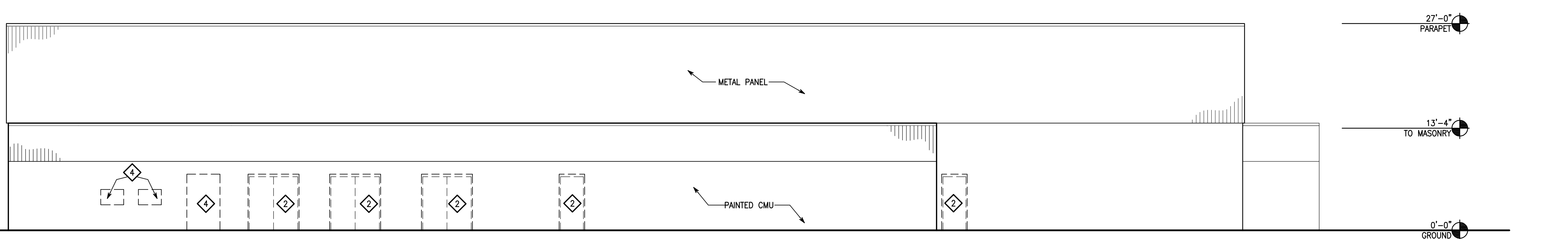
2 EXTERIOR EAST DEMOLITION ELEVATIONS

SCALE: 1/8" = 1'-0"



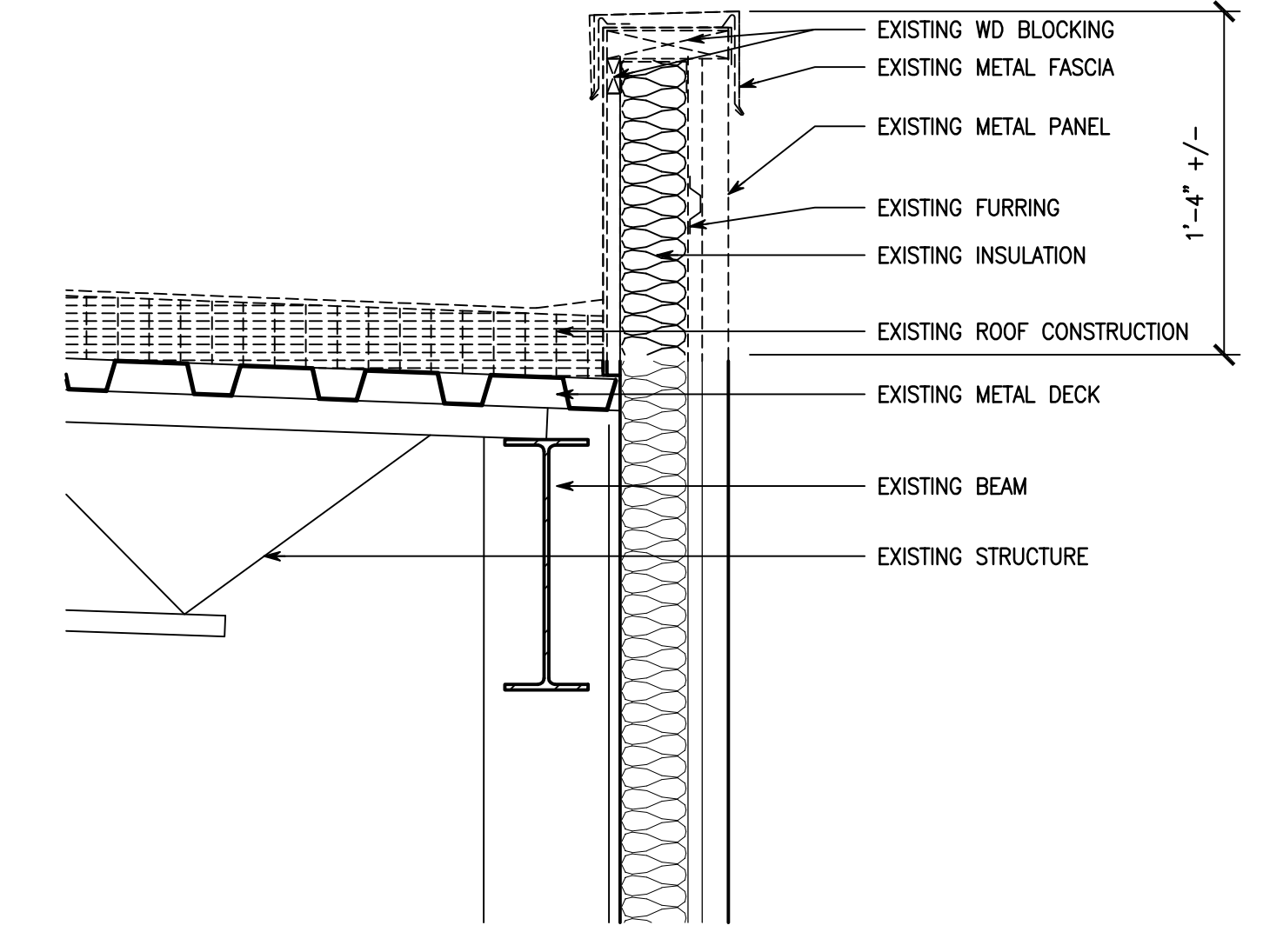
3 EXTERIOR NORTH DEMOLITION ELEVATIONS

SCALE: 1/8" = 1'-0"



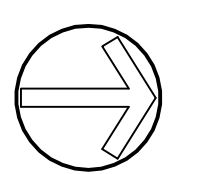
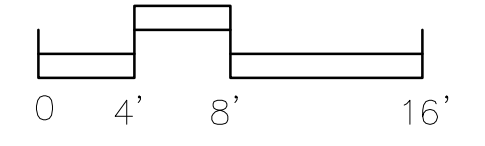
4 EXTERIOR WEST DEMOLITION ELEVATIONS

SCALE: 1/8" = 1'-0"



5 PARTIAL WALL DEMOLITION DETAIL

SCALE: 1-1/2" = 1'-0"



PER CITY OF PHOENIX ORDINANCE G-4396, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.

CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION

NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA

EXTERIOR DEMOLITION ELEVATIONS

DES: DJM	DR: SMV	CK: JAH	SHEET NO.	TOTAL SHEET COUNT
DATE: 02/21/12	AS-BUILT: -		AD301	39 OF 122

SCALE: AS NOTED

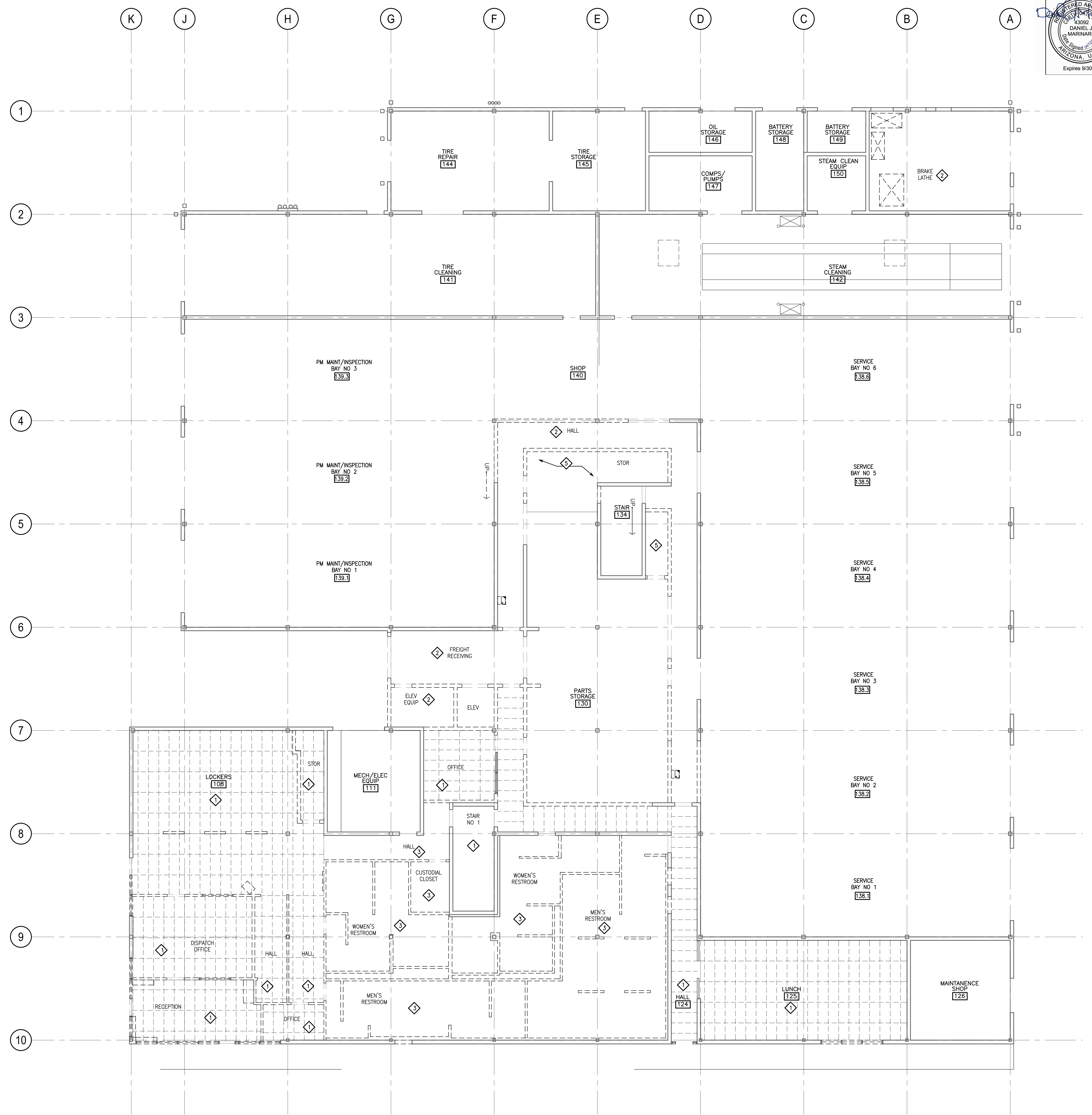
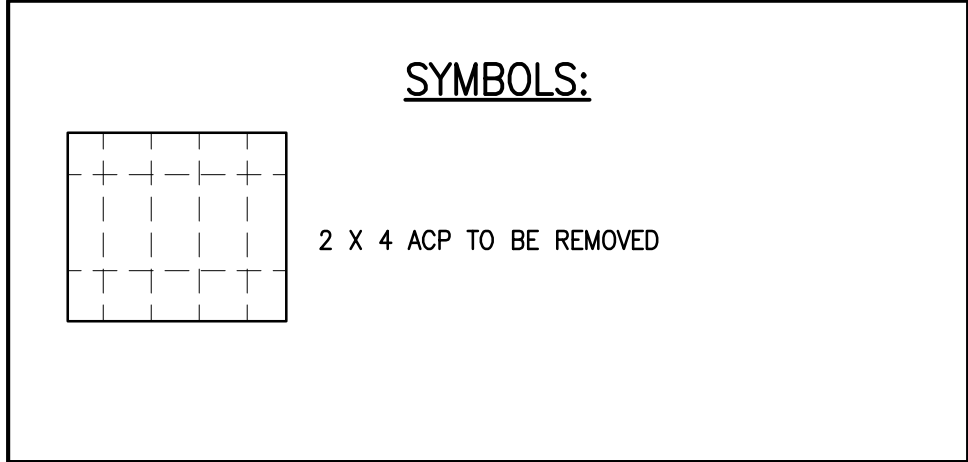
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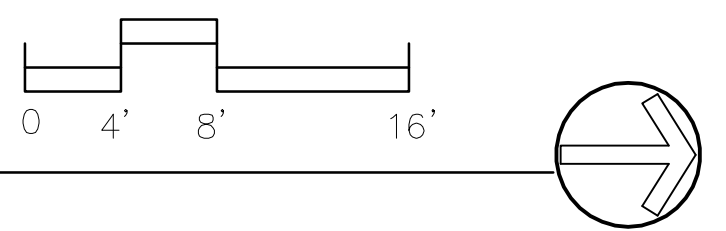
DESIGN PROFESSIONAL:		wendel		
DES: DJM	DFT:	7227 N. 16th Street, Suite 140 Phoenix, AZ 85020 www.wendelcorp.com 602.988.0700 480.988.0805		
CHK:	DATE:	ARCHITECTURE • ENGINEERING • PLANNING ENERGY SERVICES • CONSTRUCTION MANAGEMENT		
REVISION LOG				
NO.	DESCRIPTION	REV. BY	CHK. BY	DATE
1	CITY COMMENTS			4/12/12
2	OWNERS COMMENTS			4/12/12

- DEMO FLOOR PLAN GENERAL NOTES:**
- CONTRACTOR SHALL AT ALL TIMES PROVIDE AND MAINTAIN A SAFE PATH OF TRAVEL FOR EGRESS OF BUILDING OCCUPANTS ADJACENT TO THE CONSTRUCTION AREA TO A LEGAL OPEN SPACE.
 - REFER TO PLUMBING DRAWINGS FOR REMOVAL OF PLUMBING ITEMS
 - REFER TO MECHANICAL DRAWINGS FOR REMOVAL OF MECHANICAL ITEMS
 - REFER TO ELECTRICAL DRAWINGS FOR REMOVAL OF ELECTRICAL ITEMS
 - ALL EXISTING FIRE EXTINGUISHERS TO REMAIN UNLESS OTHERWISE NOTED
 - ANY ITEMS WHICH ARE INDICATED FOR REMOVAL MUST BE REMOVED IN THEIR ENTIRETY
 - REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED RETURN ELEMENTS OF CONSTRUCTION AND SURFACES TO REMAIN TO THEIR EXISTING CONDITION PRIOR TO START OF OPERATIONS. REPAIR ADJACENT CONSTRUCTION OF SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK
 - ALL CONTRACTORS TO VERIFY AND COORDINATE DIMENSIONS FOR REMOVALS AFFECTING INSTALLATION OF PROPOSED WORK. PROVIDE ALL REMOVALS AS REQUIRED FOR THE INSTALLATION OF THE PROPOSED WORK
 - ALL EXISTING FREE STANDING FURNITURE AND CASEWORK SHALL BE REMOVED BY OTHERS
 - IN ALL ROOMS WHICH RECEIVE UNDERFLOOR SERVICES REMOVE A PORTION OF THE EXISTING CEILING BELOW AS REQUIRED. RESTORE OR REPLACE REMOVED CEILING AREAS TO MATCH EXISTING OR AS INDICATED ON ROOM FINISH SCHEDULE

- REFLECTED CEILING PLAN DEMOLITION NOTES:**
- REMOVE EXISTING ACOUSTIC CEILING PANEL, GRID, SUSPENSION MATERIALS, LIGHTS & ALL OTHER CEILING MOUNTED ITEMS IN THEIR ENTIRETY
 - REMOVE ALL CEILING MOUNTED ITEMS IN THEIR ENTIRETY
 - REMOVE EXISTING GYP BD CEILINGS AND GYP BD SOFFITS IN THEIR ENTIRETY
 - REMOVE EXISTING GYP BD CEILING IN ITS ENTIRETY
 - REMOVE EXISTING GWB, AND ALL OTHER CEILING MOUNTED ITEMS IN THEIR ENTIRETY



FIRST FLOOR REFLECTED CEILING DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



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**CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA**

FIRST FLOOR REFLECTED
CEILING DEMOLITION PLAN

DES: DJM	DR: SMV	CHK: JAH	SHEET NO.	TOTAL SHEET COUNT
DATE: 02/21/12	AS-BUILT: -		AD701	40 OF 122

SCALE: AS NOTED

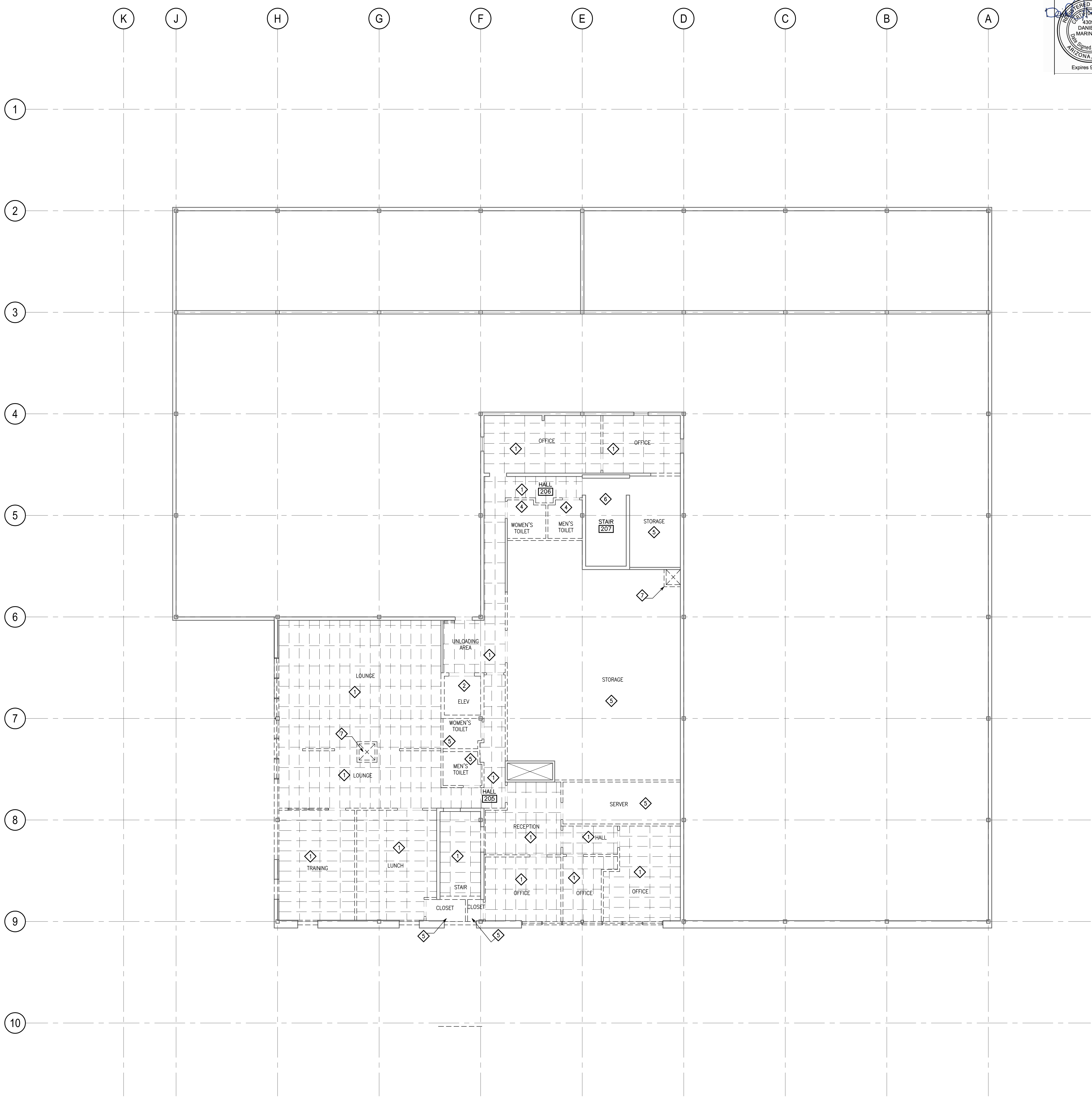
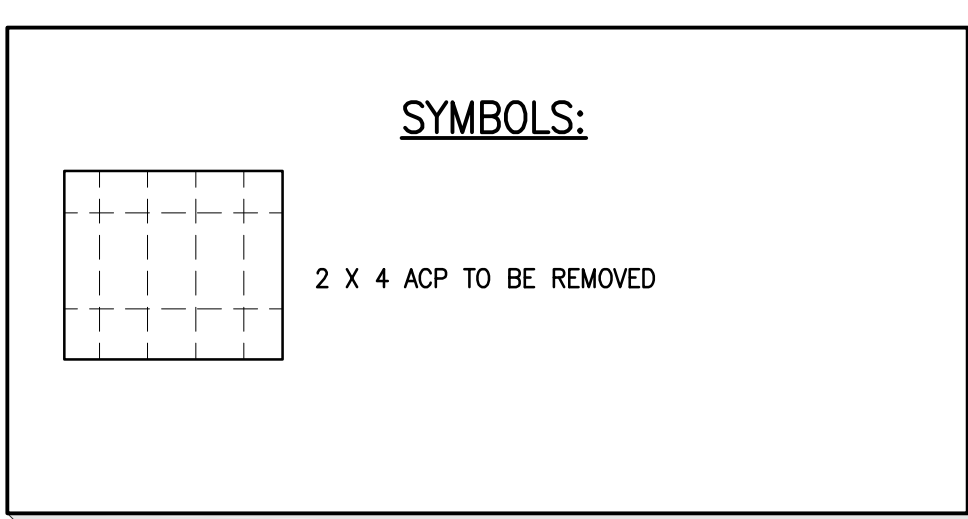
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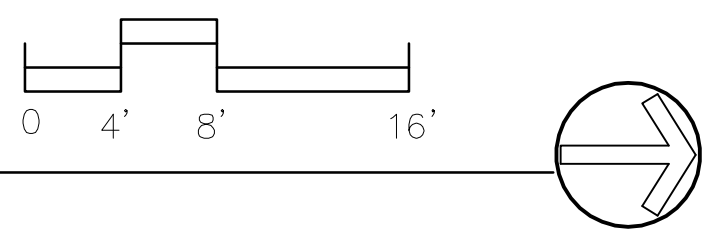
DESIGN PROFESSIONAL:				
DES: DJM	DFT:	7227 N. 16th Street, Suite 140 Phoenix, AZ 85020 www.wendelcompanies.com p: 716.888.8788 f: 716.882.8825		
CHK:	DATE:	ARCHITECTURE • ENGINEERING • PLANNING ENERGY SERVICES • CONSTRUCTION MANAGEMENT		
REVISION LOG				
NO.	DESCRIPTION	REV. BY	CKD. BY	DATE
1	CITY COMMENTS			4/12/12
2	OWNERS COMMENTS			4/12/12

- DEMO FLOOR PLAN GENERAL NOTES:**
1. CONTRACTOR SHALL AT ALL TIMES PROVIDE AND MAINTAIN A SAFE PATH OF TRAVEL FOR EGRESS OF BUILDING OCCUPANTS ADJACENT TO THE CONSTRUCTION AREA TO A LEGAL OPEN SPACE
 2. REFER TO PLUMBING DRAWINGS FOR REMOVAL OF PLUMBING ITEMS
 3. REFER TO MECHANICAL DRAWINGS FOR REMOVAL OF MECHANICAL ITEMS
 4. REFER TO ELECTRICAL DRAWINGS FOR REMOVAL OF ELECTRICAL ITEMS
 5. ALL EXISTING FIRE EXTINGUISHERS TO REMAIN UNLESS OTHERWISE NOTED
 6. ANY ITEMS WHICH ARE INDICATED FOR REMOVAL MUST BE REMOVED IN THEIR ENTIRETY
 7. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED RETURN ELEMENTS OF CONSTRUCTION AND SURFACES TO REMAIN TO THEIR EXISTING CONDITION PRIOR TO START OF OPERATIONS. REPAIR ADJACENT CONSTRUCTION OF SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK
 8. ALL CONTRACTORS TO VERIFY AND COORDINATE DIMENSIONS FOR REMOVALS AFFECTING INSTALLATION OF PROPOSED WORK. PROVIDE ALL REMOVALS AS REQUIRED FOR THE INSTALLATION OF THE PROPOSED WORK
 9. ALL EXISTING FREE-STANDING FURNITURE AND CASEWORK SHALL BE REMOVED BY OTHERS
 10. IN ALL ROOMS WHICH RECEIVE UNDERFLOOR SERVICES REMOVE A PORTION OF THE EXISTING CEILING BELOW AS REQUIRED. RESTORE OR REPLACE REMOVED CEILING AREAS TO MATCH EXISTING OR AS INDICATED ON ROOM FINISH SCHEDULE.

- REFLECTED CEILING PLAN DEMOLITION NOTES:**
- 1. REMOVE EXISTING ACOUSTIC CEILING PANEL, GRID, LIGHTS & ALL OTHER CEILING MOUNTED ITEMS IN THEIR ENTIRETY
 - 2. REMOVE EXISTING LIGHTS AND ALL OTHER CEILING MOUNTED ITEMS IN THEIR ENTIRETY
 - 3. REMOVE EXISTING GYP BD CEILING AND GYP BD SOFFIT IN ITS ENTIRETY
 - 4. REMOVE EXISTING GYP BD CEILING IN ITS ENTIRETY
 - 5. REMOVE EXISTING GWS, LIGHTS AND ALL OTHER CEILING MOUNTED ITEMS IN ITS ENTIRETY
 - 6. EXISTING TO REMAIN
 - 7. REMOVE VENT STACK. PATCH TO MATCH EXISTING



1 SECOND FLOOR REFLECTED CEILING DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



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CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA

SECOND FLOOR REFLECTED
CEILING DEMOLITION PLAN

DES: DJM	DR: SMV	CHK: JAH	SHEET NO.	TOTAL SHEET COUNT
DATE: 02/21/12	AS-BUILT: -		AD702	41 OF 122

SCALE: AS NOTED

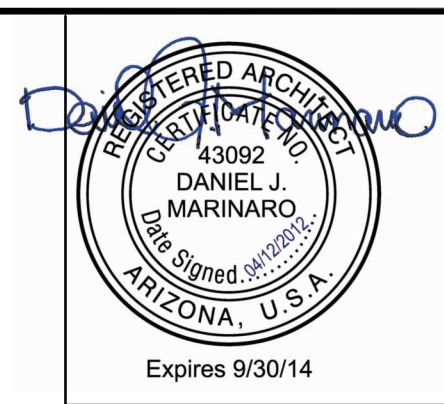
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FLOOR PLAN GENERAL NOTES:

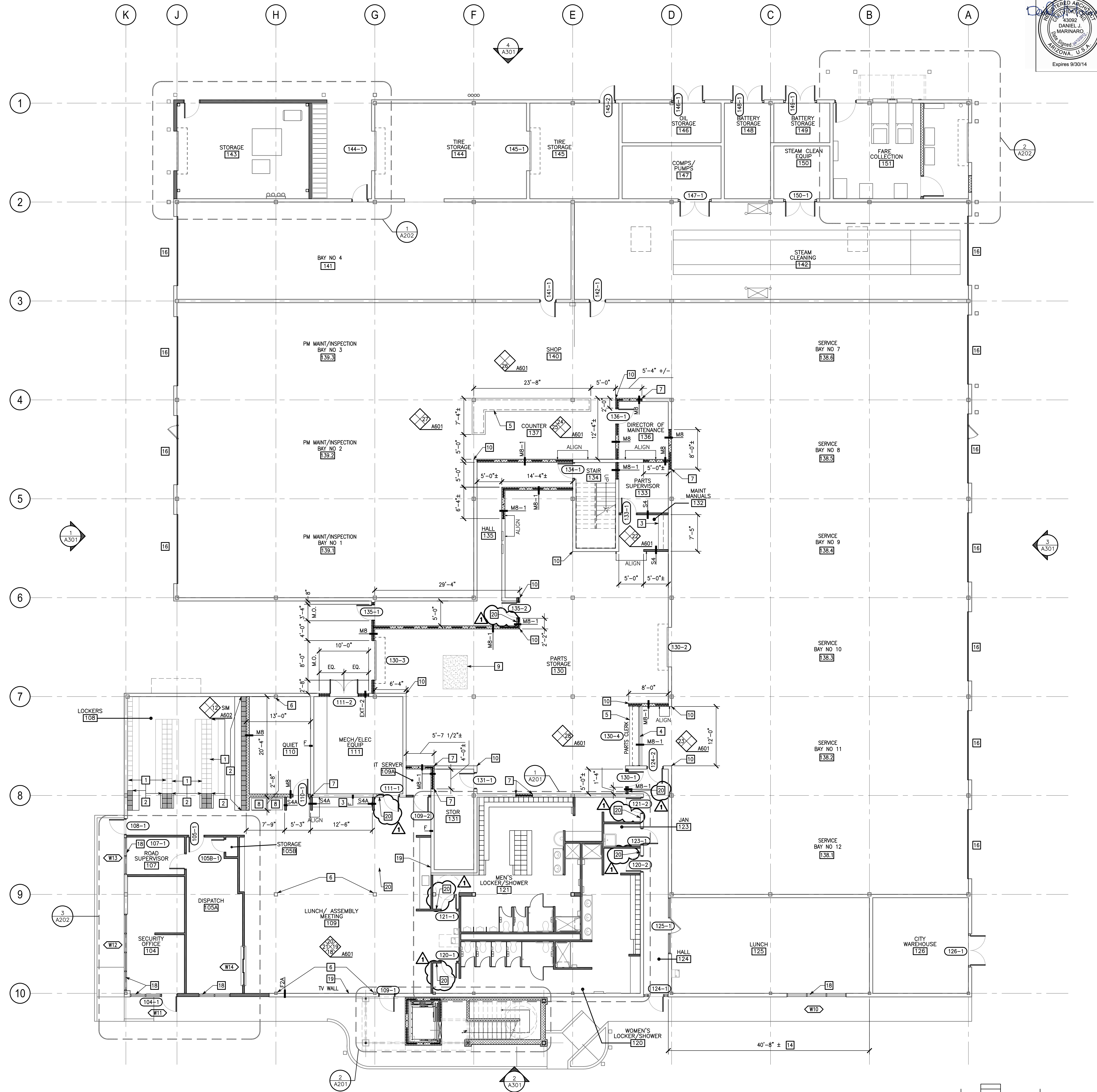
- REPAIR AND RESTORE ALL ITEMS DAMAGED DURING PROJECT DURATION TO THEIR ORIGINAL CONDITION BY CONTRACTOR IN EXCESS OF SCOPE OF WORK. ALL ITEMS NOT ABLE TO BE REPAIRED OR RESTORED TO THEIR ORIGINAL CONDITION ARE TO BE REPLACED WITH MATCHING ITEMS.
- ALL DIMENSIONS SHOWN "+/- VF" ARE TO BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS.

FLOOR PLAN KEYNOTES:

- REFINISH EXISTING LOCKERS TO REMAIN.
- RELOCATED LOCKERS; RE: DETAIL 3 & 5 ON SHEET A802.
- MILLWORK; RE: INTERIOR ELEVATIONS
- OVERHEAD COILING COUNTER DOOR (FIRE RATED)
- COUNTER; RE: 3/A803
- EXIST COLUMNS, PNT
- ALIGN WALL WITH EXIST WALL FACE.
- VENDING MACHINE NIC
- INFILL ELEVATOR PIT, RE: STRUCTURAL DRAWINGS
- METAL CORNER GUARD 6FT HIGH.
- INFILL CONCRETE FLOOR SLAB: RE: STRUCT DRAWINGS.
- INSTALL 5/8" GWB TO FACE OF EXIST CMU, FULL HEIGHT.
- GUTTER; RE: 3/A413
- PROVIDE INSULATION TO EXISTING WALL ABOVE CEILING; RE: 1/A801
- PROVIDE INSULATION TO EXISTING WALL ABOVE CEILING; RE: 2/A801
- PAINT EXISTING OVERHEAD DOOR
- PROJECTION SCREEN
- ROLLER SHADES TO WINDOWS
- PROVIDE ACCENT COLOR FOR PNT ON FULL LENGTH OF WALL.
- PROVIDE MINIMUM 18" CLEARANCE TO LATCH SIDE OF DOOR.



DESIGN PROFESSIONAL:		wendel	
DES:	DFT:	7227 N. 16th Street, Suite 140 Phoenix, AZ 85020	
CHK:	DATE:	www.wendelcompanies.com P: 716.888.0700 F: 716.821.8825	
REVISION LOG			
NO.	DESCRIPTION	REV. BY	CHK BY DATE
1	CITY COMMENTS		4/12/12
2	OWNERS COMMENTS		4/12/12



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

PER CITY OF PHOENIX ORDINANCE G-4396, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.

**CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA**

FIRST FLOOR PLAN			
DES: DJM	DR: SMV	CHK: JAH	SHEET NO. TOTAL
DATE: 02/21/12	AS-BUILT: -		A101 42 OF 122
SCALE: AS NOTED			

FLOOR PLAN GENERAL NOTES:

- REPAIR AND RESTORE ALL ITEMS DAMAGED DURING PROJECT DURATION TO THEIR ORIGINAL CONDITION BY CONTRACTOR IN EXCESS OF SCOPE OF WORK. ALL ITEMS NOT ABLE TO BE REPAIRED OR RESTORED TO THEIR ORIGINAL CONDITION ARE TO BE REPLACED WITH MATCHING ITEMS.
- ALL DIMENSIONS SHOWN "+/-" OR "VIT" ARE TO BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS.

FLOOR PLAN KEYNOTES:

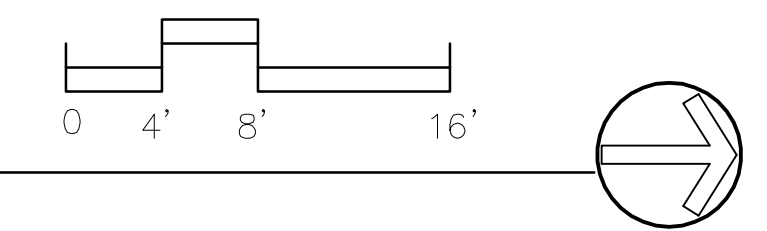
- REFINISH EXISTING LOCKERS TO REMAIN.
- RELOCATED LOCKERS; RE: DETAIL 3 & 5 ON SHEET A802.
- MILLWORK; RE: INTERIOR ELEVATIONS
- OVERHEAD COILING COUNTER DOOR (FIRE RATED)
- COUNTER; RE: 3/A803
- EXIST COLUMNS, PNT
- ALIGN WALL WITH EXIST WALL FACE.
- VENDING MACHINE NIC
- INFILL ELEVATOR PIT, RE: STRUCTURAL DRAWINGS
- METAL CORNER GUARD 6FT HIGH.
- INFILL CONCRETE FLOOR SLAB; RE: STRUCT DRAWINGS.
- INSTALL 5/8" GWB TO FACE OF EXIST CMU, FULL HEIGHT.
- GUTTER; RE: 3/A413
- PROVIDE INSULATION TO EXISTING WALL ABOVE CEILING; RE: 1/AB01
- PROVIDE INSULATION TO EXISTING WALL ABOVE CEILING; RE: 2/AB01
- PAINT EXISTING OVERHEAD DOOR
- PROJECTION SCREEN
- ROLLER SHADES TO WINDOWS
- PROVIDE ACCENT COLOR FOR PNT ON FULL LENGTH OF WALL.
- PROVIDE MINIMUM 18" CLEARANCE TO LATCH SIDE OF DOOR



DESIGN PROFESSIONAL:		wendel	
DES:	DFT:	7227 N. 16th Street, Suite 140 Phoenix, AZ 85020 www.wendelcompanies.com 602.988.8788 • 516.623.8825 ARCHITECTURE • ENGINEERING • PLANNING ENERGY SERVICES • CONSTRUCTION MANAGEMENT	
CHK:	DATE:	REVISION LOG	
NO.	DESCRIPTION	REV. BY	CHK. BY
1	CITY COMMENTS		4/12/12
2	OWNERS COMMENTS		4/12/12



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



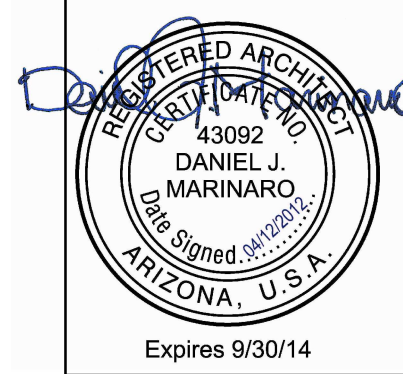
PER CITY OF PHOENIX ORDINANCE G-4396, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.

**CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA
SECOND FLOOR PLAN**

DES: DJM	DR: SMV	CHK: JAH	SHEET NO.	TOTAL SHEET COUNT
DATE: 02/21/12	AS-BUILT: -		A102	43 OF 122
SCALE: AS NOTED				

DESIGN PROFESSIONAL: _____
 DES: DJM DFT: _____
 CHK: _____ DATE: _____

REVISION LOG				
NO.	DESCRIPTION	REV. BY	CHK. BY	DATE
1	CITY COMMENTS	JAH	JAH	4/12/12
2	OWNERS COMMENTS	JAH	JAH	4/12/12



NOTE: DEFERRED SUBMITTAL
 CONTRACTOR TO PROVIDE A DEFERRED SUBMITTAL IN ACCORDANCE WITH IBC 2006, SECTION 106.3.4.2 - DEFERRED SUBMITTALS, FOR THE SHOP-MANUFACTURED SUN SCREEN CANOPY LOCATED ABOVE THE FARE COLLECTION WINDOWS. THE CANOPY SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

ROOF PLAN GENERAL NOTES:

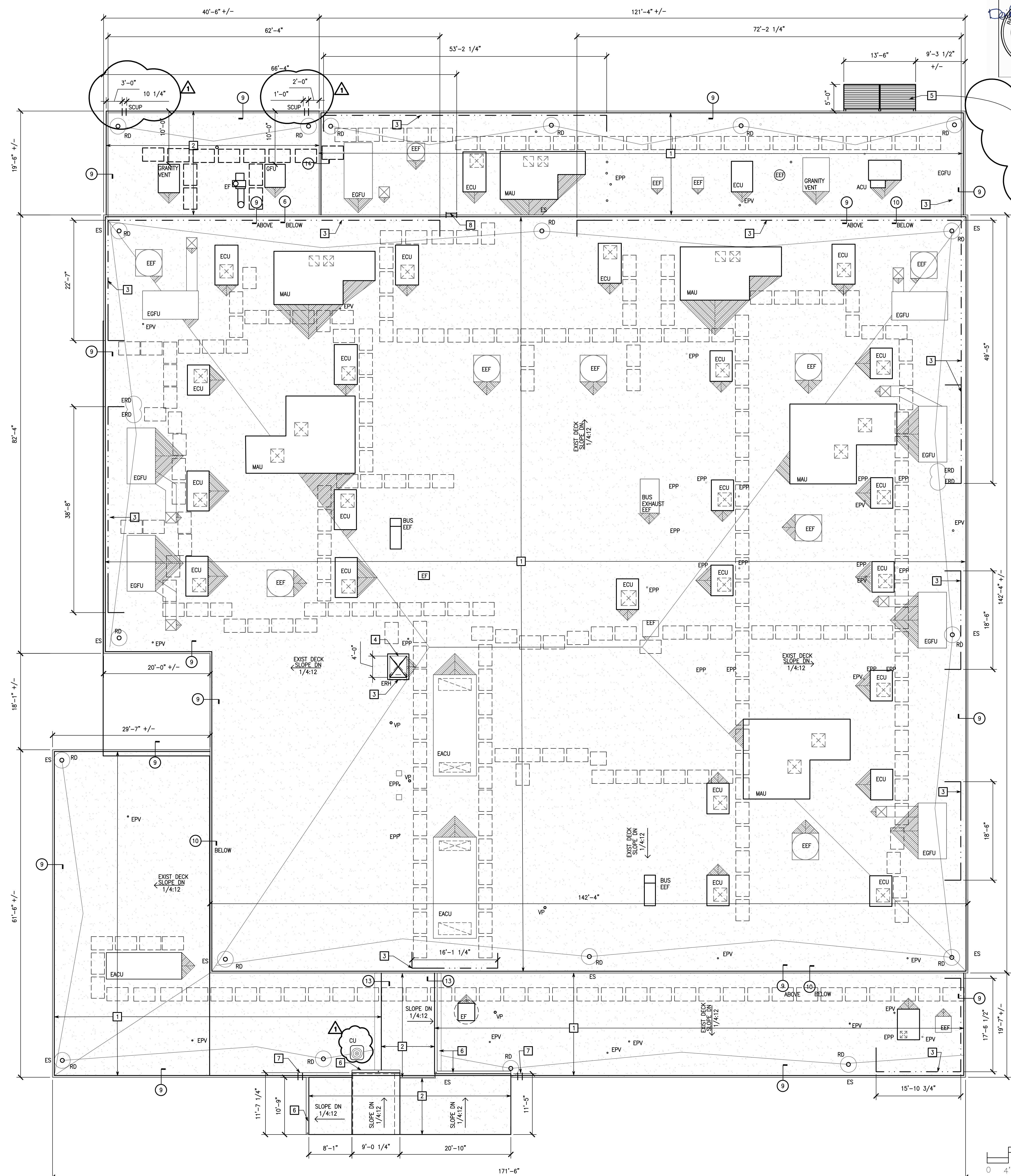
- ROOF FLASHING MAY CONTAIN ASBESTOS. RE: ASBESTOS ABATEMENT DWGS.
- COORDINATE ALL FINAL ROOF PENETRATIONS W/ HVAC, EQUIPMENT AND PLUMBING DWGS.
- ALL DIMENSIONS ARE +/- AND TO BE VERIFIED IN THE FIELD. CONTRACTOR TO VERIFY IN FIELD ALL EXISTING ROOF PENETRATIONS, CONDITIONS AND DIMENSIONS PRIOR TO START OF WORK.
- CONTRACTOR PROHIBITED FROM STORING REMOVED OR NEW MATERIALS ON THE EXISTING ROOF.
- MAINTAIN ROOF IN WEATHER TIGHT CONDITION DURING ENTIRE ROOF REMOVAL AND INSTALLATION.
- MAINTAIN ROOF DRAINS IN FUNCTIONING CONDITION TO ENSURE ROOF DRAINAGE AT END OF EACH WORKDAY. PREVENT DEBRIS FROM ENTERING OR BLOCKING ROOF DRAINS. IF ROOF DRAINS WILL BE TEMPORARILY BLOCKED OR UNSERVICABLE DUE TO ROOFING SYSTEM REMOVAL OR PARTIAL INSTALLATION OF NEW MEMBRANE ROOFING SYSTEM, PROVIDE ALTERNATIVE DRAINAGE METHOD TO REMOVE WATER AND ELIMINATE PONDING.
- IN AREAS WHERE THE ROOF IS BEING REPLACED MAINTAIN EXISTING ROOF SLOPES.

ROOF CONSTRUCTION NOTES:

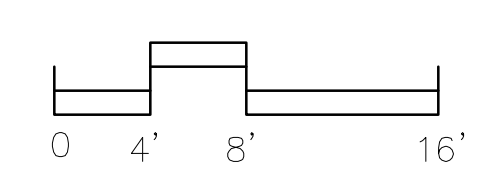
- PROVIDE PVC ROOFING SYSTEM TYPE #1 TO WHOLE AREA. (RE: A410)
- PROVIDE PVC ROOFING SYSTEM TYPE #2. (RE: A410)
- SAFETY RAIL SYSTEM; RE: 14/A410
- ROOF HATCH SAFETY RAIL
- ALUM SUN SCREEN CANOPY; RE: 18/A410
- MTL GUTTER AND DOWNSPOUT; RE: 8/A411 (SIM)
- FORM SCUPPER IN EXIST PARAPET; RE: 12/A410
- SHIP LADDER; RE: 15/A410

ROOF PLAN KEYNOTES / LEGEND:

- NEW ROOF SYSTEM OVER EXISTING STRUCTURE
- NEW ROOF SYSTEM OVER NEW STRUCTURE
- WALKING PAD
- SLOPE ROOF DECK DOWN IN DIRECTION SHOWN
- EXISTING PLUMBING VENT STACK, APPLY DETAIL 3/A410
- EXISTING PLUMBING VENT STACK, APPLY DETAIL 3/A410
- EXISTING PIPE PENETRATION, APPLY DETAIL 5/A410
- EXISTING EXHAUST FAN, APPLY DETAIL 11/A410
- EXHAUST FAN, APPLY DETAIL 11/A410
- ROOF DRAIN, APPLY DETAIL 8/A410
- EXISTING ROOF DRAIN, APPLY DETAIL 7/A410
- EXISTING SCUPPER, APPLY DETAIL 12/A410
- SECONDARY SCUPPER, APPLY DETAIL 19/A410
- EXISTING GAS FURNACE UNIT, APPLY DETAIL 11/A410
- EXISTING BUS VEHICLE EXHAUSTERS
- EXISTING AIR CONDITIONED UNIT, APPLY DETAIL 11/A410
- MAKE-UP AIR UNIT, APPLY DETAIL 11/A410
- EVAPORATOR COOLER UNIT, APPLY DETAIL 11/A410
- CONDENSING UNIT, APPLY DETAIL 11/A410
- EXISTING ROOF HATCH, APPLY DETAIL 11/A410
- TAPERED INSULATION CRICKET SLOPE DOWN IN DIRECTION INDICATED @ 1/2"=12"
- ROOF DETAIL NUMBER APPLIES TO THE DETAIL NUMBER ON A410, UNLESS OTHERWISE NOTED



1 ROOF PLAN
 SCALE: 1/8" = 1'-0"

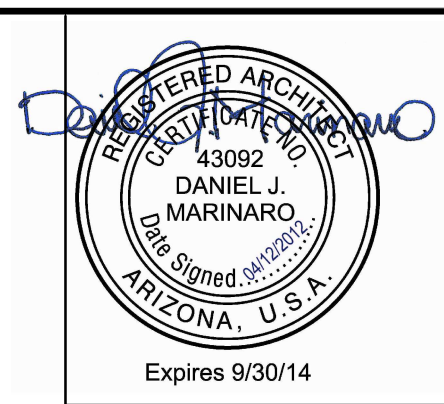


PER CITY OF PHOENIX ORDINANCE G-4396, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.

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PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA
 ROOF PLAN

DES: DJM	DR: SMV	CHK: JAH	SHEET NO.:	TOTAL SHEET COUNT:
DATE: 02/21/12	AS-BUILT: -		A103	44 OF 122

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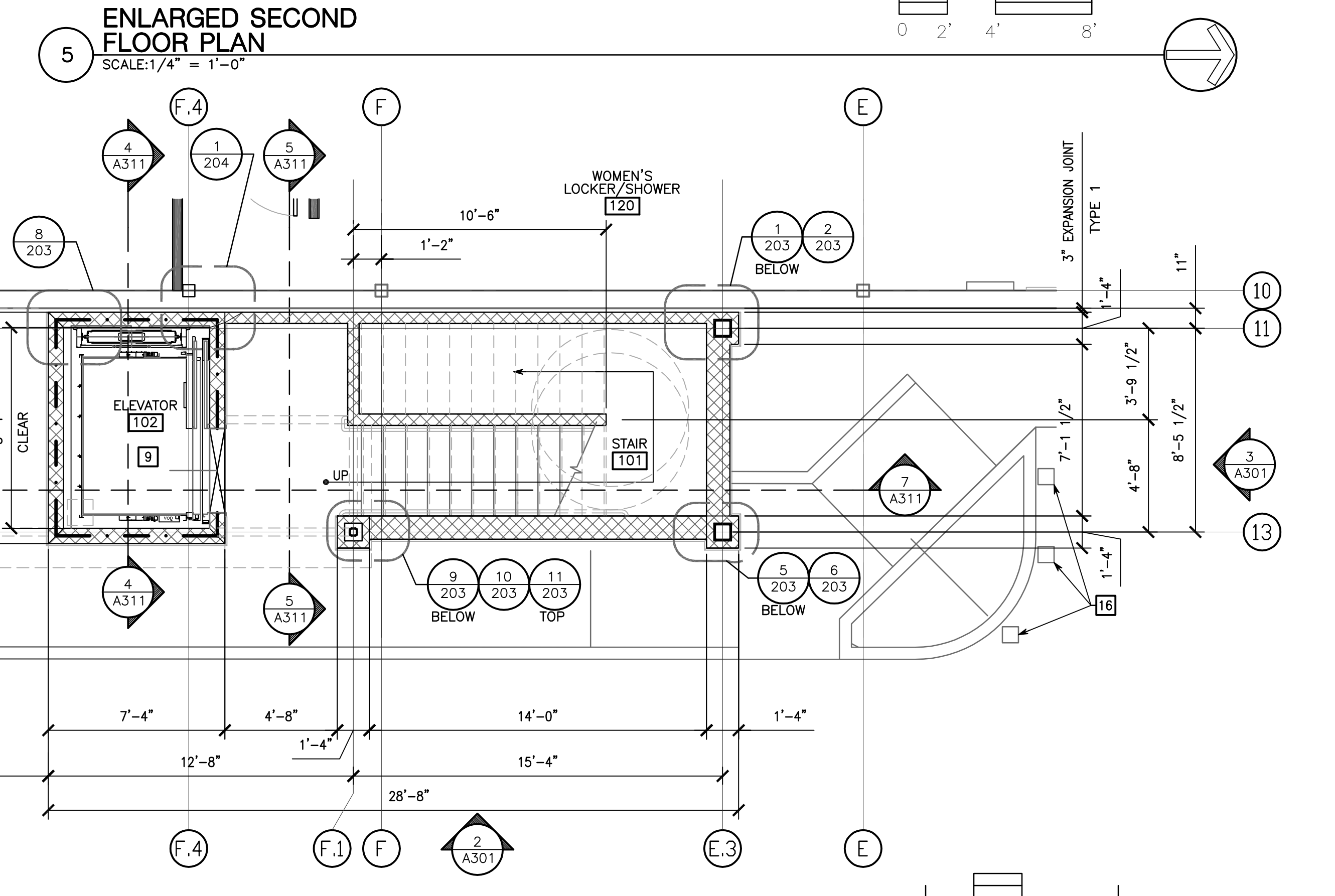
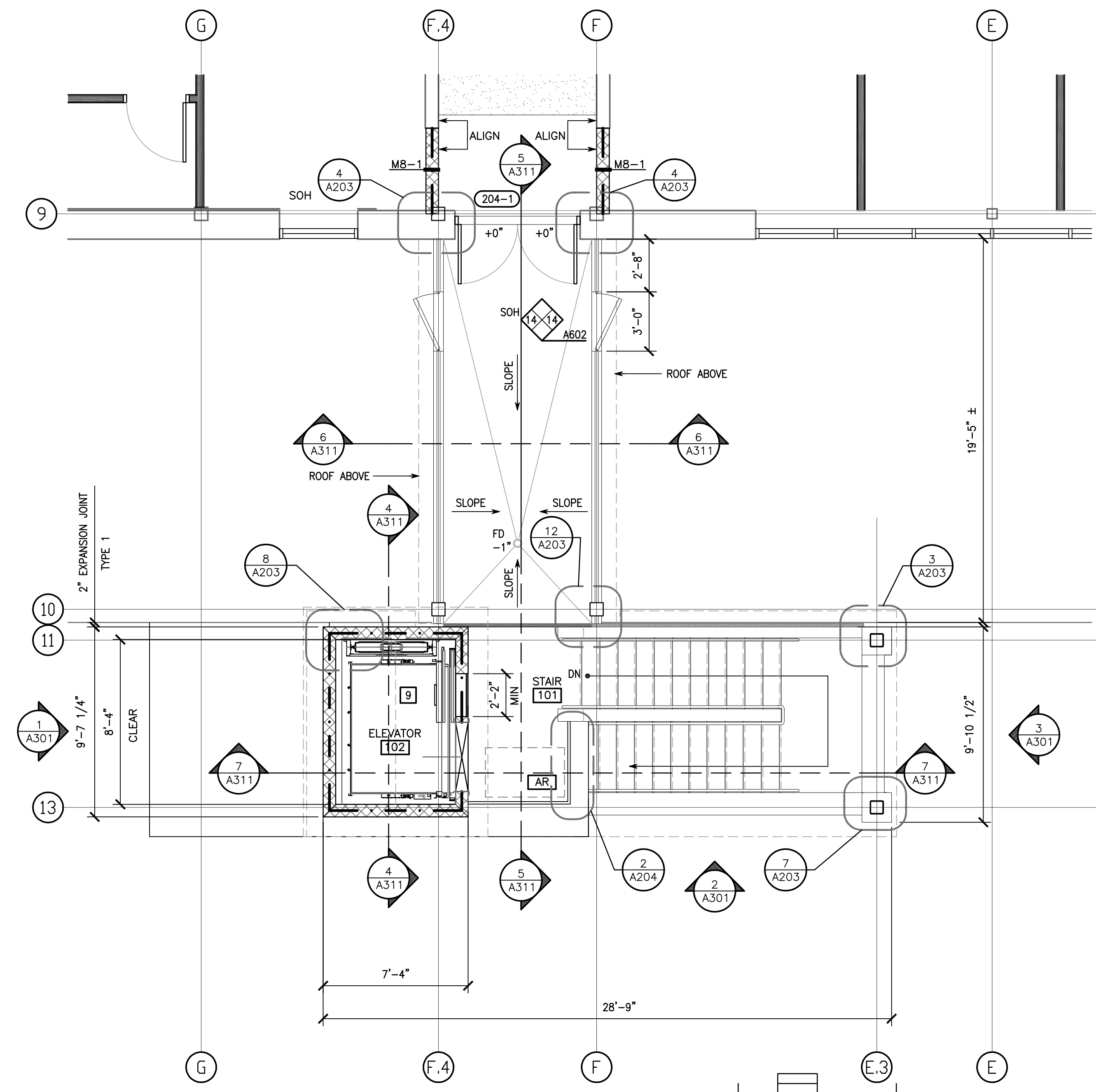


DESIGN PROFESSIONAL:		wendel	
DES: DJM	DFT: SMV	7227 N. 16th Street, Suite 140 Phoenix, AZ 85020 www.wendelcompanies.com P: 716.888.0700 F: 716.888.0825	
CHK: JAH	DATE: 02/21/12	ARCHITECTURE • ENGINEERING • PLANNING ENERGY SERVICES • CONSTRUCTION MANAGEMENT	
REVISION LOG			
NO.	DESCRIPTION	REV. BY	CHK. BY
1	CITY COMMENTS	JAH	JAH
2	OWNERS COMMENTS	JAH	JAH
			DATE
			4/12/12
			4/12/12

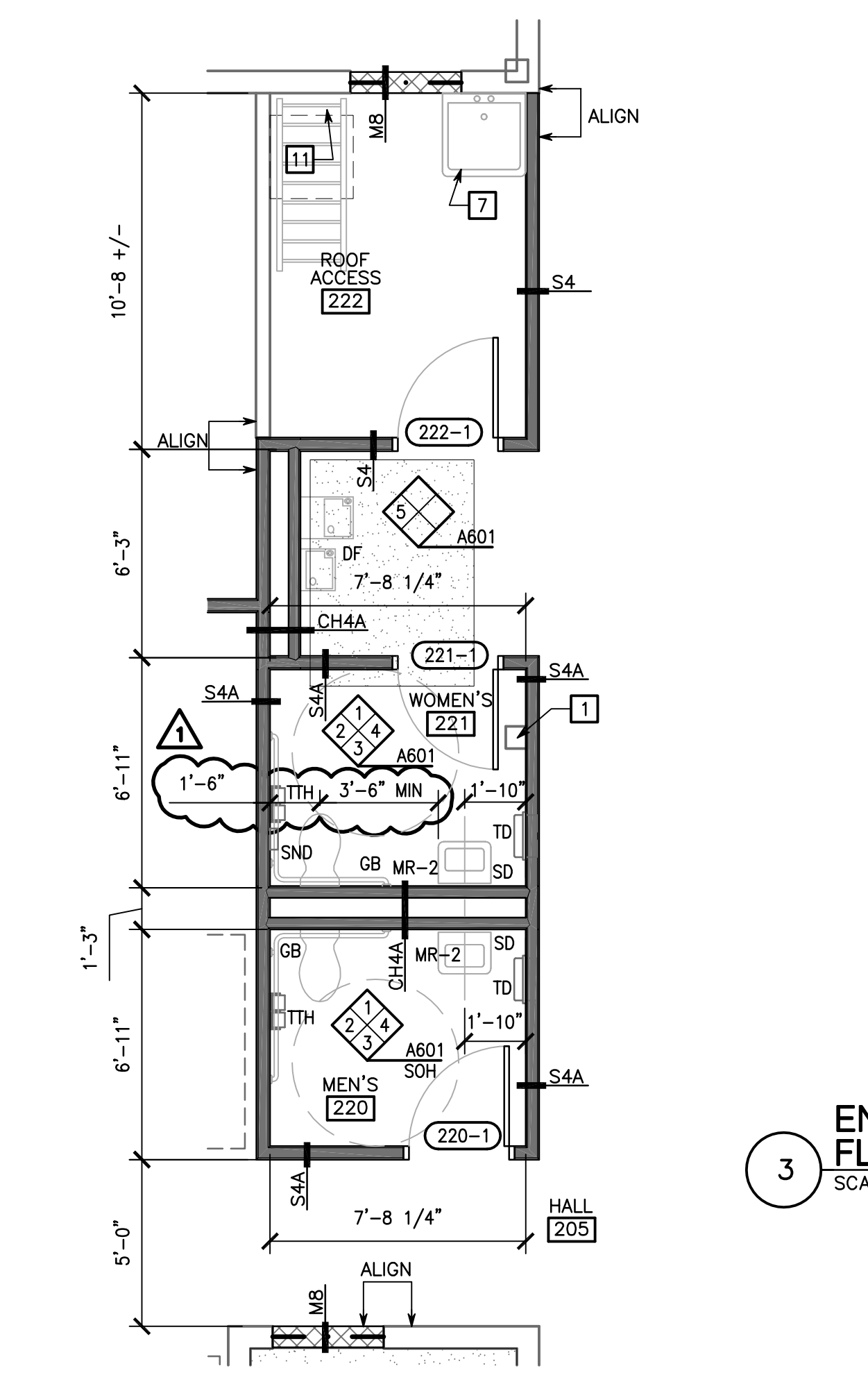
FLOOR PLAN GENERAL NOTES:

- REPAIR AND RESTORE ALL ITEMS DAMAGED DURING PROJECT DURATION TO THEIR ORIGINAL CONDITION BY CONTRACTOR IN EXCESS OF SCOPE OF WORK. ALL ITEMS NOT ABLE TO BE REPAIRED OR RESTORED TO THEIR ORIGINAL CONDITION ARE TO BE REPLACED WITH MATCHING ITEMS.
- ALL DIMENSIONS SHOWN "+/-" ARE TO BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS.

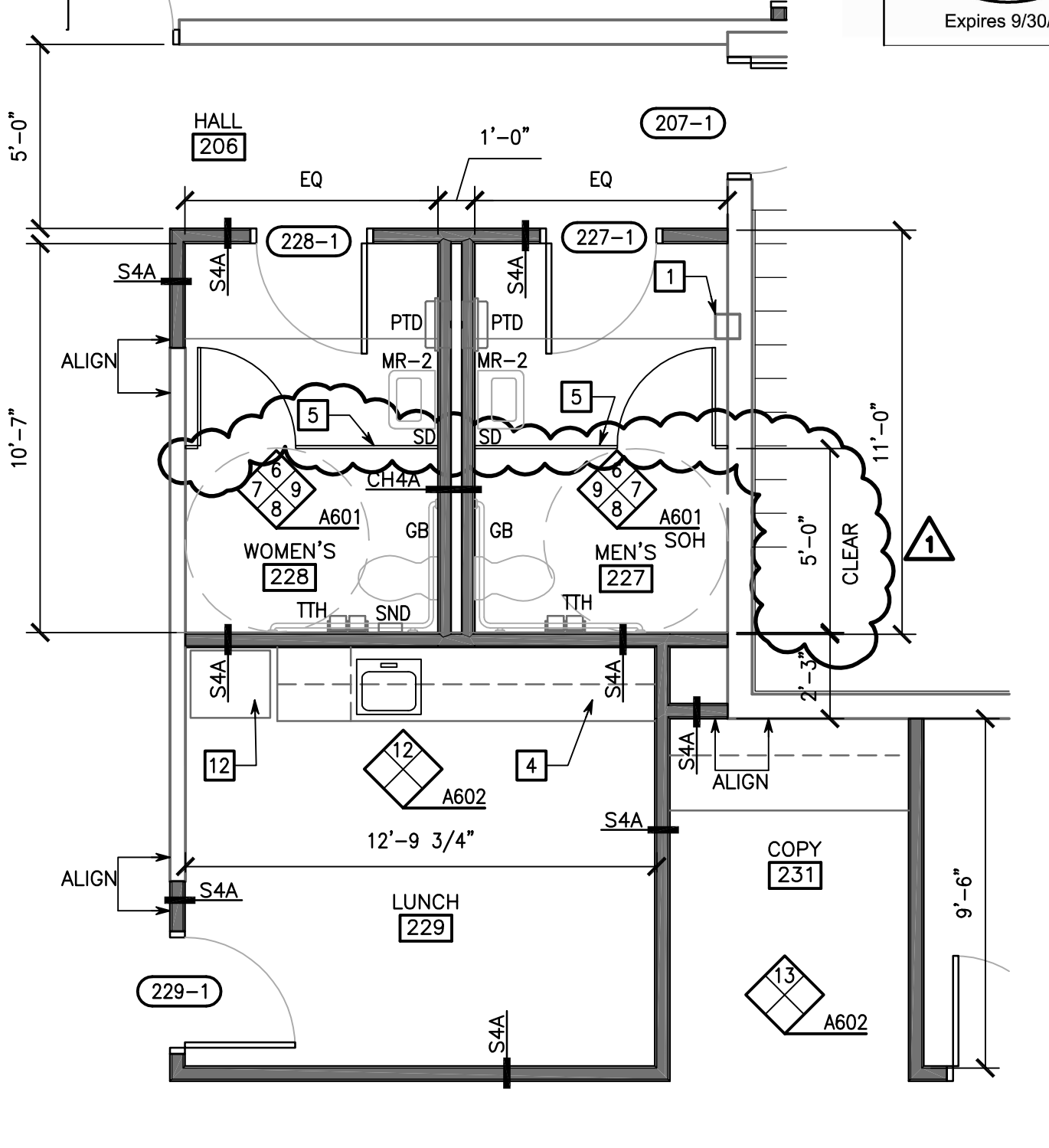
- FLOOR PLAN KEYNOTES:**
- EXISTING STEEL COLUMN, PNT
 - RELOCATED LOCKERS ON CONC BENCH; RE: 3&5/A802
 - PROVIDE BOW ENGINEERING & MANUF 2# TWO TIER TIRE STORAGE RACKS 2'-6"W X 9'-8"L X 8'-0"H. MODEL #TR-16 CONSTRUCTED OF HEAVY WALL TUBULAR STEEL AND PIPE WITH BASE PLATES BOLTED TO CONC SLAB W ADHESIVE ANCHORS. COMPLY WITH ALL OSHA STANDARDS. PROVIDE JIB CRANE TROLLEY.
 - MILLWORK; RE: INTERIOR ELEVATIONS
 - TOILET PARTITIONS
 - SHOWER UNIT
 - PLUMBING FIXTURE
 - SOLID SURFACE SHELF W/CLOTHES HOOK; RE: 6/A201
 - ELECTRIC TRACTION ELEVATOR
 - NOT USED
 - ROOF ACCESS LADDER; RE: 16/A410
 - REFRIGERATOR NIC
 - EXIST ELECT DATA CONDUIT TO REMAIN
 - EXIST BOLLARDS TO REMAIN, PNT
 - PREP EXIST CONC FLOOR. PROVIDE TCS1 TO WHOLE AREA WITH MAX 1% SLOPE AND MAX TOLERANCE OF +/- 0.3%. RE 071800 TRAFFIC COATINGS.
 - STL BOLLARD, HPC; RE: 9/A051
 - PROVIDE SEALANT TO VERTICAL JOINTS BETWEEN STEEL AND CMU, FULL LENGTH
 - STEEL TUBE, PNT; RE: STRUCT DWGS
 - CONTRACTOR TO RELOCATE EXIST EQUIPMENT. REF ELEC DWG E301 FOR ELECTRICAL HOOK-UP.
 - AIR COMPRESSOR RE P201.



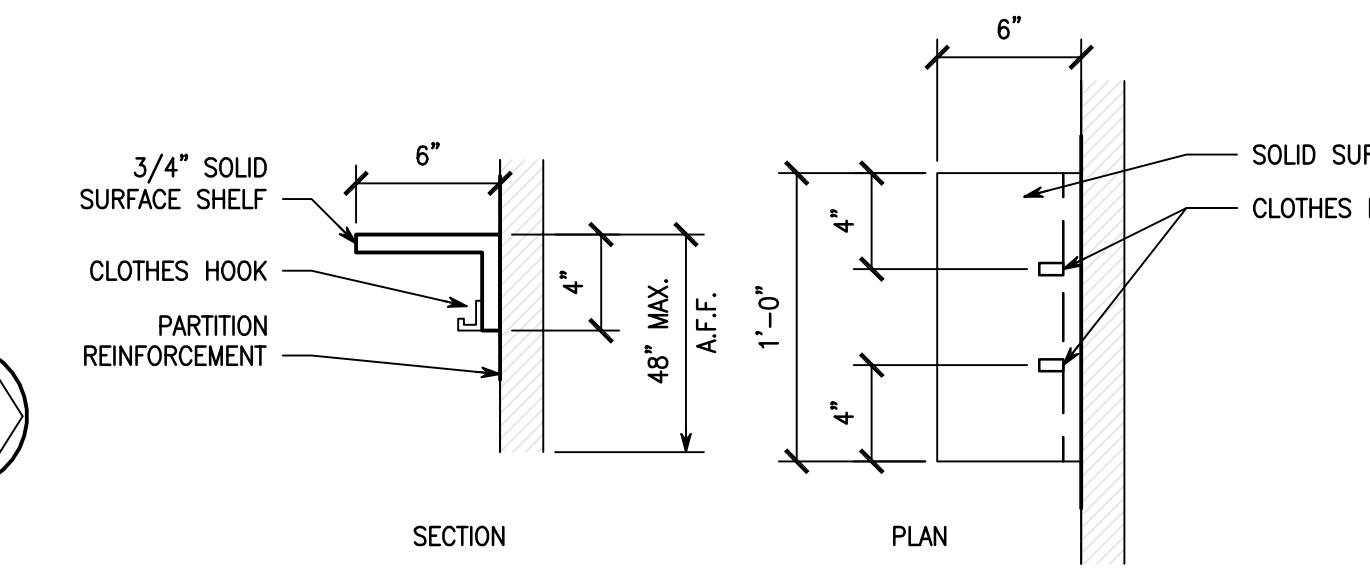
2 ENLARGED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



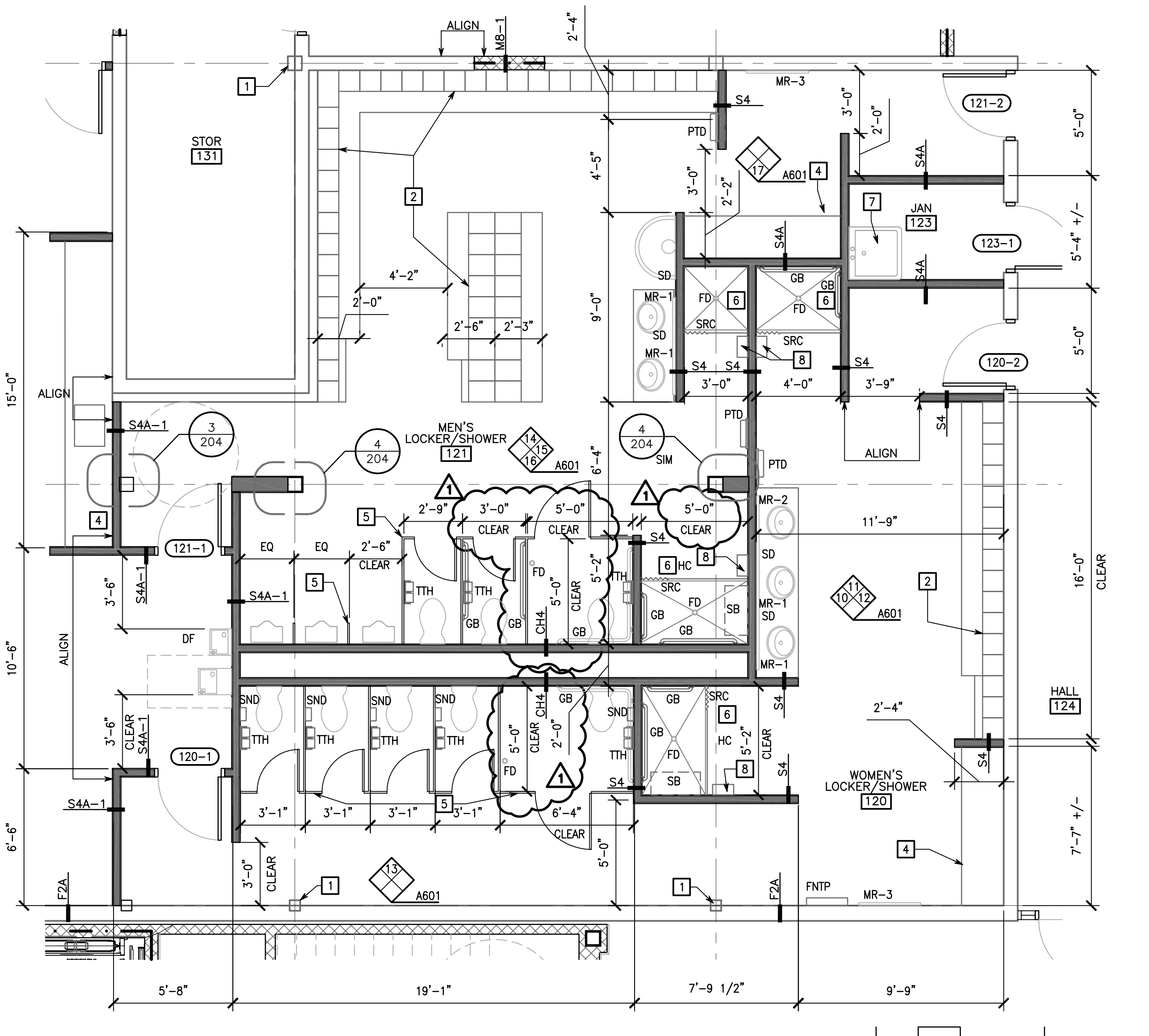
4 ENLARGED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 ENLARGED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



6 SHELF DETAILS
SCALE: 1-1/2" = 1'-0"

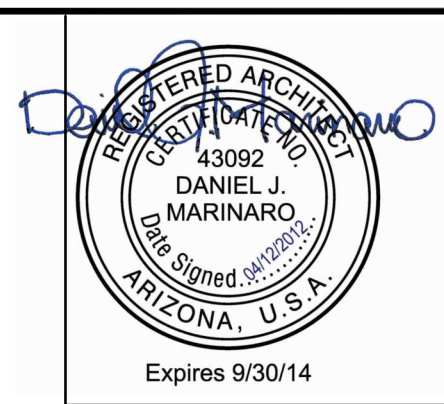


1 ENLARGED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA
ENLARGED FLOOR PLANS

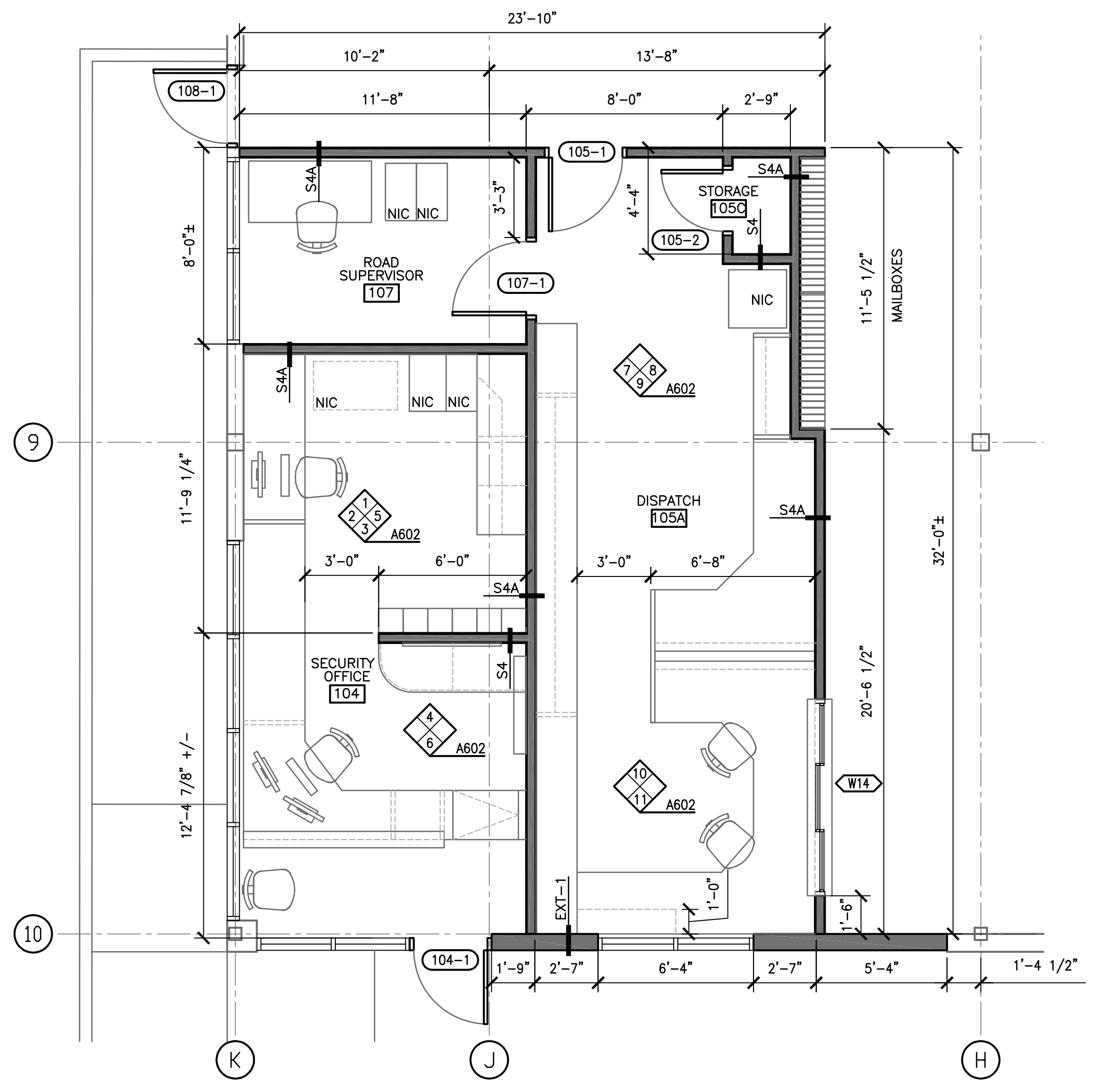
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DATE: 02/21/12	AS-BUILT: -		A201	45 OF 122
SCALE: AS NOTED				



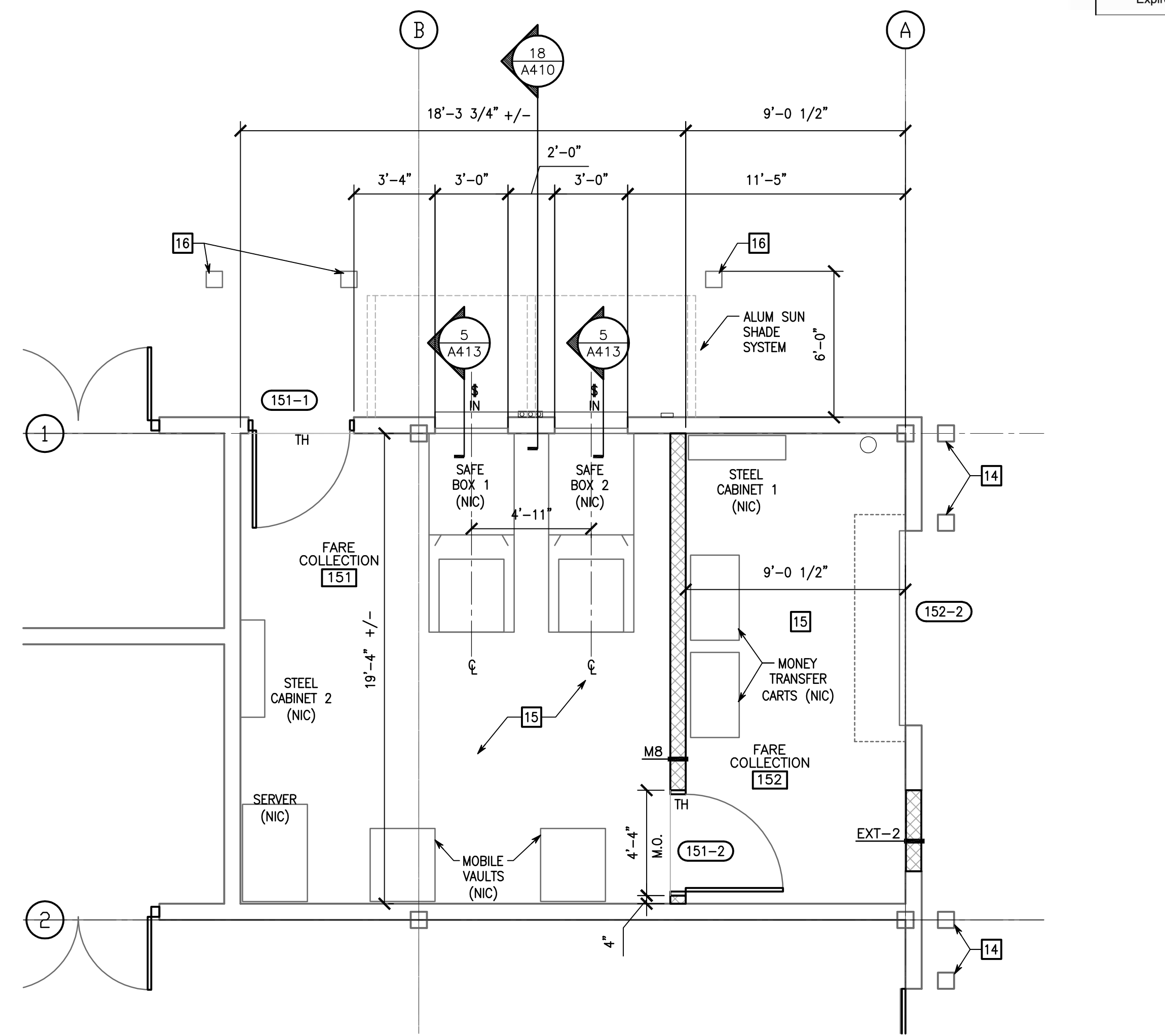
DESIGN PROFESSIONAL:		wendel	
DES:	DFT:	7227 N. 16th Street, Suite 140 Phoenix, AZ 85020	
CHK:	DATE:	www.wendelcompanies.com p:716.888.8788 ARCHITECTURE • ENGINEERING • PLANNING ENERGY SERVICES • CONSTRUCTION MANAGEMENT	
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1	CITY COMMENTS	JAH	4/12/12
2	OWNERS COMMENTS	JAH	4/12/12

- FLOOR PLAN GENERAL NOTES:**
- REPAIR AND RESTORE ALL ITEMS DAMAGED DURING PROJECT DURATION TO THEIR ORIGINAL CONDITION BY CONTRACTOR IN EXCESS OF SCOPE OF WORK. ALL ITEMS NOT ABLE TO BE REPAIRED OR RESTORED TO THEIR ORIGINAL CONDITION ARE TO BE REPLACED WITH MATCHING ITEMS.
 - ALL DIMENSIONS SHOWN "+/-" ARE TO BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS.

- FLOOR PLAN KEYNOTES:**
- EXISTING STEEL COLUMN, PNT
 - RELOCATED LOCKERS ON CONC BENCH; RE: 3&5/AB02
 - PROVIDE BOW ENGINEERING & MANUF 2# TWO TIER TIRE STORAGE RACKS 2'-6"W X 9'-8"L X 8'-0"H. MODEL #TR-16 CONSTRUCTED OF HEAVY WALL TUBULAR STEEL AND PIPE WITH BASE PLATES BOLTED TO CONC SLAB W ADHESIVE ANCHORS. COMPLY WITH ALL OSHA STANDARDS. PROVIDE JIB CRANE TROLLEY.
 - MILLWORK; RE: INTERIOR ELEVATIONS
 - TOILET PARTITIONS
 - SHOWER UNIT
 - PLUMBING FIXTURE
 - SOLID SURFACE SHELF W/CLOTHES HOOK; RE: 6/A201
 - ELECTRIC TRACTION ELEVATOR
 - NOT USED
 - ROOF ACCESS LADDER; RE: 16/M410
 - REFRIGERATOR NIC
 - EXIST ELECT DATA CONDUIT TO REMAIN
 - EXIST BOLLARDS TO REMAIN, PNT
 - PREP EXIST CONC FLOOR, PROVIDE TCS1 TO WHOLE AREA WITH MAX 1% SLOPE AND MAX TOLERANCE OF +/- 0.3%. RE 071800 TRAFFIC COATINGS.
 - STL BOLLARD, HPC; RE: 9/A051
 - PROVIDE SEALANT TO VERTICAL JOINTS BETWEEN STEEL AND CMU, FULL LENGTH
 - STEEL TUBE, PNT; RE: STRUCT DWGS
 - CONTRACTOR TO RELOCATE EXIST EQUIPMENT, REF ELECT DWG E301 FOR ELECTRICAL HOOK-UP.
 - AIR COMPRESSOR RE P201.



3 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



2 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

Site Preparation Before installing the CRS, the installer should prepare the designated location with a concrete platform having a recommended depth of 5". Conduits and pull through cables must be in place. Existing cabling should be checked beforehand for completeness and functionality.

The concrete platform with the recommended dimensions shown in Figure 7-2 must have a pressure firmness of 25 N/mm² (3650 PSI). Please ensure clearances are as shown in Figure 7-4.

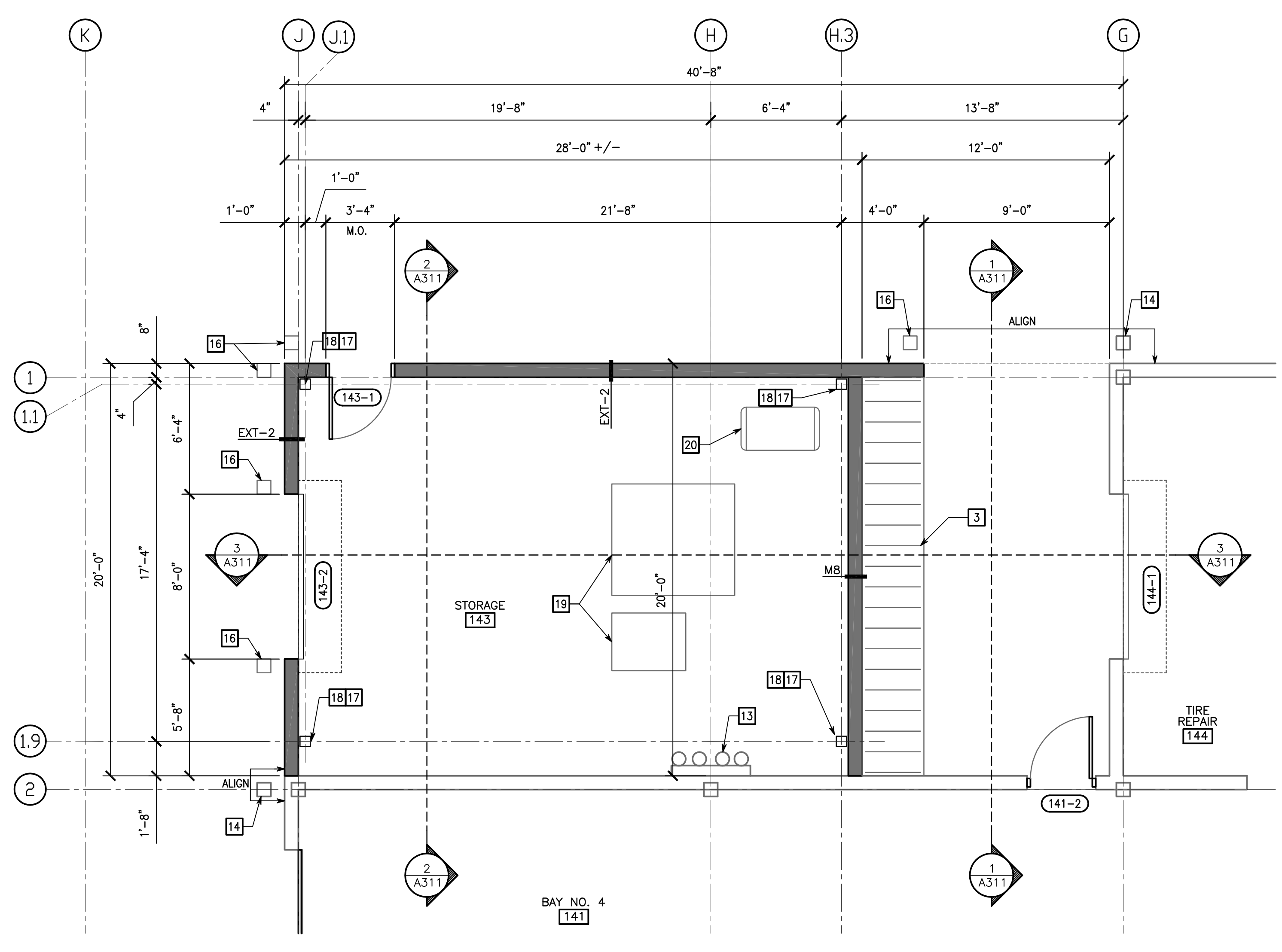
Use a digital level (± 0.3" Maximum Tolerance) to verify the flatness of the concrete platform. The front of the concrete platform must be 100% level (Front-to-Back AND Side-to-Side) at the location designated for the position of the CRS sliding door. Once past the area designated for the door threshold, the concrete platform must not be more than 1% out of level, measured from the front to the back.

Figure 7-6 Platform Leveling

Digital Level is required. ± 0.3" Maximum Tolerance.

Alternatives to structural concrete may be used, provided the dimensions of the solid platform are equal to or better than the 3650 psi specified by Scheidt & Bachmann. The bolts must be set in concrete.

4 PLATFORM LEVELING IN FARE COLLECTION
SCALE: NTS



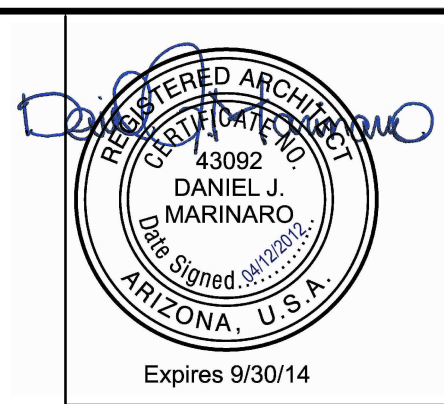
1 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

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PROJECT NO. PT-96130004-FTA**

ENLARGED FIRST FLOOR PLANS

DES: DJM	DR: SMV	CHK: JAH	SHEET NO.	TOTAL SHEET COUNT
DATE: 02/21/12	AS-BUILT: -		A202	46 OF 122
SCALE: AS NOTED				

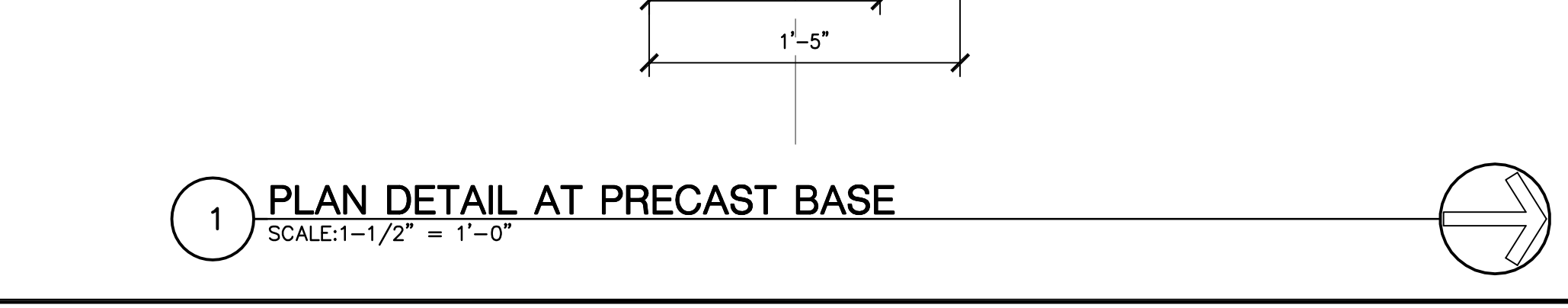
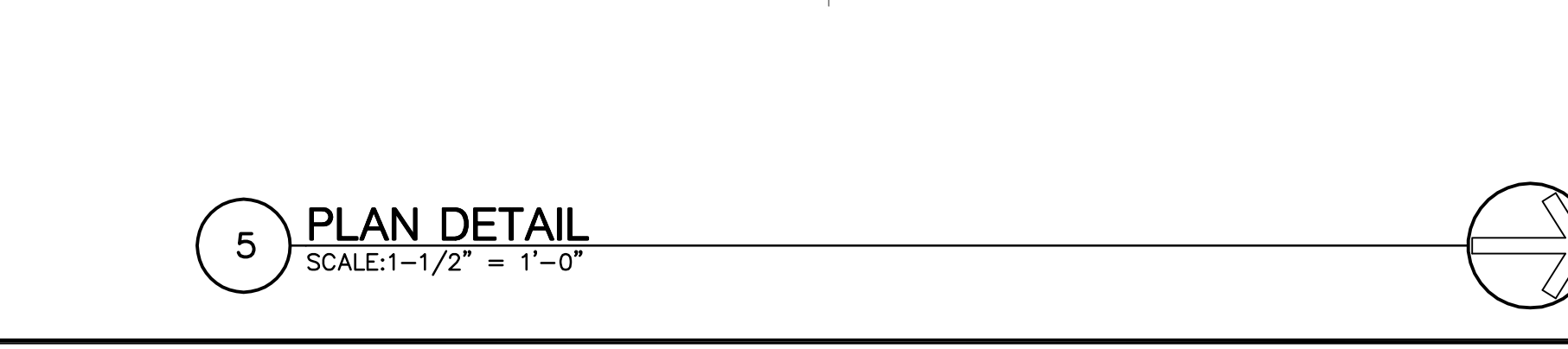
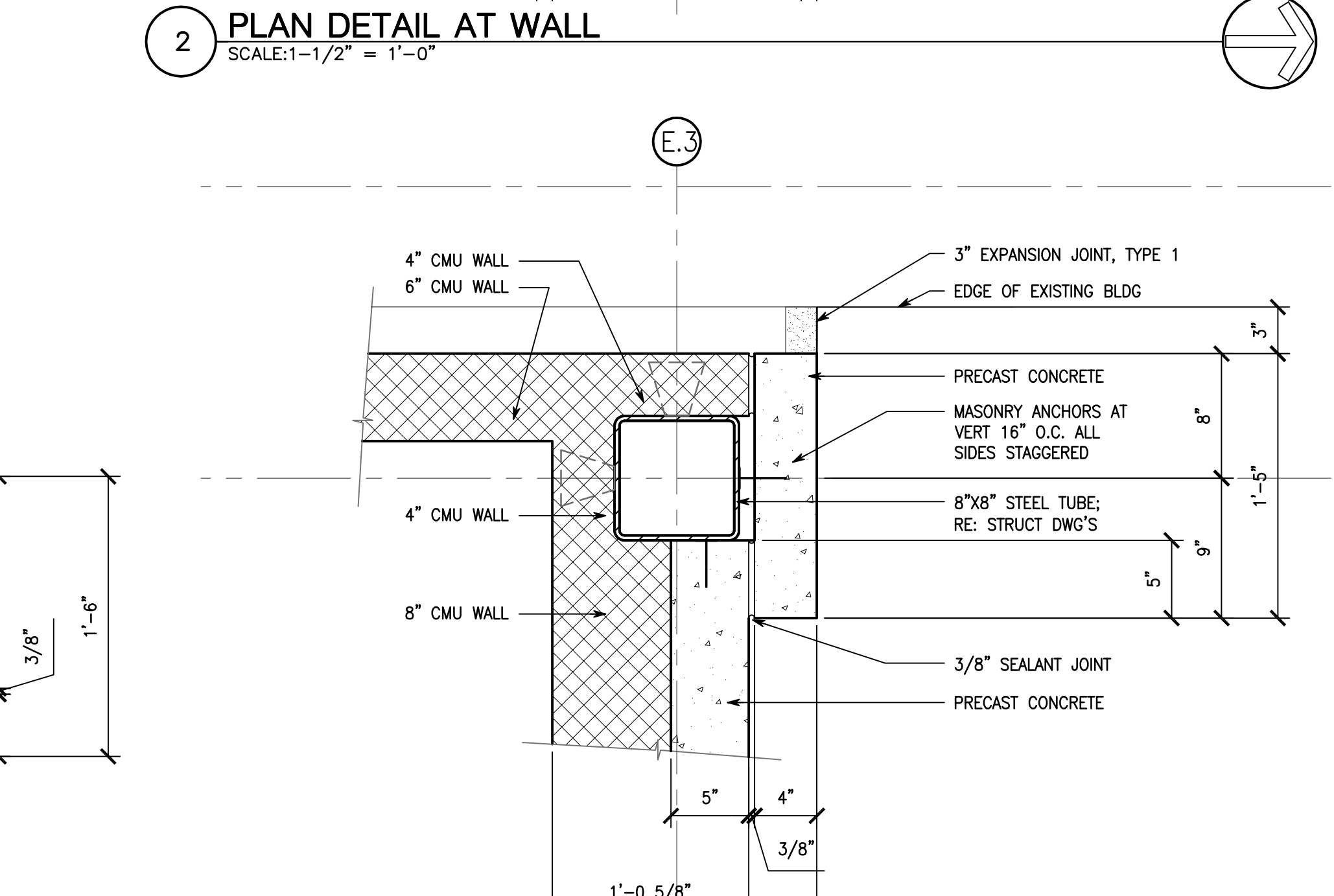
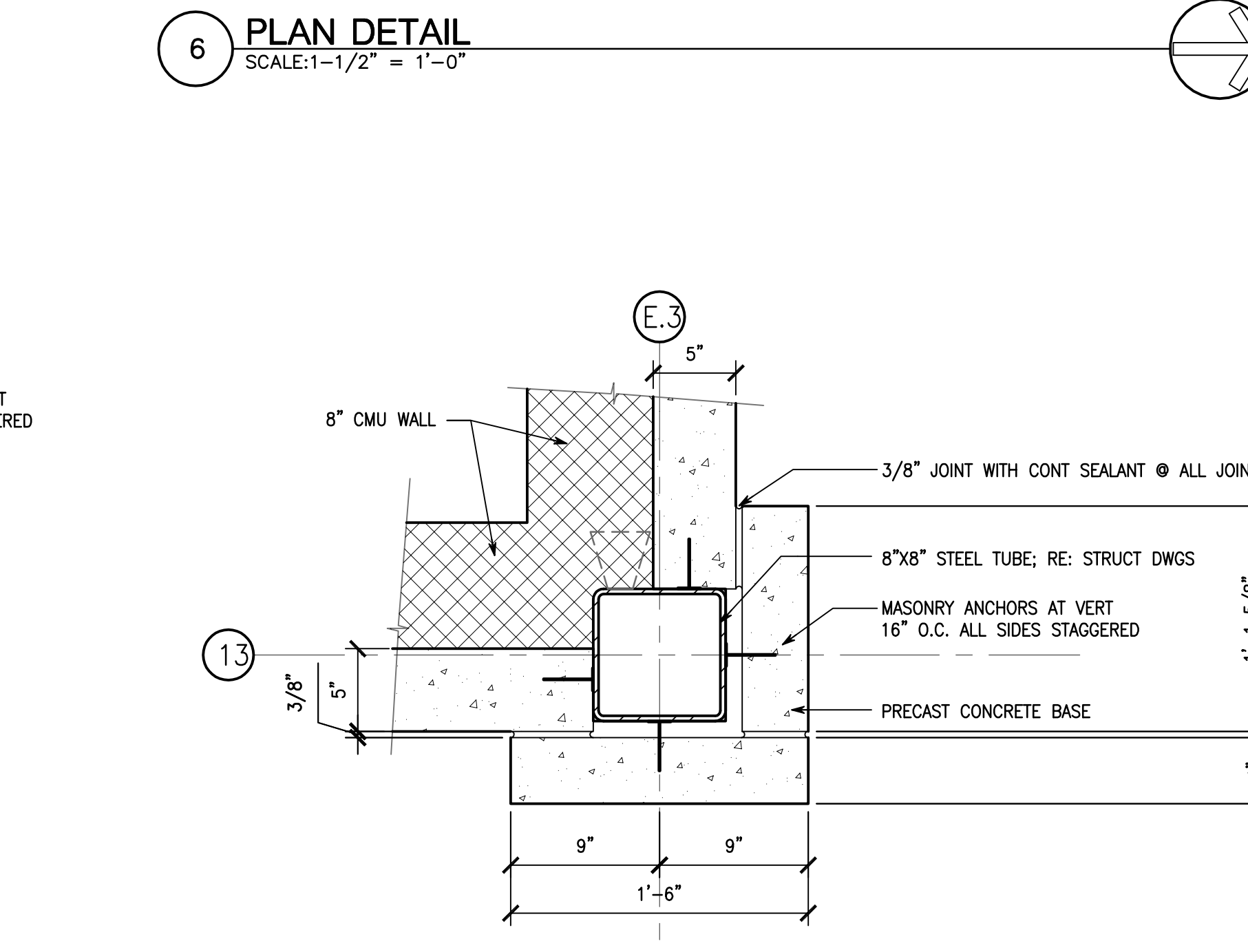
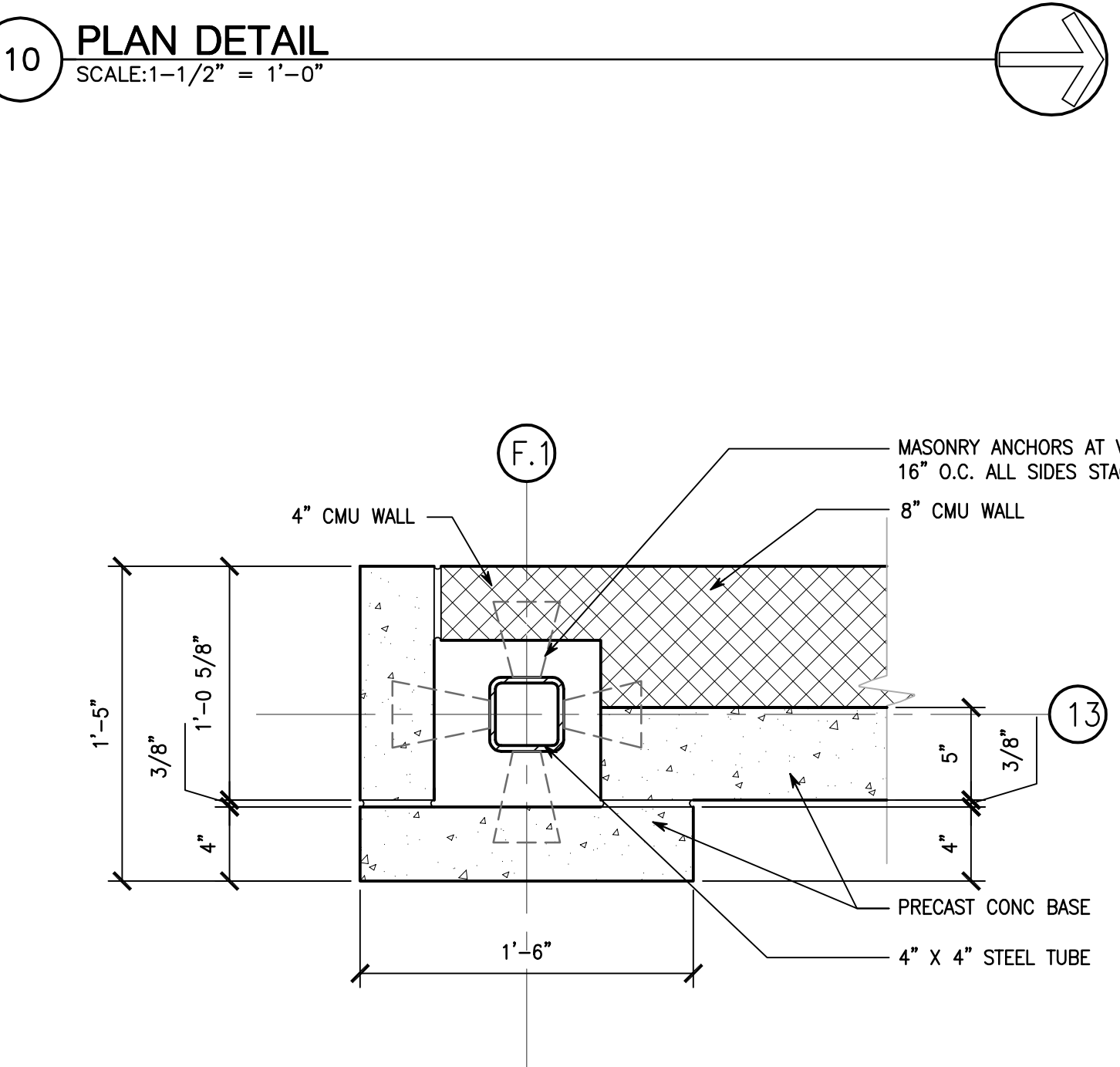
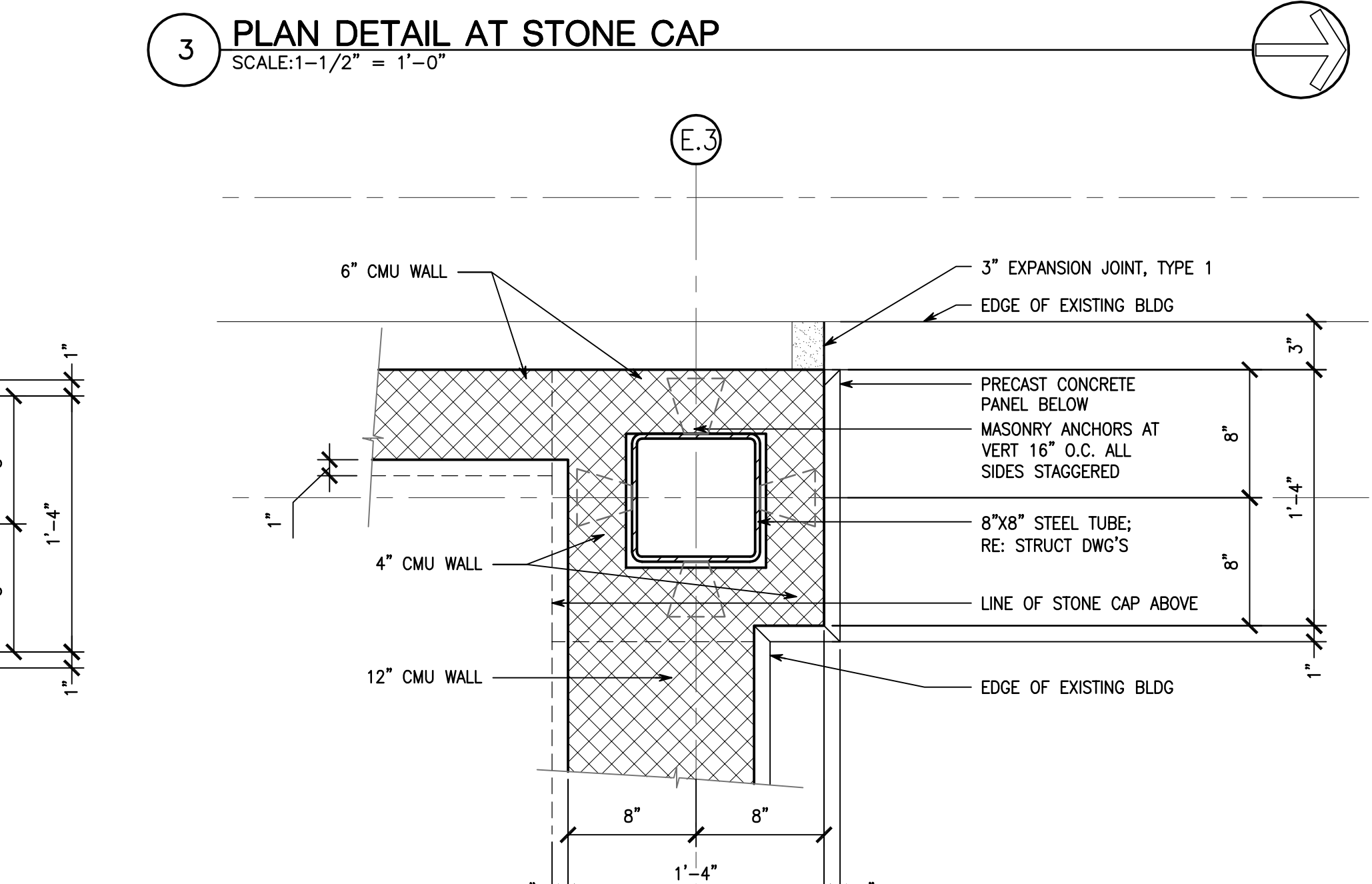
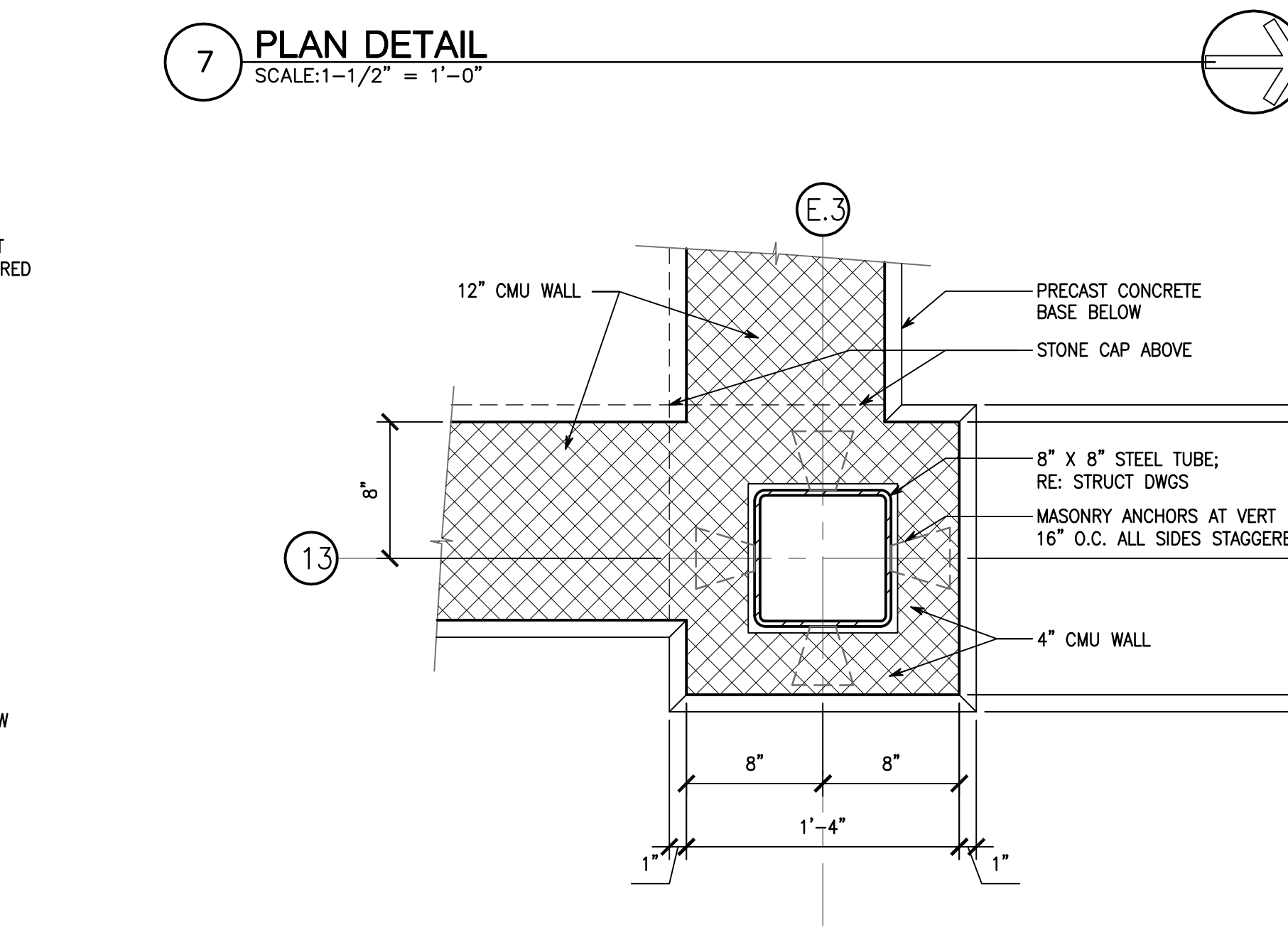
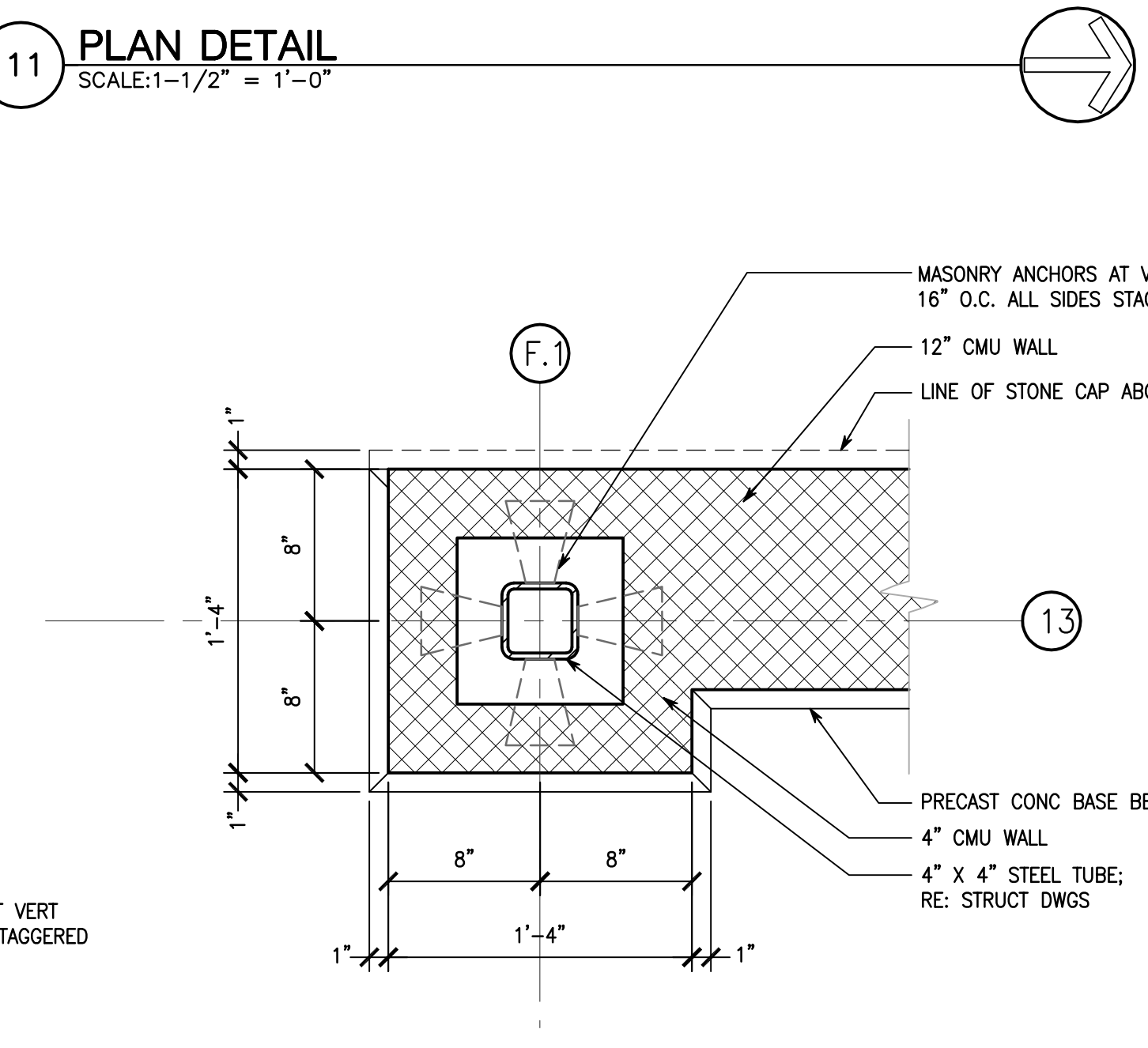
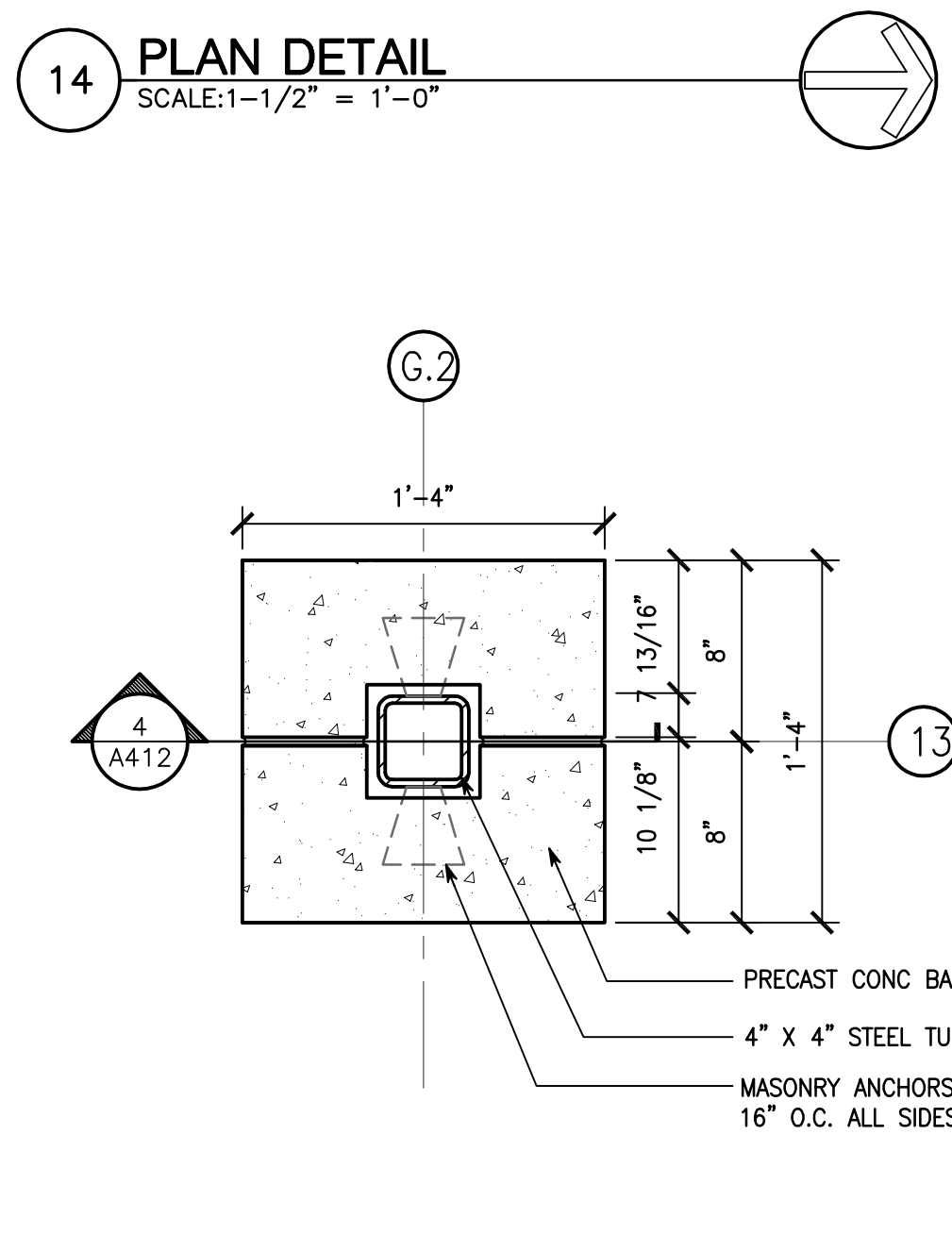
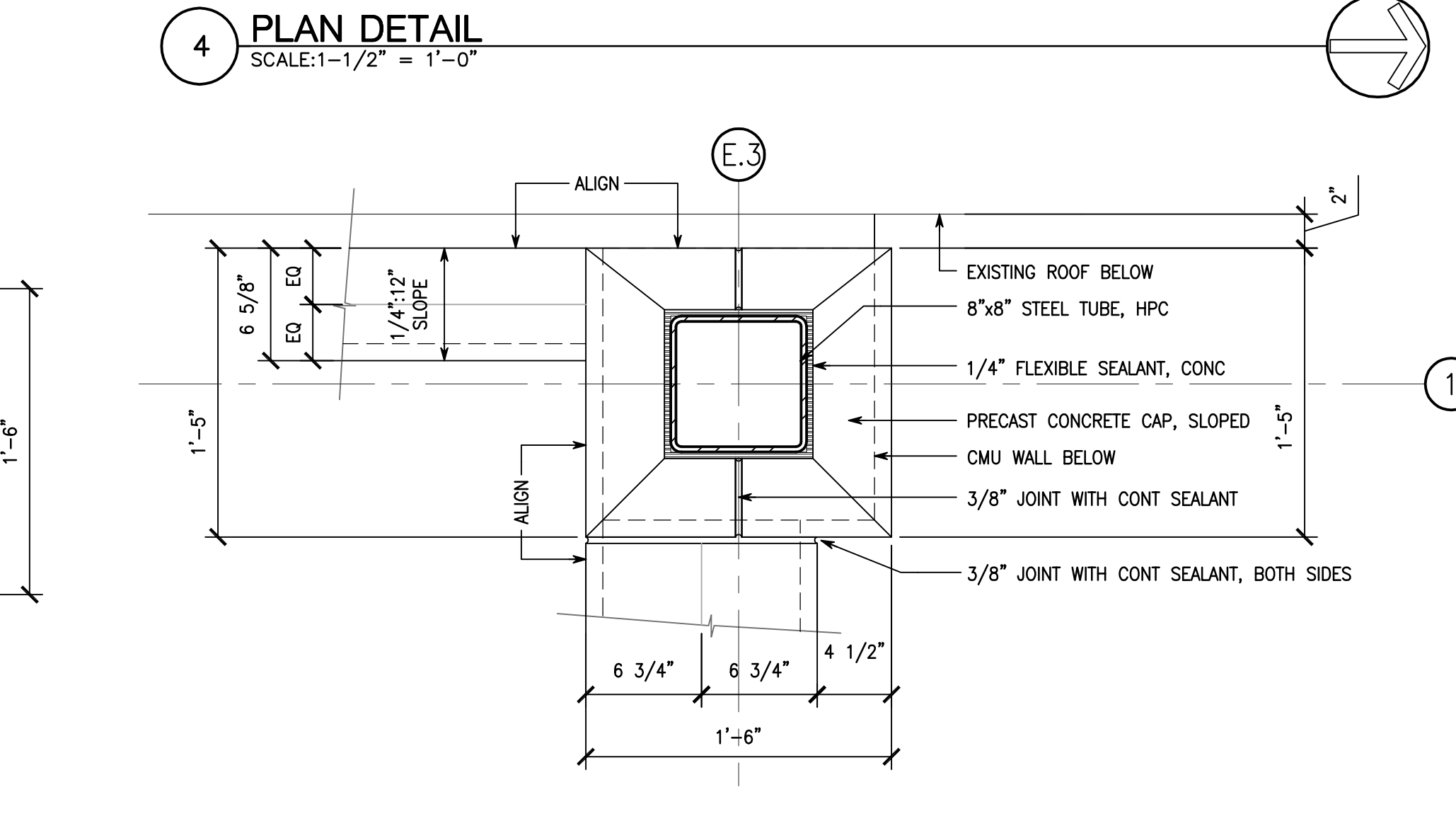
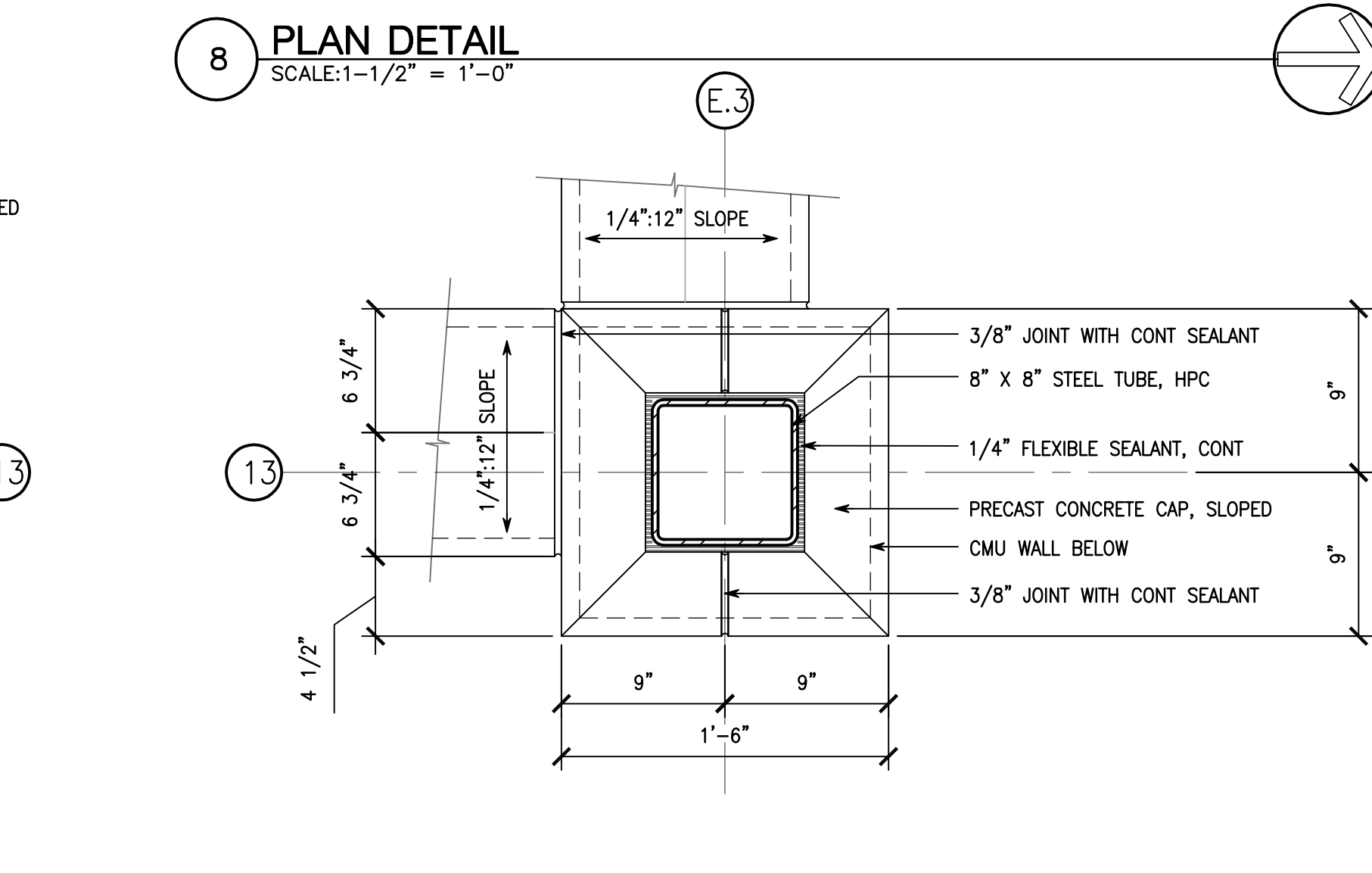
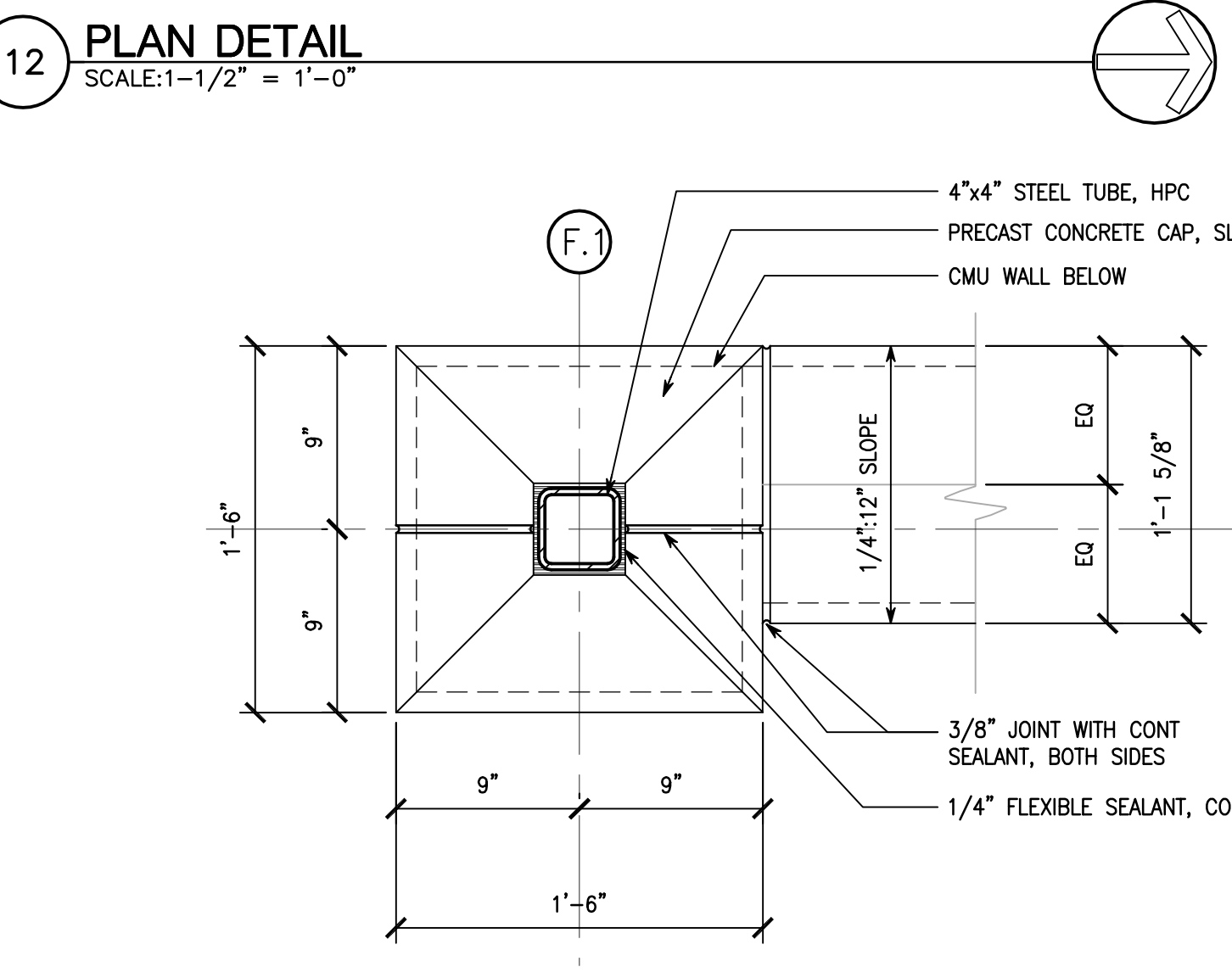
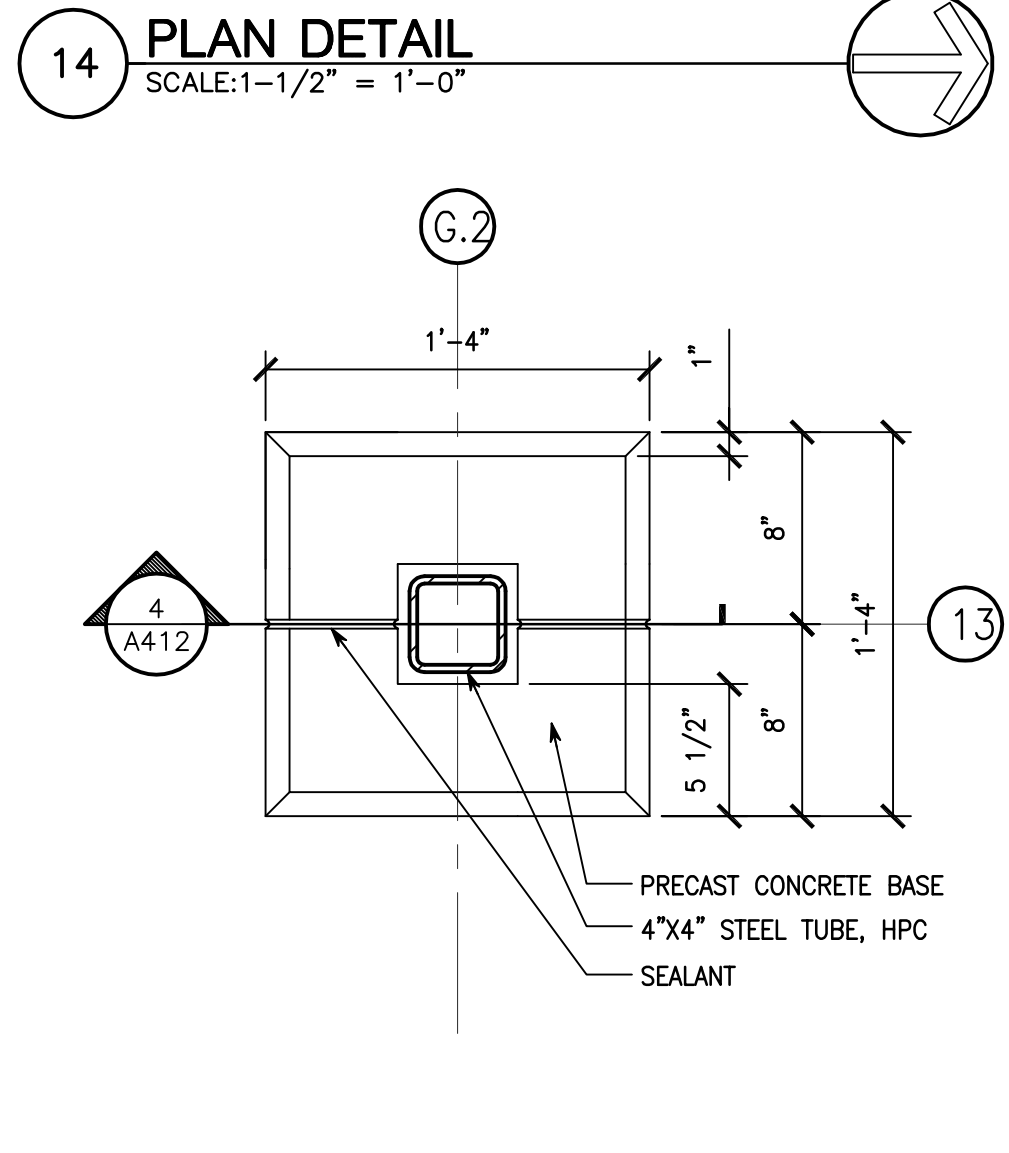
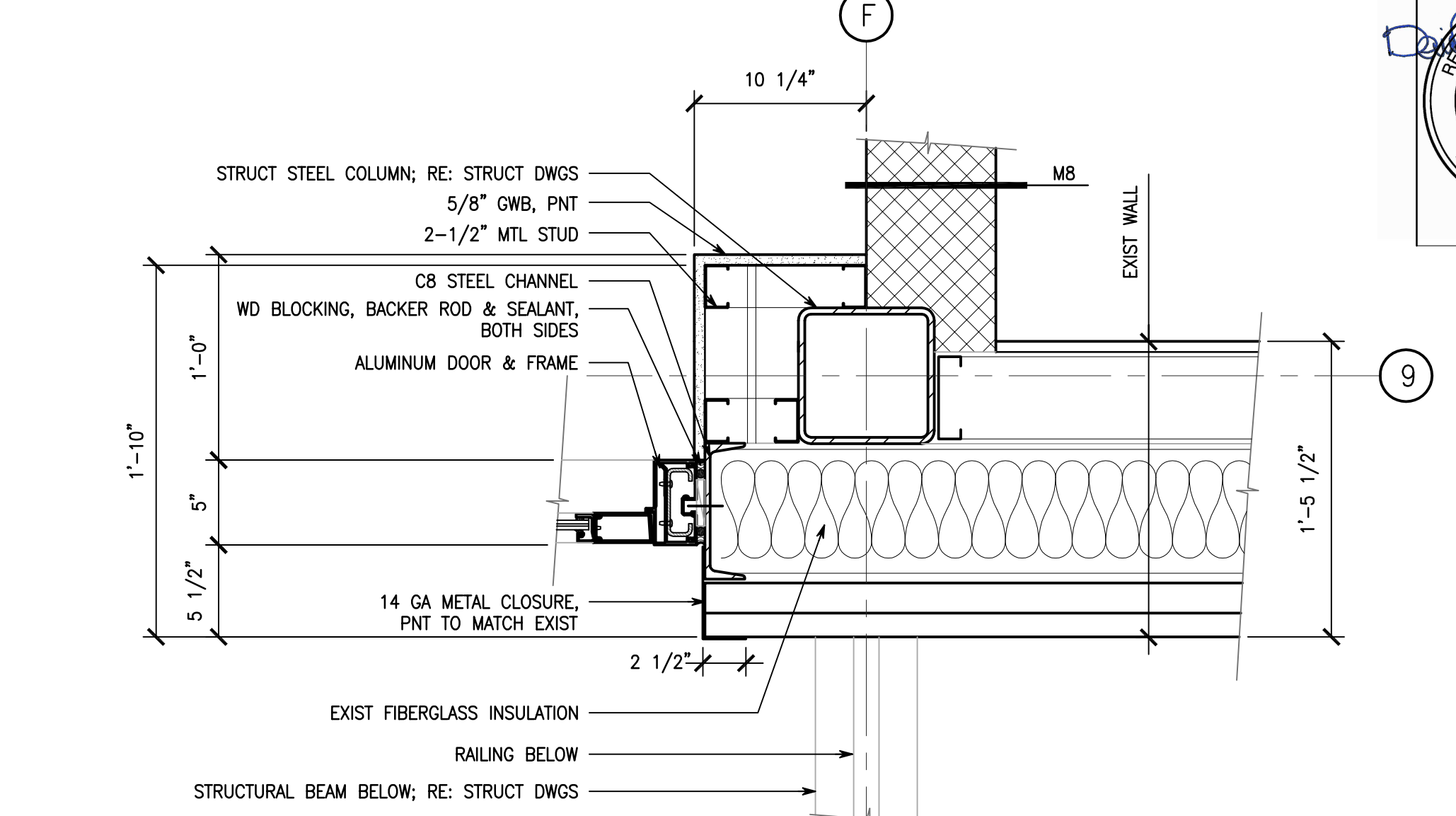
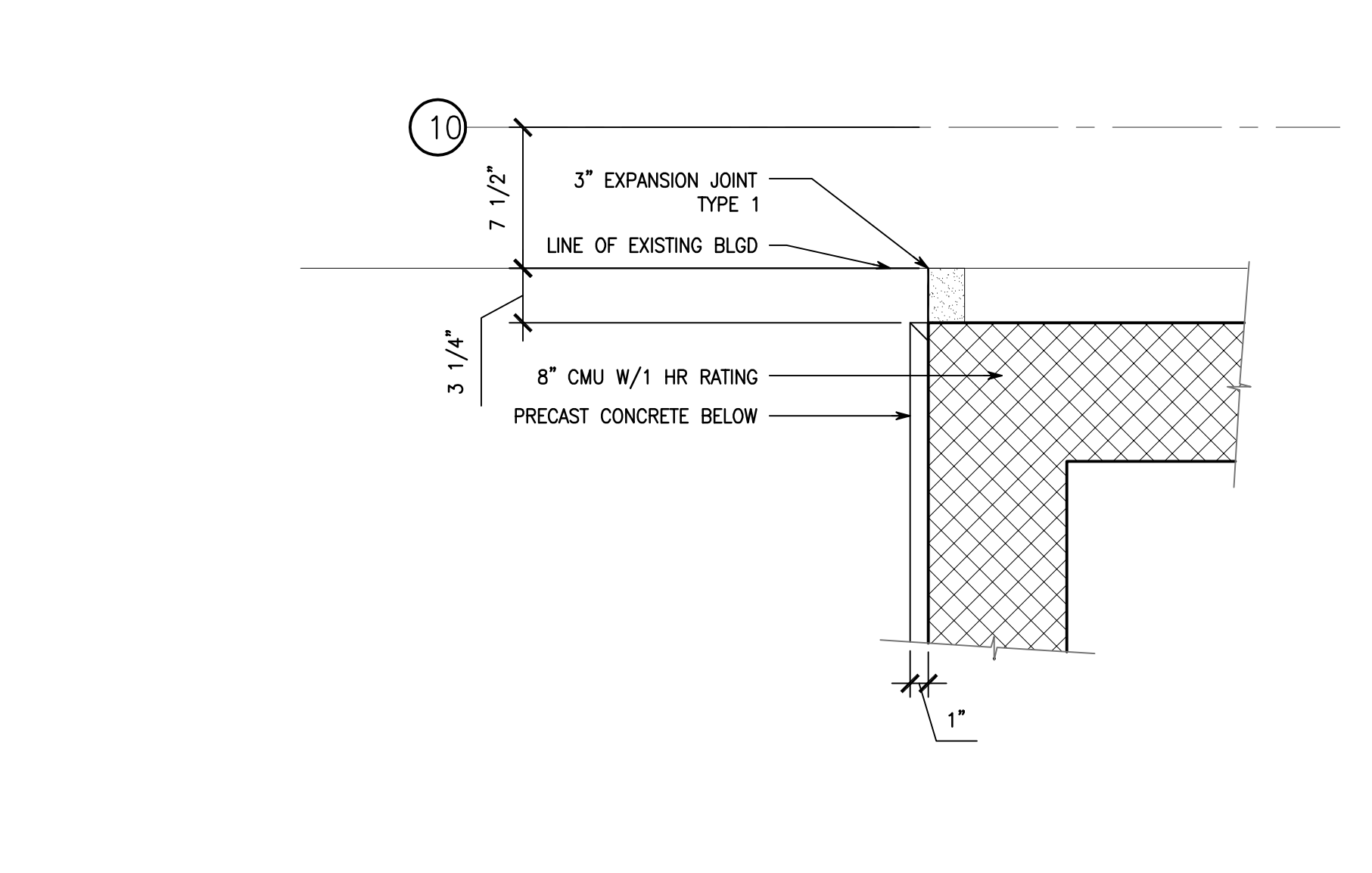
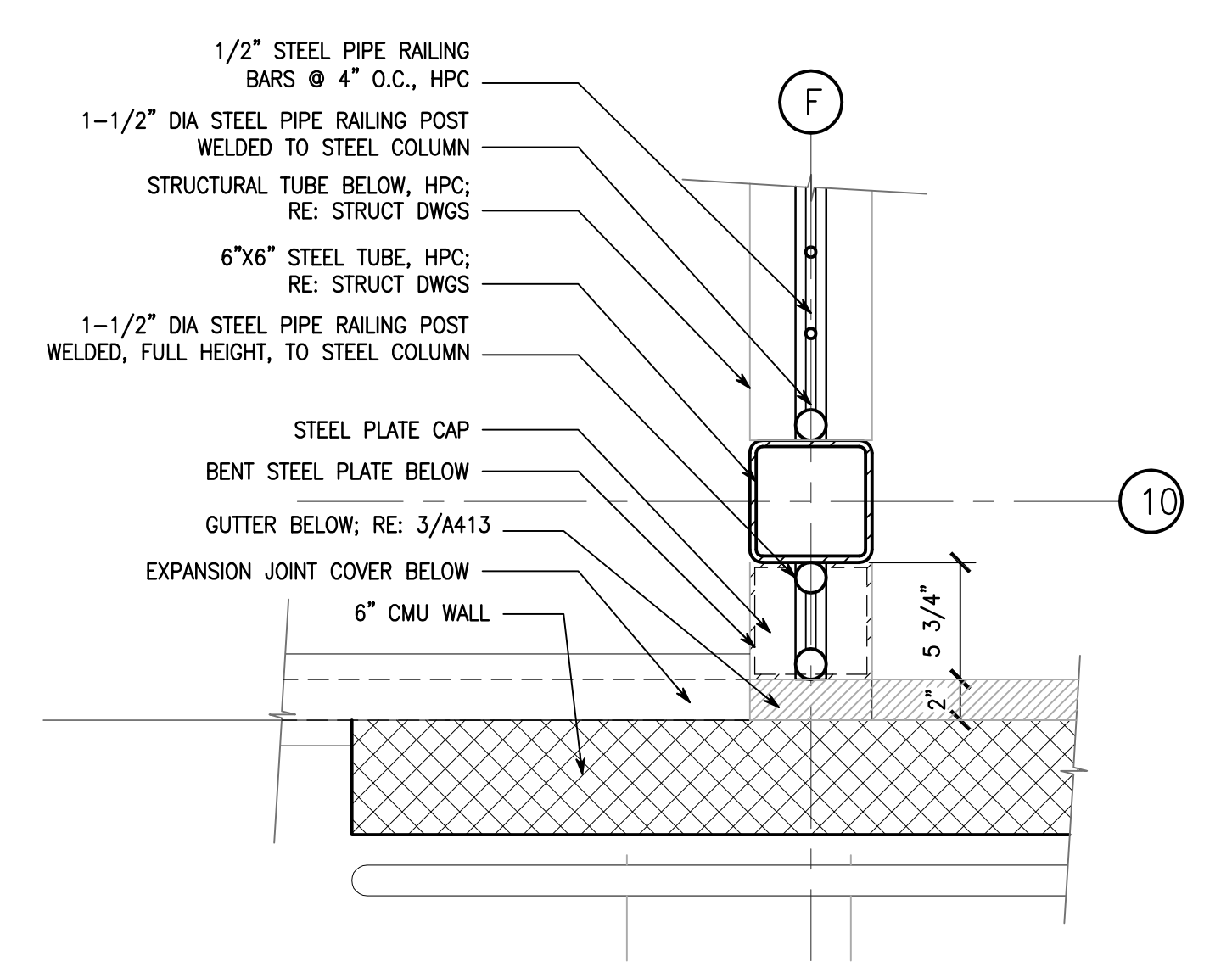
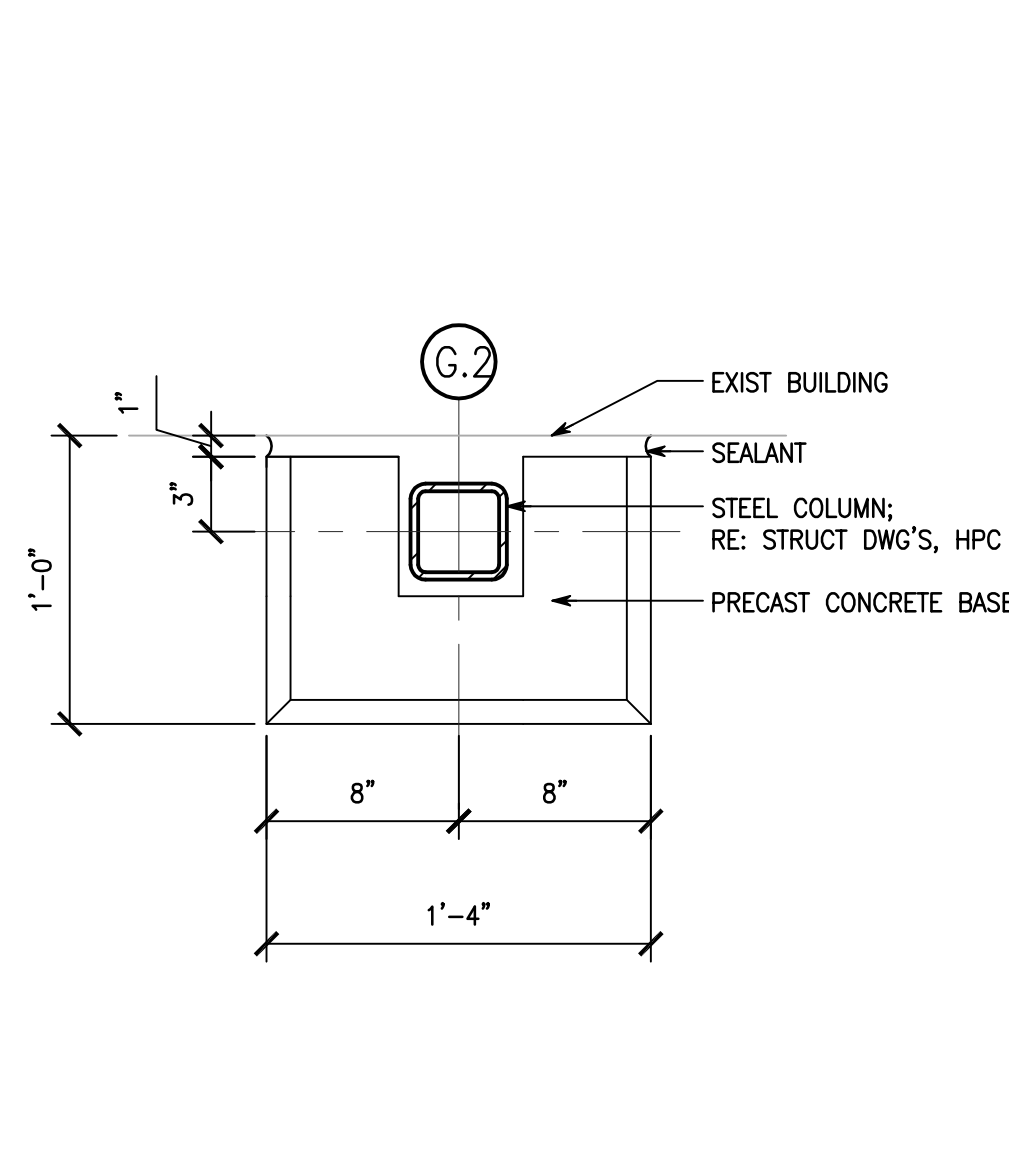


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1	CITY COMMENTS		4/12/12
2	OWNERS COMMENTS		4/12/12



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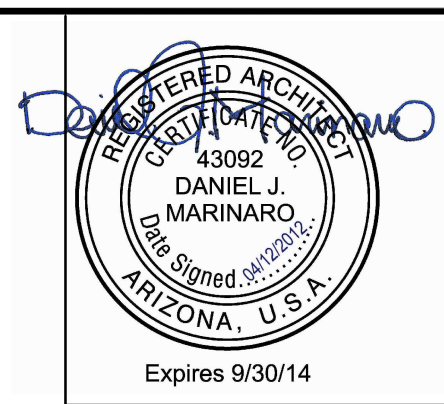
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NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA

ENLARGED PLAN DETAILS

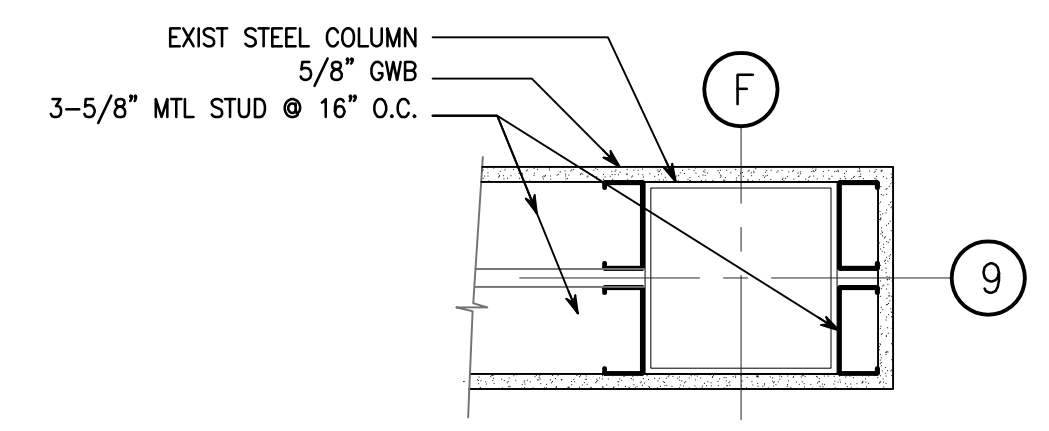
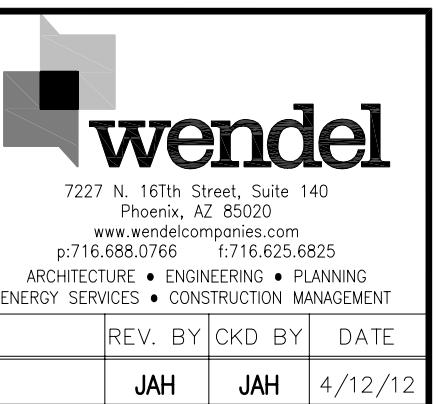
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DJM	SMV	JKH	JAH	A203	47 OF 122

DATE: 02/21/12 AS-BUILT: -
SCALE: AS NOTED

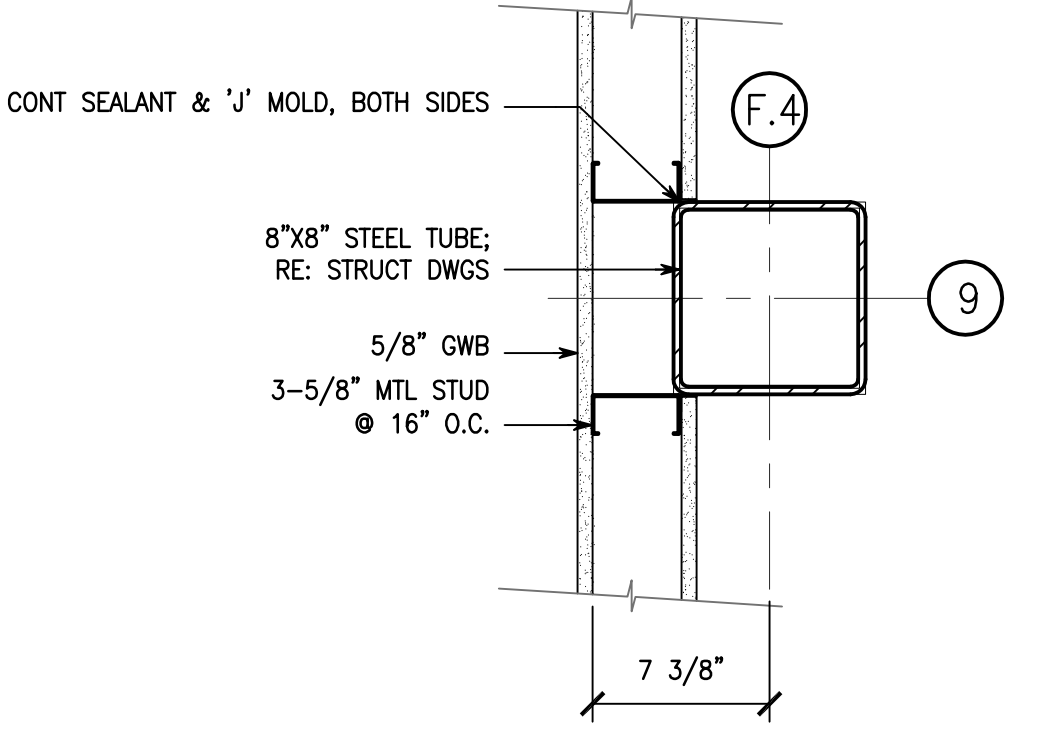
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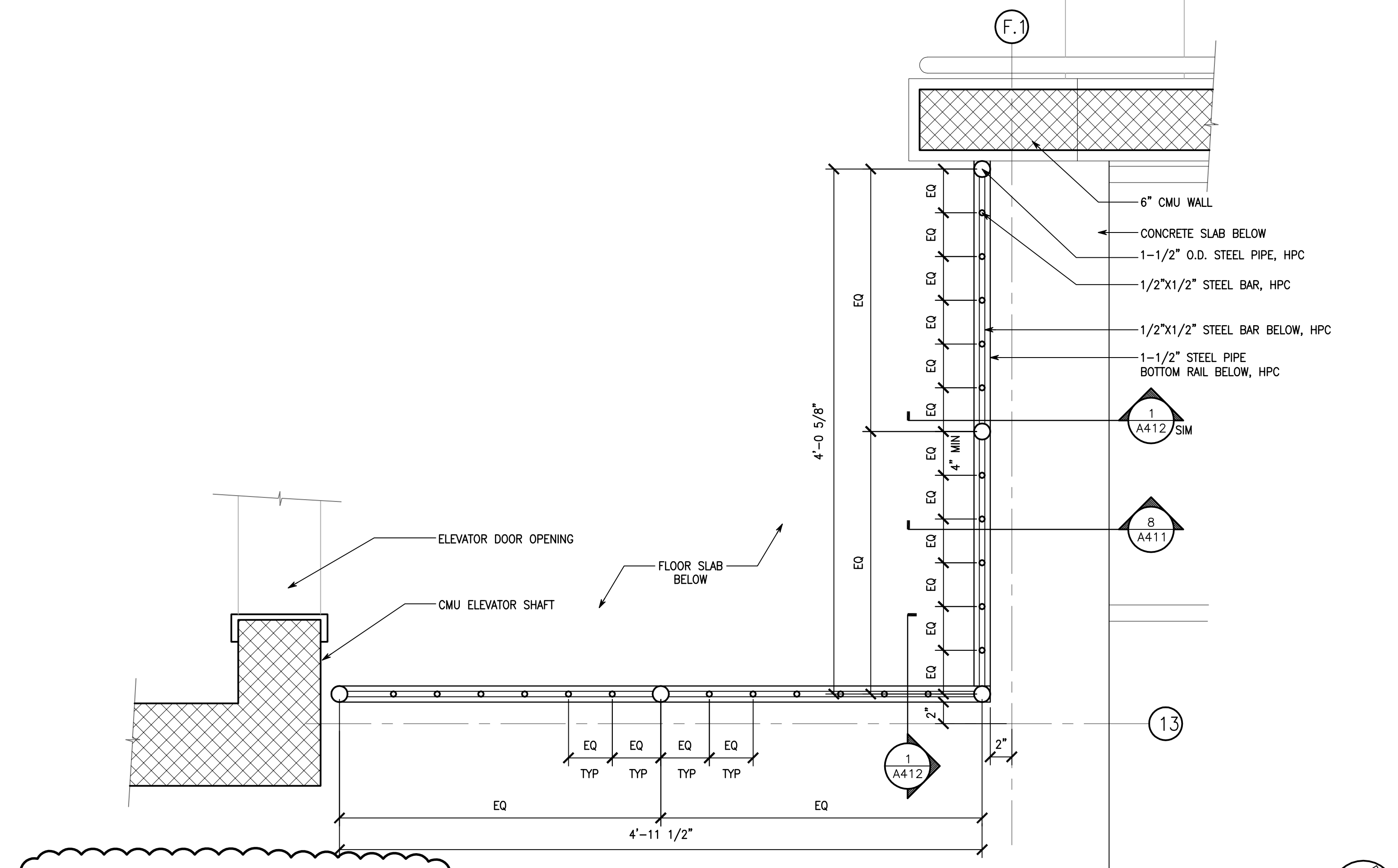
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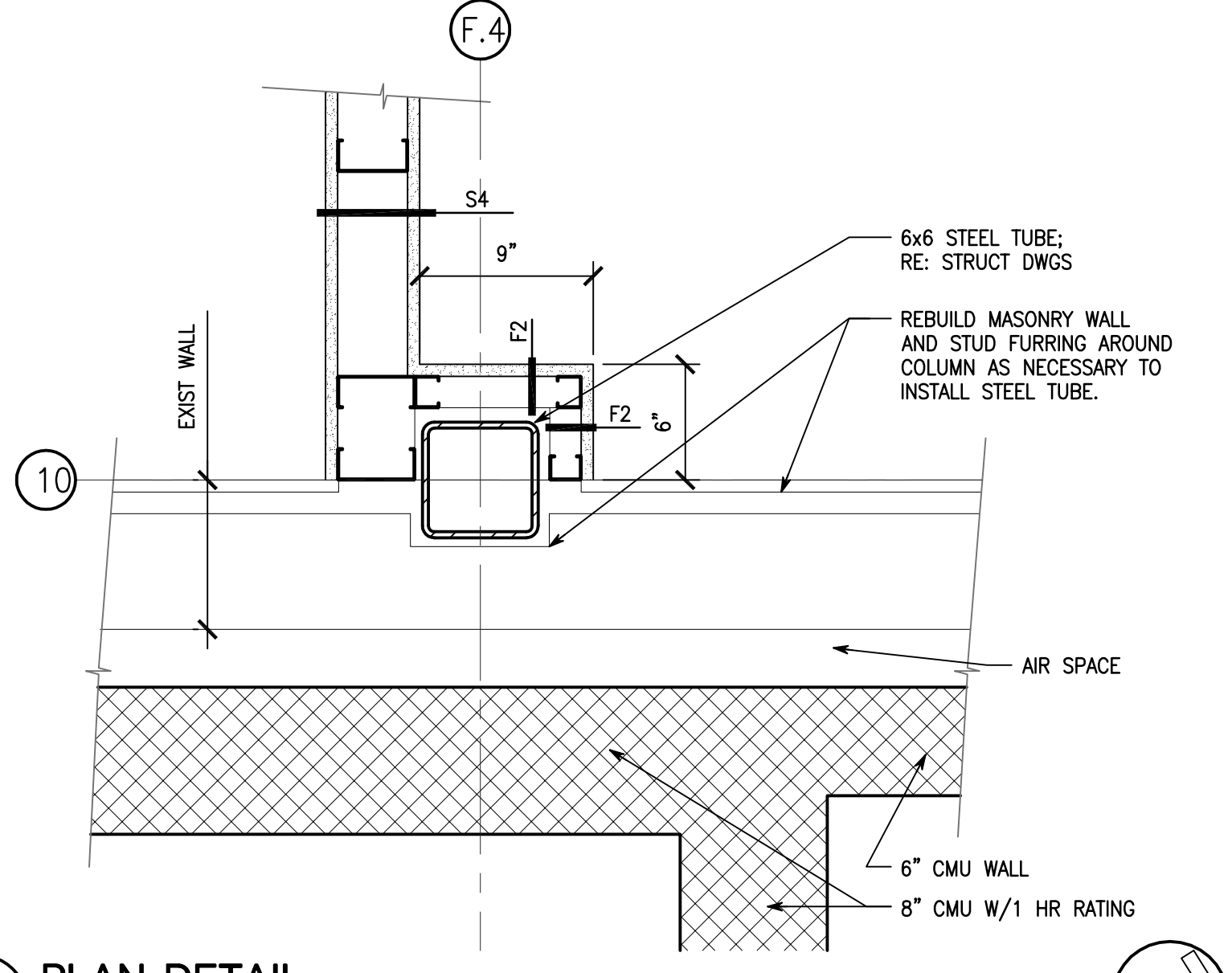
4 PLAN DETAIL
SCALE: 1-1/2" = 1'-0"



3 PLAN DETAIL
SCALE: 1-1/2" = 1'-0"



2 PLAN DETAIL • GUARDRAIL
SCALE: 1-1/2" = 1'-0"



1 PLAN DETAIL
SCALE: 1-1/2" = 1'-0"

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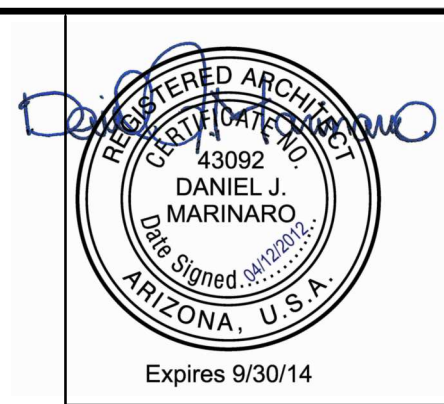
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PROJECT NO. PT-96130004-FTA

ENLARGED PLAN DETAILS

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DATE: 02/21/12	AS-BUILT: -		A204	48 of 122
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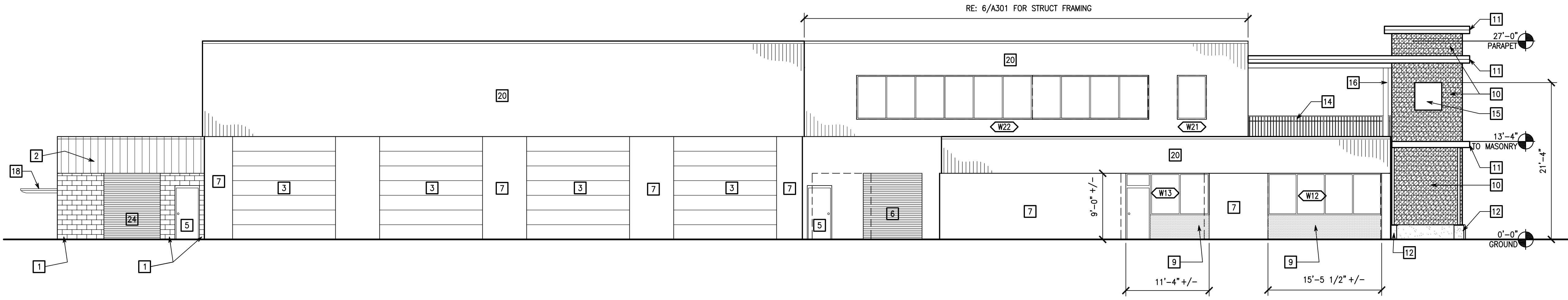
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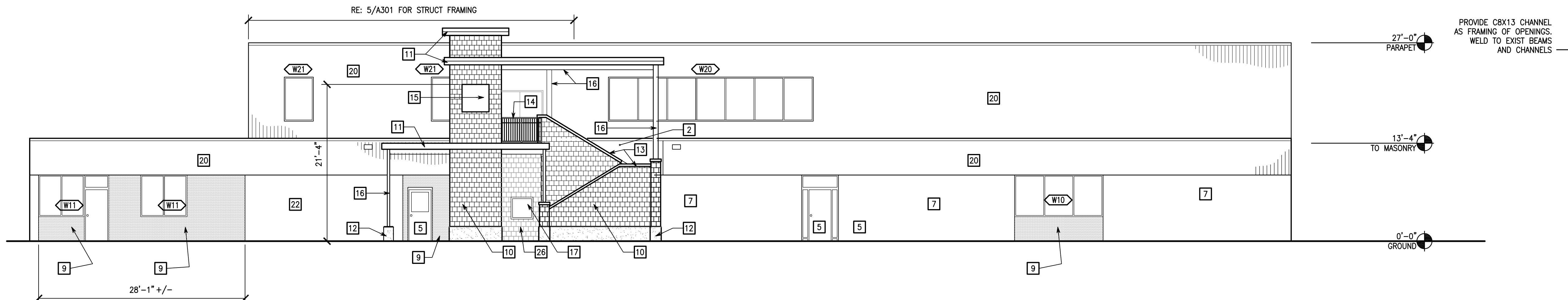
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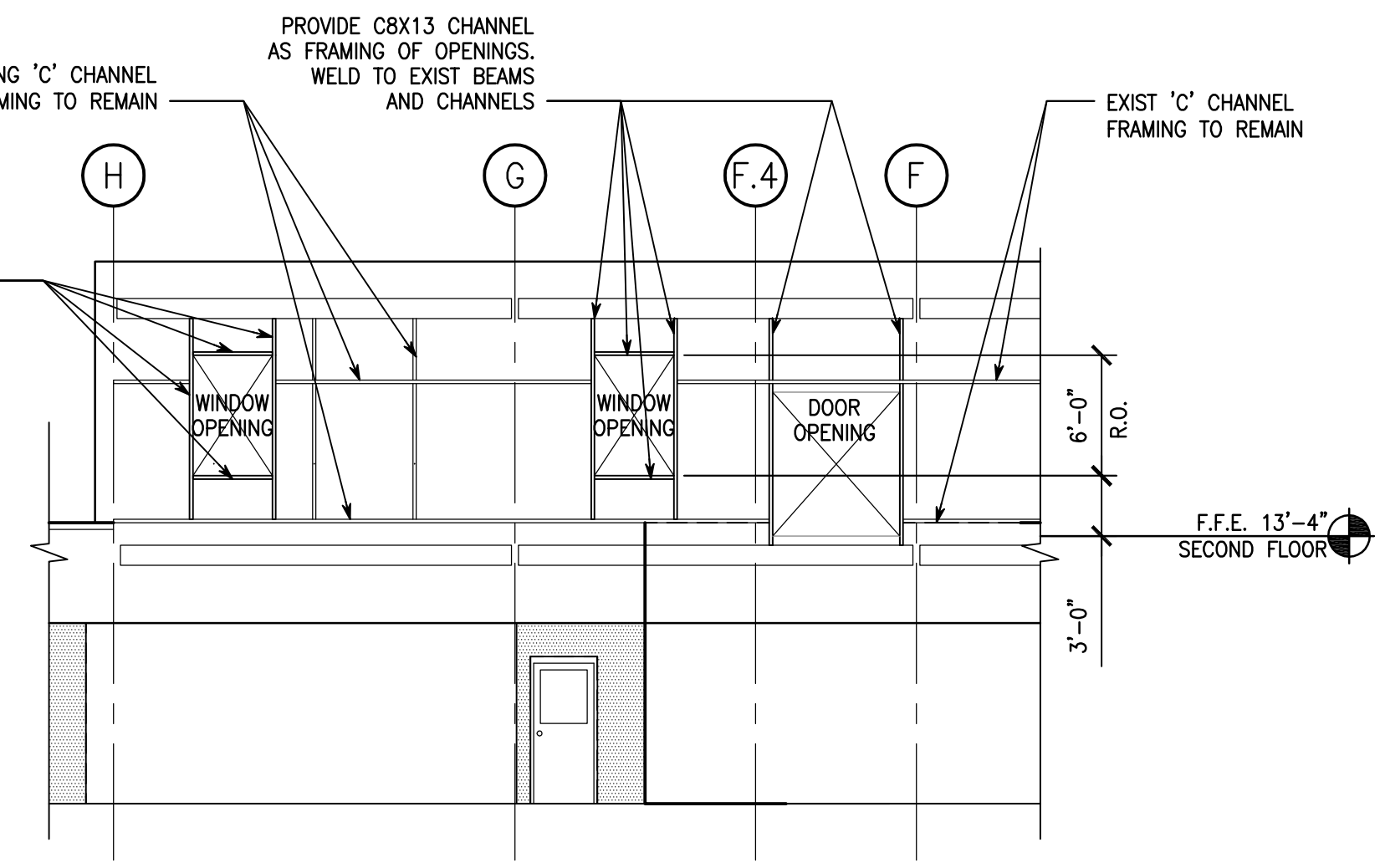
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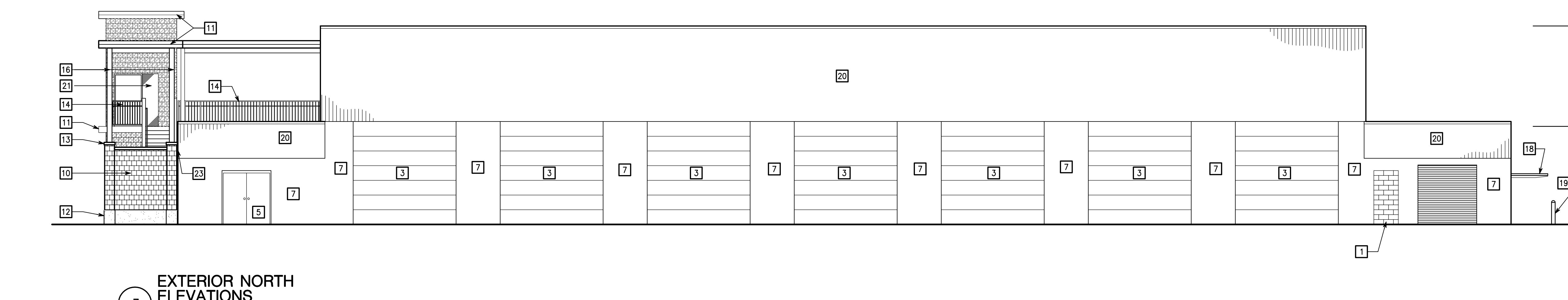
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 SCALE: 1/8" = 1'-0"



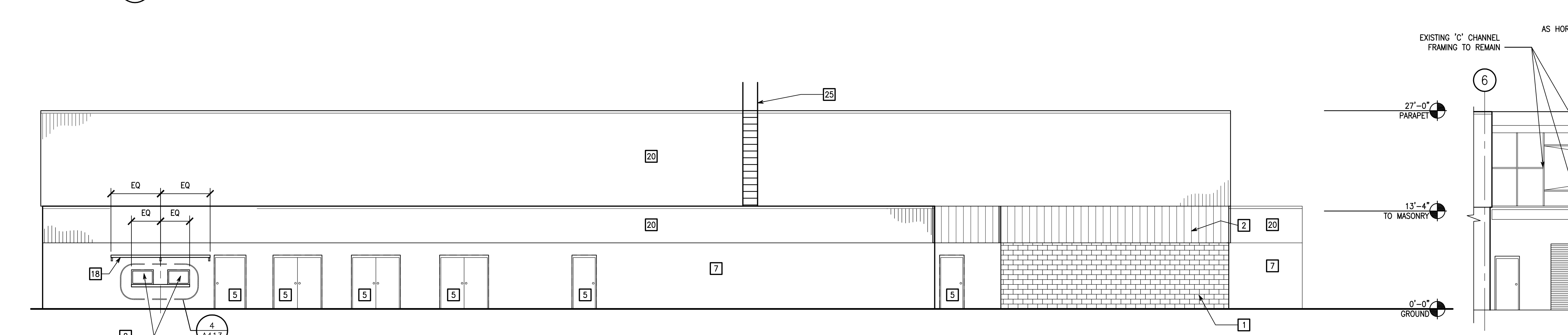
2 EXTERIOR EAST ELEVATIONS
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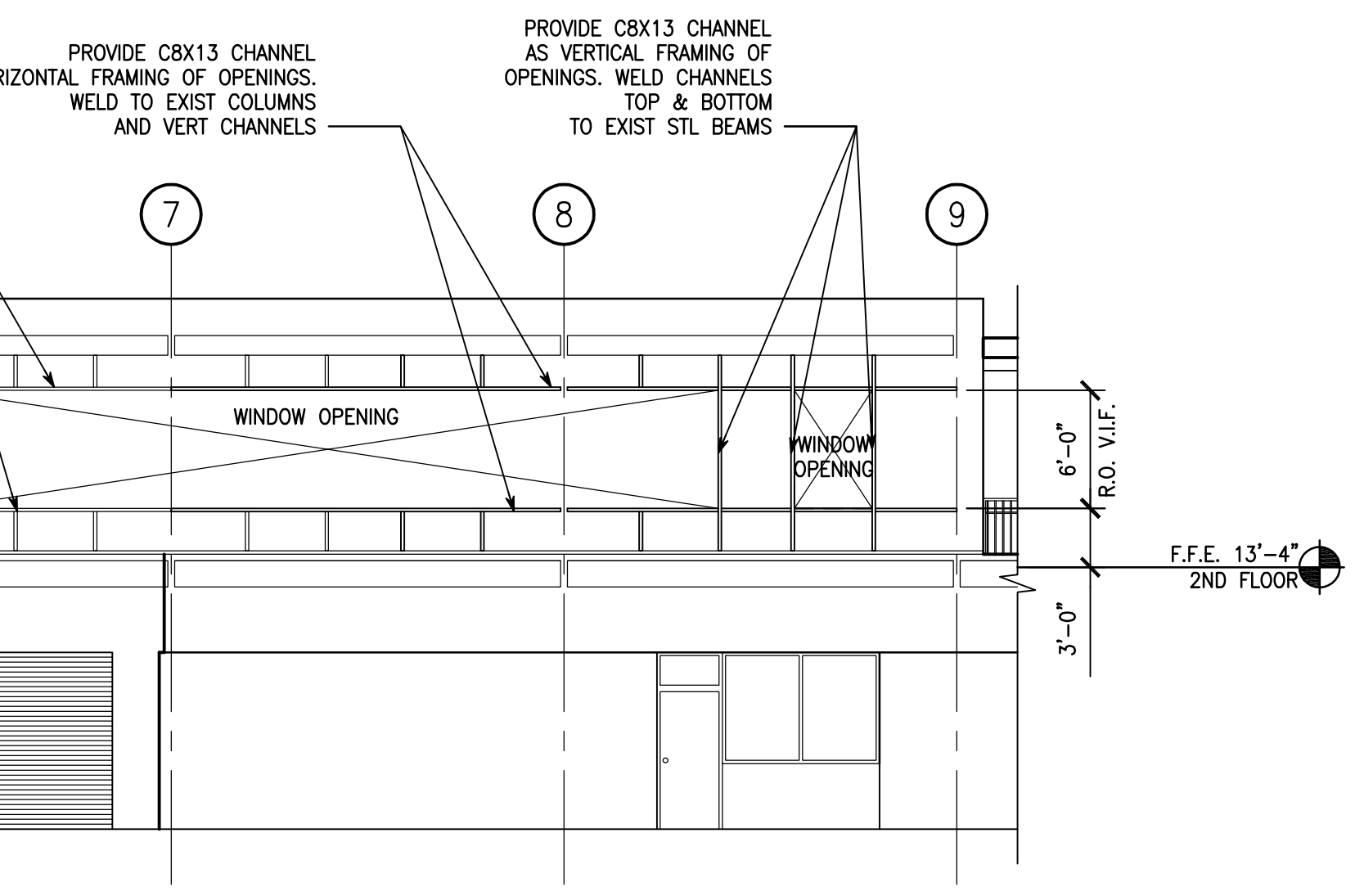
5 EAST FAÇADE STRUCTURAL DETAIL
 SCALE: 1/8" = 1'-0"



3 EXTERIOR NORTH ELEVATIONS
 SCALE: 1/8" = 1'-0"



4 EXTERIOR WEST ELEVATIONS
 SCALE: 1/8" = 1'-0"



6 SOUTH FAÇADE STRUCTURAL DETAIL
 SCALE: 1/8" = 1'-0"

FLOOR PLAN KEYNOTES:

- 1 CMU TO MATCH EXIST, EWC
- 2 METAL PANEL TO MATCH EXIST
- 3 PAINT EXIST OVERHEAD DOOR WITH HIGH PERFORMANCE COATING, BOTH SIDES
- 4 ALUMINUM STOREFRONT
- 5 HOLLOW METAL DOOR AND FRAME, PNT
- 6 RELOCATED EXISTING OVERHEAD COILING DOOR TO DOOR 130-3. PAINT BOTH SIDES WITH HIGH PERFORMANCE COATING.
- 7 PAINT EXISTING CMU, EWC
- 8 FARE COLLECTION WINDOW, RE: 485/A413
- 9 PLASTER FINISH ON EXT-1 WALL TYPE, PNT
- 10 8"x8" TEXTURED FACE CMU, COLOR #4, MORTAR #2.
- 11 METAL COPING
- 12 PRECAST CONCRETE BASE, COLOR #2
- 13 PRECAST CONCRETE CAP, COLOR #2
- 14 STEEL GUARDRAIL AND RAILING, HPC
- 15 METAL SIGN; RE: 2/A906
- 16 STRUCTURAL STEEL; RE: STRUCT DWGS, HPC
- 17 GLASS DISPLAY CASE
- 18 ALUMINUM SUN SHADE; RE: 18/A410
- 19 CONCRETE FILLED STEEL BOLLARD, PNT
- 20 EXISTING METAL PANEL
- 21 PLAM PANEL
- 22 EXIST PLASTER, EWC
- 23 GUTTER; RE: 13/A412
- 24 OVERHEAD COILING DOOR
- 25 ROOF SHIP LADDER RE: 15/A410
- 26 8"x8" TEXTURED CMU, COLOR #5, MORTAR #1.

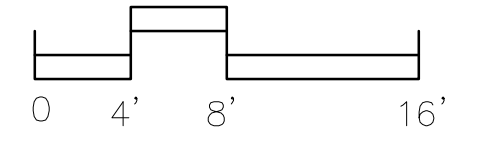
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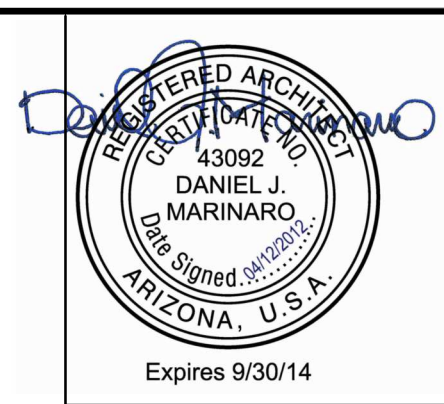
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PROJECT NO. PT-96130004-FTA

EXTERIOR ELEVATIONS

DES: DJM	DR: SMV	CK: JAH	SHEET NO.	TOTAL SHEET COUNT
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SCALE: AS NOTED



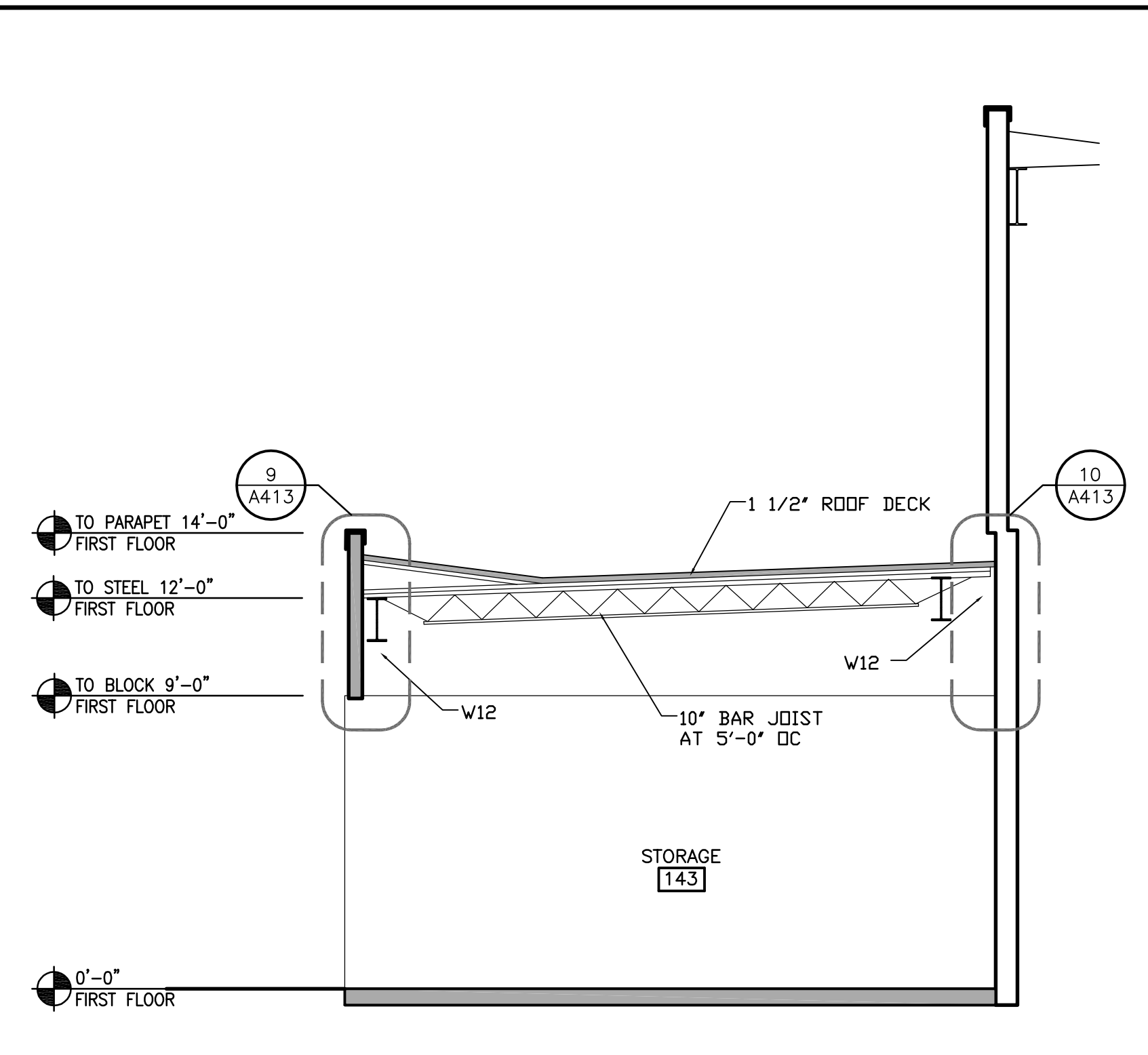


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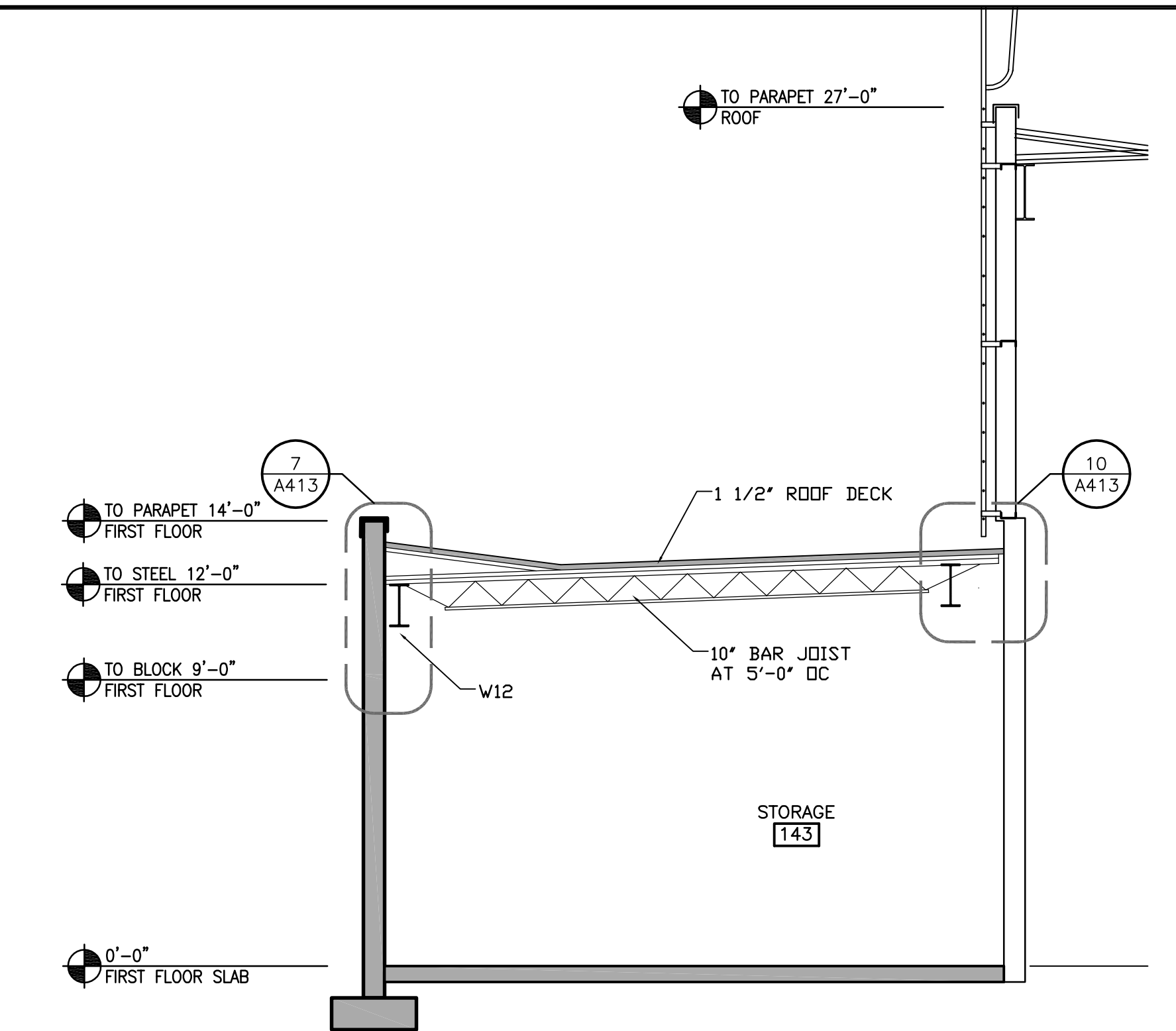
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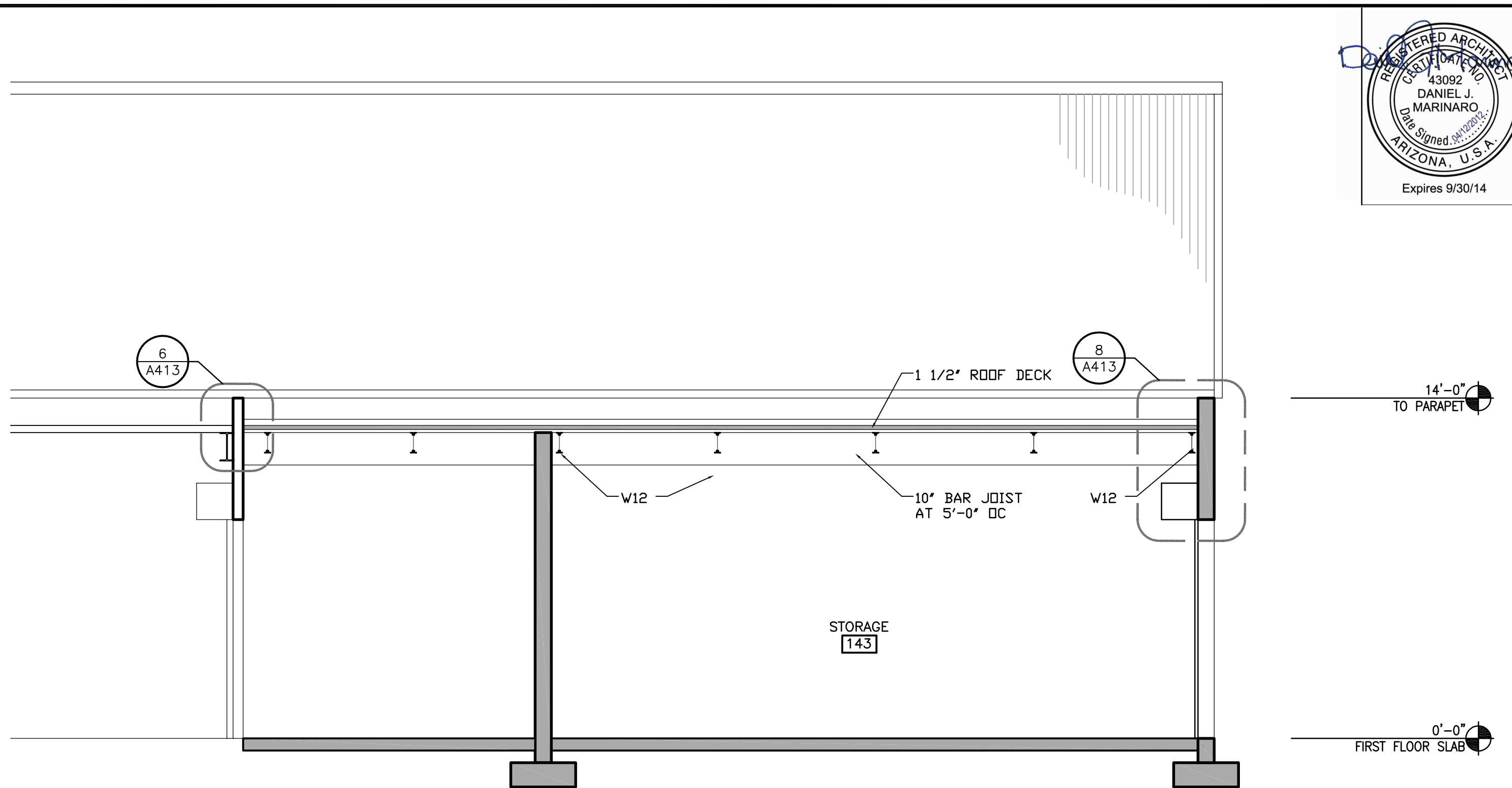
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2	OWNERS COMMENTS			4/12/12



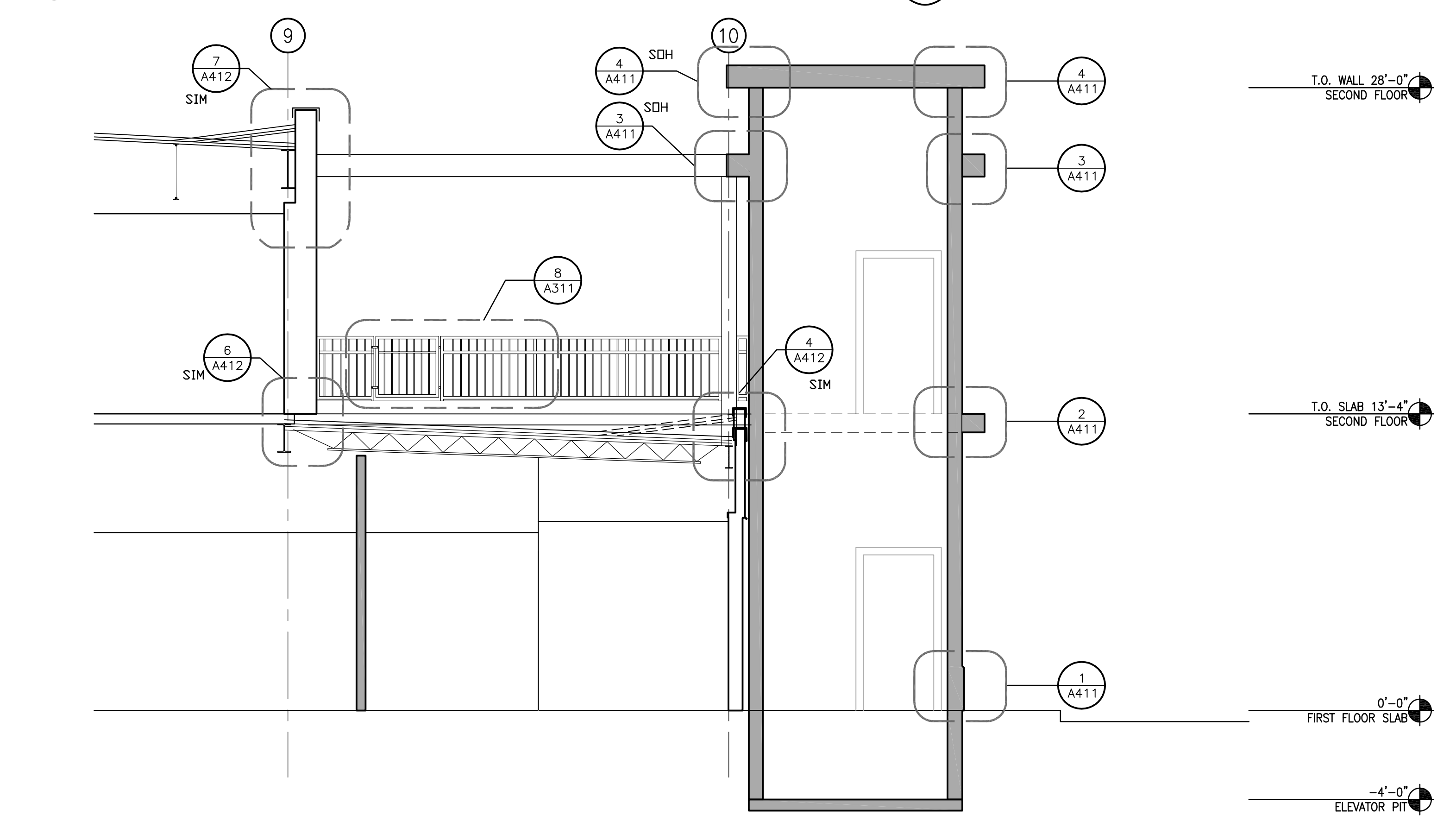
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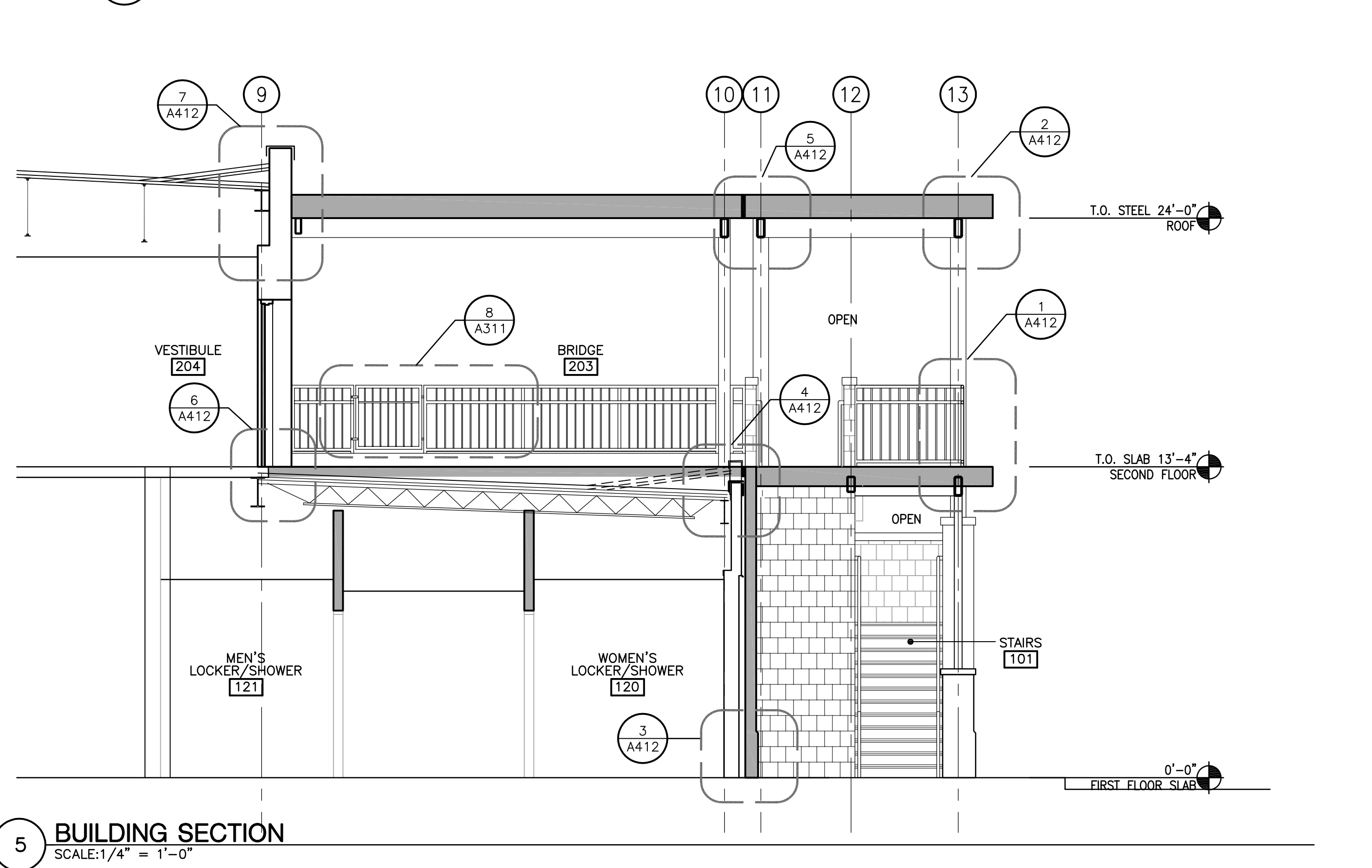
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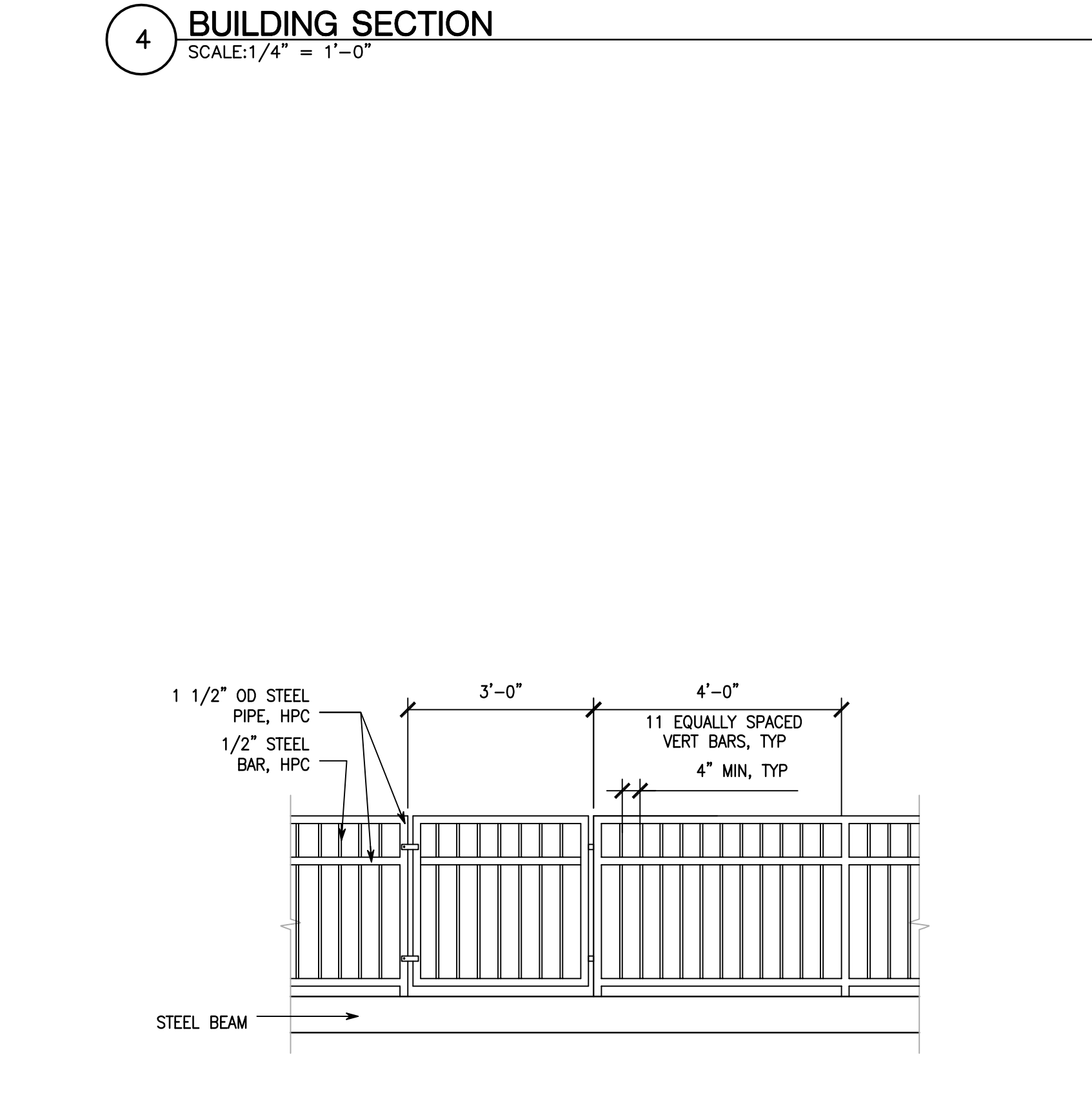
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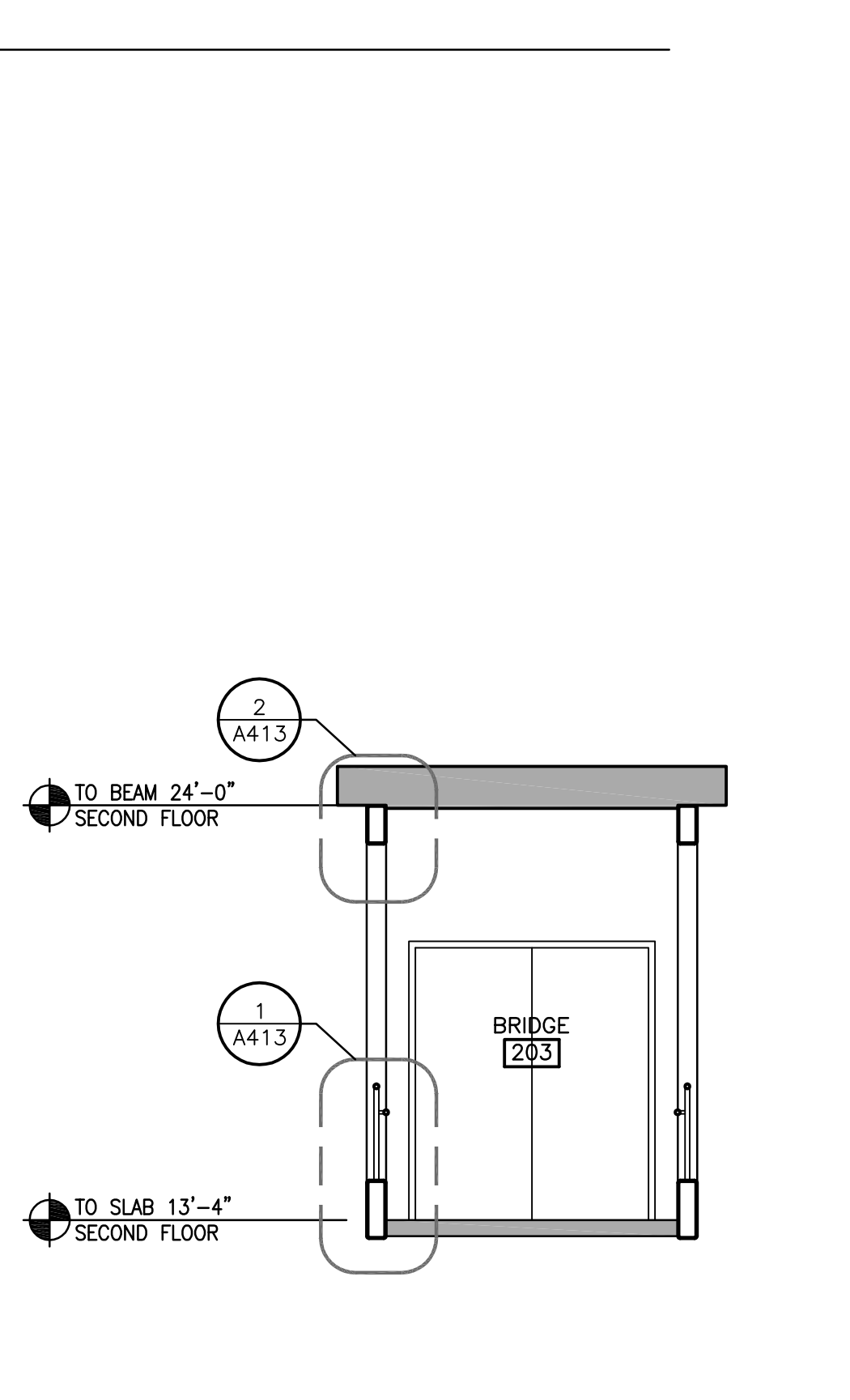
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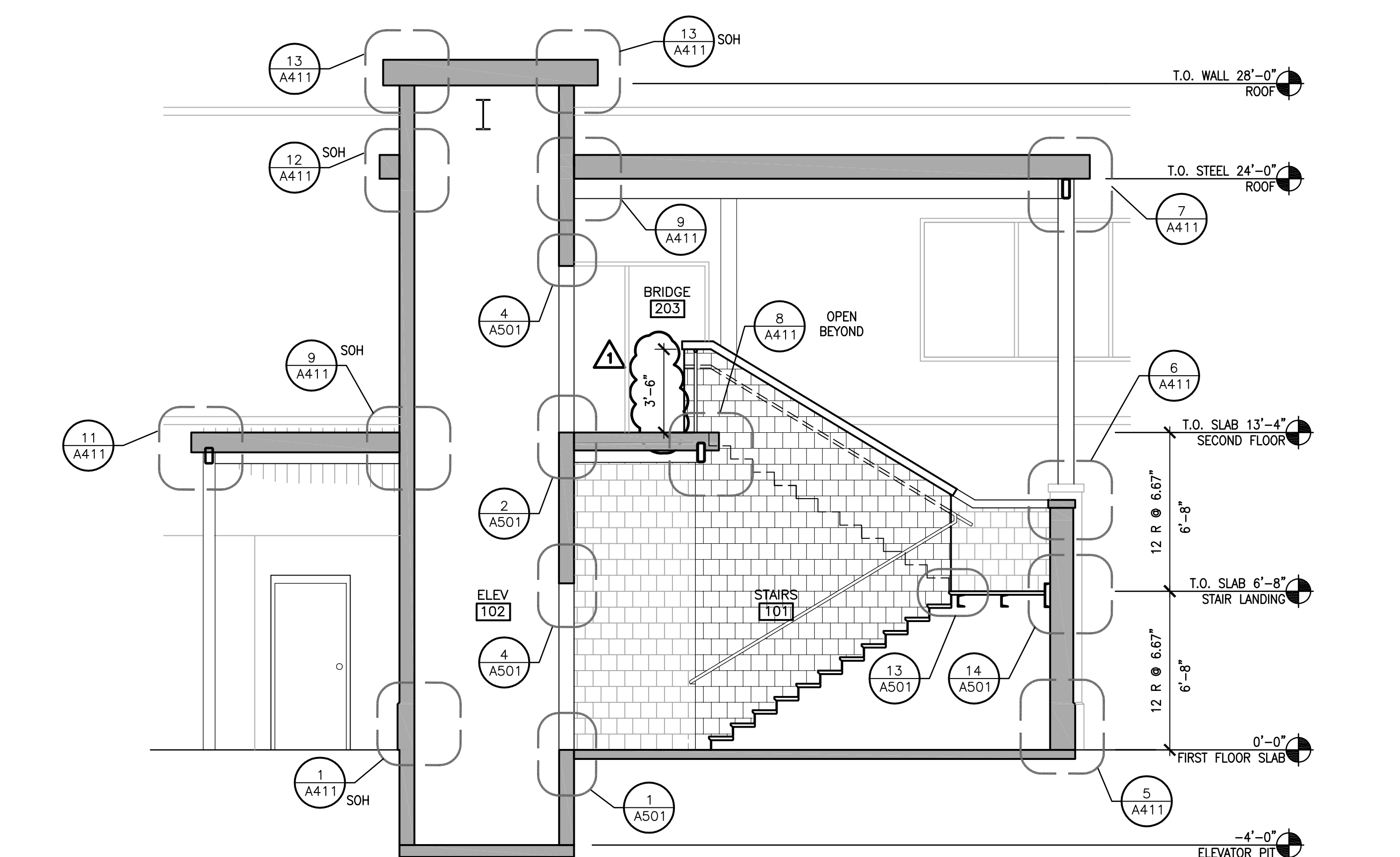
5 BUILDING SECTION
SCALE: 1/4" = 1'-0"



8 RAILING DETAIL
SCALE: 1/2" = 1'-0"



6 BRIDGE SECTION
SCALE: 1/4" = 1'-0"



7 BUILDING SECTION
SCALE: 1/4" = 1'-0"

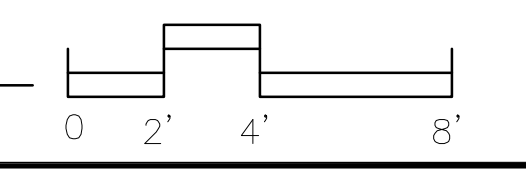
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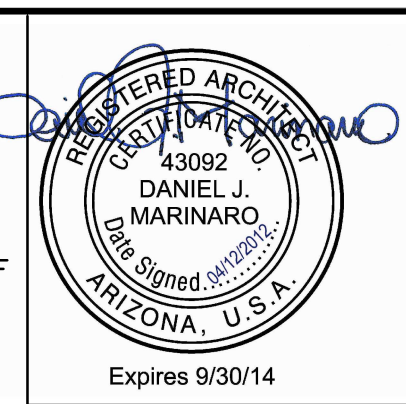
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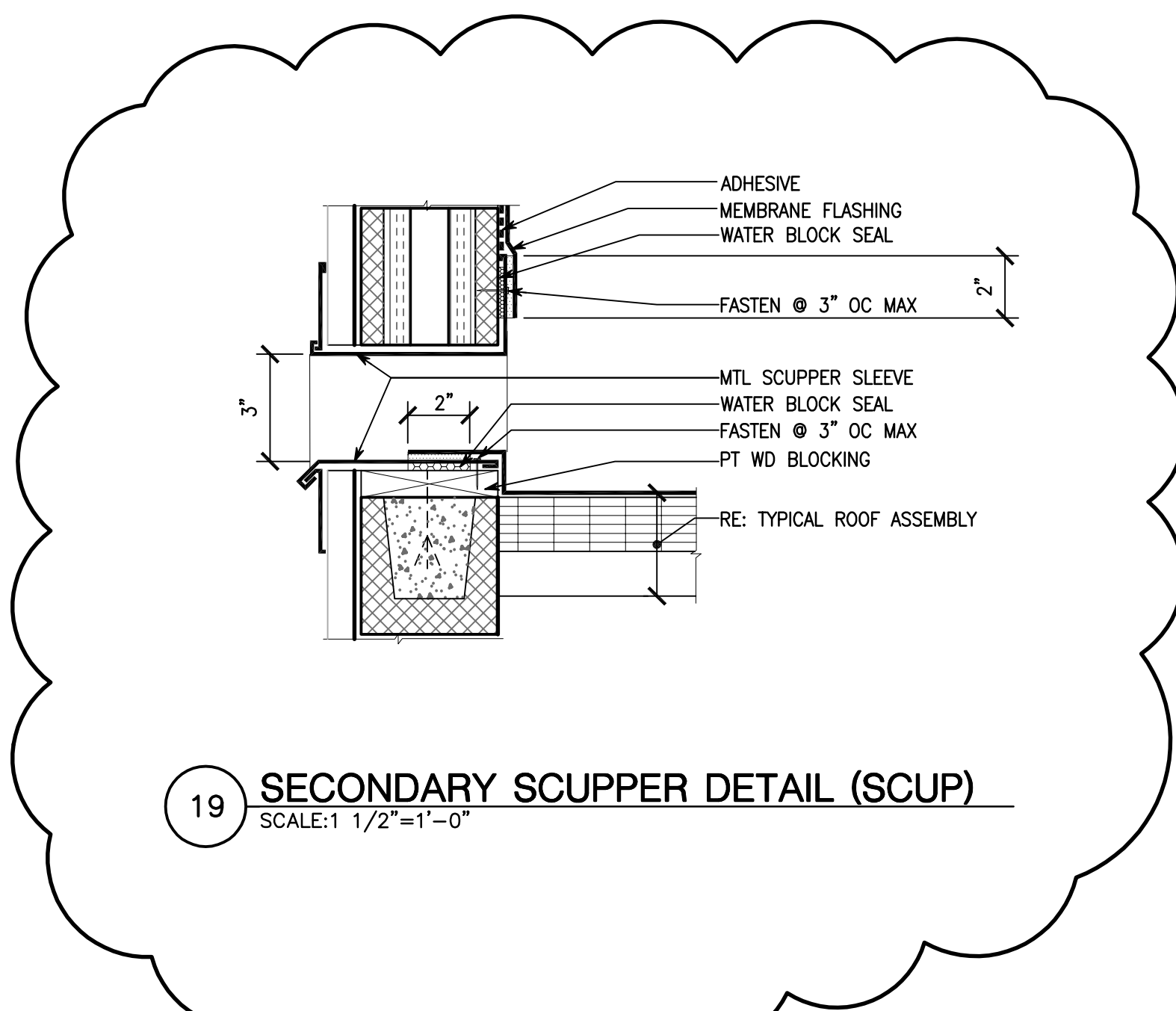
BUILDING SECTIONS

DES:	SMV	DR:	SMV	CK:	DJM	SHEET NO.	TOTAL SHEET COUNT
DATE:	02/21/12	AS-BUILT:	-			A311	50 OF 122
SCALE:	AS NOTED						

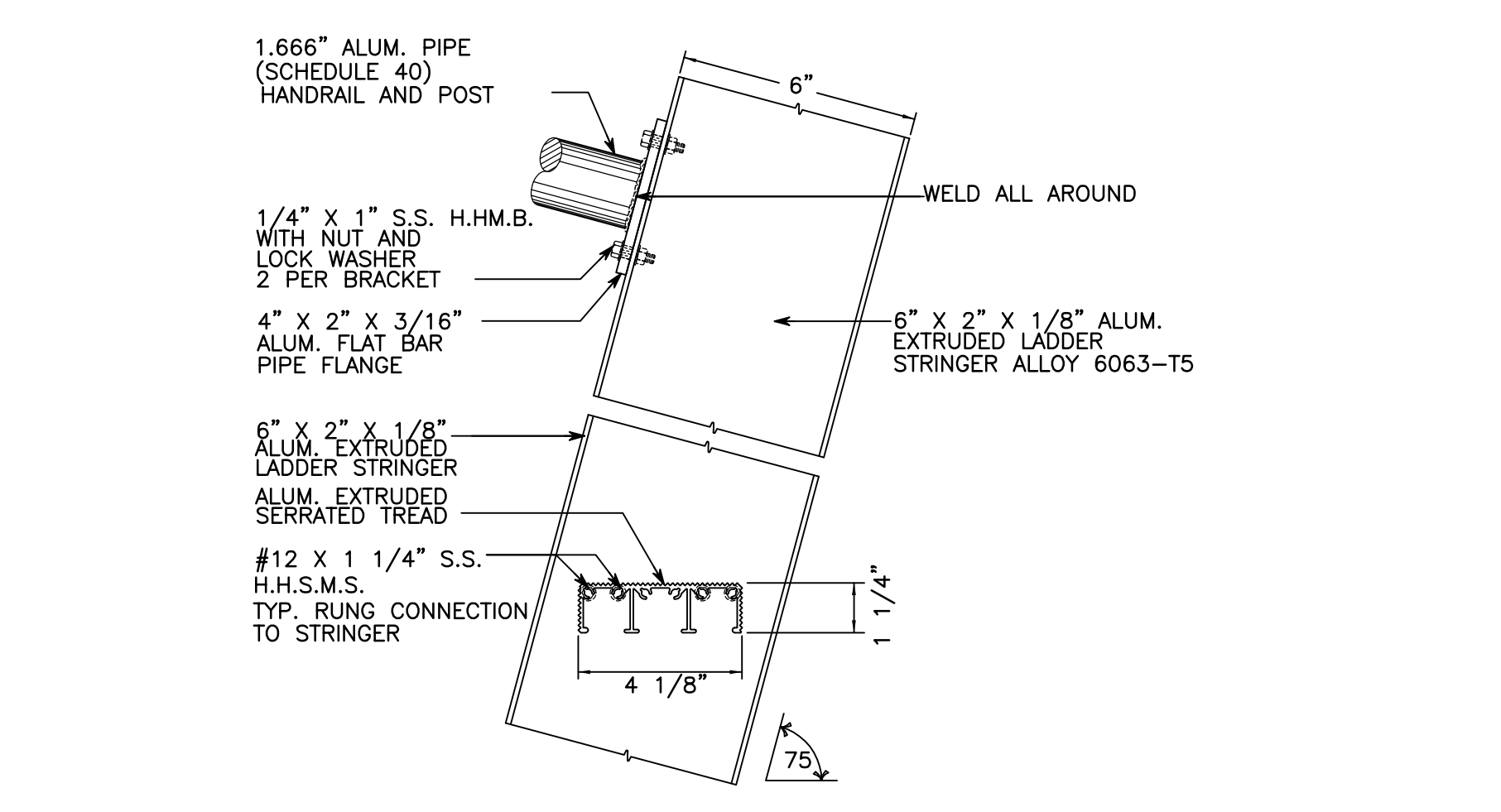




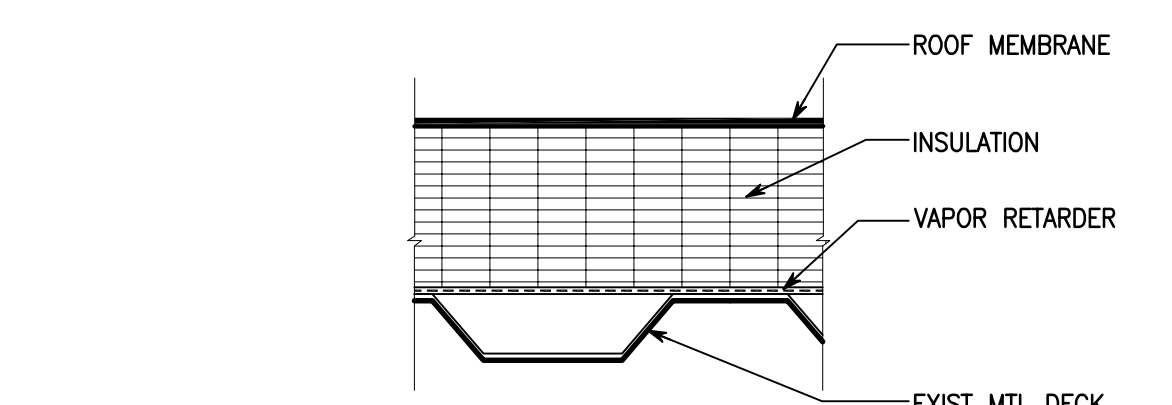
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DES:	DJT	7227 N. 16th Street, Suite 140	Phoenix, AZ 85002
CHK:	DATE:	www.wendelcorp.com p: 774.888.8788 f: 774.888.8825	
REVISION LOG			
NO.	DESCRIPTION	REV. BY	CHK. BY DATE
1	CITY COMMENTS	JAH	JAH 4/12/12
2	OWNERS COMMENTS	JAH	JAH 4/12/12



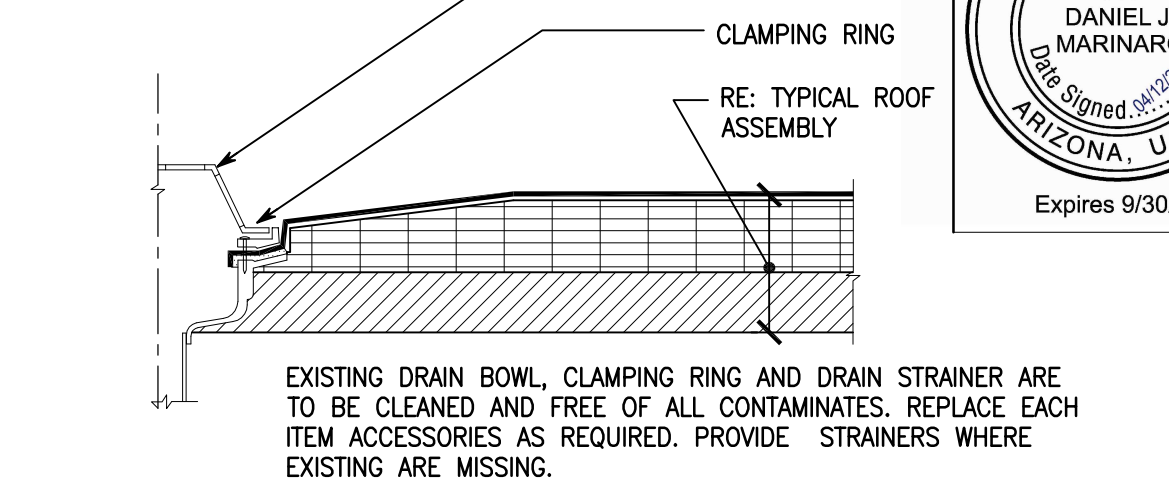
19 SECONDARY SCUPPER DETAIL (SCUP)
SCALE: 1/2" = 1'-0"



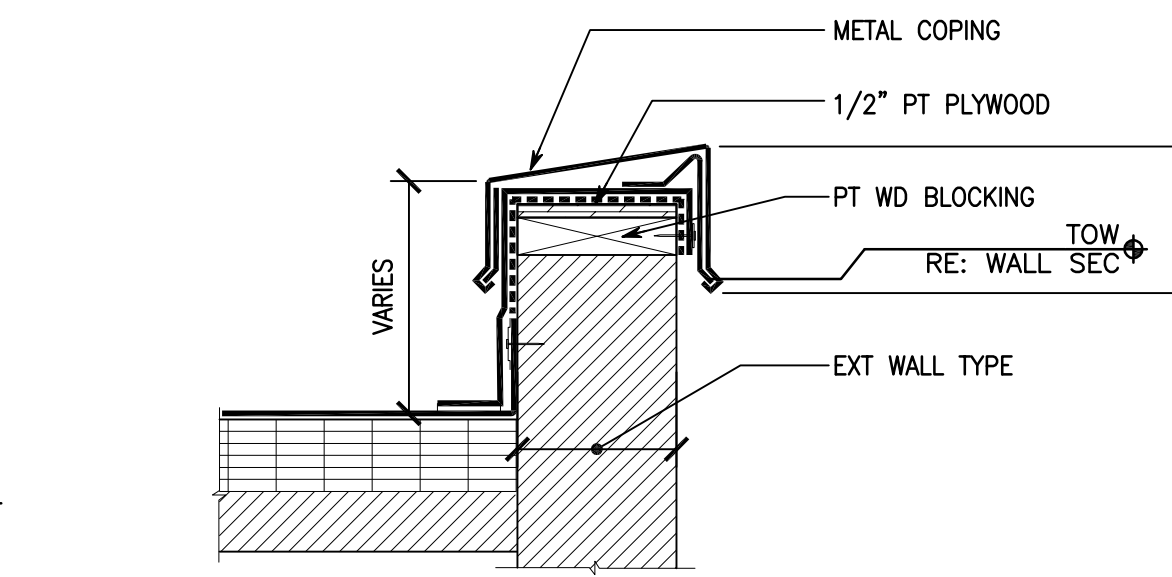
17 POST AND TREAD DETAIL
SCALE: 3\"/>



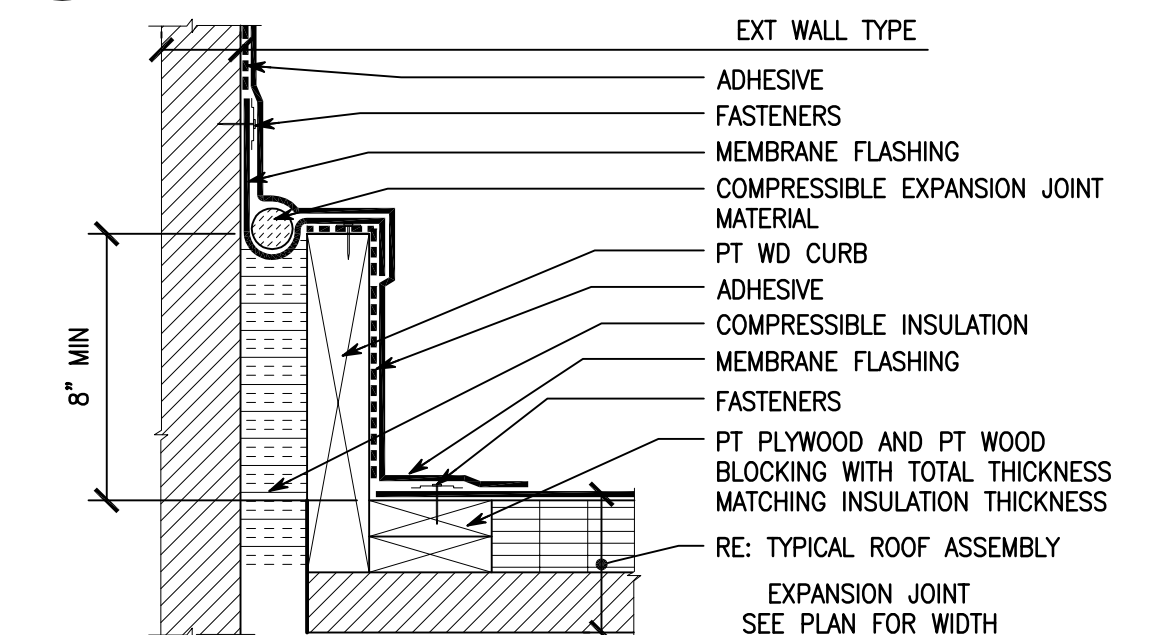
8 RE-ROOF ASSEMBLY TYPE 1
SCALE: 1/2" = 1'-0"



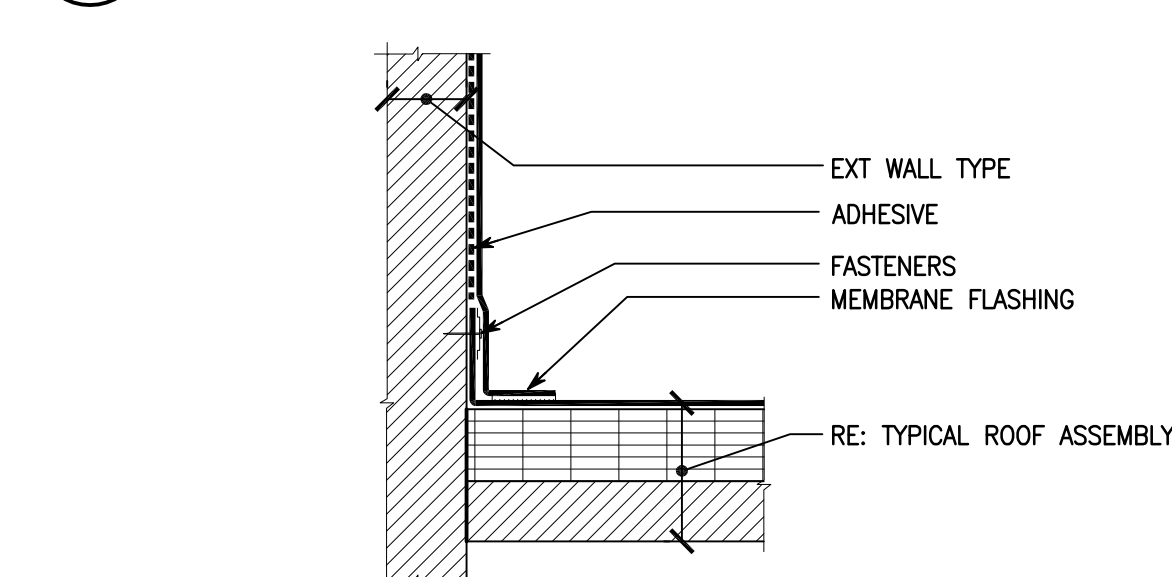
7 ROOF DRAIN DETAIL
SCALE: 1/2" = 1'-0"



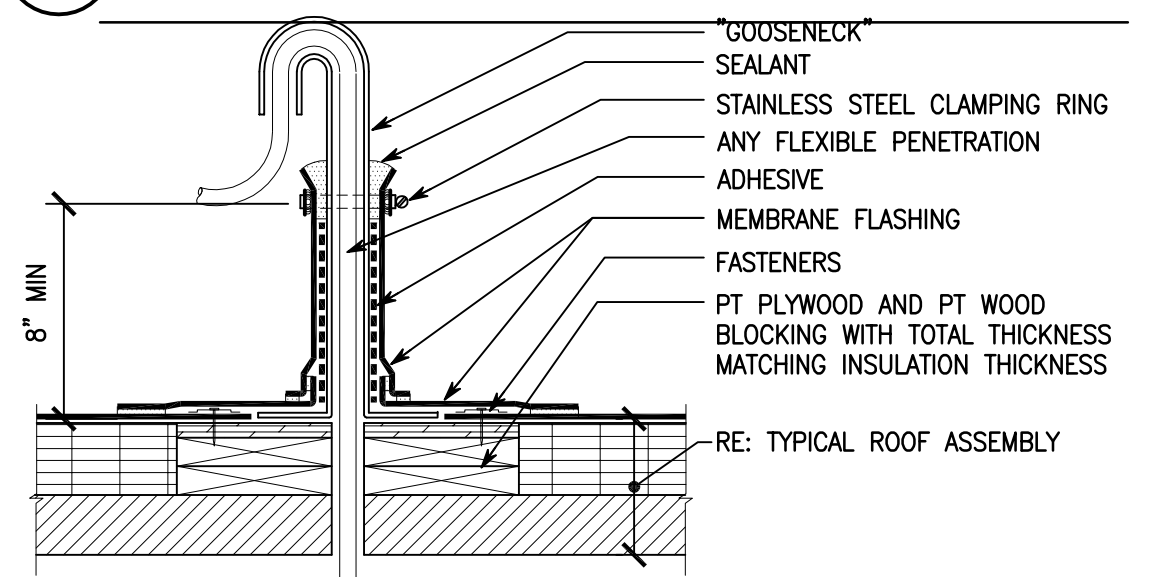
9 COPING DETAIL
SCALE: 1/2" = 1'-0"



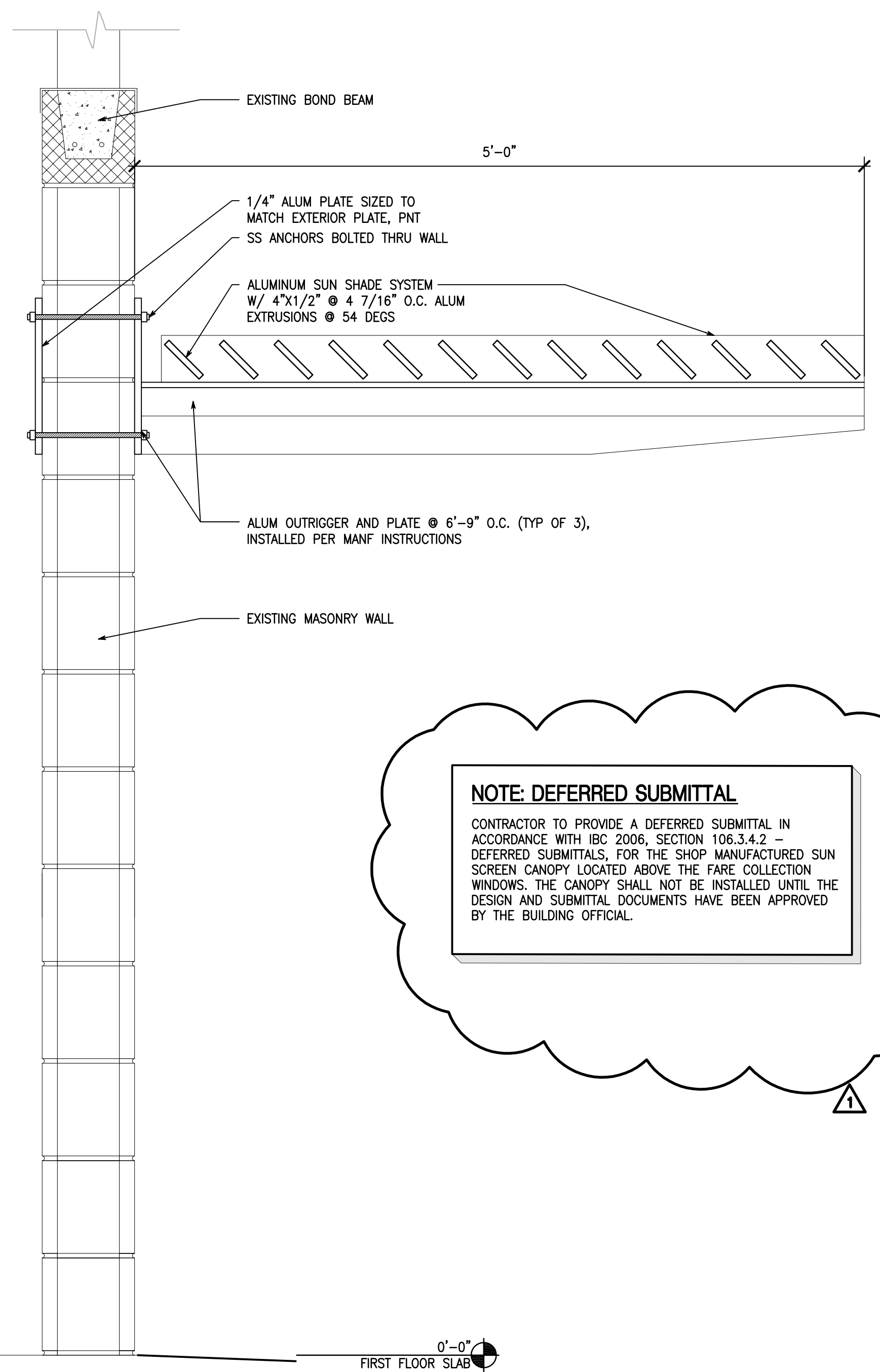
6 DECK TO WALL EXPANSION JOINT DETAIL
SCALE: 1/2" = 1'-0"



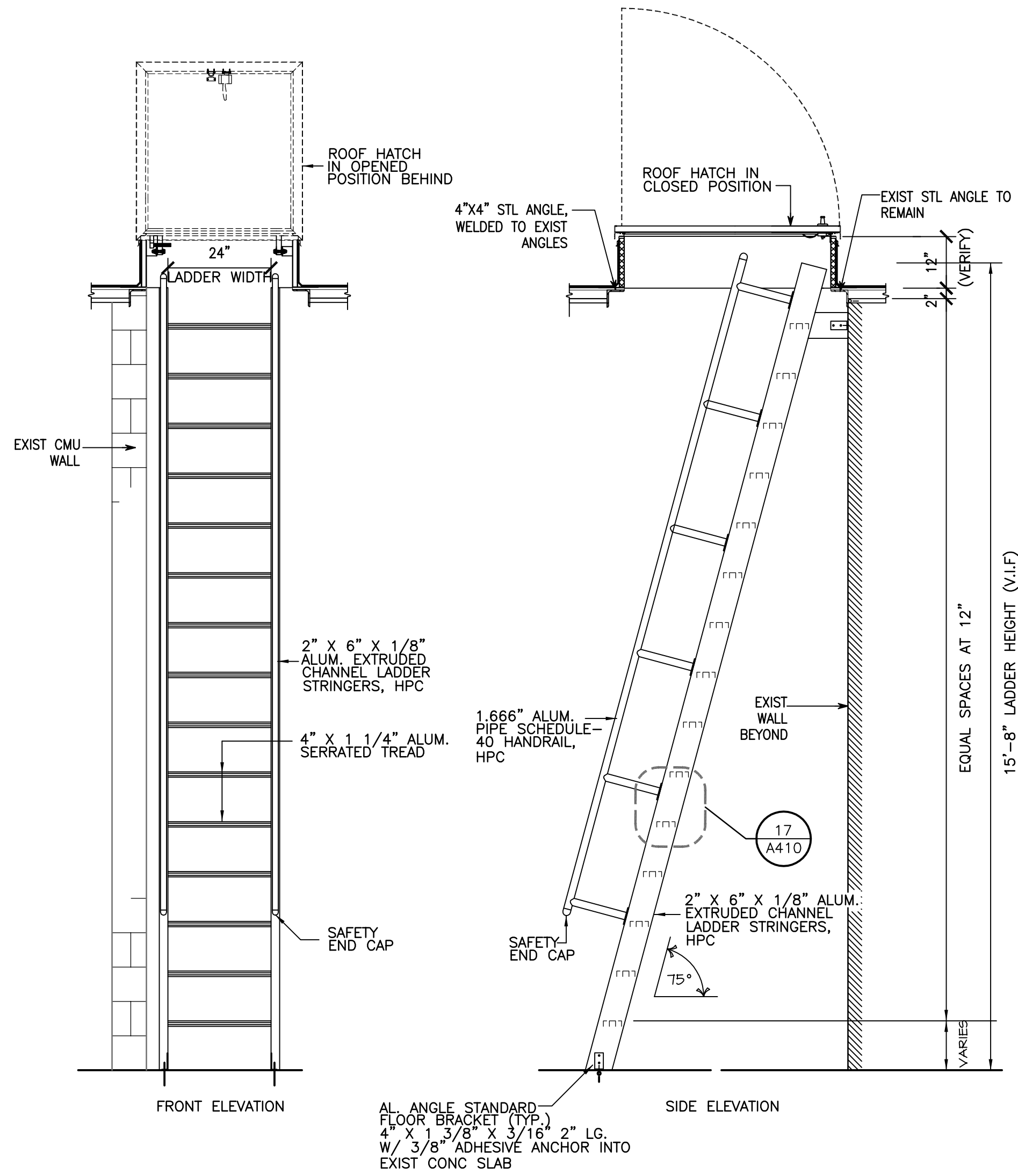
10 PARAPET / WALL DETAIL
SCALE: 1/2" = 1'-0"



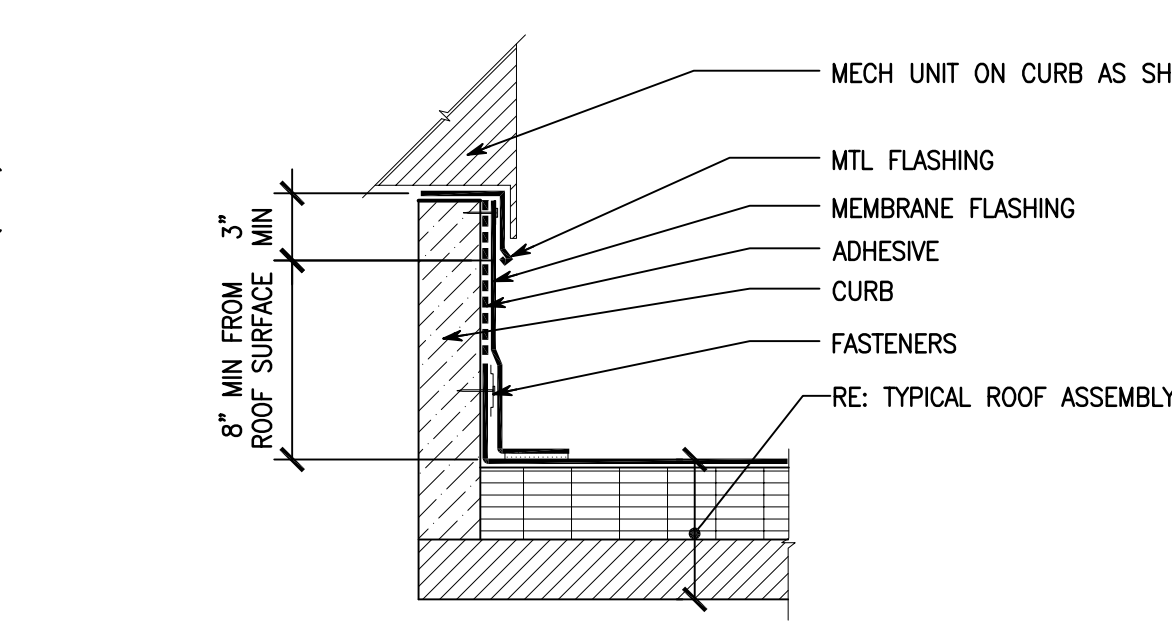
5 FLEXIBLE PENETRATION DETAIL
SCALE: 1/2" = 1'-0"



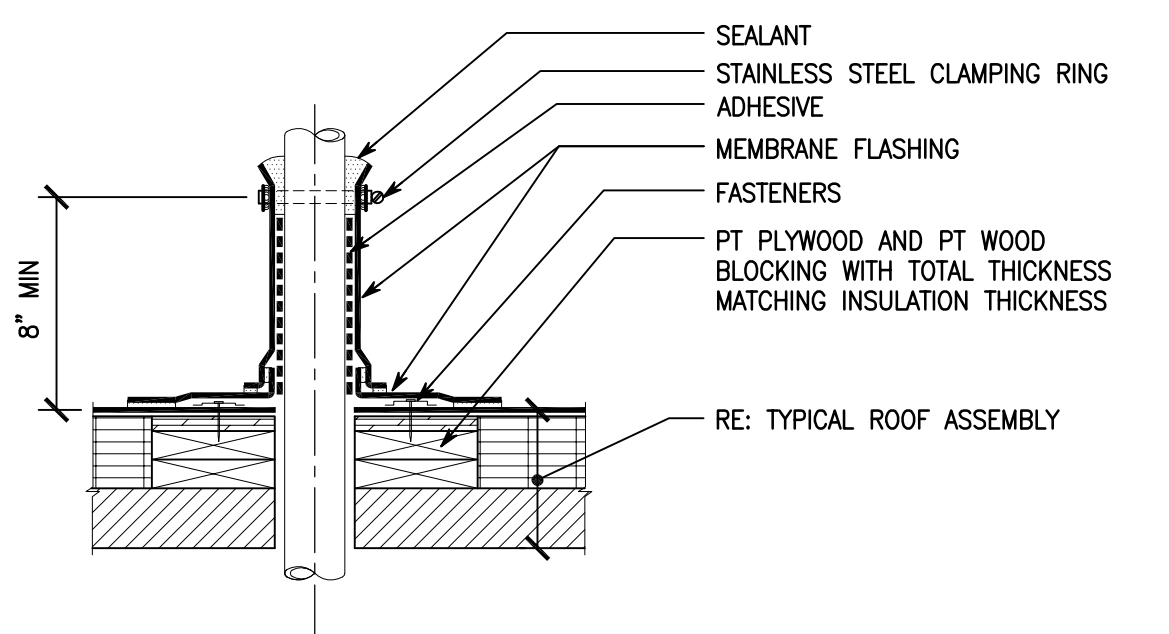
18 ALUM SUNSHADE SECTION
SCALE: 1/2" = 1'-0"



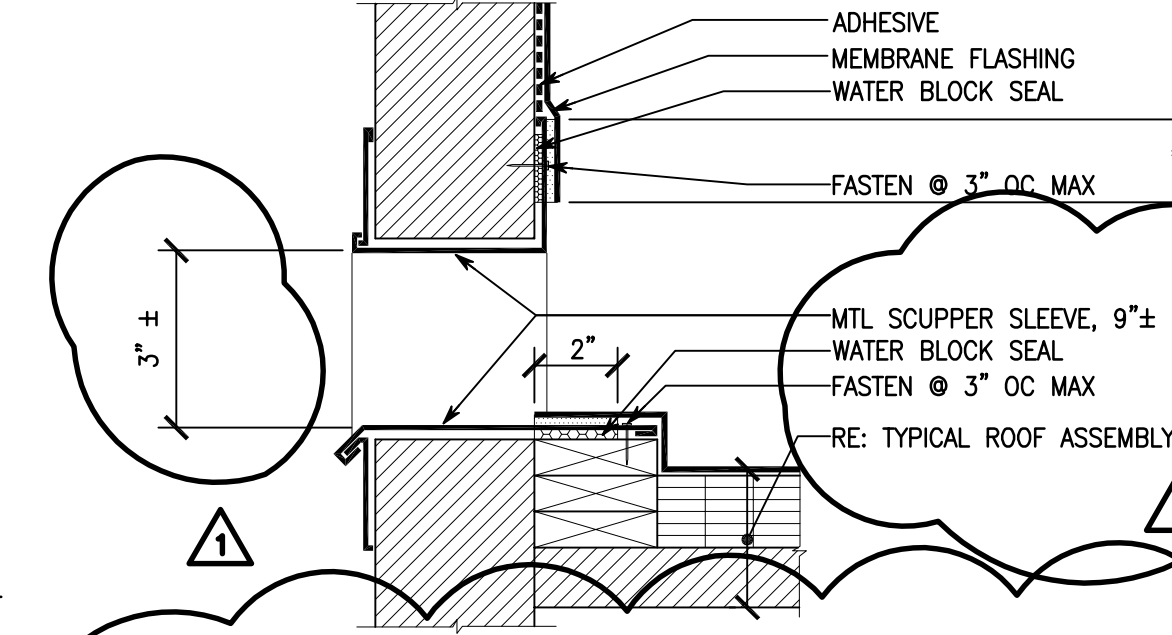
16 INTERIOR SHIPS LADDER DETAIL
SCALE: 1/2" = 1'-0"



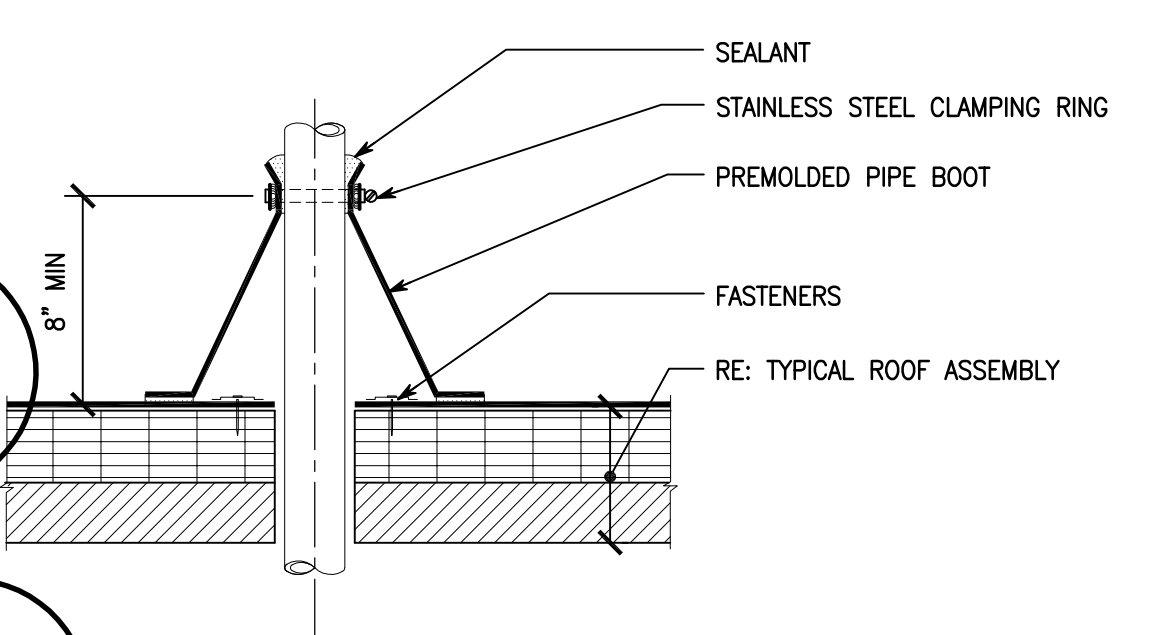
11 CURB FLASHING DETAIL
SCALE: 1/2" = 1'-0"



4 PIPE FLASHING DETAIL
SCALE: 1/2" = 1'-0"

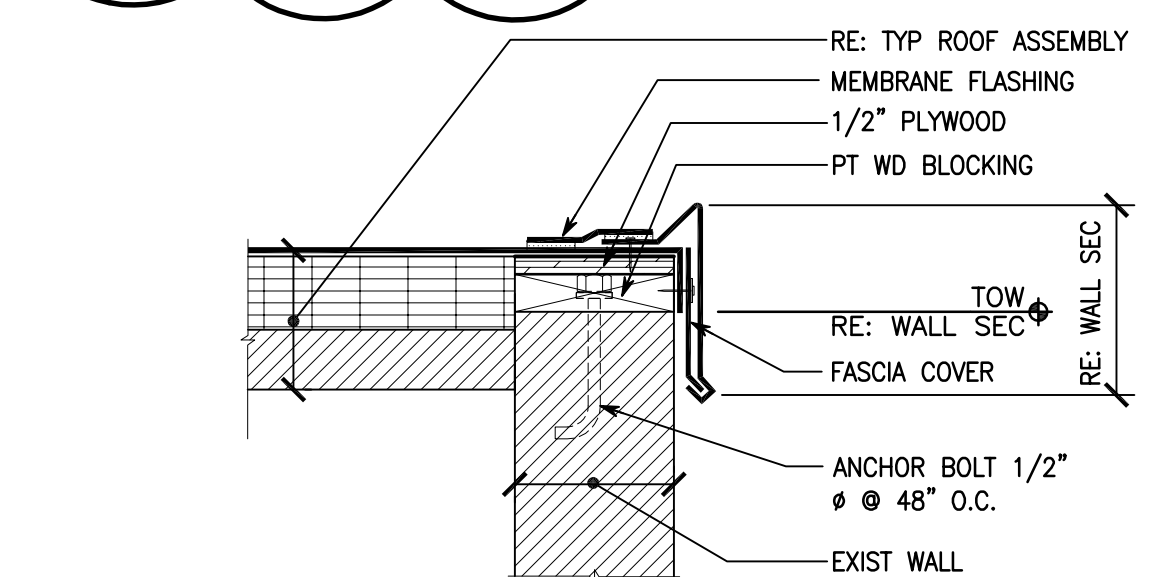


12 SECONDARY SCUPPER DETAIL EXISTING(S)
SCALE: 1/2" = 1'-0"

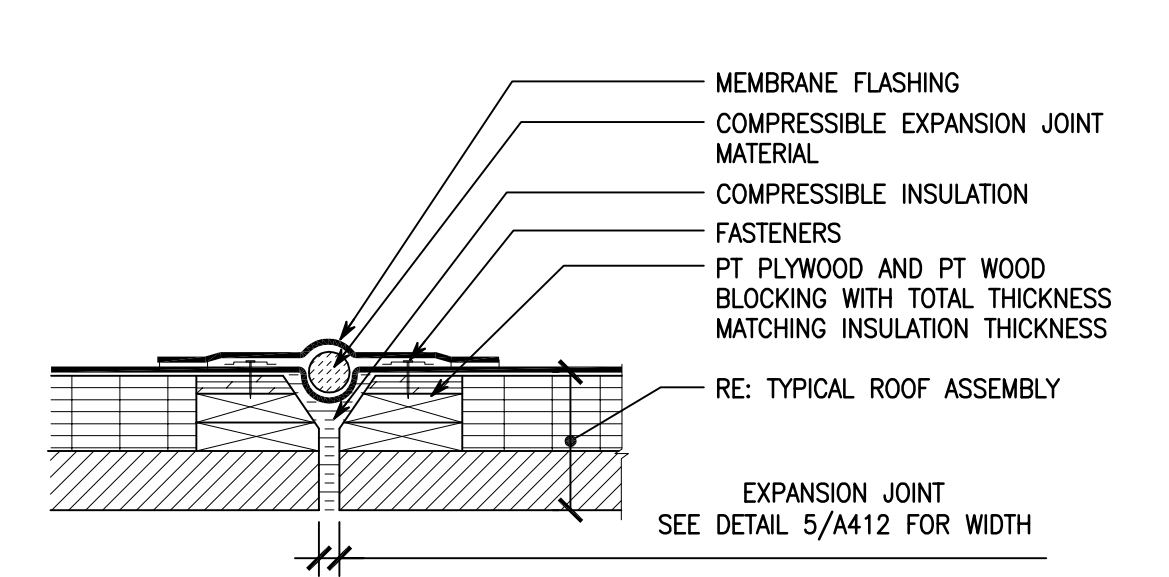


3 PRE-MOULDED PIPE BOOT DETAIL
SCALE: 1/2" = 1'-0"

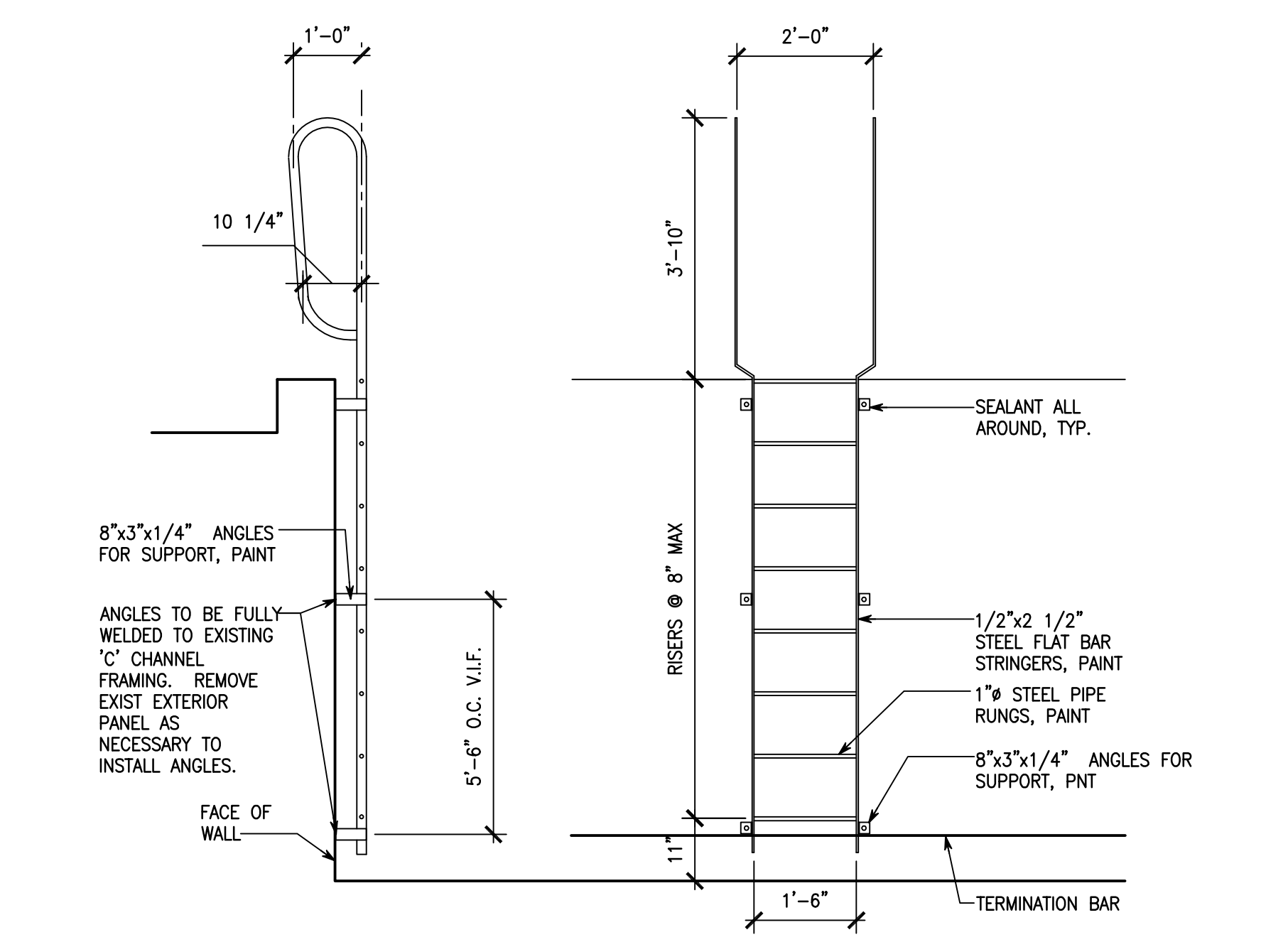
NOTE: DEFERRED SUBMITTAL
CONTRACTOR TO PROVIDE A DEFERRED SUBMITTAL IN ACCORDANCE WITH IRC 2006, SECTION 106.3.4.2 = DEFERRED SUBMITTALS, FOR THE SHOP MANUFACTURED SUN SCREEN CANOPY LOCATED ABOVE THE FARE COLLECTION WINDOWS. THE CANOPY SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.



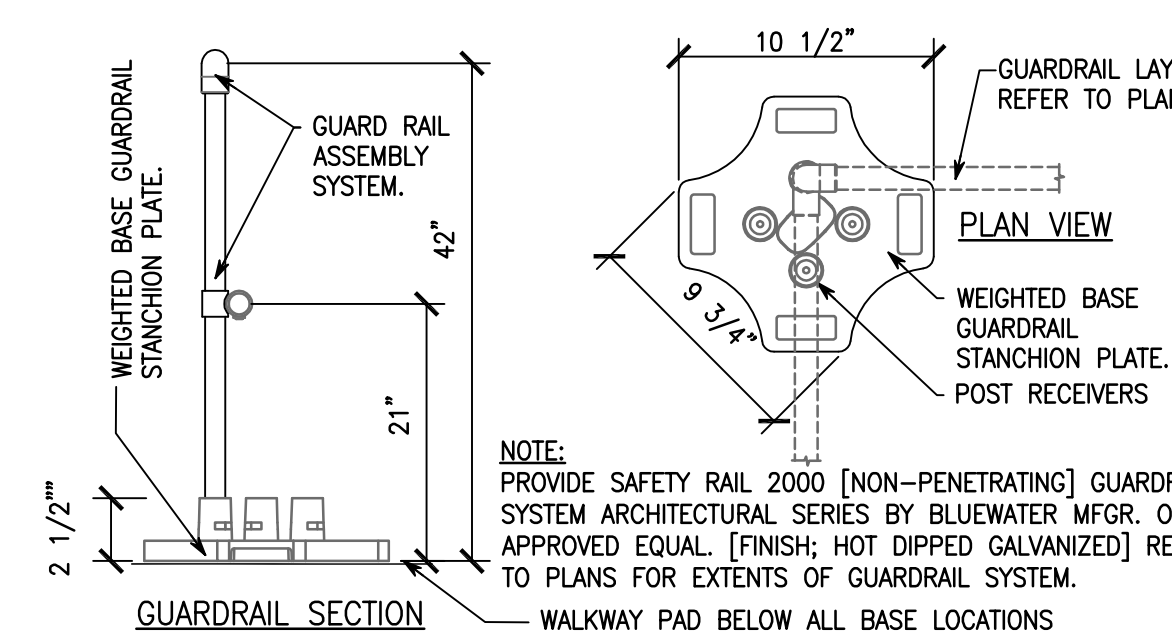
13 GRAVEL STOP FASCIA DETAIL
SCALE: 1/2" = 1'-0"



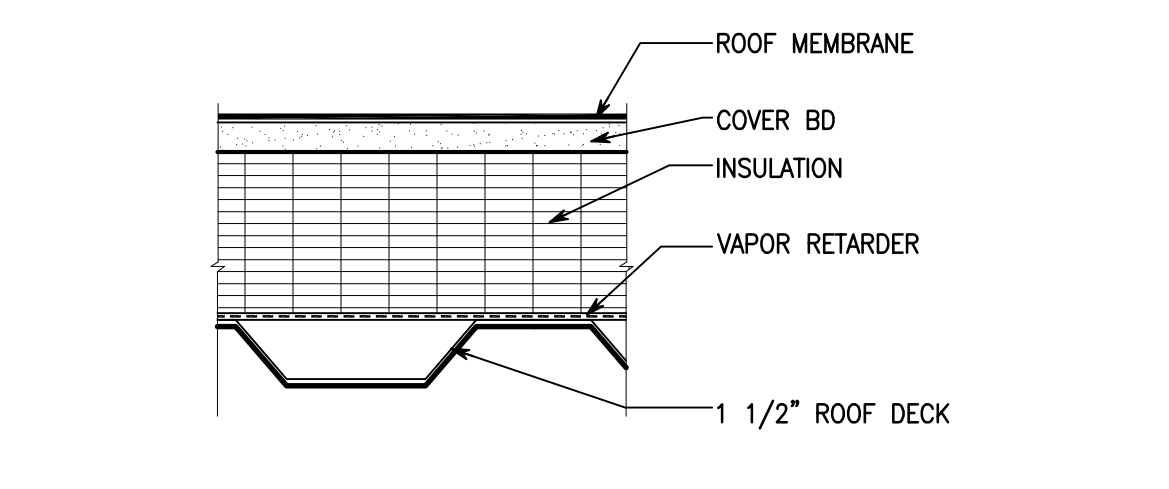
2 DECK TO DECK EXPANSION JOINT DETAIL
SCALE: 1/2" = 1'-0"



15 ROOF SHIPS LADDER DETAIL
SCALE: 1/2" = 1'-0"



14 SAFETY RAILING SYSTEM
SCALE: N.T.S.



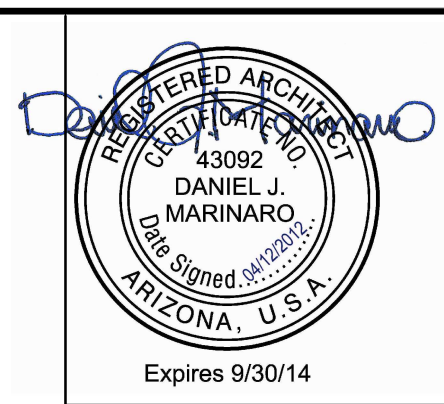
1 TYP MTL DECK ROOF ASSEMBLY TYPE 2
SCALE: 1/2" = 1'-0"

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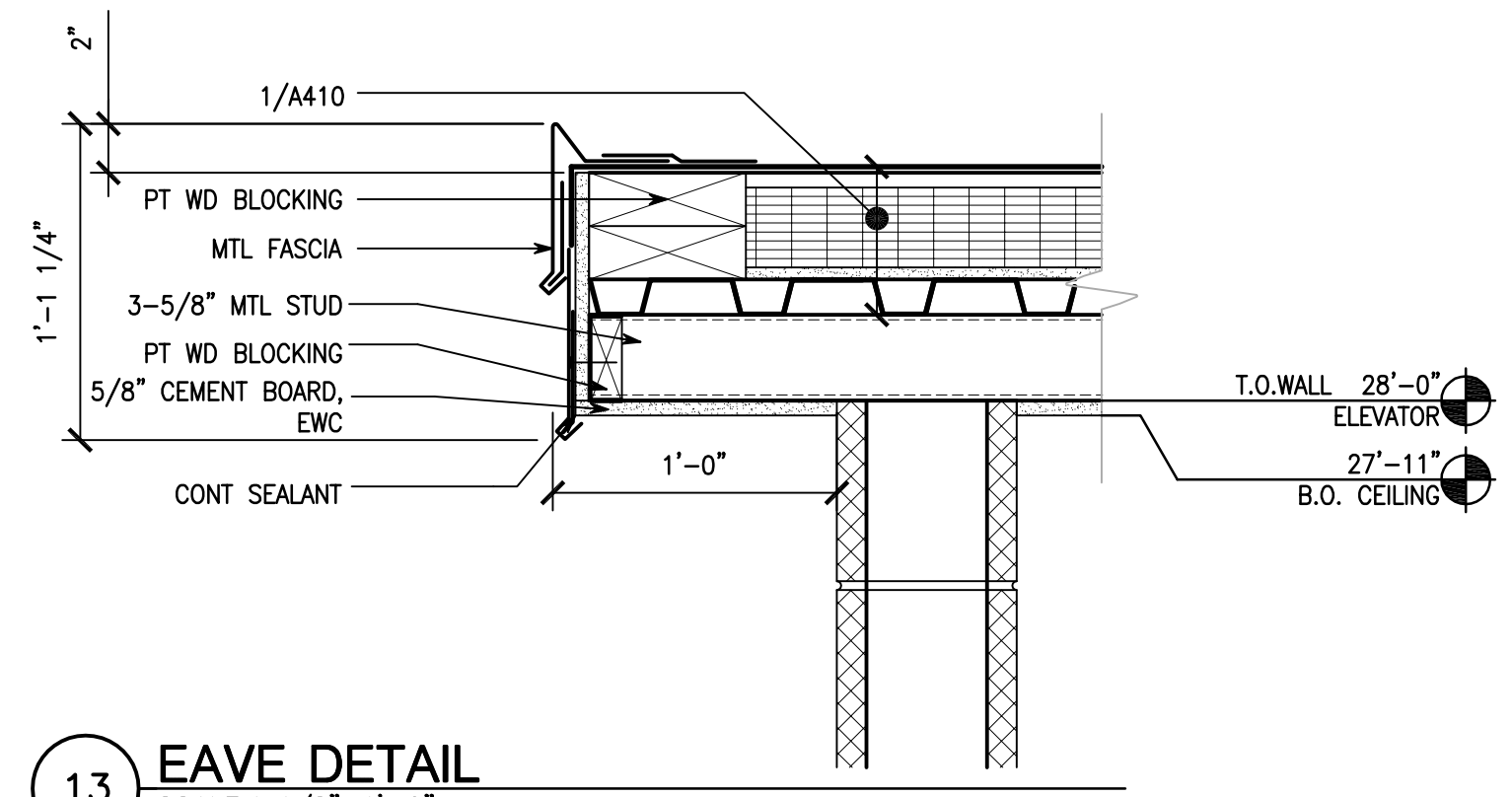
CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA

ROOF DETAILS

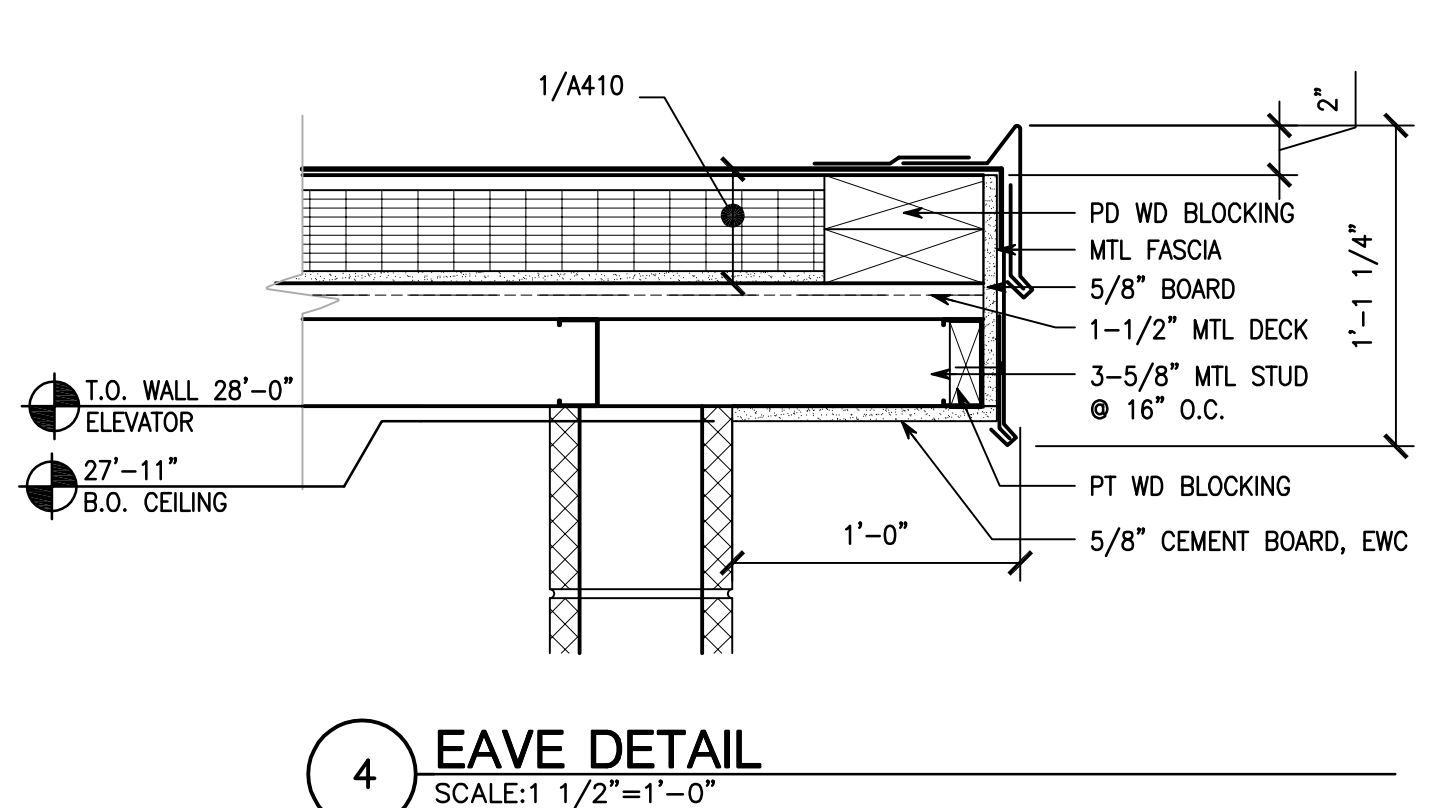
DES: DJM	DR: SMV	CHK: JAH	SHEET NO.	TOTAL SHEET COUNT
DATE: 02/21/12	AS-BUILT: -		A410	51 OF 122
SCALE: AS NOTED				



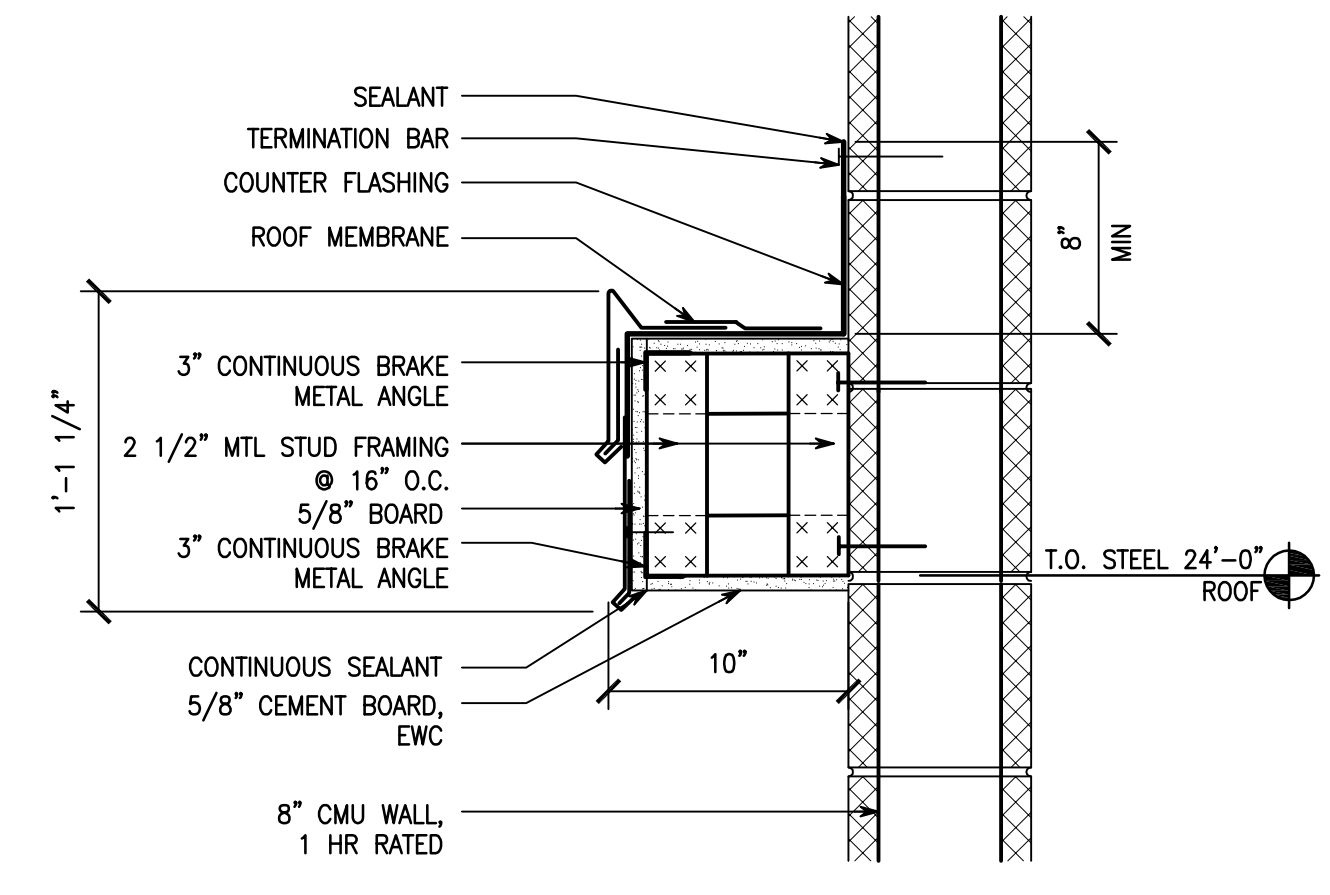
DESIGN PROFESSIONAL:		wendel	
DES:	DFT:	7227 N. 16th Street, Suite 140 Phoenix, AZ 85020	
CHK:	DATE:	www.wendelcorp.com p: 716.888.0700 f: 716.821.8825	
REVISION LOG			
NO.	DESCRIPTION	REV. BY	DATE
1	CITY COMMENTS		4/12/12
2	OWNERS COMMENTS		4/12/12



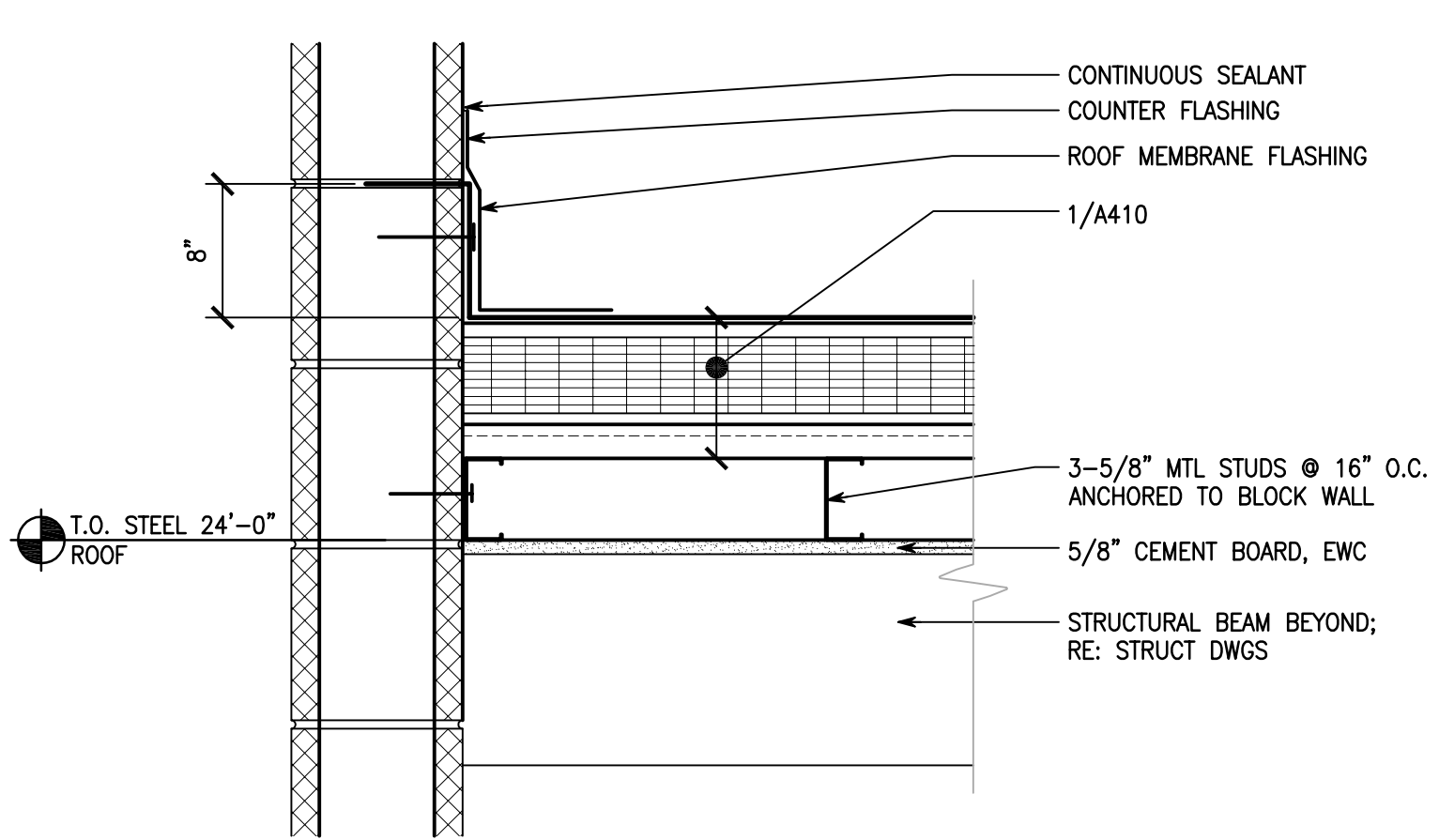
13 EAVE DETAIL
SCALE: 1 1/2"=1'-0"



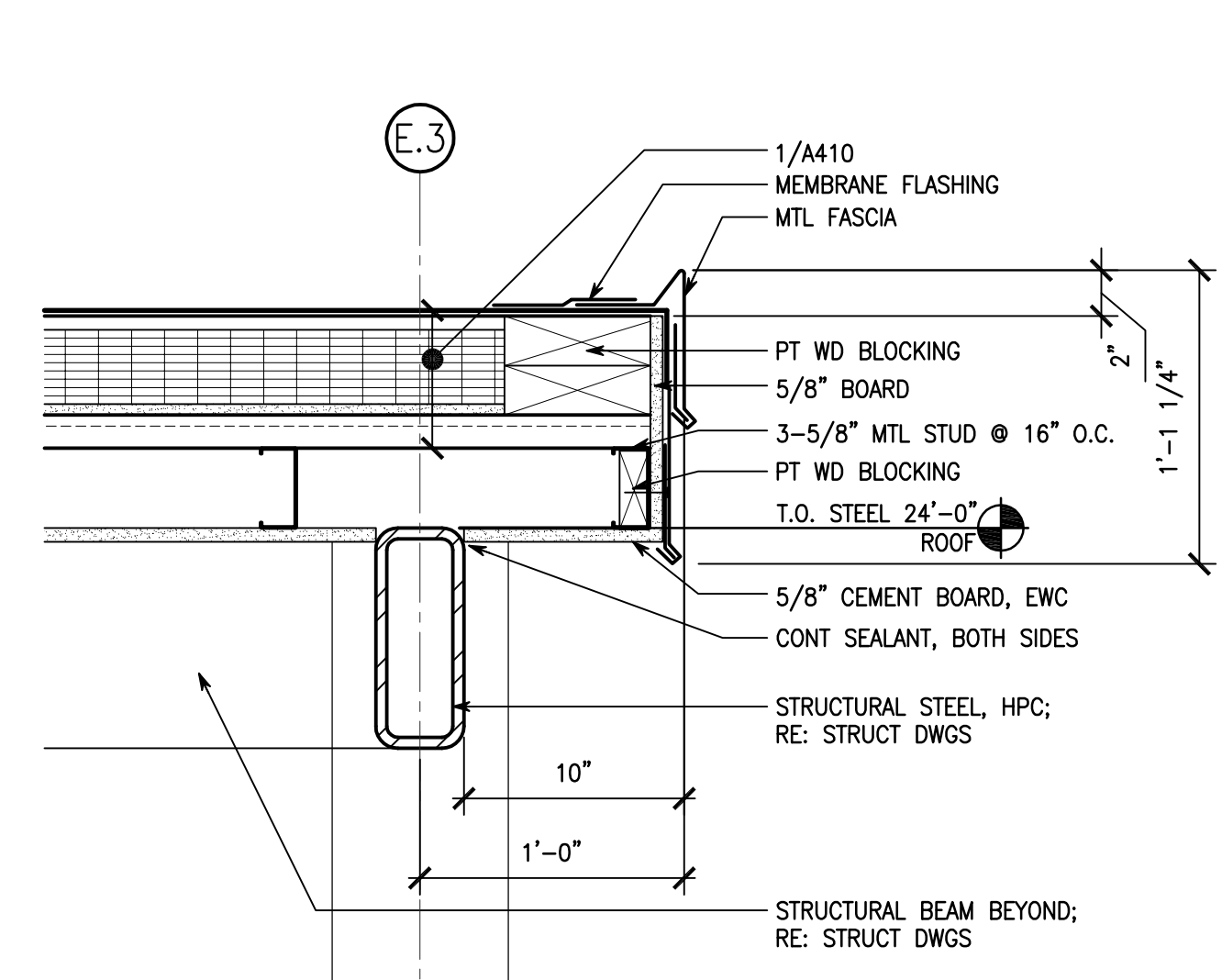
4 EAVE DETAIL
SCALE: 1 1/2"=1'-0"



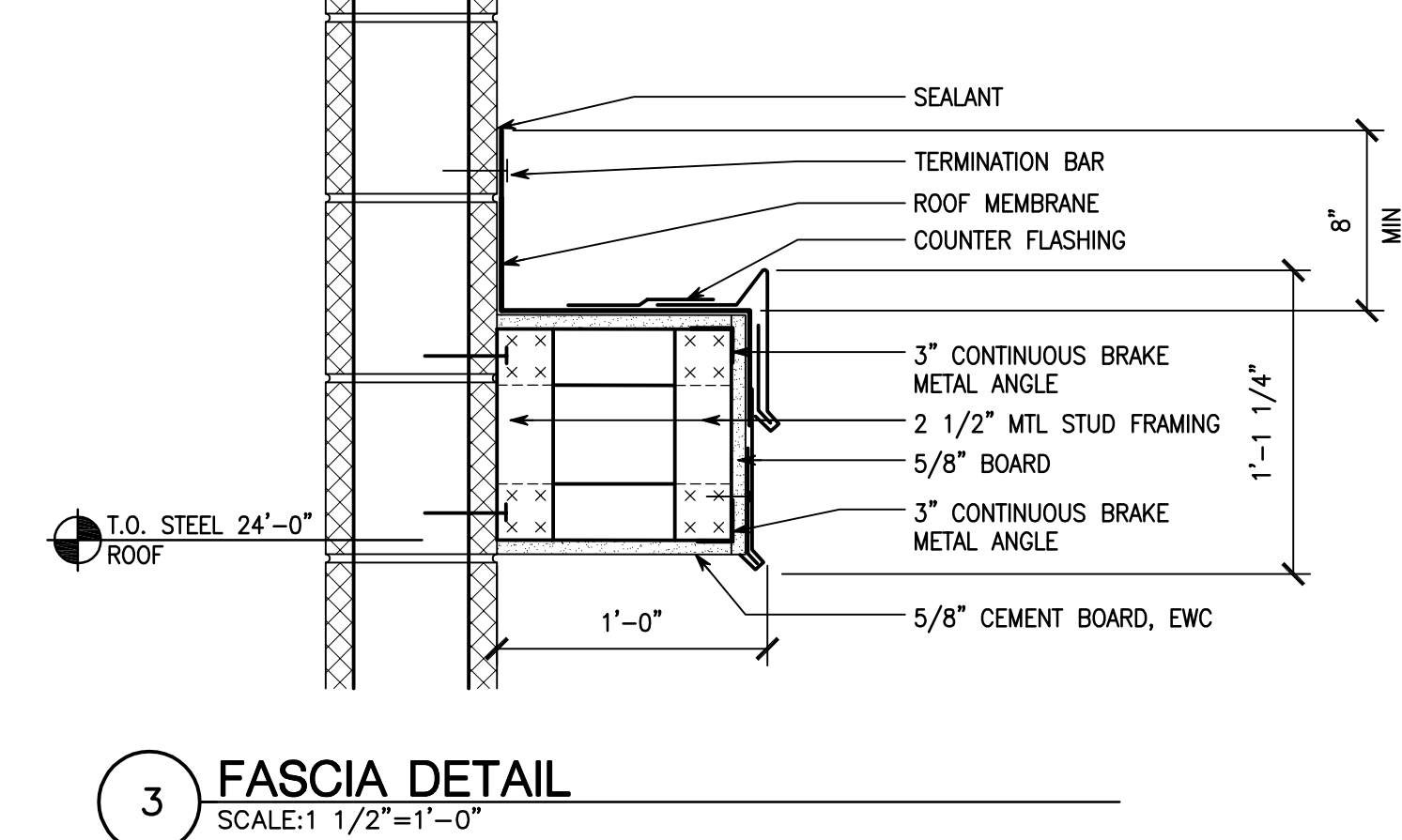
12 FASCIA DETAIL
SCALE: 1 1/2"=1'-0"



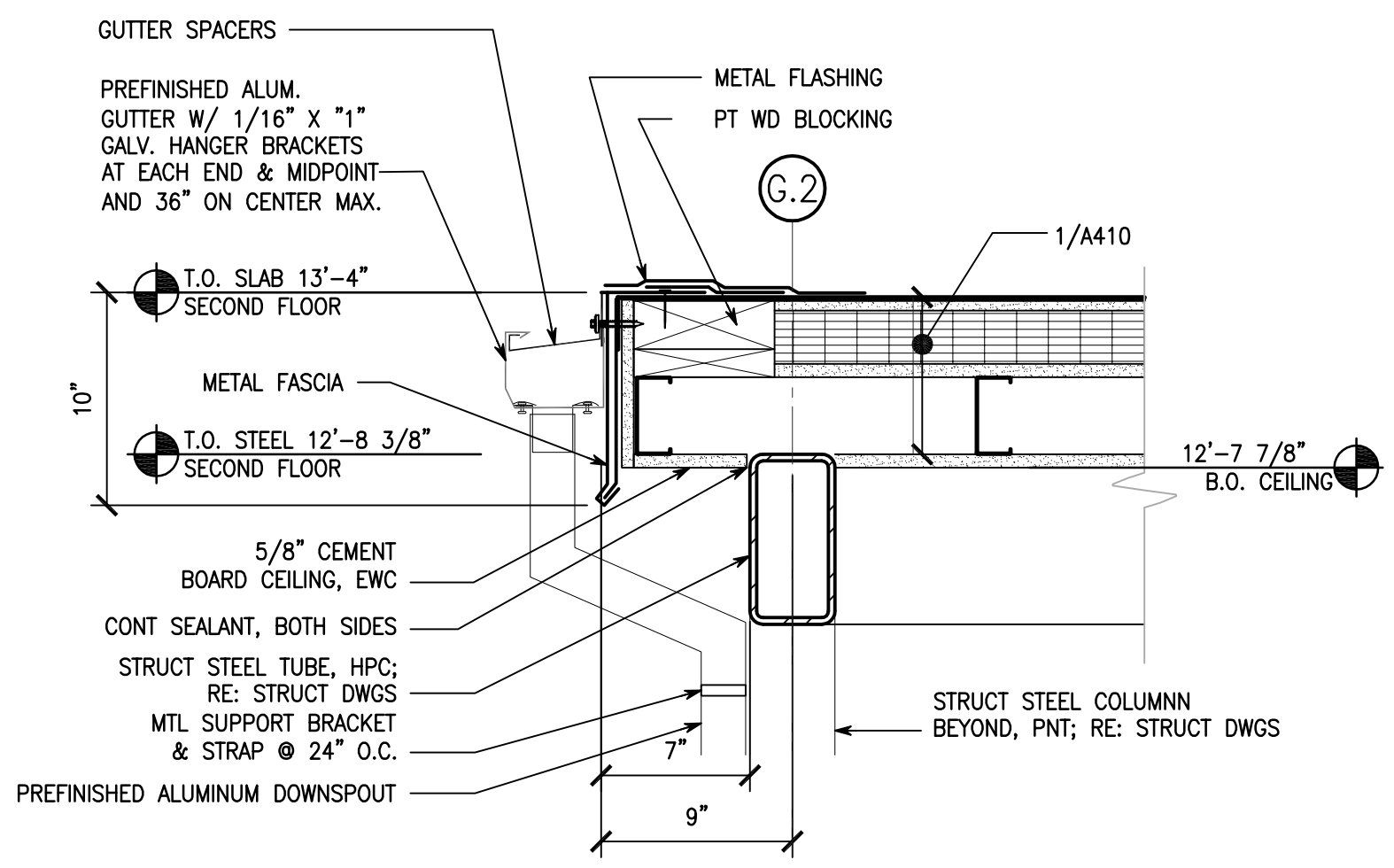
9 WALL FLASHING DETAIL
SCALE: 1 1/2"=1'-0"



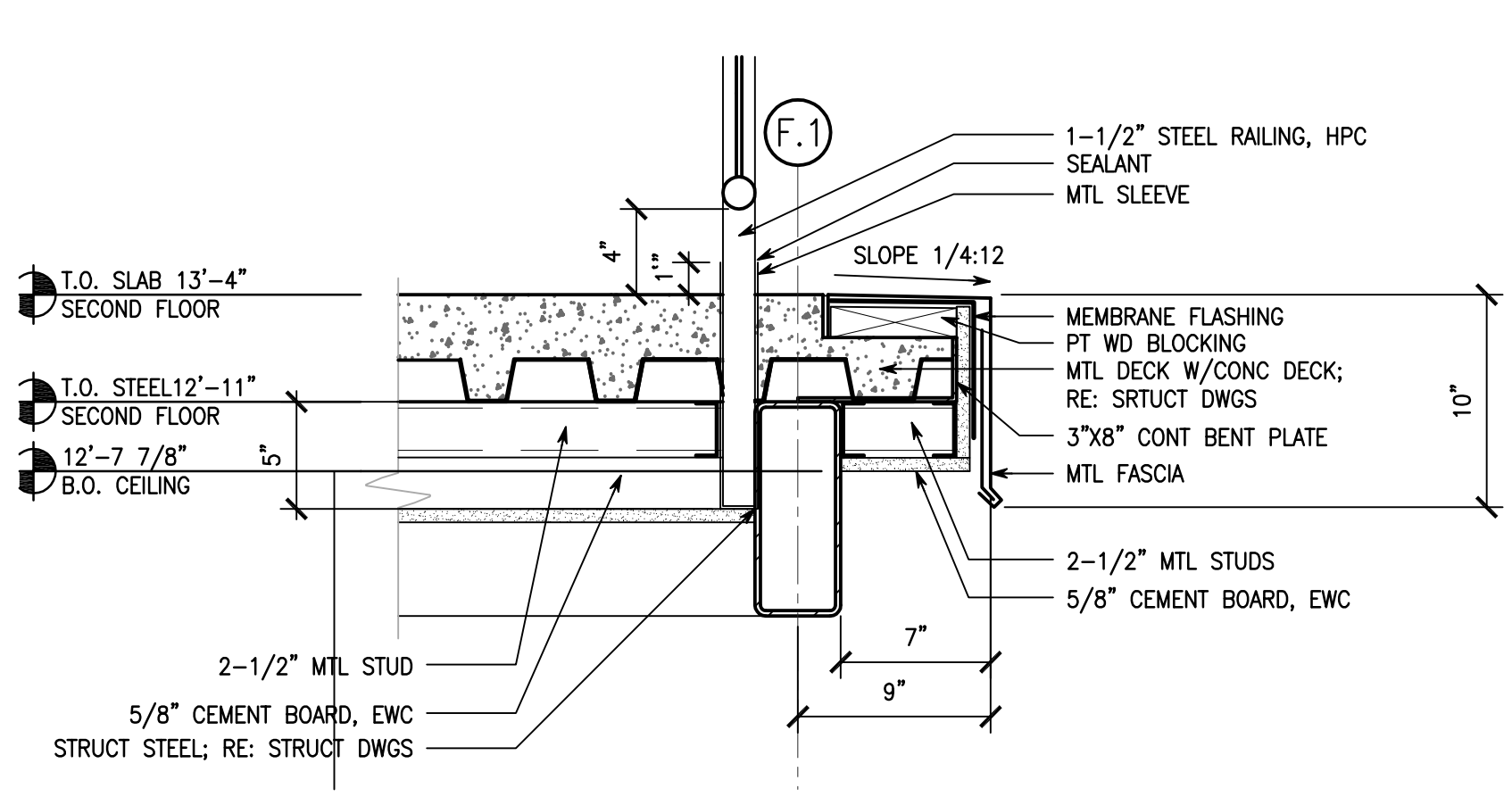
7 EAVE DETAIL
SCALE: 1 1/2"=1'-0"



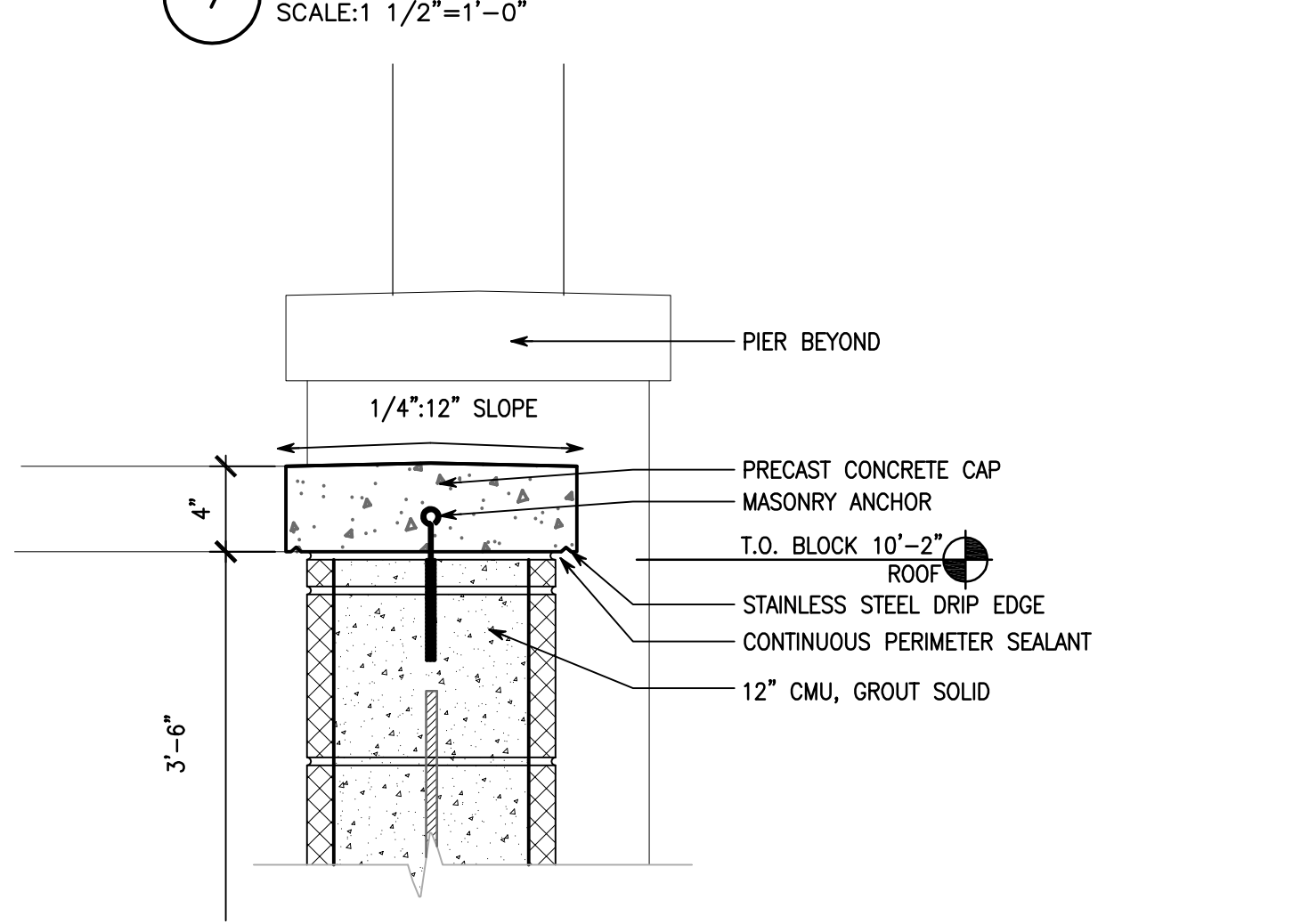
3 FASCIA DETAIL
SCALE: 1 1/2"=1'-0"



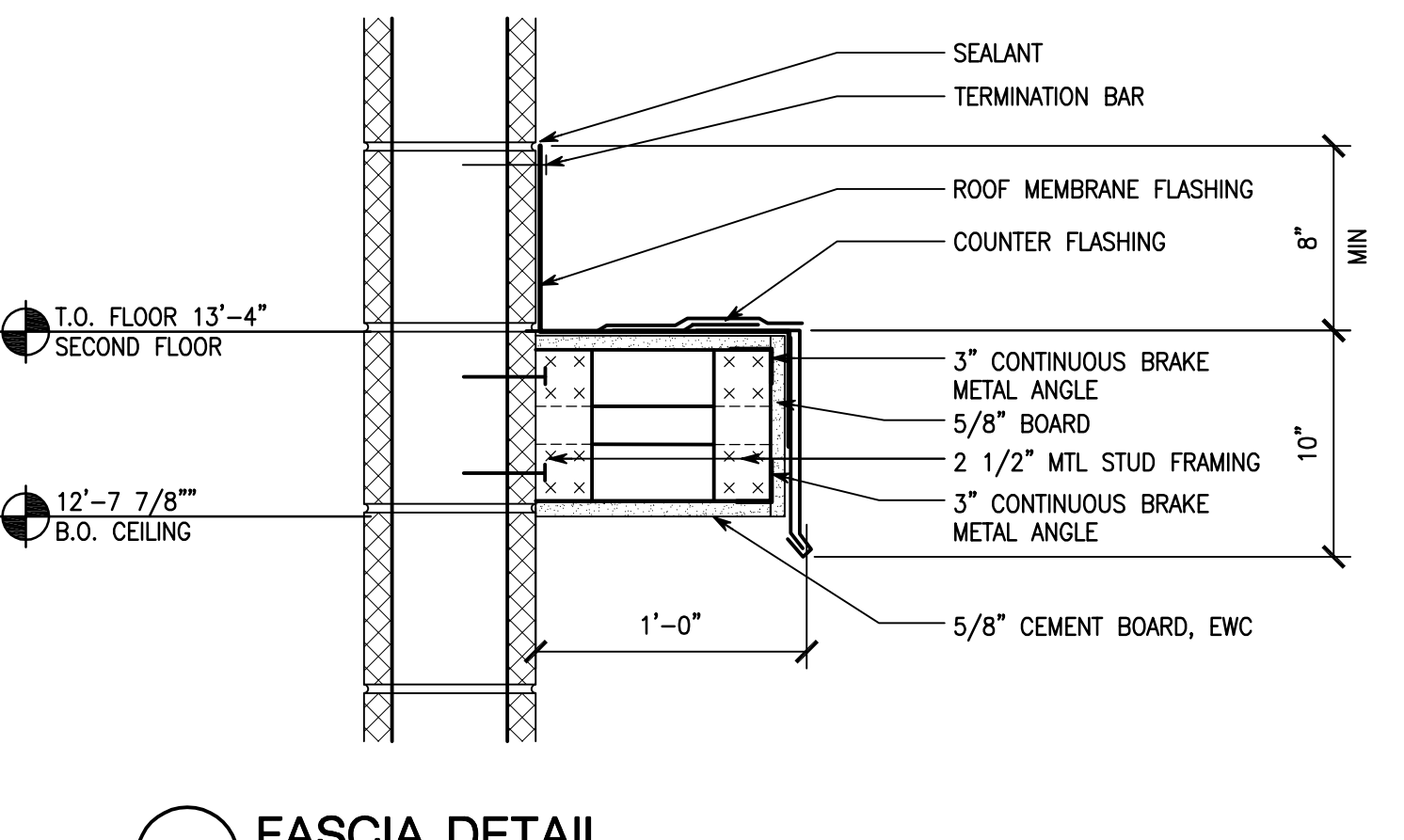
11 EAVE DETAIL
SCALE: 1 1/2"=1'-0"



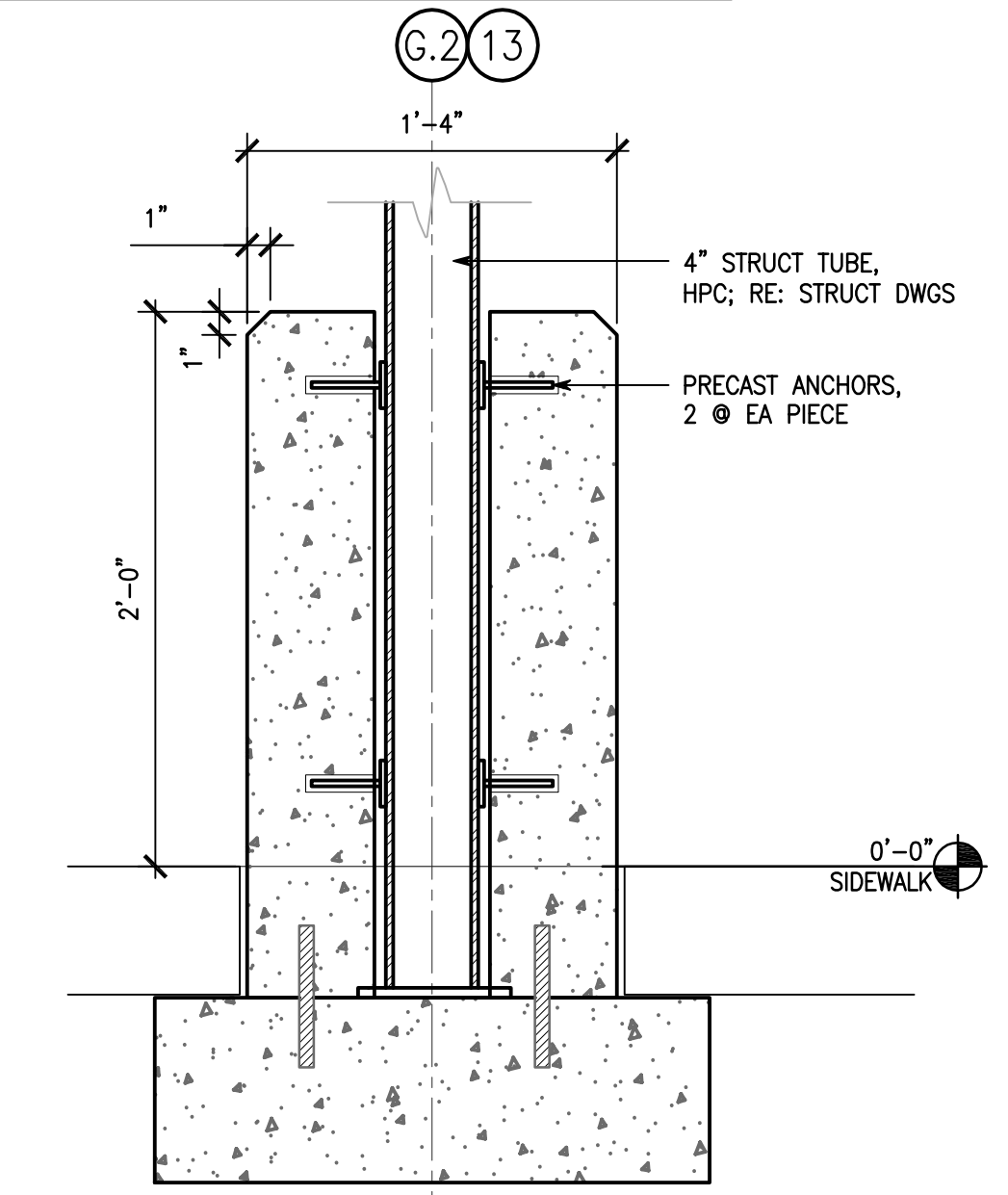
8 FLOOR TERMINATION DETAIL
SCALE: 1 1/2"=1'-0"



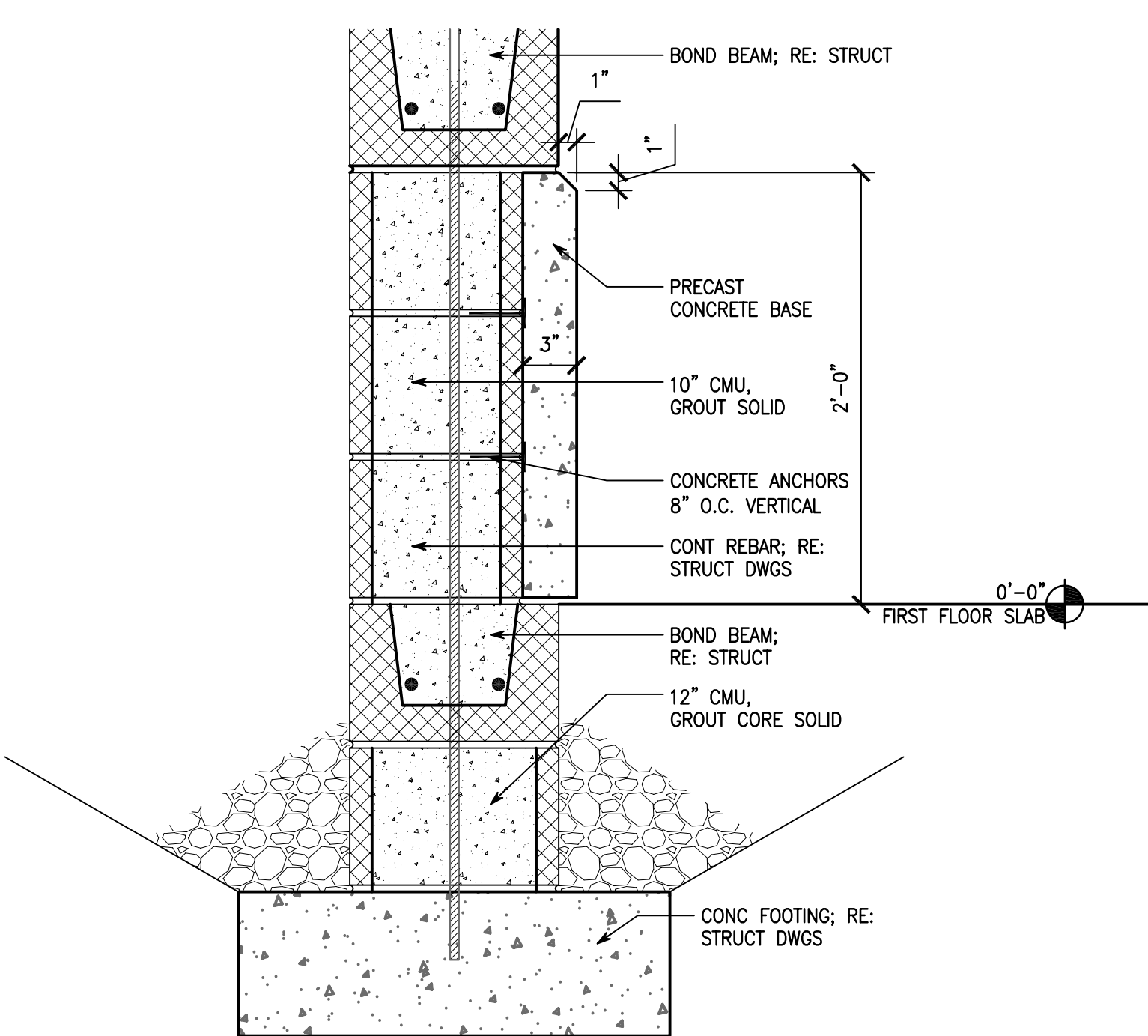
6 TYP PRECAST CAP DETAIL
SCALE: 1 1/2"=1'-0"



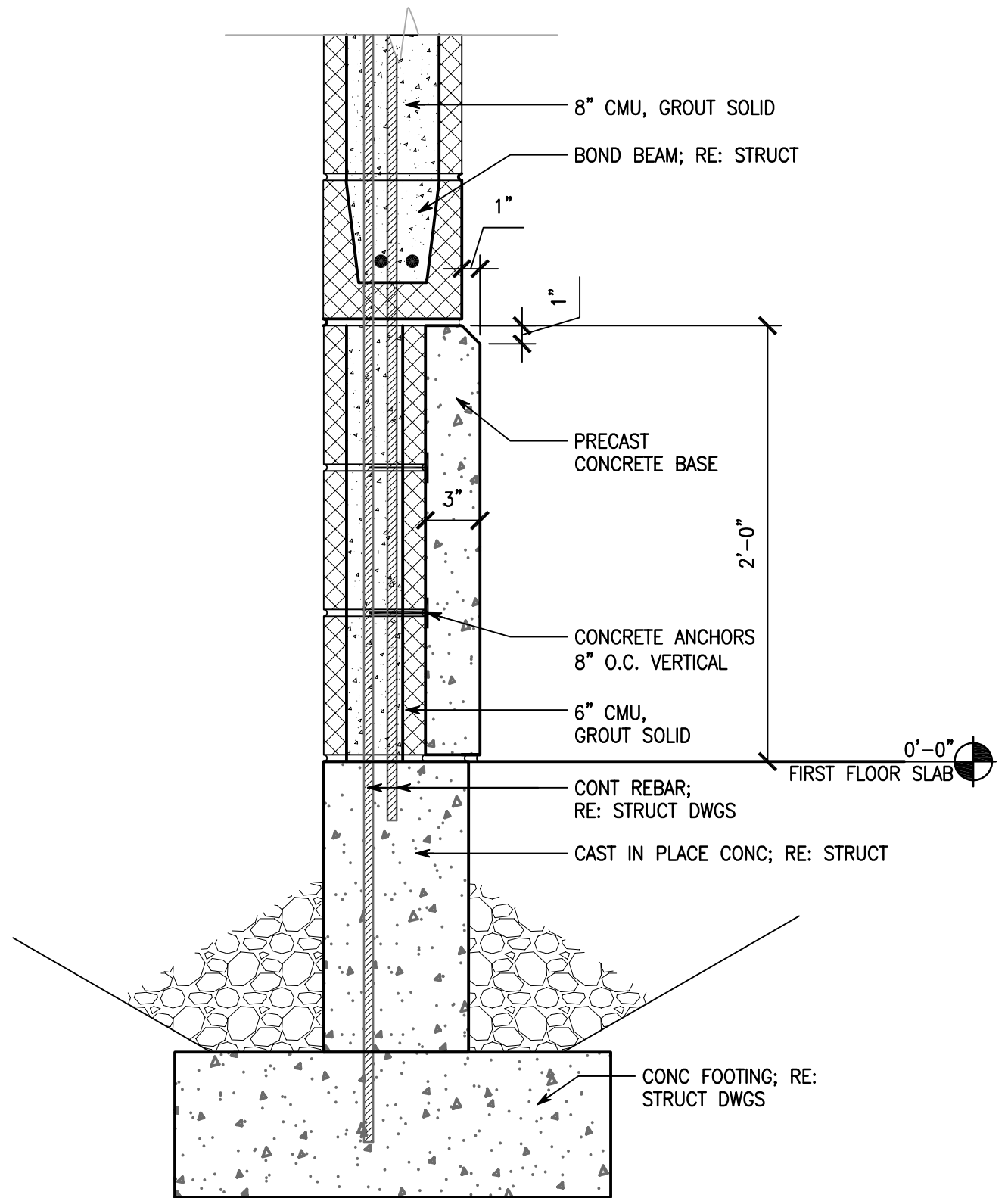
2 FASCIA DETAIL
SCALE: 1 1/2"=1'-0"



10 TYP PRECAST DETAIL AT 4" COLUMN
SCALE: 1 1/2"=1'-0"



5 TYP PRECAST DETAIL AT 12" CMU WALL
SCALE: 1 1/2"=1'-0"

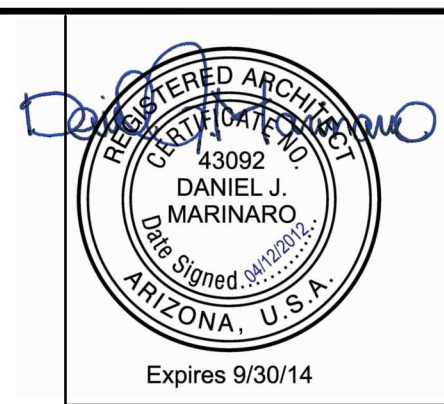


1 TYP PRECAST DETAIL AT 8" CMU WALL
SCALE: 1 1/2"=1'-0"

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CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA

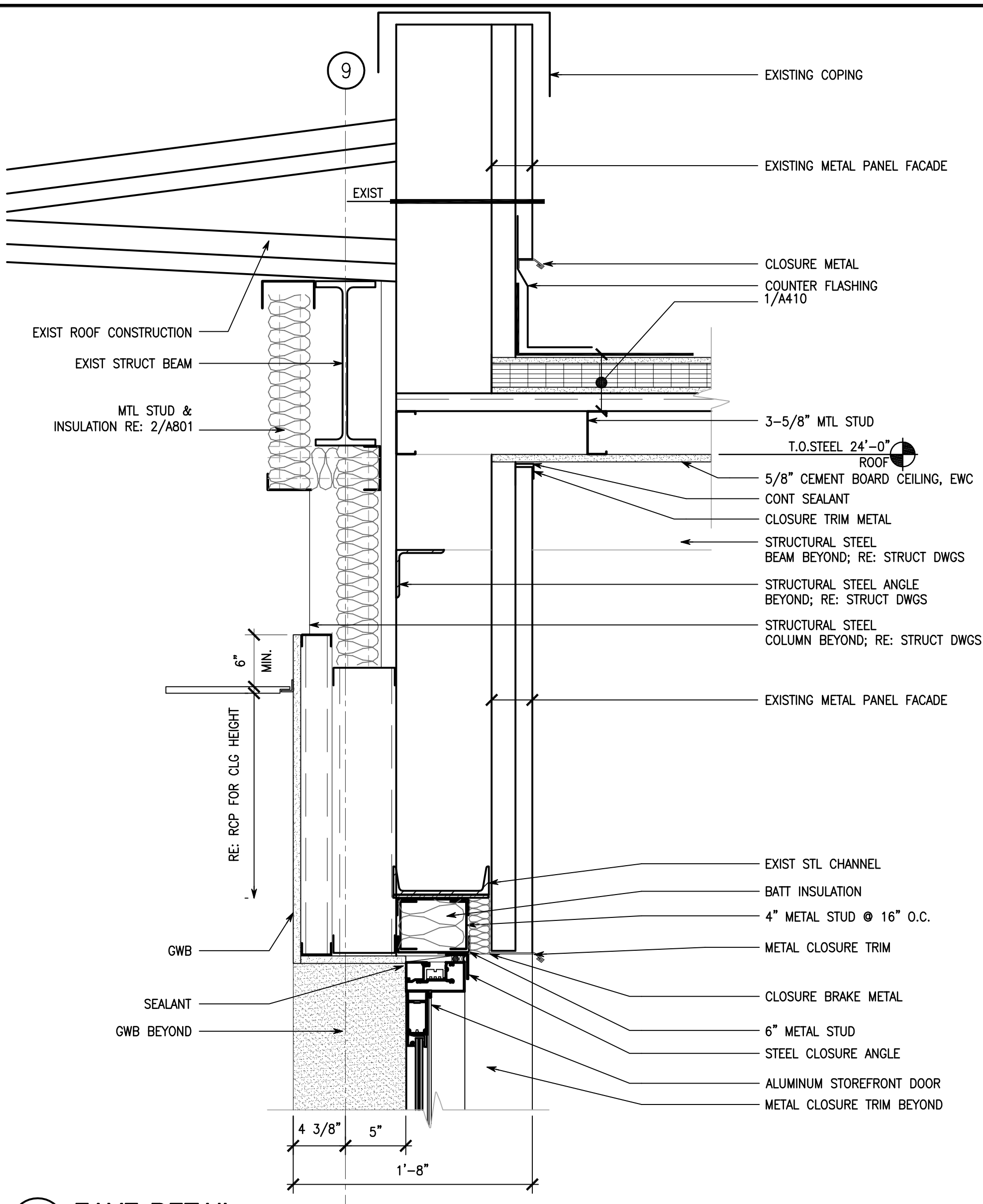
SECTION DETAILS	
DES: DJM	DR: SMV
DATE: 02/21/12	AS-BUILT: -
SCALE: AS NOTED	
SHEET NO. A411	TOTAL SHEET COUNT 52 OF 122



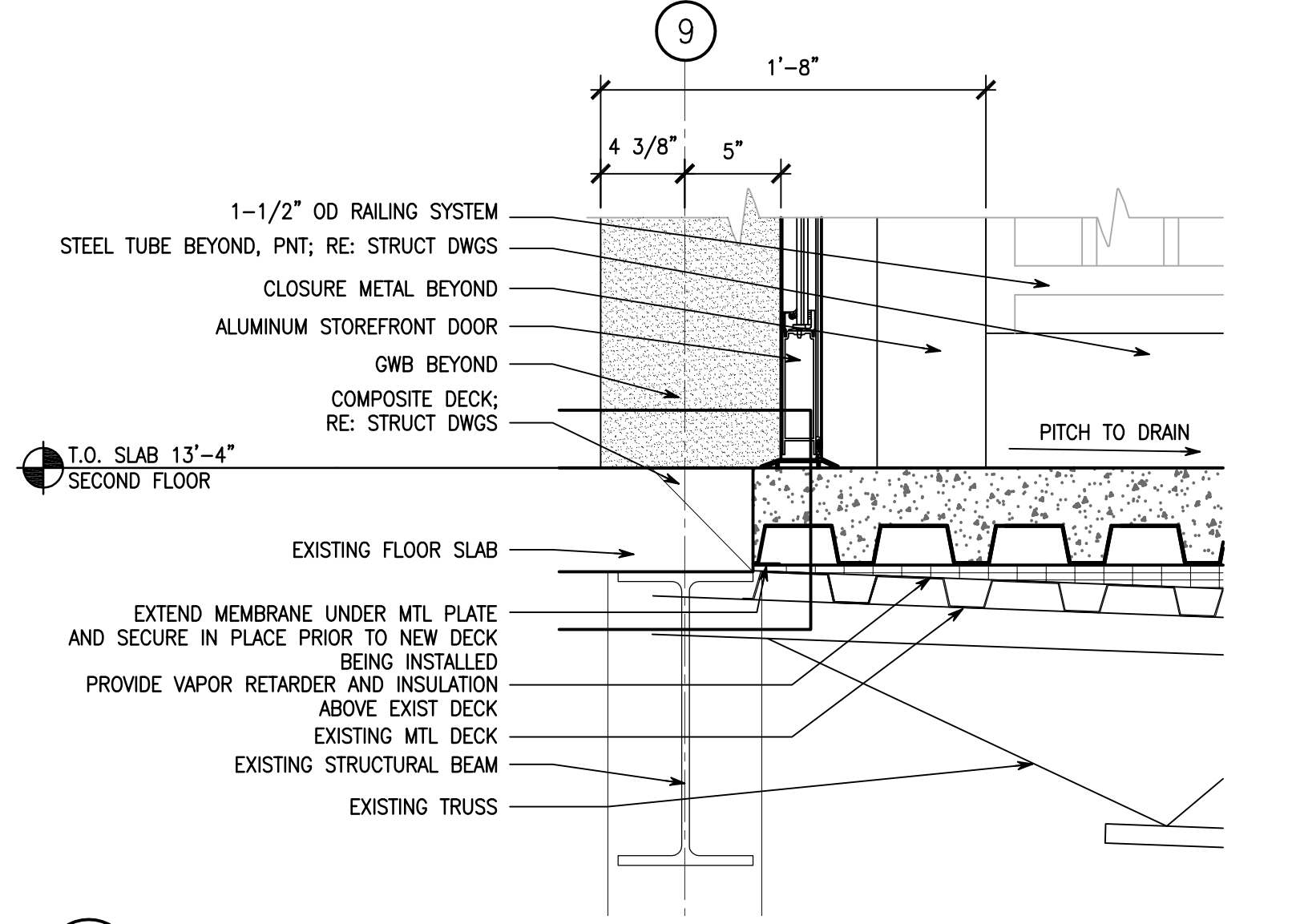
DESIGN PROFESSIONAL:

DES: DFT: 7227 N. 16th Street, Suite 140
Phoenix, AZ 85020
www.wendel.com
678.888.8788 5716.821.8825
ARCHITECTURE • ENGINEERING • PLANNING
ENERGY SERVICES • CONSTRUCTION MANAGEMENT

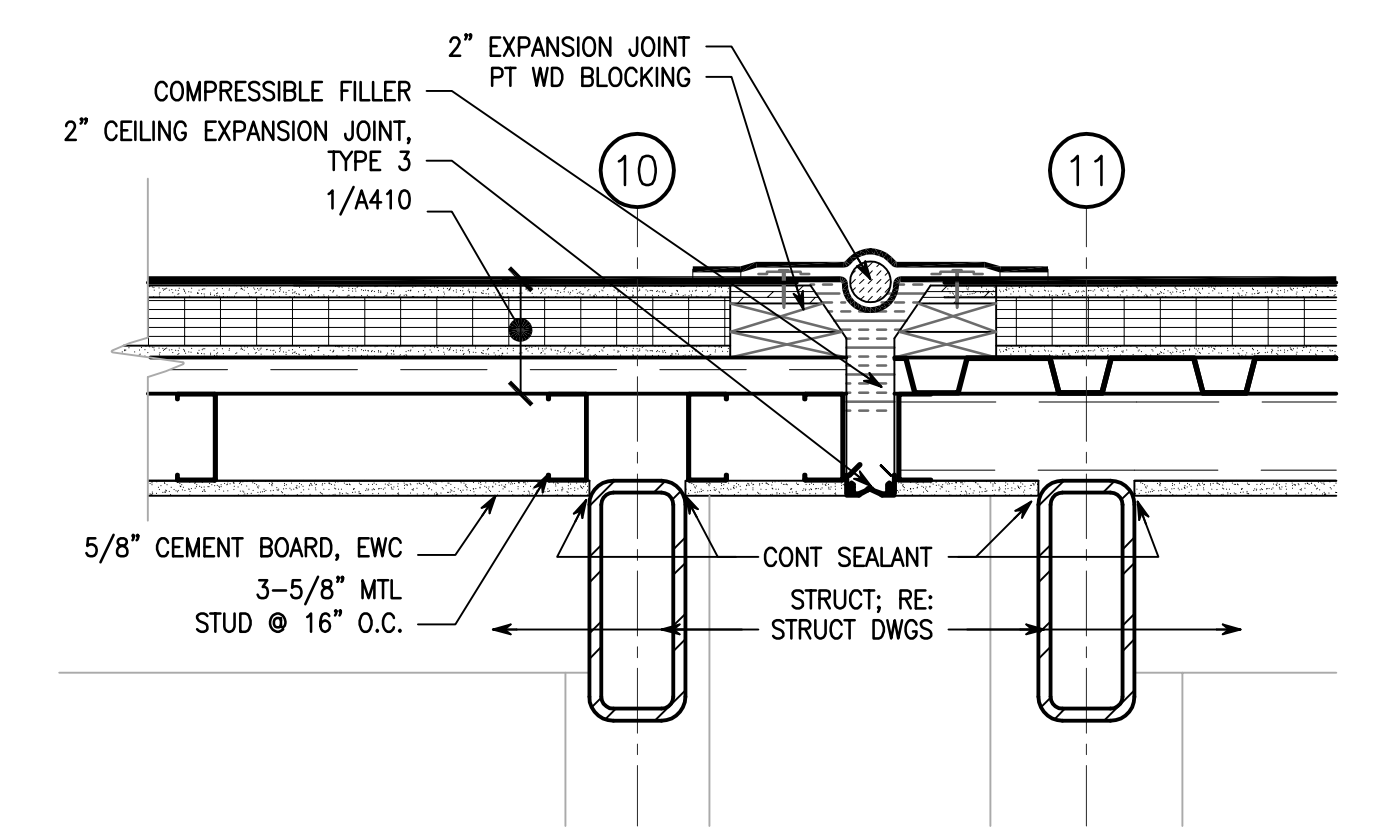
NO.	DESCRIPTION	REV. BY	CHK. BY	DATE
1	CITY COMMENTS	JAH	JAH	4/12/12
2	OWNERS COMMENTS			4/12/12



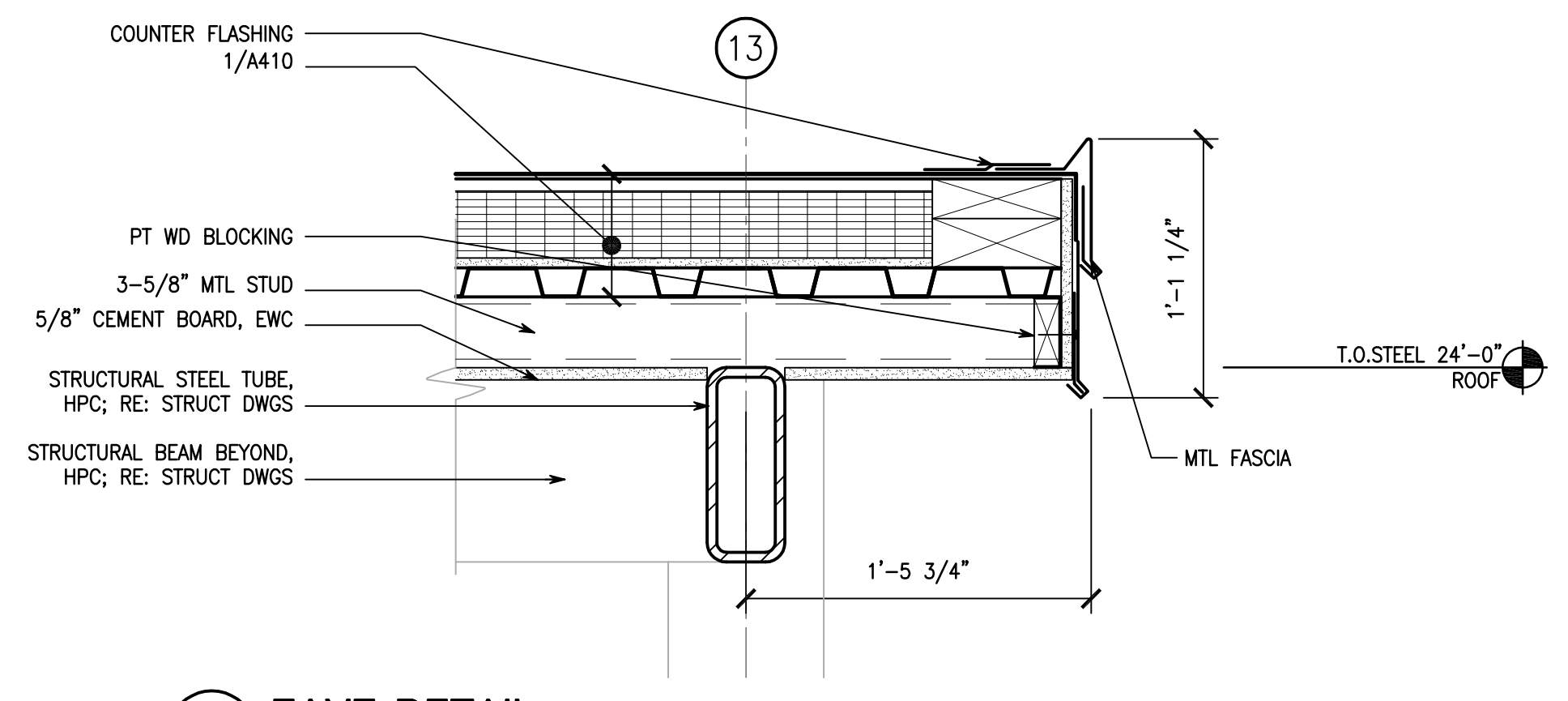
7 EAVE DETAIL
SCALE: 1 1/2" = 1'-0"



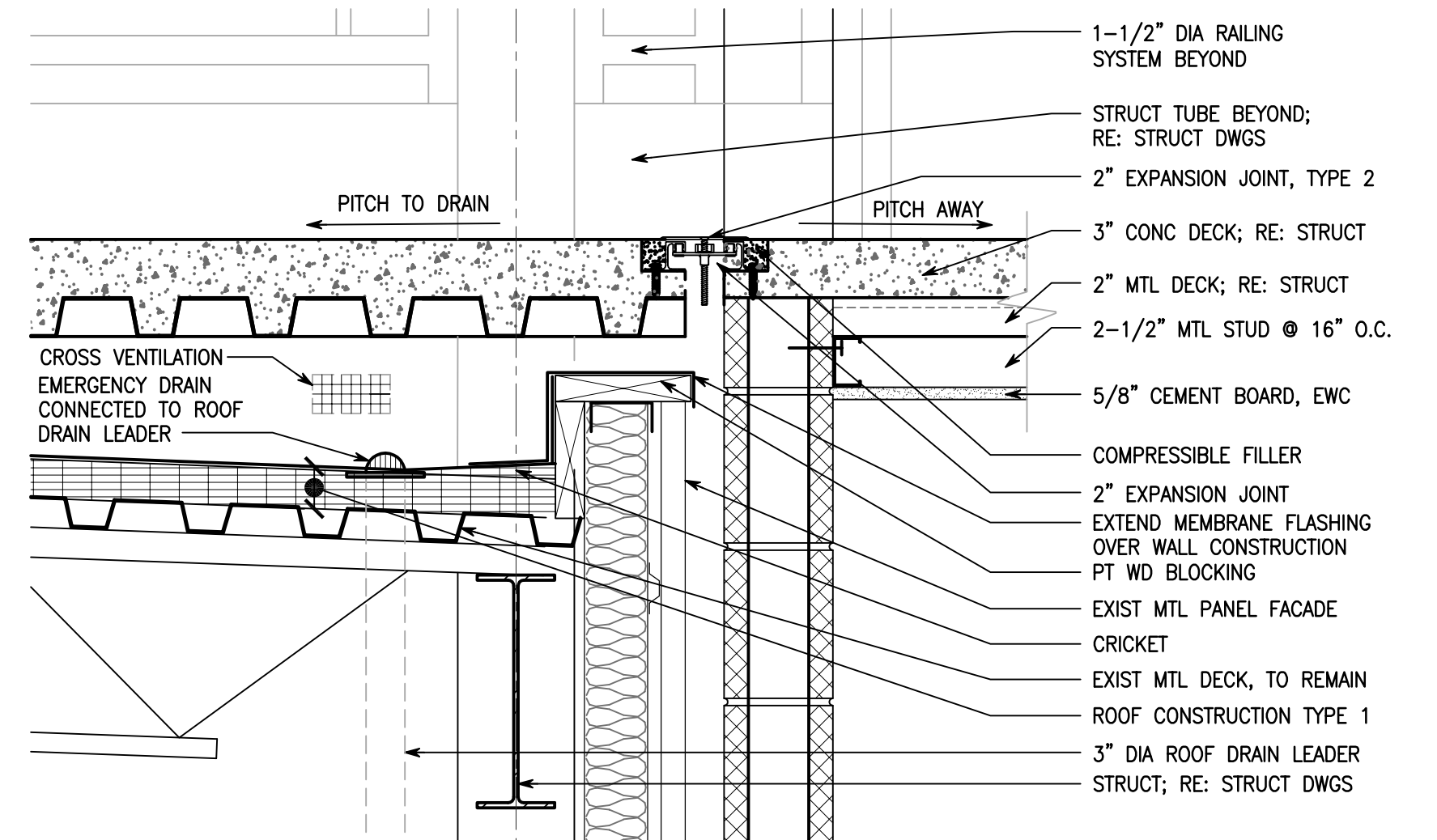
6 BRIDGE THRESHOLD DETAIL
SCALE: 1 1/2" = 1'-0"



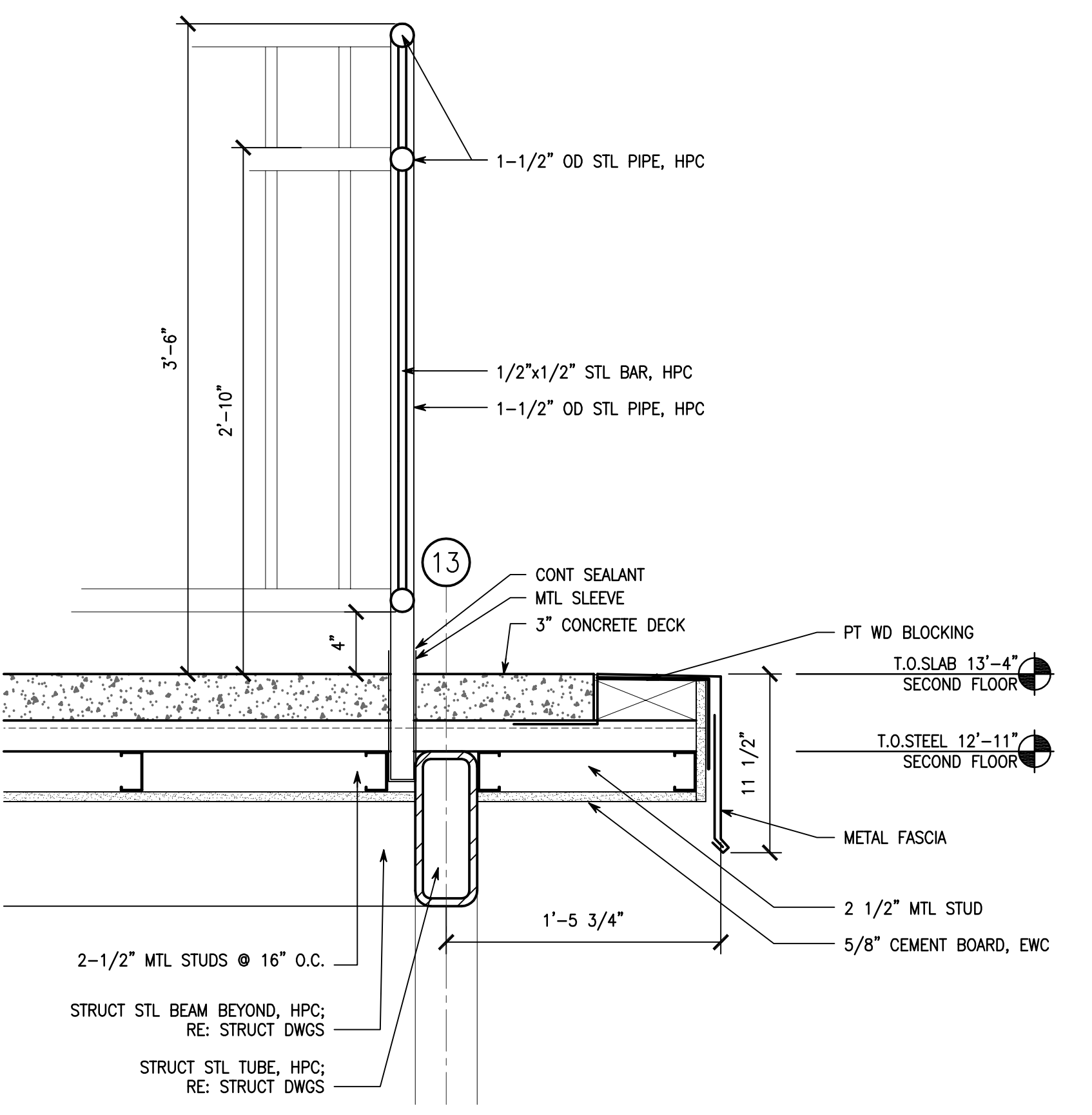
5 DECK TO DECK EXPANSION JOINT DETAIL
SCALE: 1 1/2" = 1'-0"



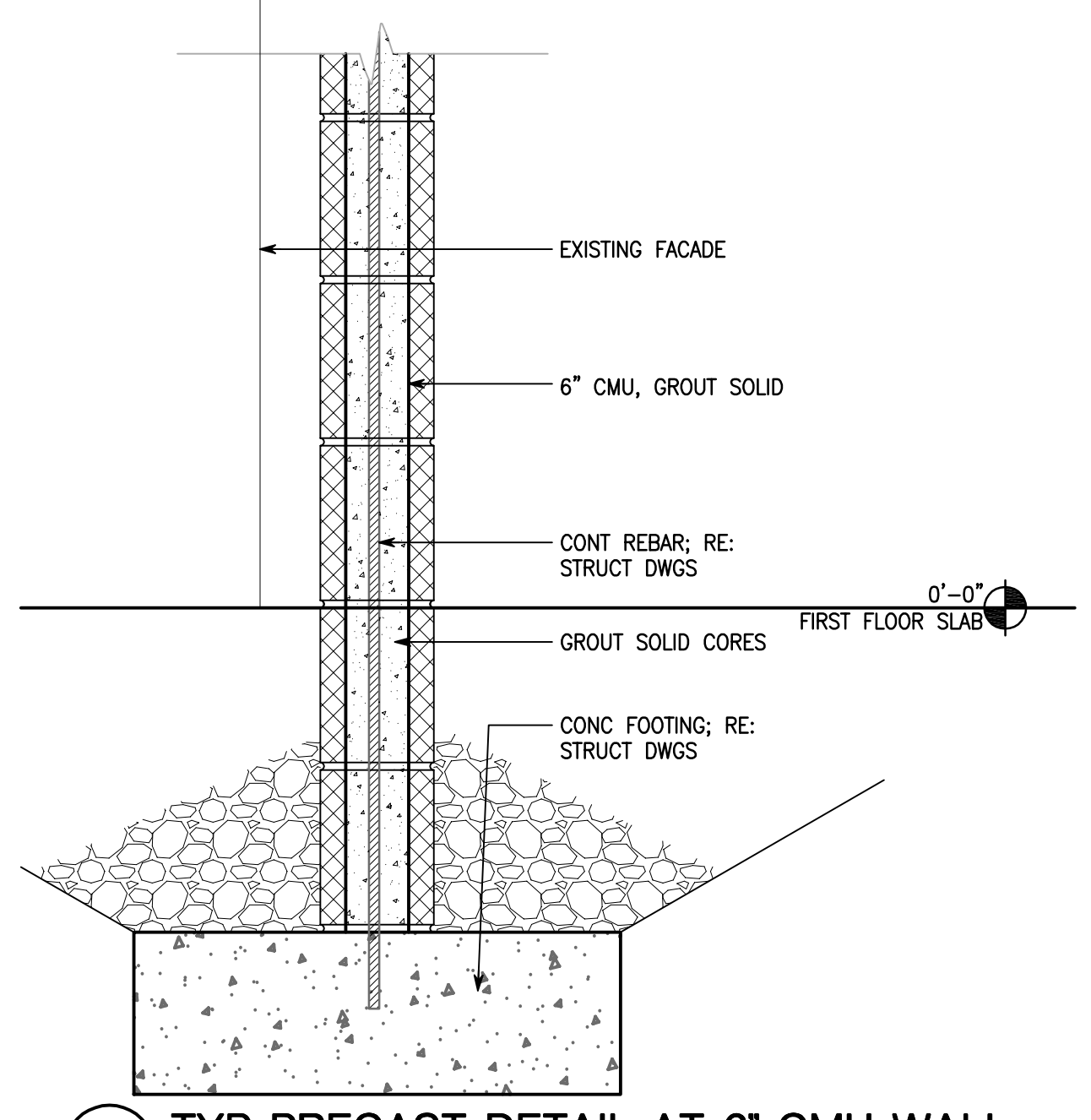
2 EAVE DETAIL
SCALE: 1 1/2" = 1'-0"



4 FLEXIBLE PENETRATION DETAIL
SCALE: 1 1/2" = 1'-0"



1 EAVE DETAIL / GUARDRAIL
SCALE: 1 1/2" = 1'-0"

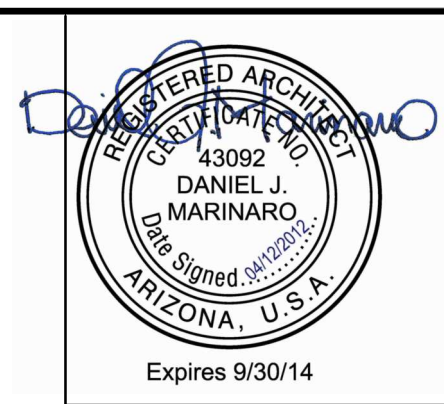


3 TYP PRECAST DETAIL AT 6" CMU WALL
SCALE: 1 1/2" = 1'-0"

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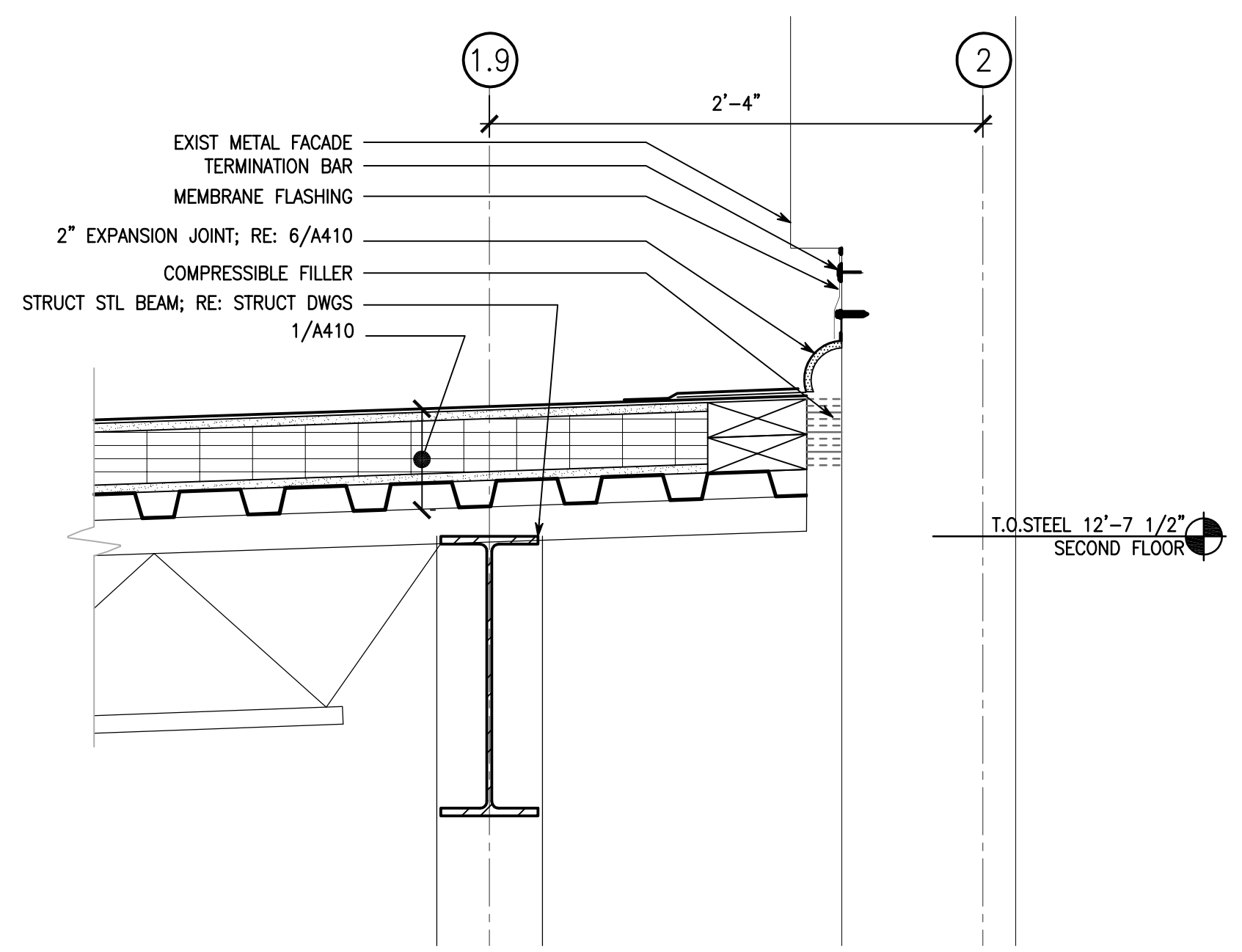
CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA
SECTION DETAILS

DES:	DR:	CK:	JAH	SHEET NO.	TOTAL SHEET COUNT
DJM	SMV	CK	JAH	AS-BUILT: -	-
DATE:	02/21/12	AS-BUILT:	-	A412	53 OF 122
SCALE:	AS NOTED				

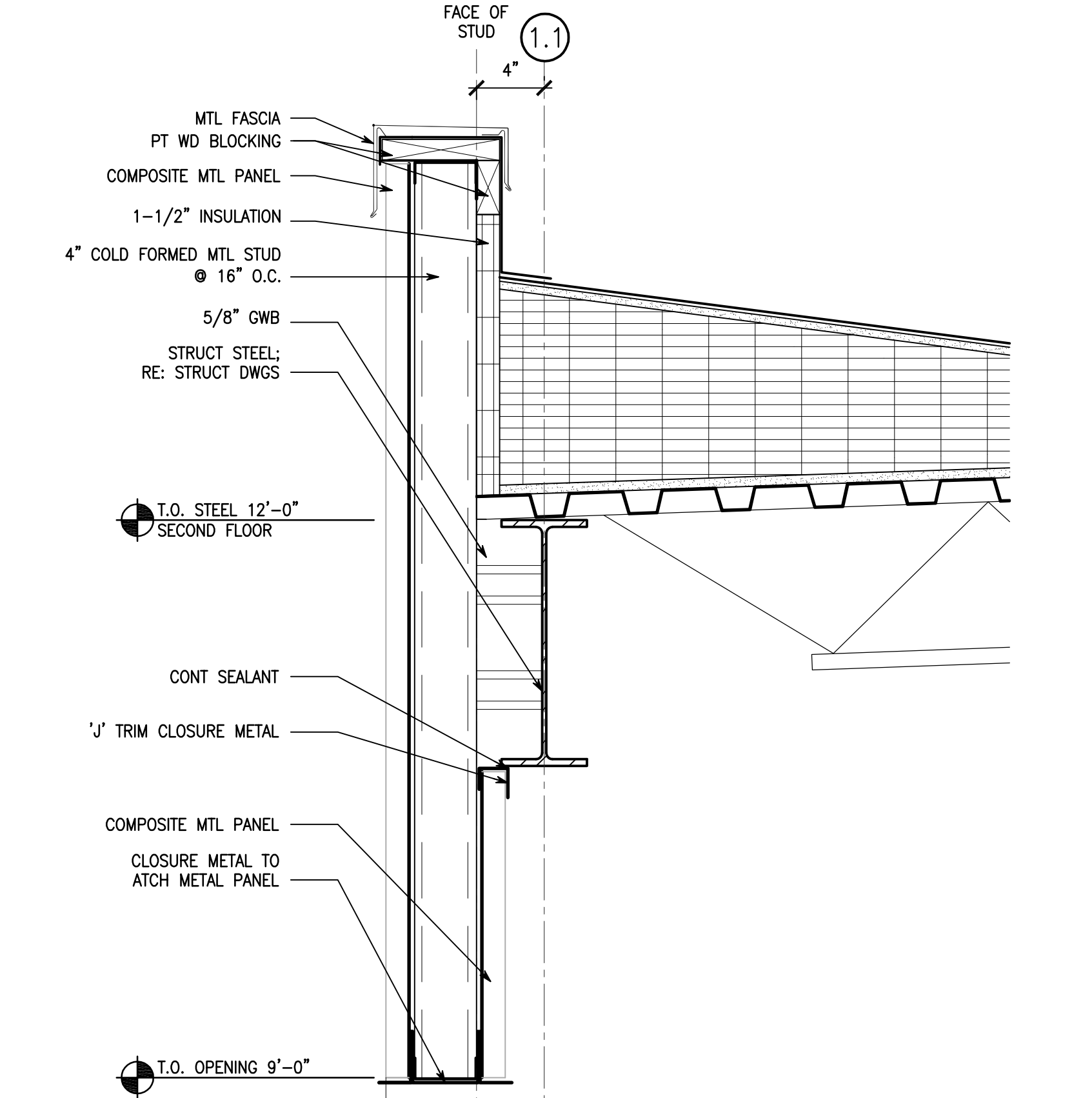


DESIGN PROFESSIONAL: **wendel**
 7227 N. 16th Street, Suite 140
 Phoenix, AZ 85020
 www.wendelcompanies.com
 P: 714.888.0700 F: 714.888.0825
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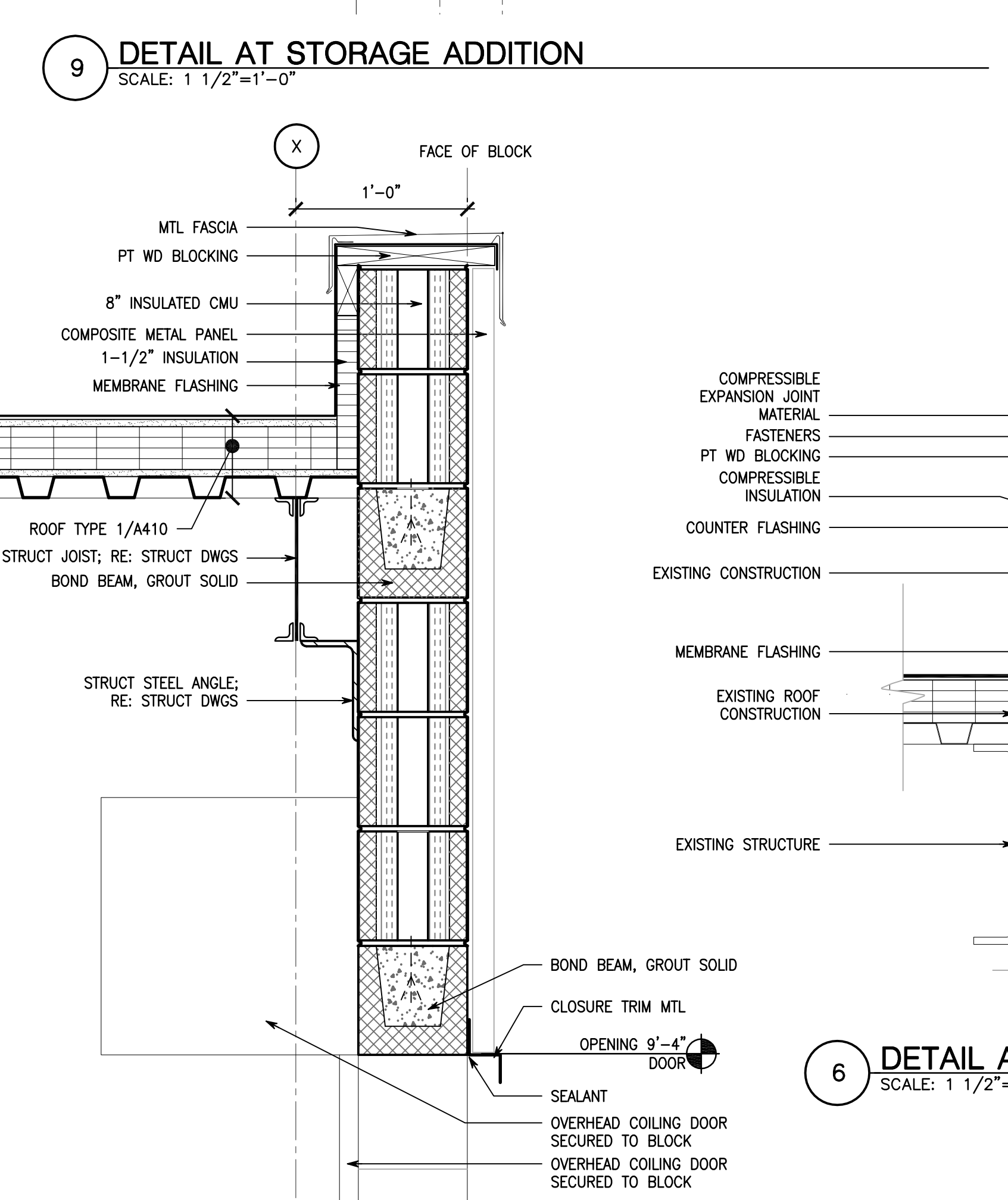
NO.	DESCRIPTION	REV. BY	CHK. BY	DATE
1	CITY COMMENTS			4/12/12
2	OWNERS COMMENTS	JAH	JAH	4/12/12



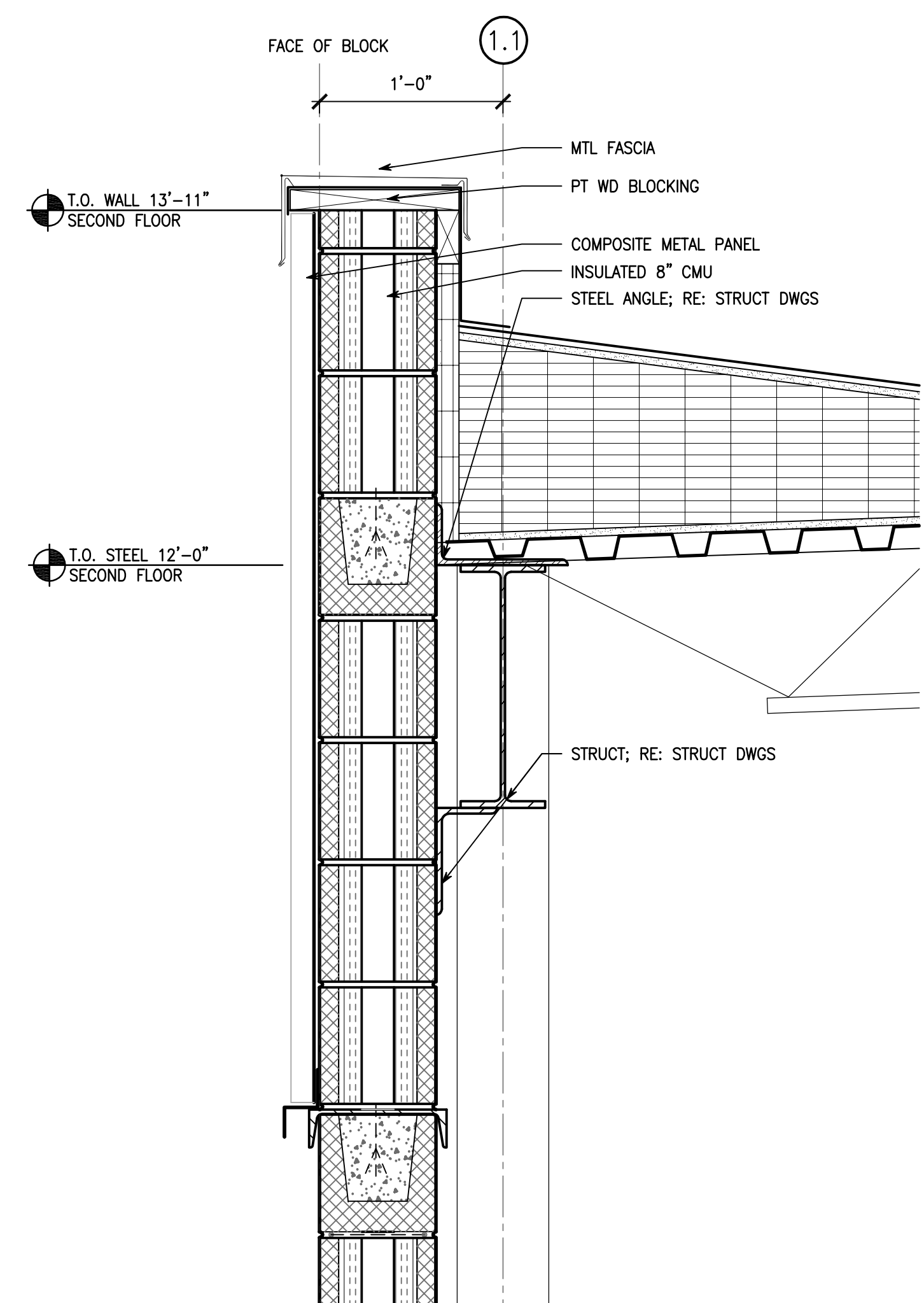
10 DETAIL AT STORAGE ADDITION
 SCALE: 1 1/2"=1'-0"



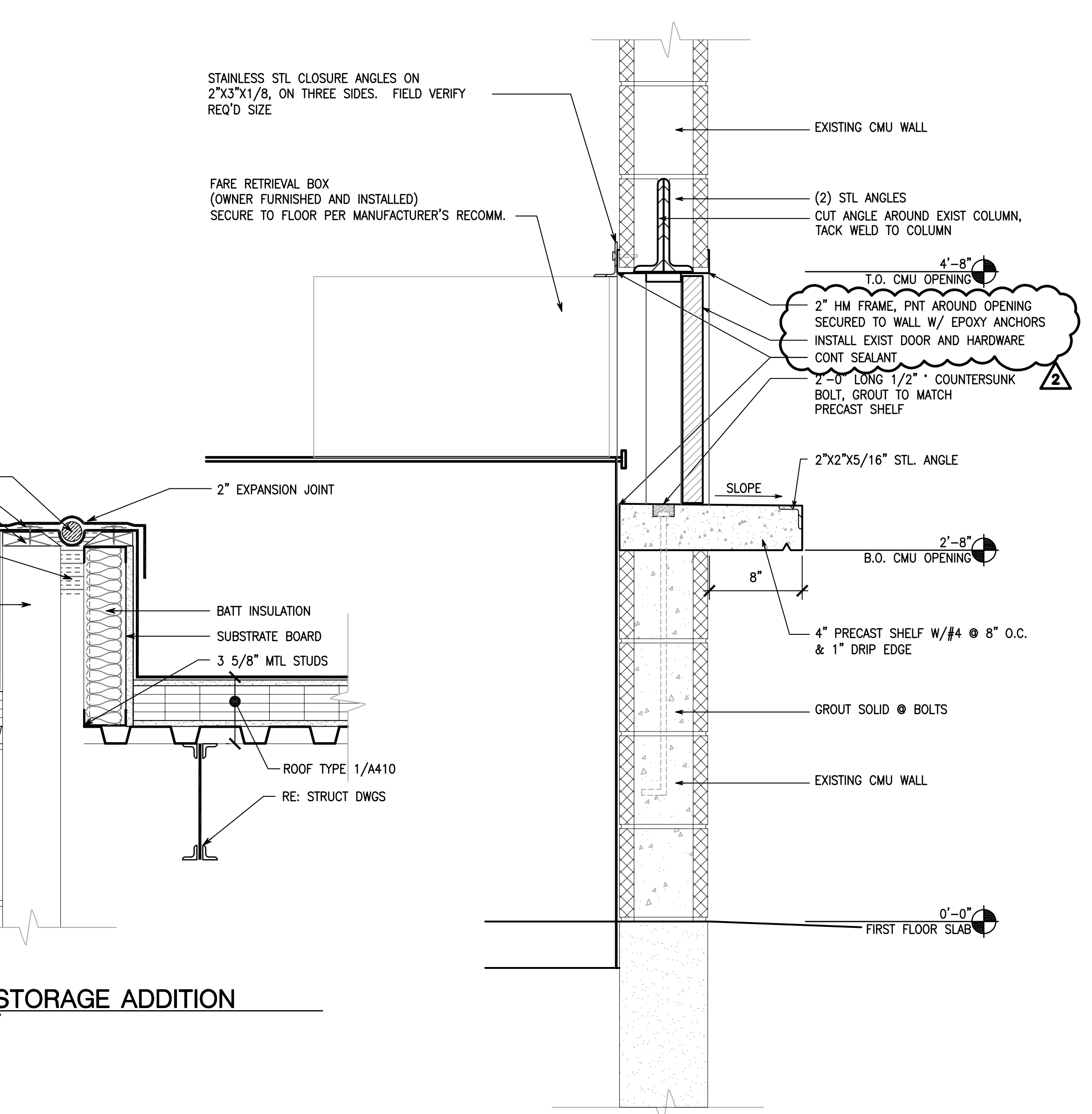
9 DETAIL AT STORAGE ADDITION
 SCALE: 1 1/2"=1'-0"



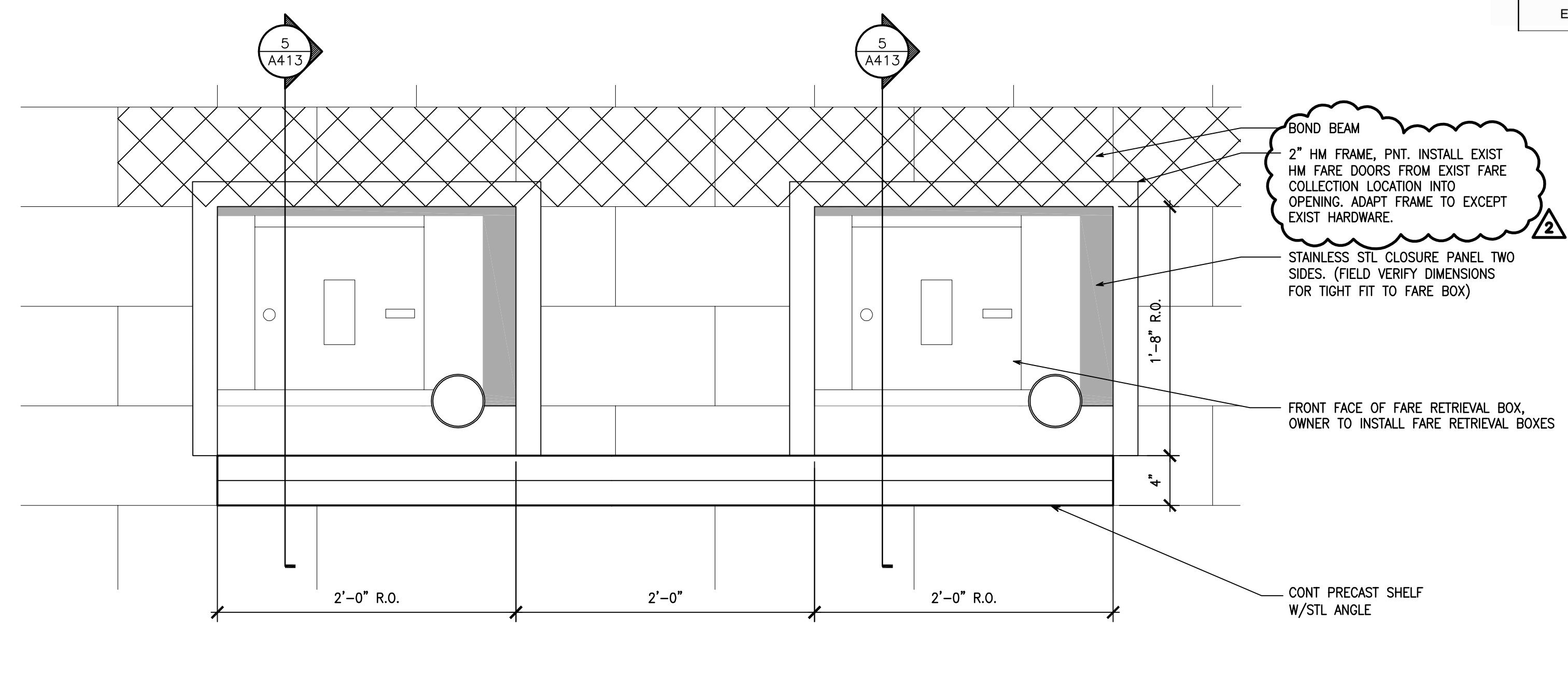
8 DETAIL AT STORAGE ADDITION
 SCALE: 1 1/2"=1'-0"



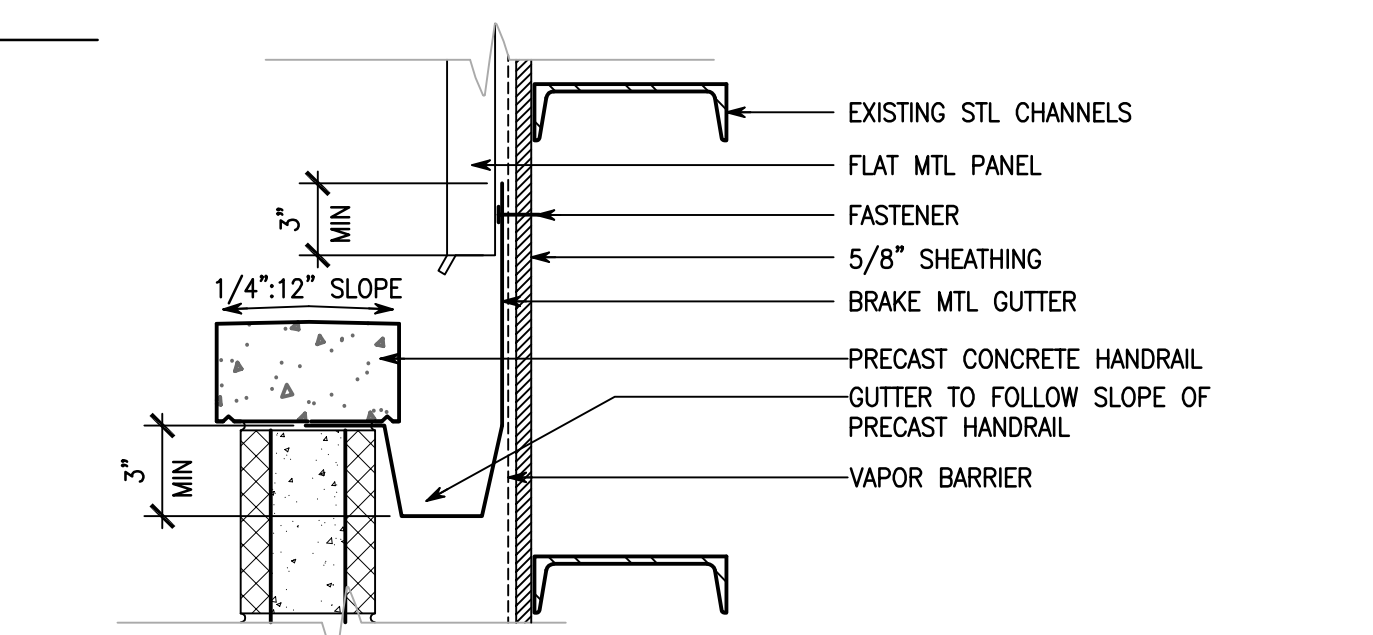
7 DETAIL AT STORAGE ADDITION
 SCALE: 1 1/2"=1'-0"



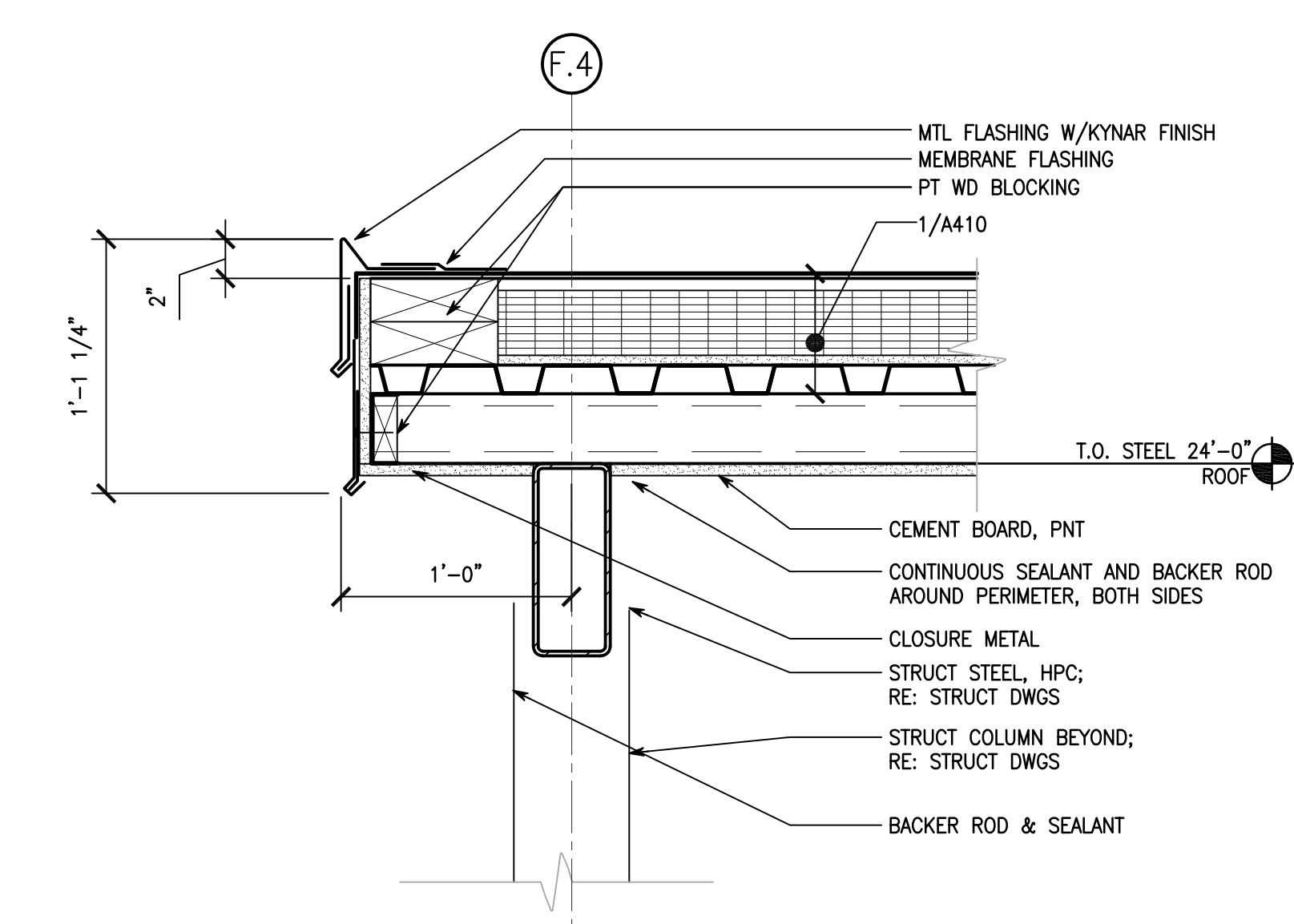
6 DETAIL AT STORAGE ADDITION
 SCALE: 1 1/2"=1'-0"



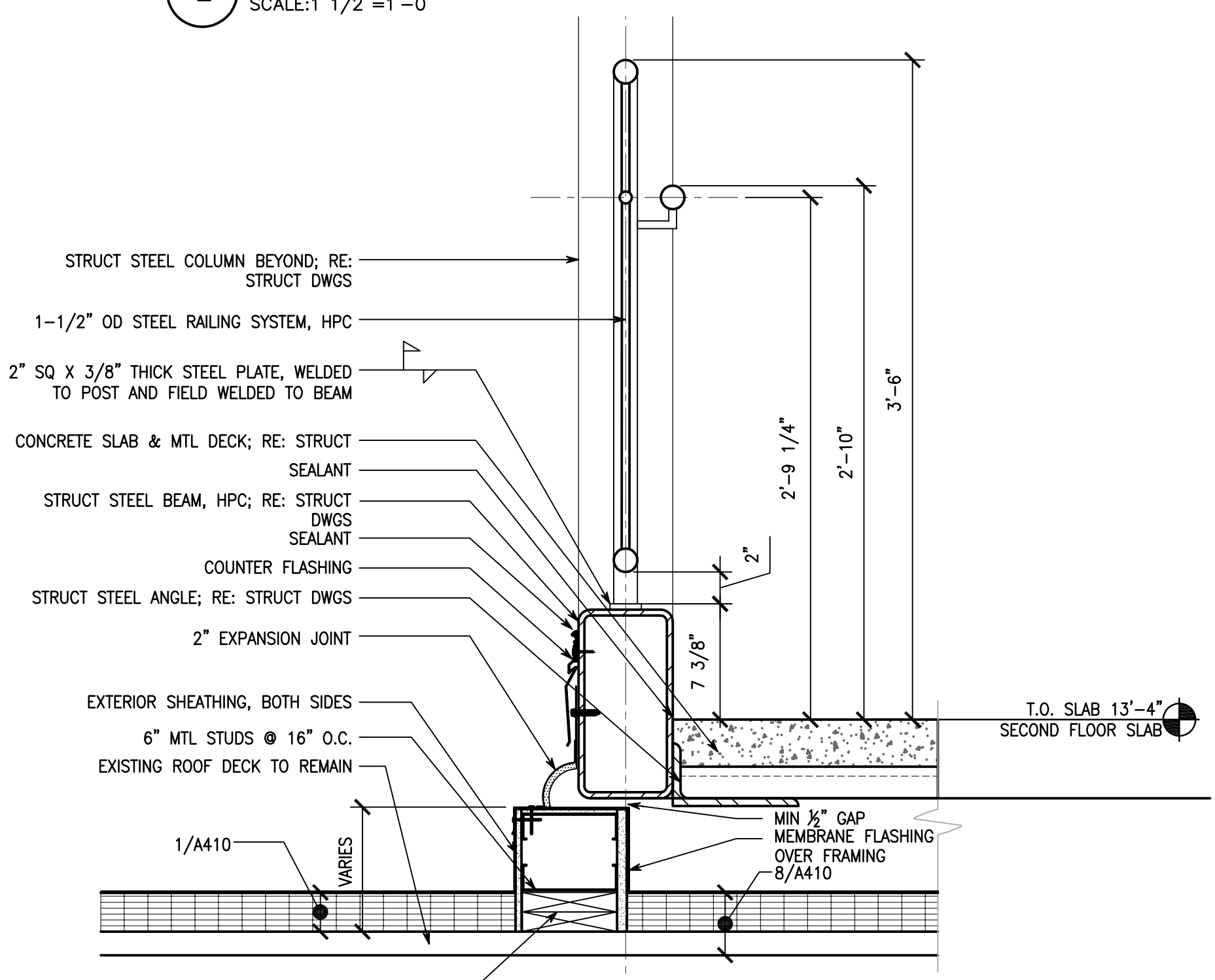
4 FAREBOX COLLECTION ELEVATION
 SCALE: 1 1/2"=1'-0"



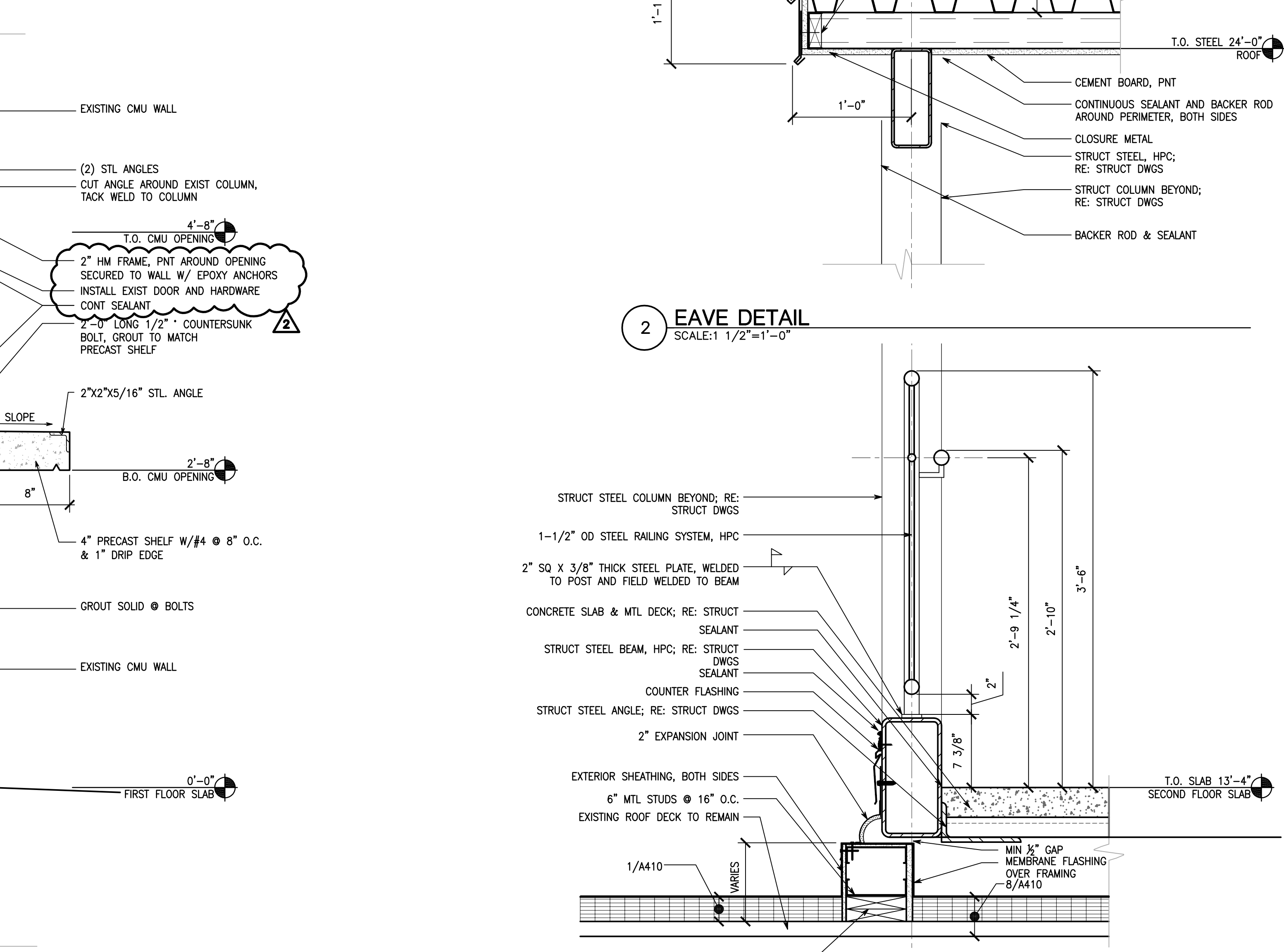
3 FAREBOX COLLECTION ELEVATION
 SCALE: 1 1/2"=1'-0"



2 EAVE DETAIL
 SCALE: 1 1/2"=1'-0"



1 EAVE DETAIL
 SCALE: 1 1/2"=1'-0"



5 FAREBOX COLLECTION SECTION
 SCALE: 1 1/2"=1'-0"

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PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA

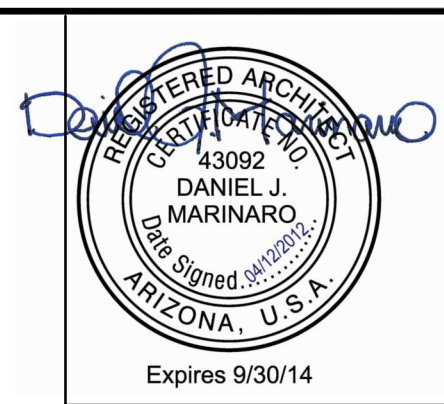
SECTION DETAILS

DES:	DR:	CK:	JAH	SHEET NO.	TOTAL SHEET COUNT
DJM	SMV	CK:	JAH	A413	54 OF 122

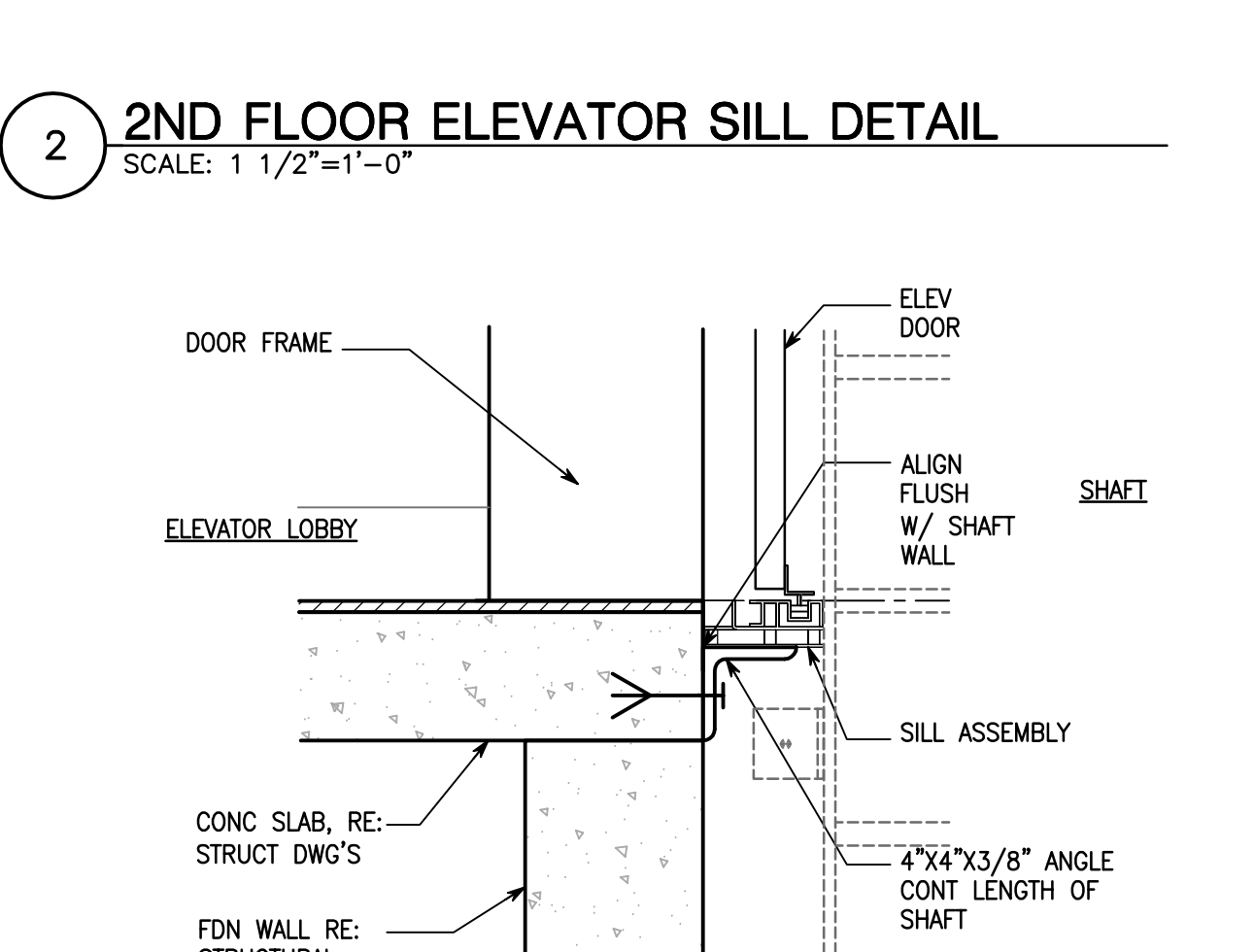
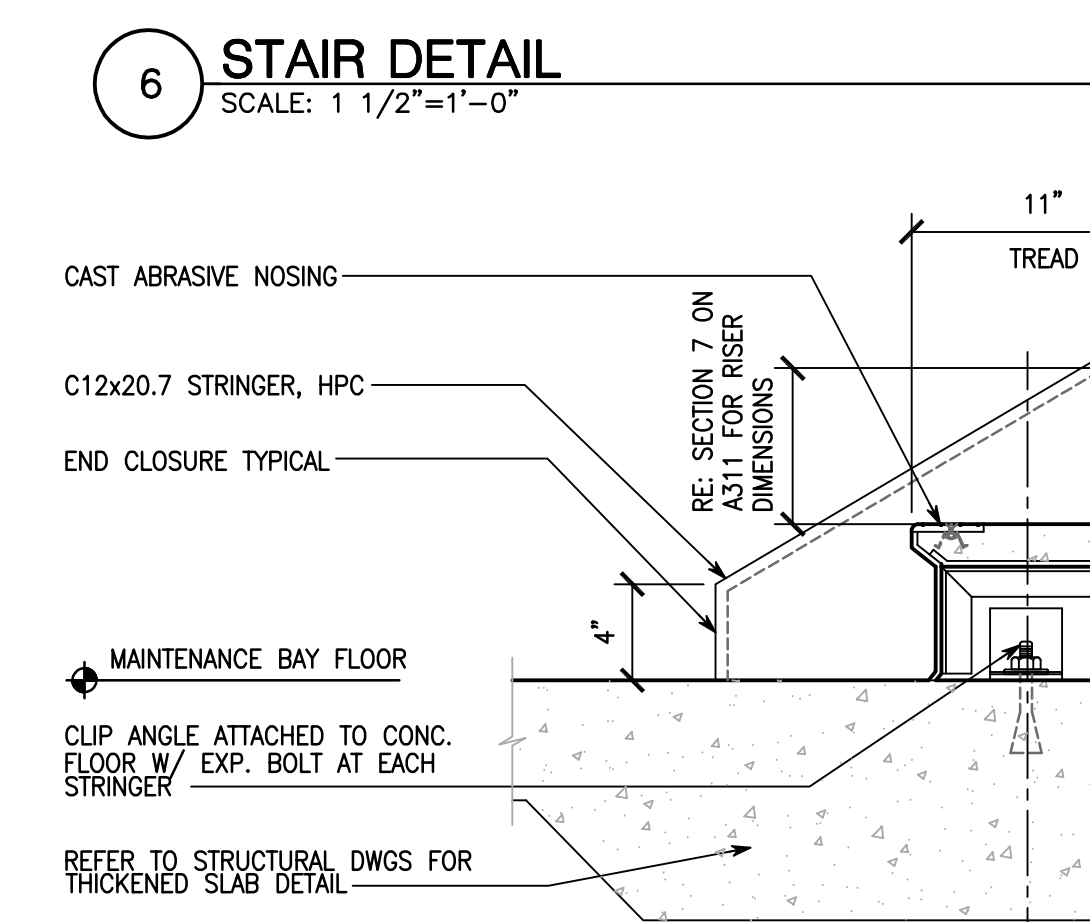
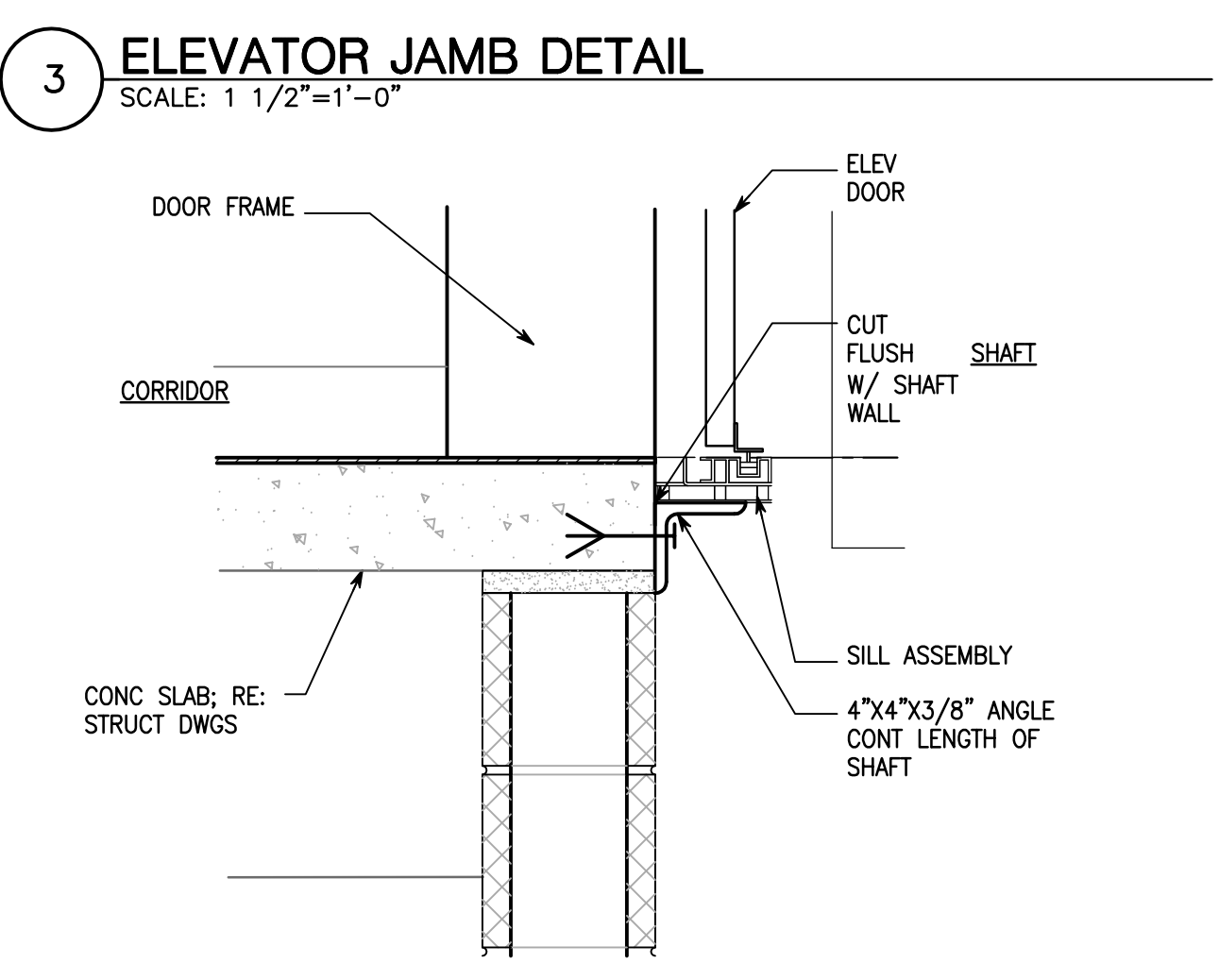
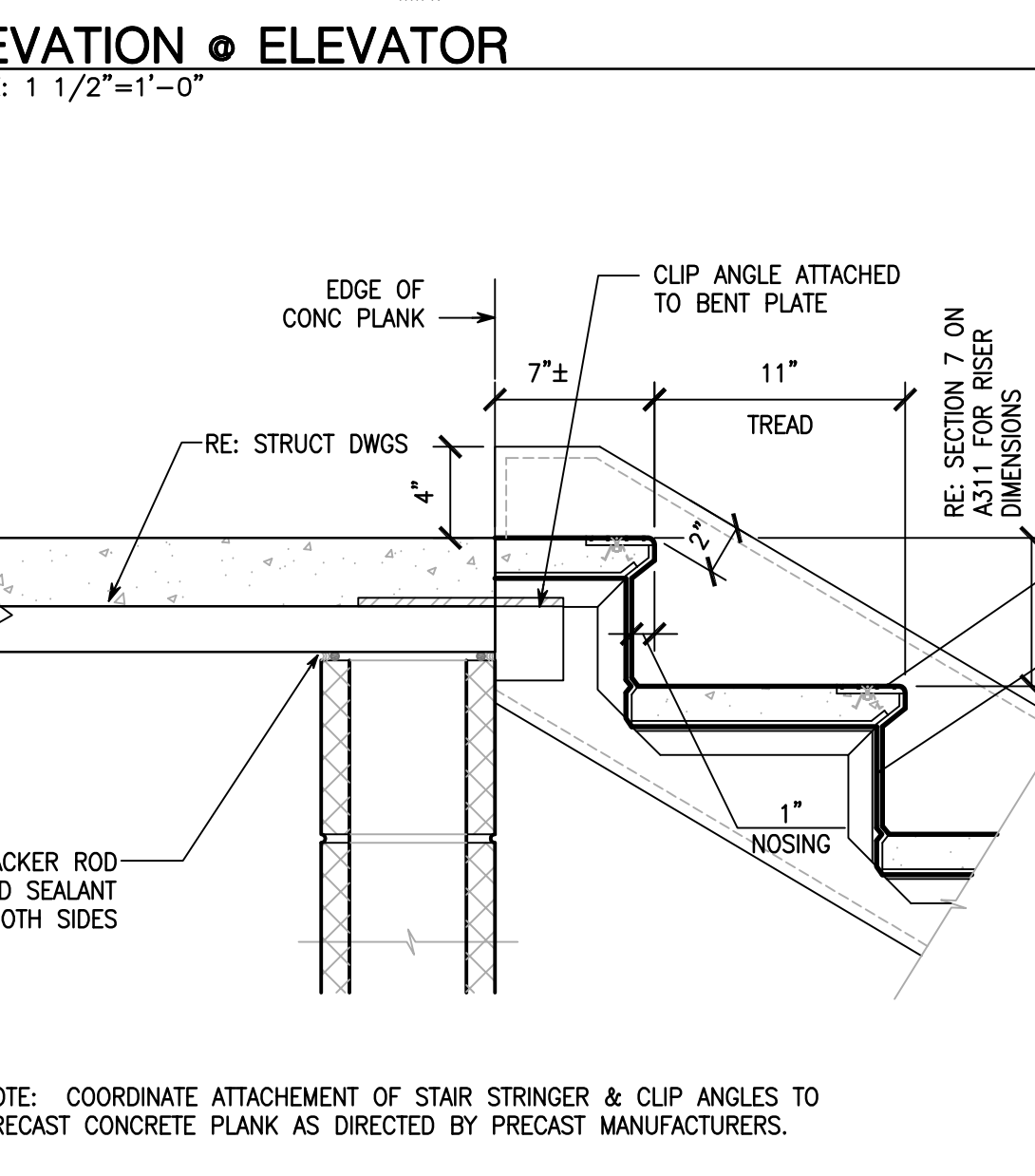
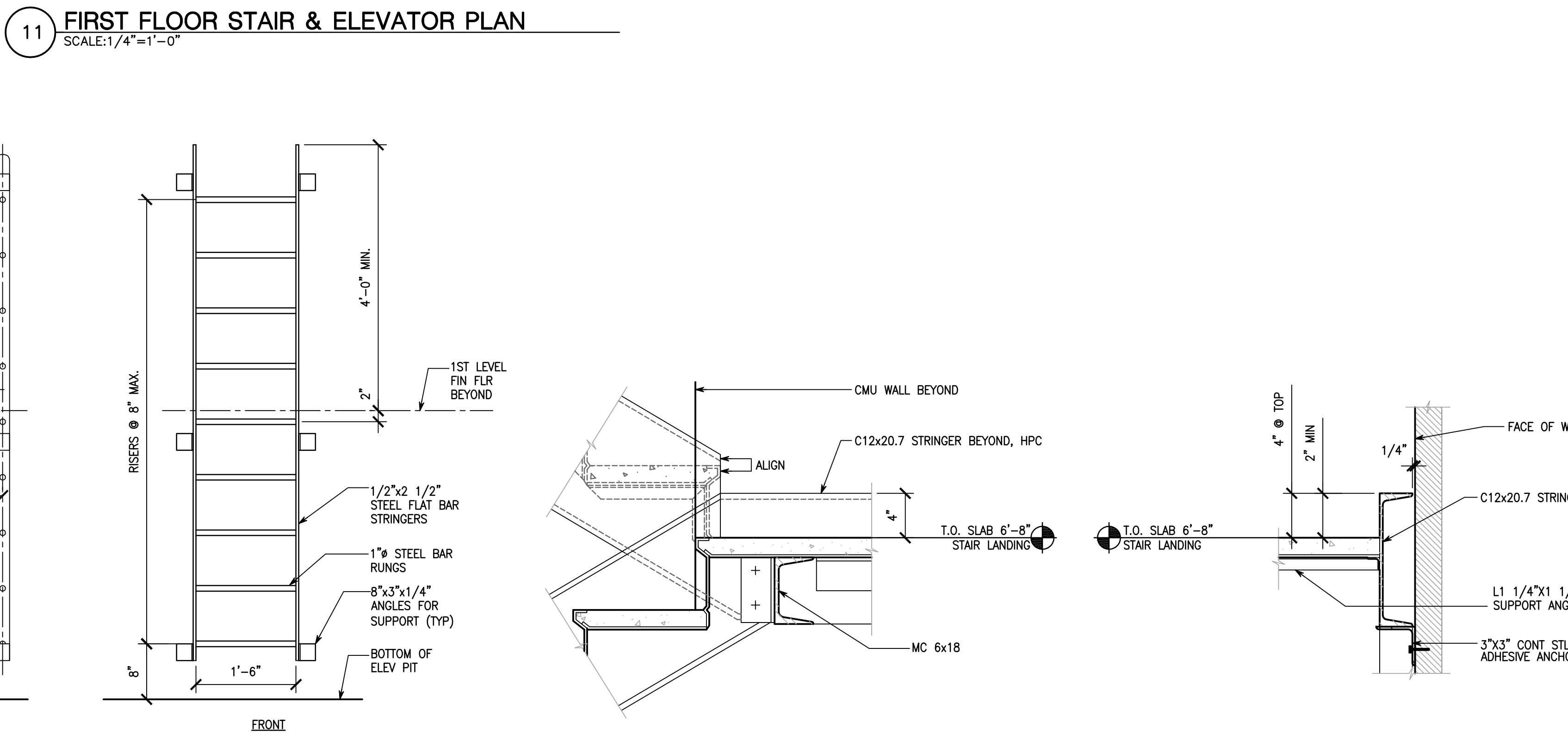
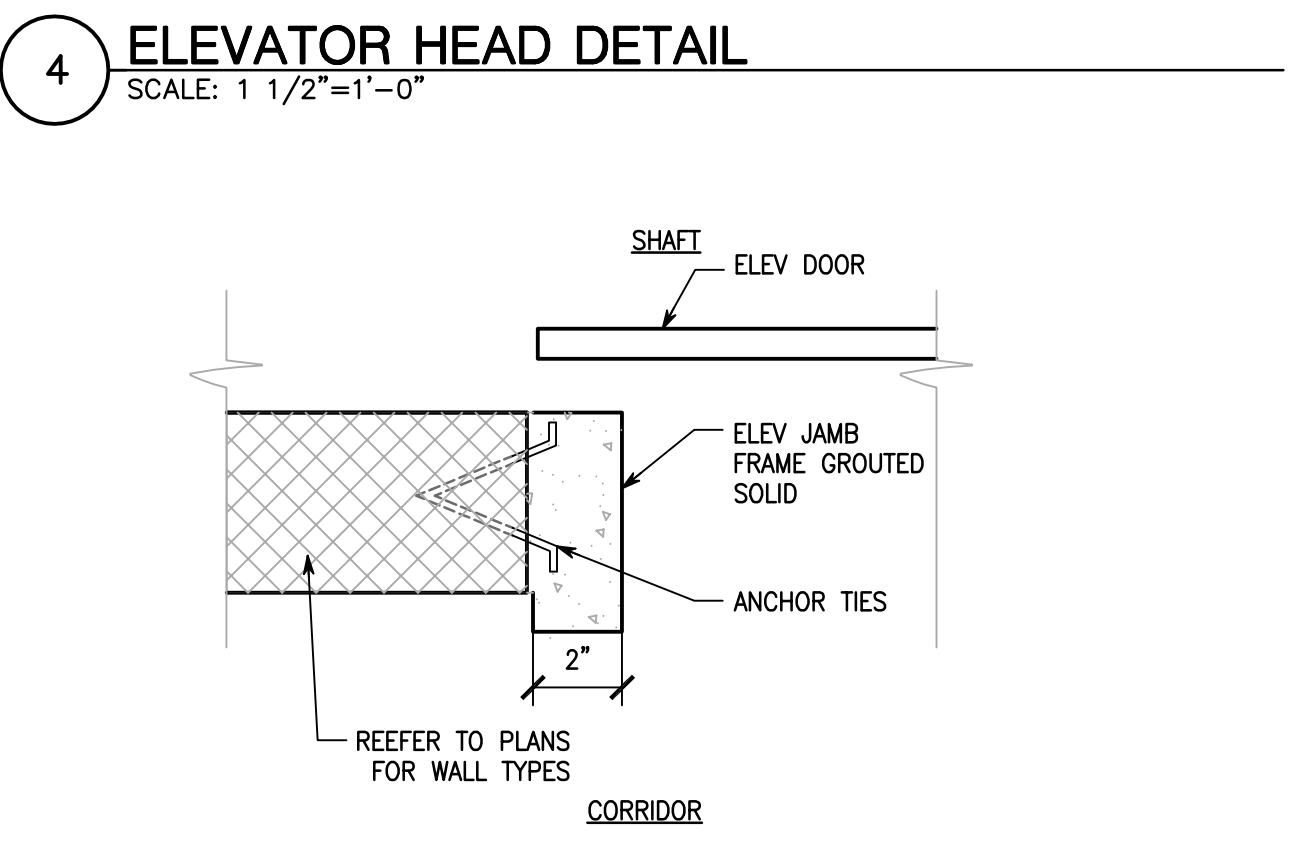
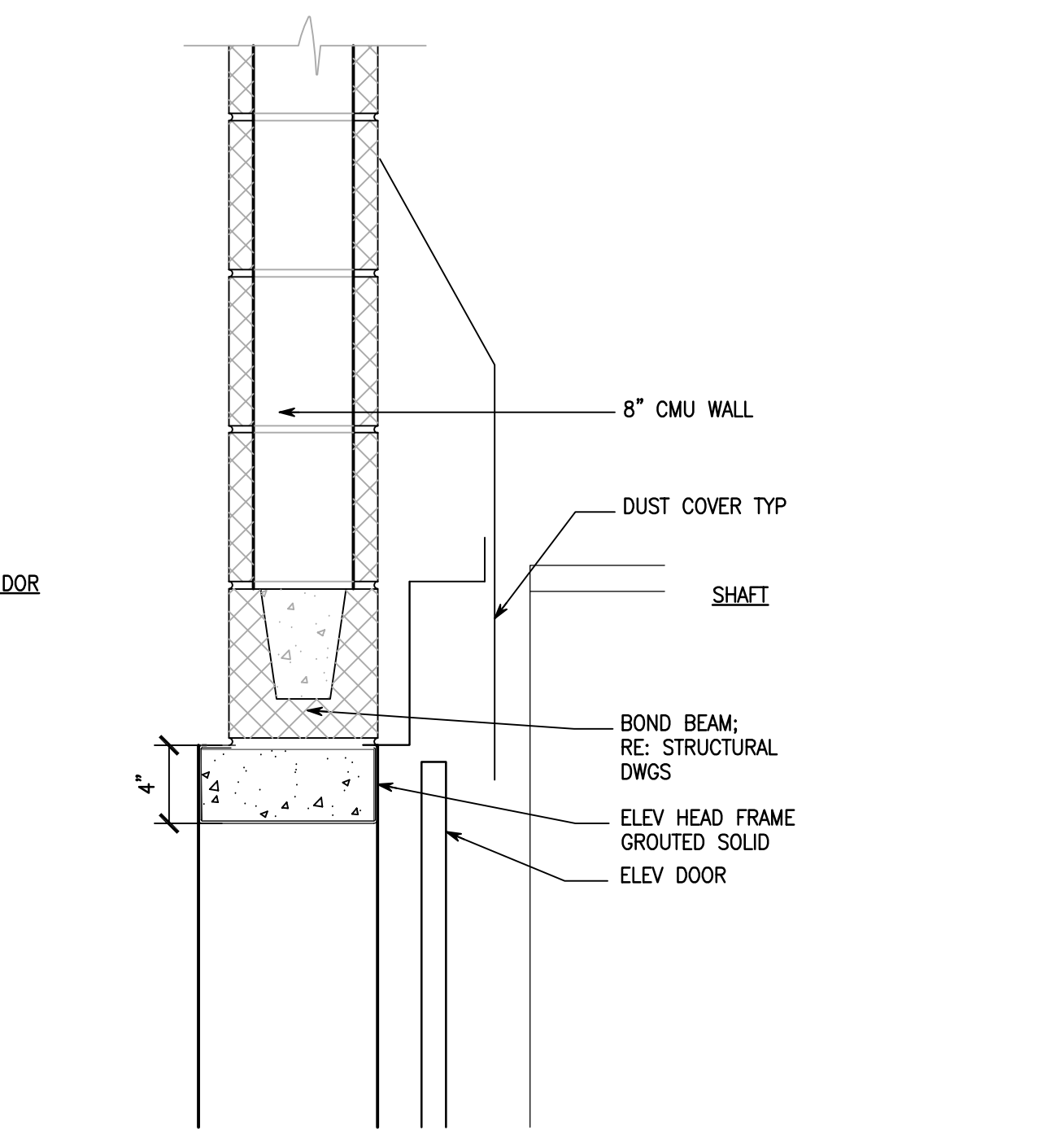
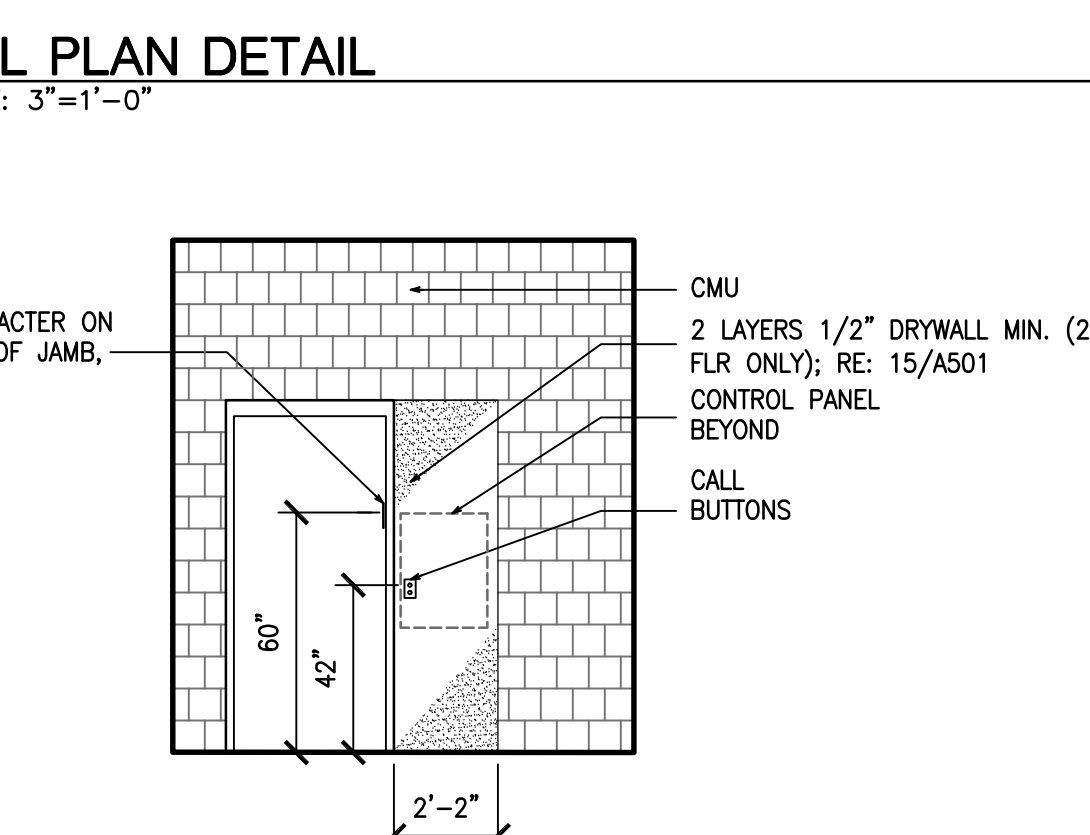
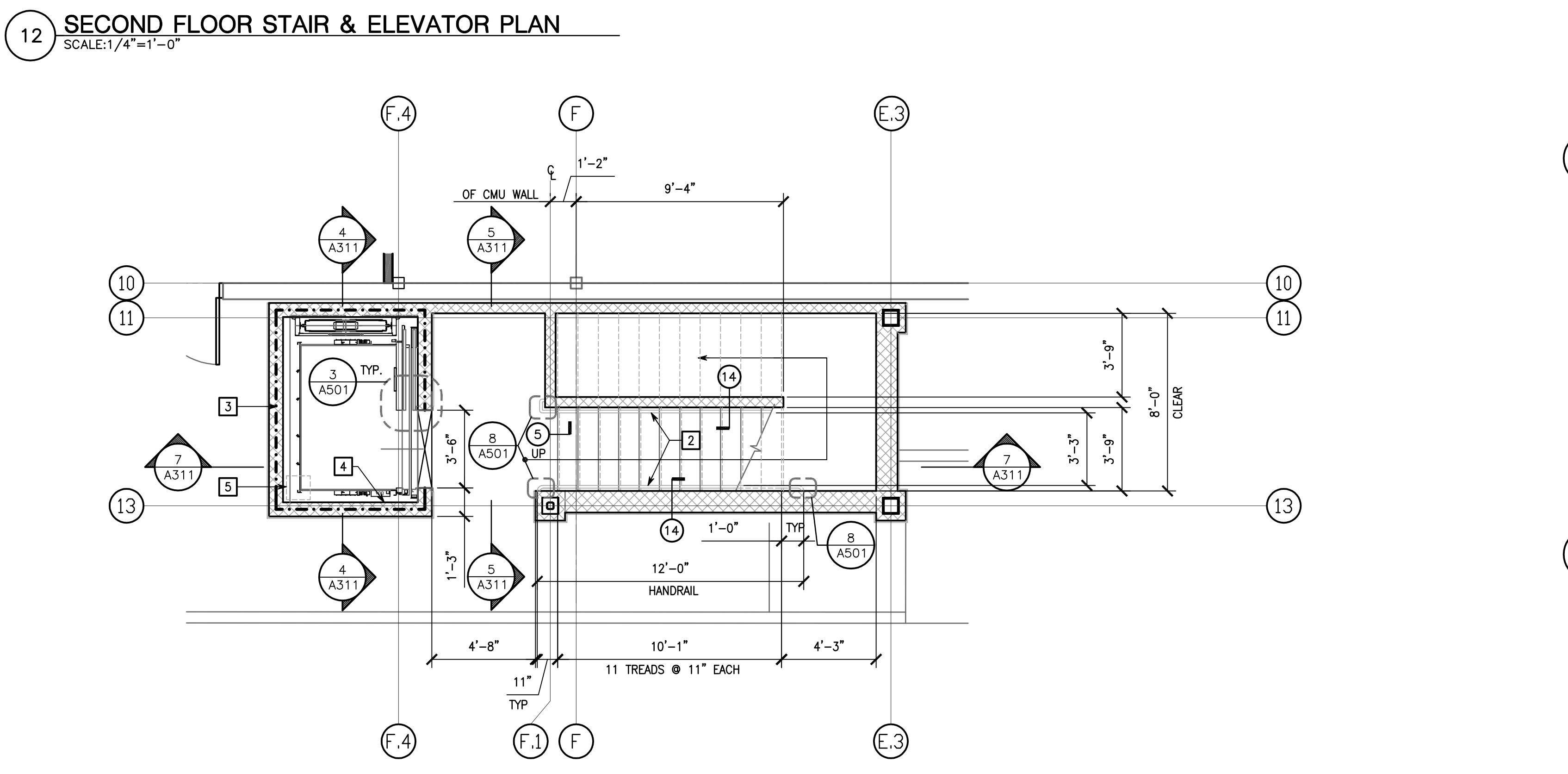
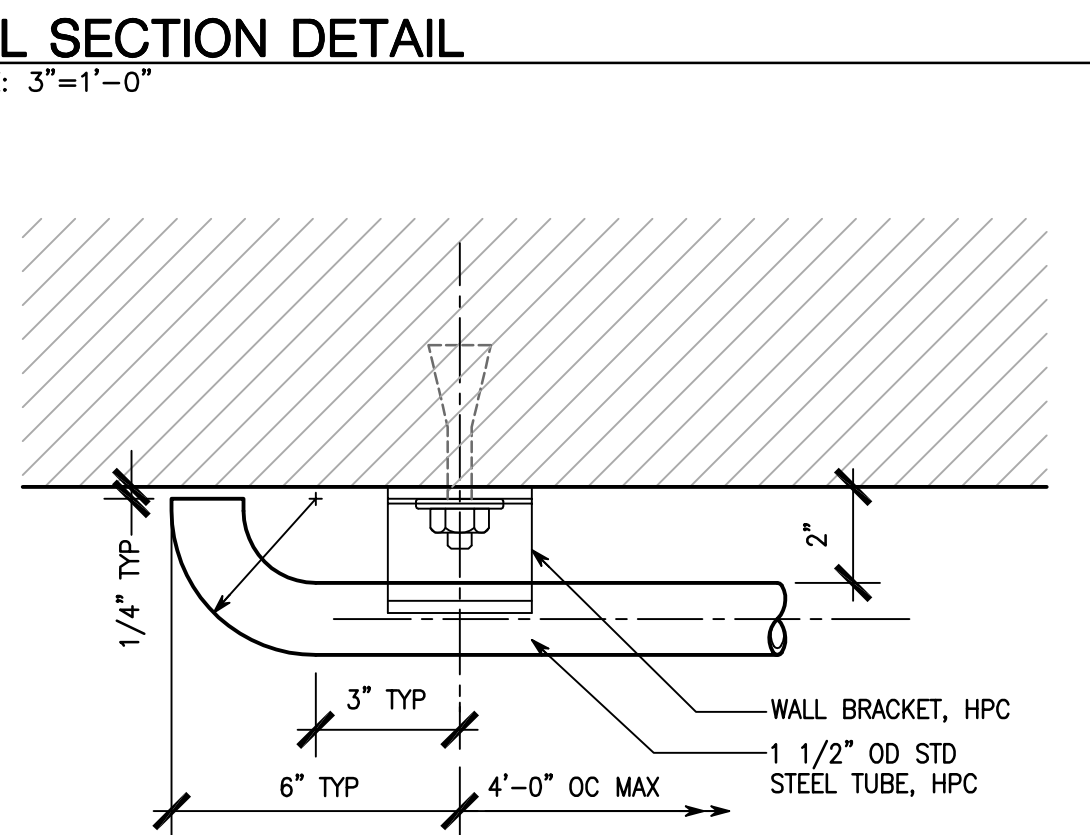
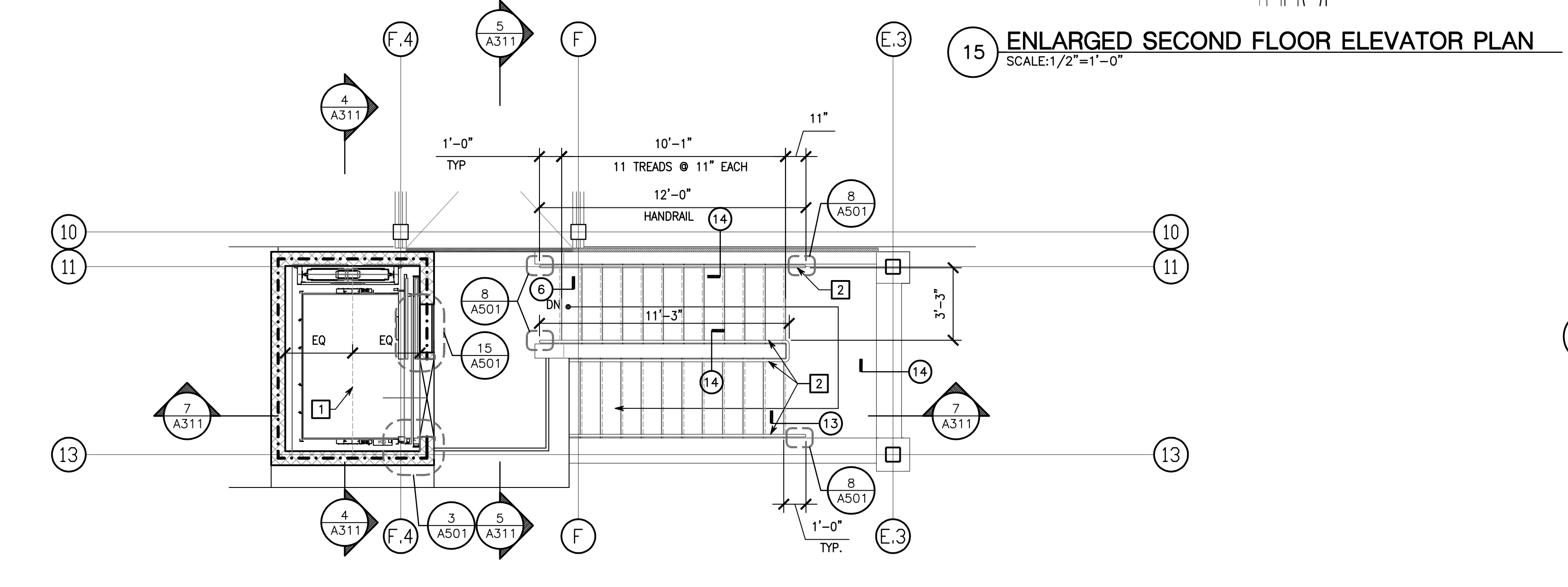
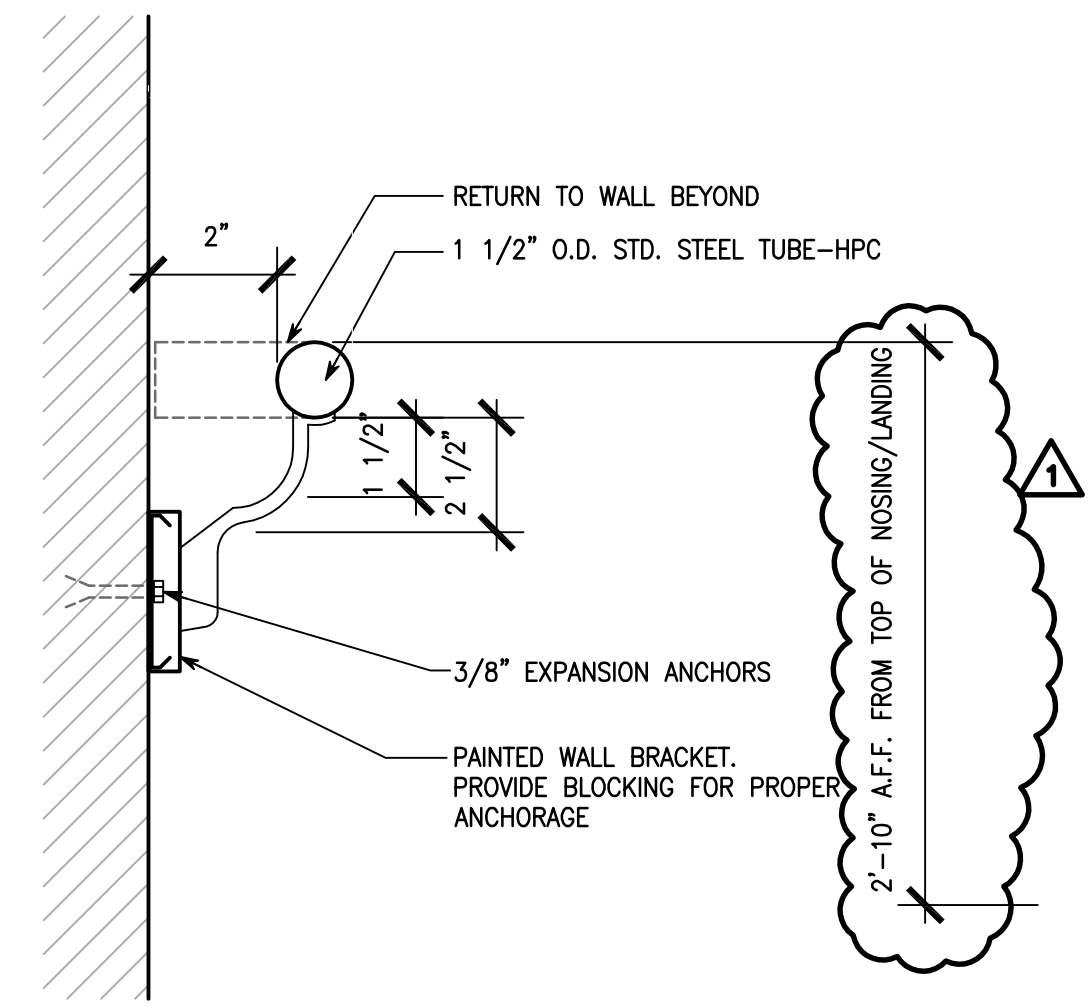
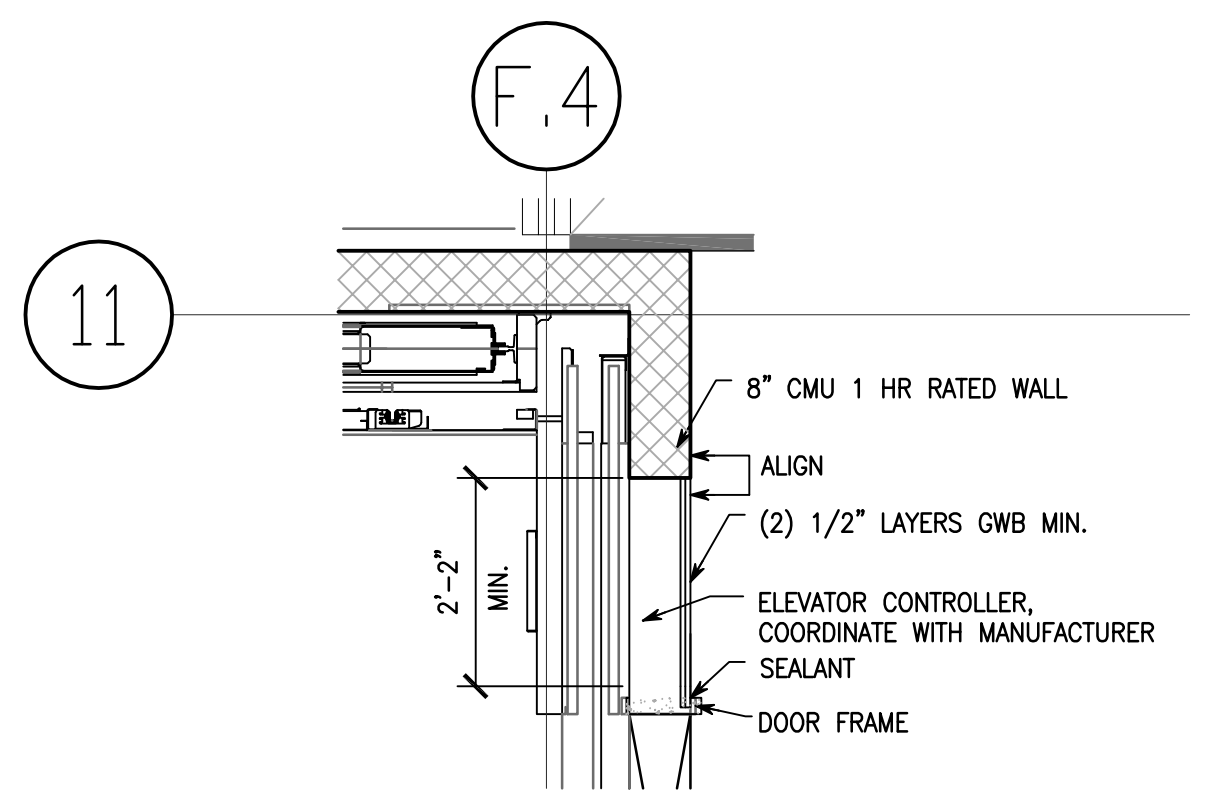
DATE: 02/21/12 AS-BUILT: -
 SCALE: AS NOTED

FLOOR PLAN KEYNOTES:

- 1 STEEL BEAM ABOVE
- 2 HANDRAIL; RE: 8&8/AS01
- 3 RE: STRUCT DWGS 1/S101 FOR ELEVATOR PIT CONSTRUCTION
- 4 PIT LADDER; COORDINATE W/ELEVATOR MANUFACTURER ON EXACT LOCATION; RE: 10/AS01
- 5 SUMP PIT; RE: STRUCT DWGS
- (X) DETAIL NUMBER ON SHEET AS01



DESIGN PROFESSIONAL:		wendel		
DES: DJM	DFT: SMV	7227 N. 16th Street, Suite 140 Phoenix, AZ 85020 www.wendelcompanies.com p: 716.888.0700 f: 716.888.8825		
CHK: DJM	DATE: 02/21/12	ARCHITECTURE • ENGINEERING • PLANNING ENERGY SERVICES • CONSTRUCTION MANAGEMENT		
REVISION LOG				
NO.	DESCRIPTION	REV. BY	CHK. BY	DATE
1	CITY COMMENTS	JAH	JAH	4/12/12
2	OWNERS COMMENTS			4/12/12



PER CITY OF PHOENIX ORDINANCE G-4396, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.

**CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION**

**NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA**

ELEVATOR, STAIR AND RAILING DETAILS

DES: DJM	DR: SMV	CHK: JAH	SHEET NO.	TOTAL SHEET COUNT
DATE: 02/21/12	AS-BUILT: -		AS01	55 OF 122

SCALE: AS NOTED

KEY TO MATERIALS

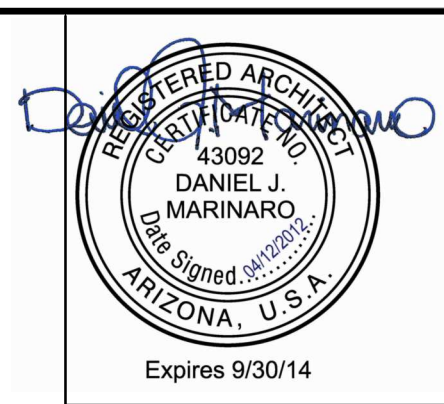
- 1 GWB, PAINT
- 2 STAINLESS STEEL TOILET PARTITION
- 3 PLUMBING FIXTURE; RE: PLUMBING DRAWINGS
- 4 CERAMIC WALL TILE; RE: 16/A802 FOR TILE PATTERN
- 5 LOCKER BENCH
- 6 CMU, PAINT
- 7 BASE; RE: ROOM FINISH SCHEDULE ON A901
- 8 ELECTRICAL DEVICE; RE: ELECTRICAL DRAWINGS
- 9 FIRE-RATED COUNTER DOOR
- 10 MECHANICAL DEVICE; RE: MECHANICAL DRAWINGS
- 11 VIEW WINDOW
- 12 SOLID SURFACE COUNTERTOP
- 13 RELOCATED LOCKERS
- 14 PLUM SHELVING
- 15 ROLLER WINDOW SHADES
- 16 MILLWORK; RE: A802
- 17 EXIST STRUCTURE, PNT
- 18 EXISTING LOCKERS
- 19 TACKBOARD
- 20 METAL LOCKERS
- 21 PARTITION
- 22 OVERHEAD COILING COUNTER DOOR (FIRE RATED)
- 23 FABRIC COVERED TACKBOARD
- 24 CERAMIC WALL TILE; RE: 15/A802 FOR TILE PATTERN
- 25 URINAL SCREEN
- 26 STEEL TUBE; RE: STRUCT DWGS
- 27 FILLER PANEL, SCRIBE TO WALL

SYMBOLS

- | | | | |
|--------|--------------------------------------|-----|-----------------------|
| RE | ELECTRICAL RECEPTACLE (2) | MR | MIRROR |
| TE | TELEPHONE OUTLET | GB | GRAB BAR |
| CO | COMPUTER OUTLET | TH | TOWEL HOOKS |
| CS | ELECTRICAL/LIGHT SWITCH | FP | FILLER PANEL |
| E/SW | ELECTRICAL OUTLET (4) | L1 | LOCKER TYPE 1 |
| EE | ELECTRICAL/TELEPHONE OUTLET | L2 | LOCKER TYPE 2 |
| E/T | ELECTRICAL/TELEPHONE OUTLET | L3 | LOCKER TYPE 3 |
| EE/C | ELECTRICAL/COMPUTER OUTLET | SD | SOAP DISPENSER |
| EE/S/C | ELECTRICAL/TELEPHONE/COMPUTER OUTLET | PTD | PAPER TOWEL DISPENSER |
| SW | LIGHT SWITCH | | |
| CCTV | CABLE TELEVISION OUTLET | | |

GENERAL NOTES

1. ALL DIMENSIONS ARE FINISH DIMENSIONS UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS FOR MILLWORK UNITS ARE TO BE FIELD MEASURED AND VERIFIED BEFORE FABRICATION OF MILLWORK UNITS BEGINS.
3. ALL COUNTERTOPS TO BE PLASTIC LAMINATE UNLESS OTHERWISE NOTED.
4. ALL COUNTERTOPS ARE TO HAVE A 4" HIGH P. LAM. BACKSPASH ON ALL SIDES WHERE THE COUNTERTOPS ABUT FINISHED WALLS UNLESS OTHERWISE NOTED.
5. ALL MILLWORK UNITS THAT ABUT FINISH WALLS ARE TO HAVE 1" MINIMUM PLASTIC LAMINATE FINISHED FILLERS AT WALLS. FILLERS ARE TO BE SCRIBED TO WALLS.
6. WHERE OUTLETS AND/OR RECEPTACLES ARE CALLED OUT BELOW COUNTERTOPS, 2" DIAMETER SLOTS IN THE COUNTERTOP SHALL BE PROVIDED IN THE BACK OF THE COUNTERTOP FOR CORD ACCESS. FINISH ALL SLOTS WITH GROMMETS.
7. TYPICAL SWITCH AND RECEPTACLE LOCATIONS ARE INDICATED AT INTERIOR ELEVATIONS, BUT DO NOT REPRESENT TOTAL QUANTITIES OR INDIVIDUAL TYPES. AT THESE LOCATIONS ONLY, REFER TO MOUNTING HEIGHT REQUIREMENTS. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR COMPREHENSIVE FIXTURE AND/OR DEVICE QUANTITIES AND LOCATIONS.
8. ALL RECEPT AND OUTLETS BELOW COUNTER HEIGHT ARE TO BE MOUNTED 18" AFF TO CENTERLINE OF DEVICE UNLESS OTHERWISE NOTED.
9. ALL RECEPT AND OUTLETS ABOVE COUNTER HEIGHT ARE TO BE MOUNTED 12" ABOVE TOP OF COUNTER OR BACKSPASH TO CENTERLINE OF DEVICE UNLESS OTHERWISE NOTED.
10. WHERE CONTINUOUS UNDERCOUNTER LIGHTS ARE CALLED FOR, PROVIDE MAXIMUM LENGTH OF LIGHTING POSSIBLE BY USING STANDARD LAMP LENGTHS. LAMP LENGTHS MAY VARY AT END CONDITIONS AS REQUIRED FOR MAXIMUM POSSIBLE LENGTH.
11. REFER TO SHEET A001 FOR STANDARD INSTALLATION HEIGHTS OF FIXTURES / EQUIPMENT AND FURNITURE. REFER TO SHEET A001 FOR STANDARD INSTALLATION HEIGHTS OF PLUMBING FIXTURES.



DESIGN PROFESSIONAL:		wendel	
DES:	DFT:	7227 N. 16th Street, Suite 140 Phoenix, AZ 85020	
CHK:	DATE:	www.wendel.com P: 716.888.0700 F: 716.888.0805	
REVISION LOG			
NO.	DESCRIPTION	REV. BY	CHK. BY DATE
1	CITY COMMENTS	JAH	JAH 4/12/12
2	OWNERS COMMENTS	JAH	JAH 4/12/12

1 TOILET 221 & 220 SCALE: 1/4" = 1'-0"

2 TOILET 221 & 220 SCALE: 1/4" = 1'-0"

3 TOILET 221 & 220 SCALE: 1/4" = 1'-0"

4 TOILET 221 & 220 SCALE: 1/4" = 1'-0"

5 FOUNTAIN ALCOVE SCALE: 1/4" = 1'-0"

6 TOILET 227 & 228 SCALE: 1/4" = 1'-0"

7 TOILET 227 & 228 SCALE: 1/4" = 1'-0"

8 TOILET 227 & 228 SCALE: 1/4" = 1'-0"

9 TOILET 227 & 228 SCALE: 1/4" = 1'-0"

10 WOMEN'S LOCKER/SHOWER 120 SCALE: 1/4" = 1'-0"

11 WOMEN'S LOCKER/SHOWER 120 SCALE: 1/4" = 1'-0"

12 WOMEN'S LOCKER/SHOWER 120 SCALE: 1/4" = 1'-0"

13 WOMEN'S LOCKER/SHOWER 120 SCALE: 1/4" = 1'-0"

14 MEN'S LOCKER/SHOWER 121 SCALE: 1/4" = 1'-0"

15 MEN'S LOCKER/SHOWER 121 SCALE: 1/4" = 1'-0"

16 MEN'S LOCKER/SHOWER 121 SCALE: 1/4" = 1'-0"

17 MEN'S LOCKER/SHOWER 121 SCALE: 1/4" = 1'-0"

18 LUNCH/ASSEMBLY MTG 109 SCALE: 1/4" = 1'-0"

19 LUNCH/ASSEMBLY MTG 109 SCALE: 1/4" = 1'-0"

20 LUNCH/ASSEMBLY MTG 109 SCALE: 1/4" = 1'-0"

21 LUNCH/ASSEMBLY MTG 109 SCALE: 1/4" = 1'-0"

22 MAINT MANUALS 132 SCALE: 1/4" = 1'-0"

23 PARTS CLERK SCALE: 1/4" = 1'-0"

24 COUNTER SCALE: 1/4" = 1'-0"

25 COUNTER SCALE: 1/4" = 1'-0"

26 COUNTER SCALE: 1/4" = 1'-0"

27 COUNTER SCALE: 1/4" = 1'-0"

28 COUNTER SCALE: 1/4" = 1'-0"

PER CITY OF PHOENIX ORDINANCE G-4396, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.

CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION

NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA

INTERIOR ELEVATIONS

DES: DJM	DR: SMV	CHK: JAH	SHEET NO.	TOTAL SHEET COUNT
DATE: 02/21/12	AS-BUILT: -		A601	56 OF 122

SCALE: AS NOTED

KEY TO MATERIALS

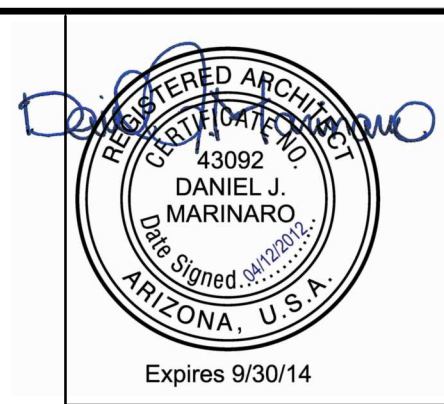
- 1 GWB, PAINT
- 2 STAINLESS STEEL TOILET PARTITION
- 3 PLUMBING FIXTURE; RE: PLUMBING DRAWINGS
- 4 CERAMIC WALL TILE; RE: 16/A602 FOR TILE PATTERN
- 5 LOCKER BENCH
- 6 CMU, PAINT
- 7 BASE; RE: ROOM FINISH SCHEDULE ON A901
- 8 ELECTRICAL DEVICE; RE: ELECTRICAL DRAWINGS
- 9 FIRE-RATED COUNTER DOOR
- 10 MECHANICAL DEVICE; RE: MECHANICAL DRAWINGS
- 11 VIEW WINDOW
- 12 SOLID SURFACE COUNTERTOP
- 13 RELOCATED LOCKERS
- 14 PLUM SHELVING
- 15 ROLLER WINDOW SHADES
- 16 MILLWORK; RE: A602
- 17 EXIST STRUCTURE, PNT
- 18 EXISTING LOCKERS
- 19 TACKBOARD
- 20 METAL LOCKERS
- 21 PARTITION
- 22 OVERHEAD COILING COUNTER DOOR (FIRE RATED)
- 23 FABRIC COVERED TACKBOARD
- 24 CERAMIC WALL TILE; RE: 15/A602 FOR TILE PATTERN
- 25 URINAL SCREEN
- 26 STEEL TUBE; RE: STRUCT DWGS
- 27 FILLER PANEL, SCRIBE TO WALL

SYMBOLS

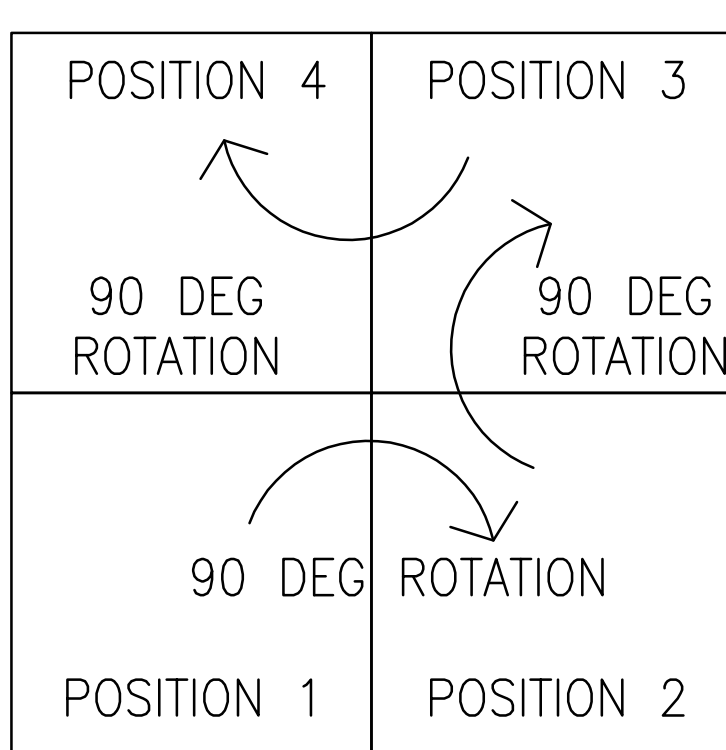
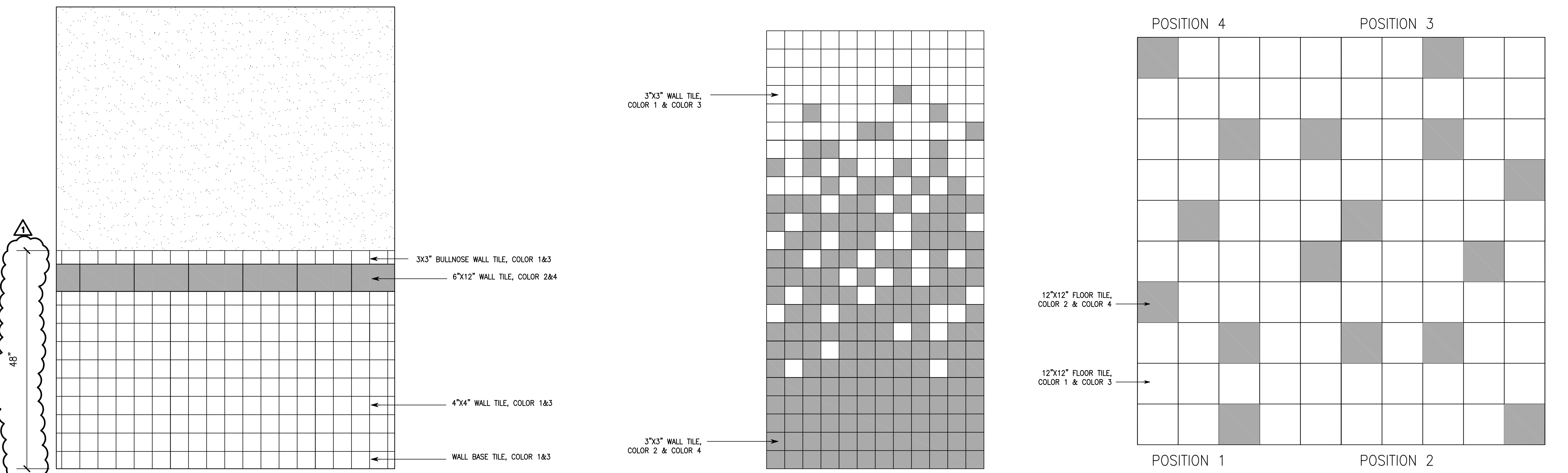
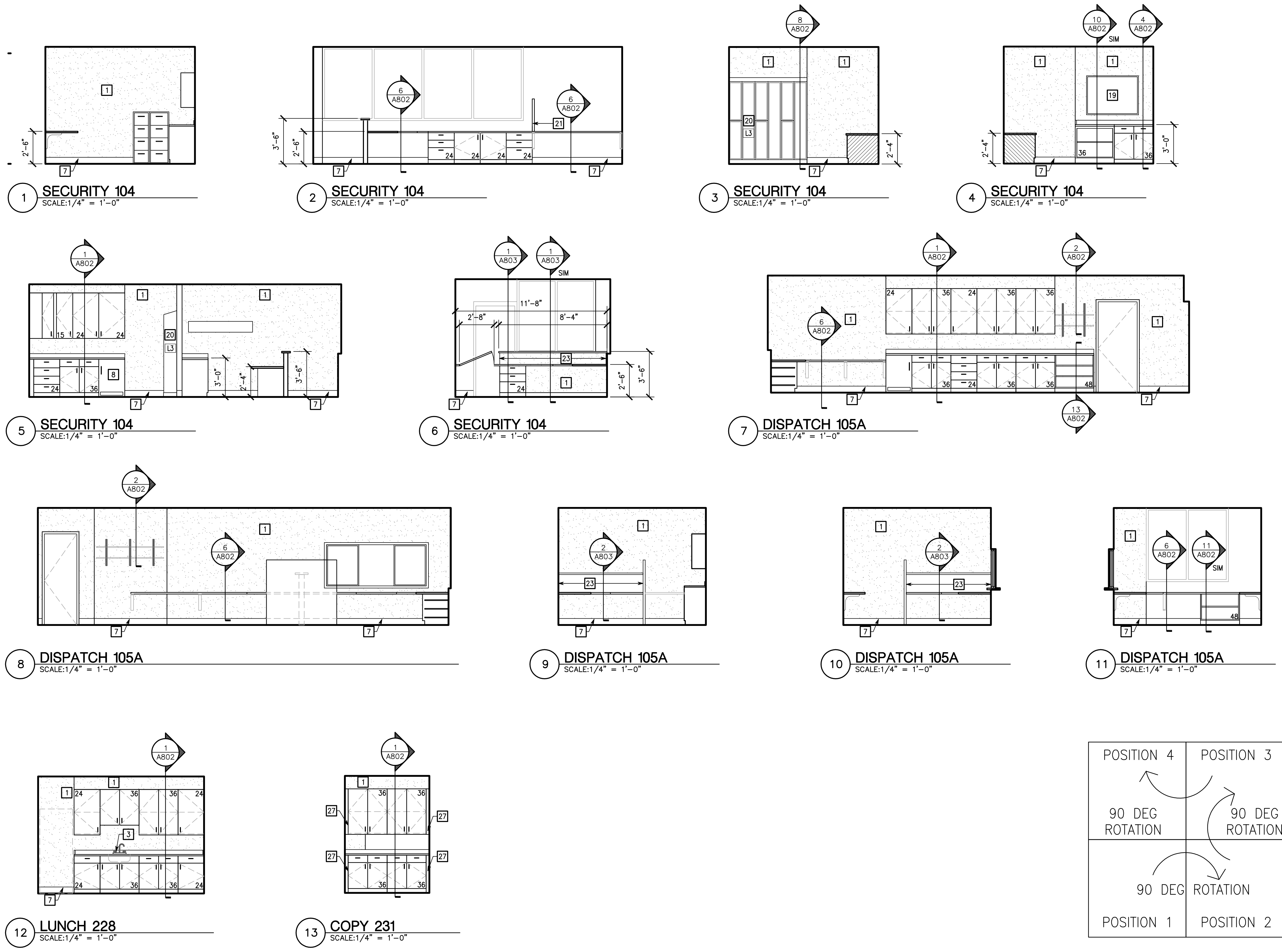
- | | | | |
|---------|--------------------------------------|-----|-----------------------|
| ⊖ E | ELECTRICAL RECEPTAL (2) | MR | MIRROR |
| ⊖ T | TELEPHONE OUTLET | GB | GRAB BAR |
| ⊖ C | COMPUTER OUTLET | TH | TOWEL HOOKS |
| ⊖ E/SW | ELECTRICAL/LIGHT SWITCH | FP | FILLER PANEL |
| ⊖ E | ELECTRICAL OUTLET (4) | L1 | LOCKER TYPE 1 |
| ⊖ E/T | ELECTRICAL/TELEPHONE OUTLET | L2 | LOCKER TYPE 2 |
| ⊖ E/C | ELECTRICAL/COMPUTER OUTLET | L3 | LOCKER TYPE 3 |
| ⊖ E/T/C | ELECTRICAL/TELEPHONE/COMPUTER OUTLET | SD | SOAP DISPENSER |
| ⊖ SW | LIGHT SWITCH | PTD | PAPER TOWEL DISPENSER |
| ⊖ CCTV | CABLE TELEVISION OUTLET | | |

GENERAL NOTES

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DESIGN PROFESSIONAL:		wendel	
DES:	DFT:	7227 N. 16th Street, Suite 140 Phoenix, AZ 85020	
CHK:	DATE:	www.wendel.com 678.888.8788 316.621.8825	
REVISION LOG			
NO.	DESCRIPTION	REV. BY	DATE
1	CITY COMMENTS	JAH	4/12/12
2	OWNERS COMMENTS	JAH	4/12/12



15 SECOND FLOOR TOILET ROOM WALL TILE PATTERN (TYP) SCALE: 1" = 1'-0"
 16 LOCKER ROOM WALL TILE PATTERN (TYP) SCALE: 1" = 1'-0"
 17 LOCKER ROOM FLOOR TILE PATTERN (TYP) SCALE: 1/2" = 1'-0"

PER CITY OF PHOENIX ORDINANCE G-4396, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.

**CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION**

**NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA**

INTERIOR ELEVATIONS & TILE PATTERNS

DES: DJM	DR: SMV	CHK: JAH	SHEET NO.	TOTAL SHEET COUNT
DATE: 02/21/12	AS-BUILT: -		A602	57 OF 122
SCALE: AS NOTED				

FLOOR PLAN GENERAL NOTES:

- REPAIR AND RESTORE ALL ITEMS DAMAGED DURING PROJECT DURATION BY CONTRACTOR IN EXCESS OF SCOPE OF WORK TO THEIR ORIGINAL CONDITION. ALL ITEMS NOT ABLE TO BE REPAIRED OR RESTORED TO THEIR ORIGINAL CONDITION ARE TO BE REPLACED WITH MATCHING ITEMS.
- ALL DIMENSIONS SHOWN "+/-" VIF" ARE TO BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS.

REFLECTED CEILING PLAN KEYNOTES:

- NO WORK
- EXIST CEILING TO REMAIN, ANY CONTRACTOR WORKING ABOVE CEILING SHALL REMOVE AND REPLACE CEILING AS REQD
- EXPOSED STEEL DECK AND JOISTS, PNT
- 8" GWB CEILING/SOFFIT ON MTL FRAME, PNT
- NOT USED
- 8" GWB CEILING ON STRUCT ABOVE
- EXISTING CONC SLAB, PNT
- CEMENTITIOUS BOARD, PNT, RE: 6/803
- REPAIR ALL DAMAGED OR DISTURBED FIRE PROOFING MATERIAL WHERE WALLS OR EQUIPMENT REMOVED OR NEW ATTACHMENTS MADE
- STL FRAMING FOR FALL PROTECTION, HPC #1, RE: STRUCT DWGS
- PAINT ALL WALLS WITH HPC #2 IN STEAM BAY.
- CEMENTITIOUS BOARD SOFFIT SUPPORTED ON MTL STUD FRAMING AROUND MECH DUCT; RE: MECH DWGS

ARCHITECTURAL SYMBOLS:

- METAL CEILING TILE
- ACOUSTICAL CEILING TILE
- GYPSON BOARD
- CEILING DETAIL REFERENCE #: RE: A803

ELECTRICAL SYMBOLS:

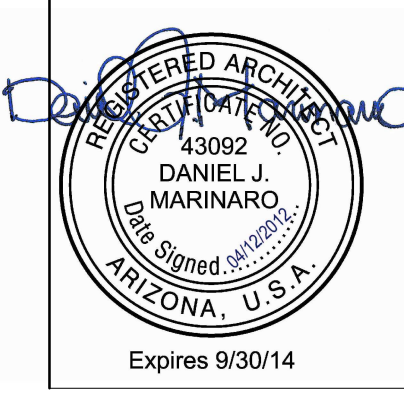
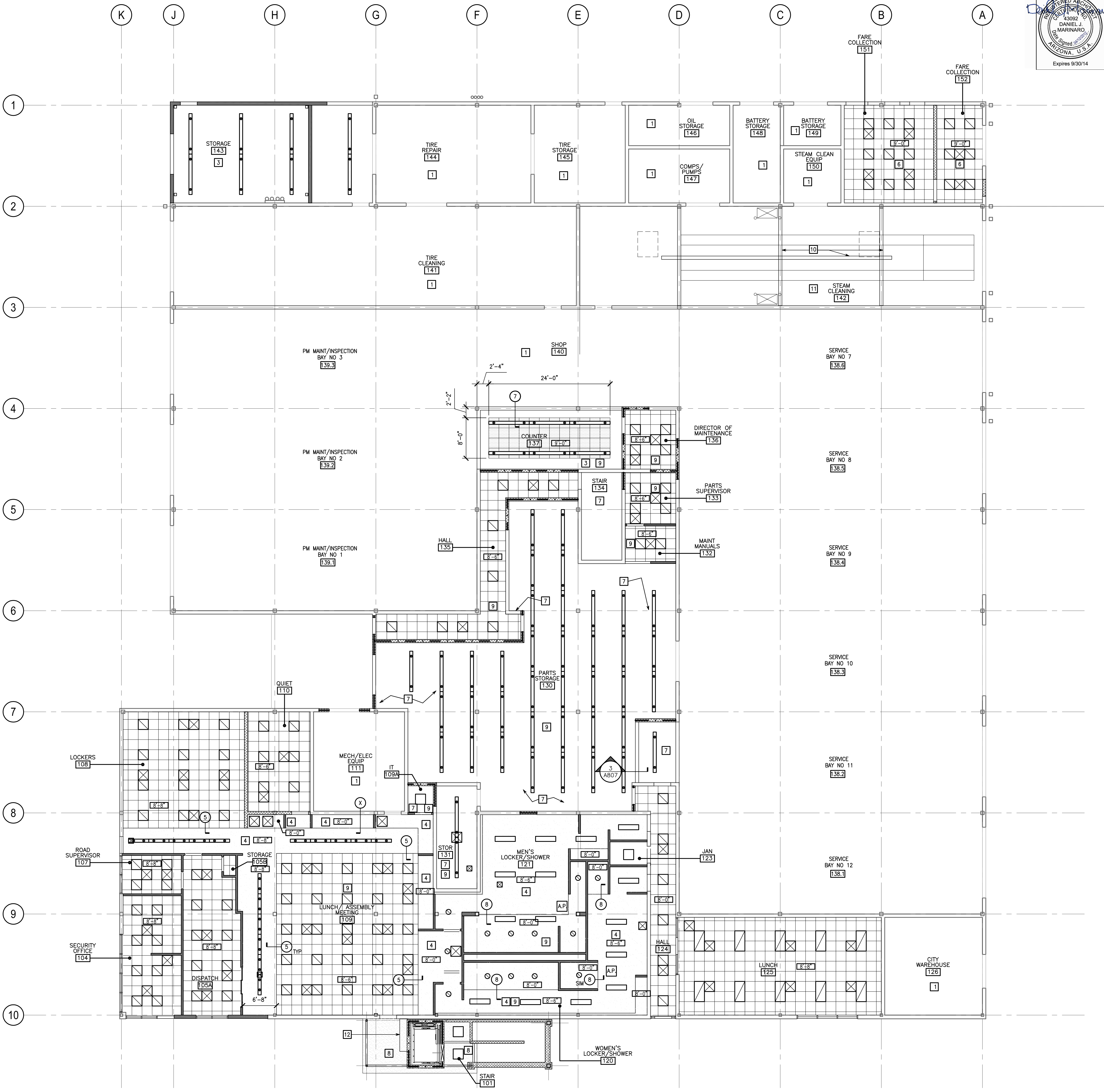
- ACCESS PANEL
- CCD
- ELECTRICAL OUTLET
- RECESSED LIGHT FIXTURE
- SURFACE MTD. LIGHT FIXTURE
- PENDANT LIGHT FIXTURES
- SMOKE DETECTOR, SEE ELECTRICAL
- P.A. LOUDSPEAKER
- OCCUPANCY SENSOR
- EXIT SIGN
- WALL PACK
- EMERGENCY LIGHT

MECHANICAL SYMBOLS:

- MECHANICAL DEVICE
- LINEAR DIFFUSER
- RADIANT HEAT PANEL
- UNIT HEATER

NOTE: REFERENCE ELECTRICAL DRAWINGS

NOTE: REFERENCE MECHANICAL DRAWINGS



DESIGN PROFESSIONAL:

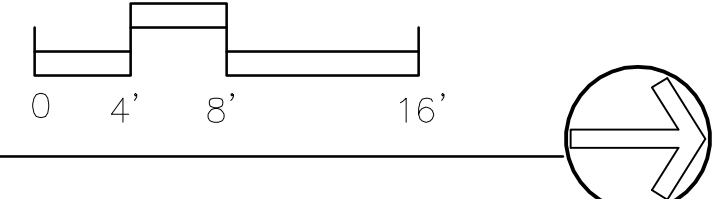
DES: _____ DFT: _____
 CHK: _____ DATE: _____

REVISION LOG

NO.	DESCRIPTION	REV. BY	CHK. BY	DATE
1	CITY COMMENTS			4/12/12
2	OWNERS COMMENTS			4/12/12



FIRST FLOOR REFLECTED CEILING PLAN
 SCALE: 1/8" = 1'-0"

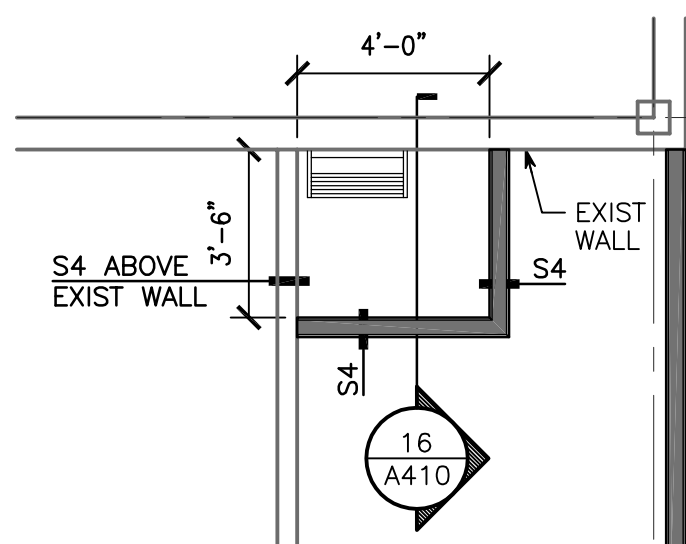


PER CITY OF PHOENIX ORDINANCE G-4396, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.

CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA

FIRST FLOOR REFLECTED CEILING PLAN

DES:	DR:	SMV	CHK:	JAH	SHEET NO.	TOTAL SHEET COUNT
DATE:	02/21/12	AS-BUILT:	-	-	A701	58 OF 122
SCALE:	AS NOTED					



2 ROOF ACCESS PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES:

- REPAIR AND RESTORE ALL ITEMS DAMAGED DURING PROJECT DURATION BY CONTRACTOR IN EXCESS OF SCOPE OF WORK, TO THEIR ORIGINAL CONDITION. ALL ITEMS NOT ABLE TO BE REPAIRED OR RESTORED TO THEIR ORIGINAL CONDITION ARE TO BE REPLACED WITH MATCHING ITEMS.
- ALL DIMENSIONS SHOWN "+/- VF" ARE TO BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS.

REFLECTED CEILING PLAN KEYNOTES:

- NO WORK
- EXIST CEILING TO REMAIN, ANY CONTRACTOR WORKING ABOVE CEILING SHALL REMOVE AND REPLACE CEILING AS REQD
- RESERVED
- 5' GWB CEILING/SOFFIT ON MTL FRAME, PNT
- PNT EXPOSED EXISTING METAL DECK AND STEEL JOISTS.
- 5' GWB CEILING ON STRUCT ABOVE
- EXISTING CONC SLAB, PNT
- CEMENTITIOUS BOARD; PNT, RE: 6/803
- REPAIR ALL DAMAGED OR DISTURBED FIRE PROOFING MATERIAL WHERE WALLS OR EQUIPMENT REMOVED OR NEW ATTACHMENTS MADE

ARCHITECTURAL SYMBOLS:

- ACOUSTICAL CEILING TILE
- GYPSUM BOARD
- CEILING DETAIL REFERENCE #: RE: A803

ELECTRICAL SYMBOLS:

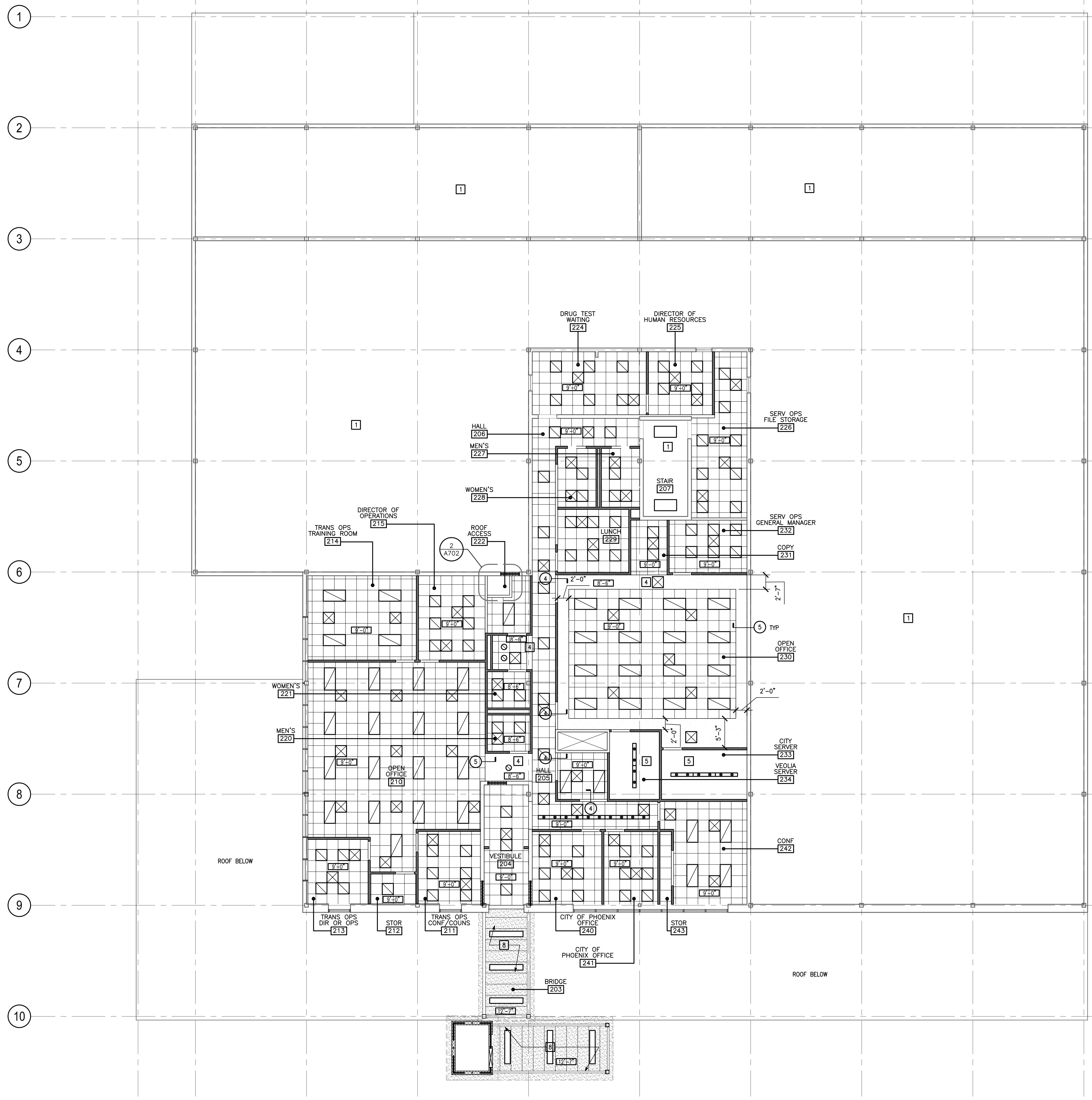
- A.P. ACCESS PANEL
- CCD
- ELECTRICAL OUTLET
- RECESSED LIGHT FIXTURE
- SURFACE MTD. LIGHT FIXTURE
- PENDANT LIGHT FIXTURES
- SMOKE DETECTOR, SEE ELECTRICAL
- P.A. LOUDSPEAKER
- OCCUPANCY SENSOR
- EXIT SIGN
- WALL PACK
- EMERGENCY LIGHT

MECHANICAL SYMBOLS:

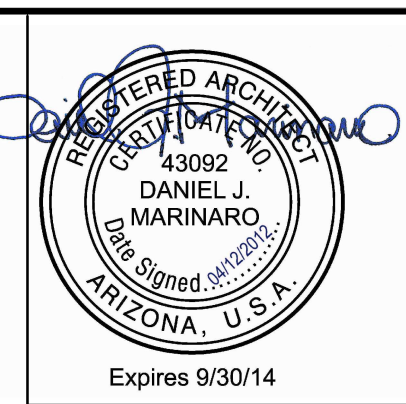
- MECHANICAL DEVICE
- LINEAR DIFFUSER
- R.P. RADIANT HEAT PANEL
- UH UNIT HEATER

NOTE: REFERENCE ELECTRICAL DRAWINGS

NOTE: REFERENCE MECHANICAL DRAWINGS



1 SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



DESIGN PROFESSIONAL:

DES: DFT: 7227 N. 16TH Street, Suite 140
Phoenix, AZ 85020
www.wendelcompanies.com
P: 716.888.8700 F: 716.888.8825
ARCHITECTURE • ENGINEERING • PLANNING
ENERGY SERVICES • CONSTRUCTION MANAGEMENT

CHK: DATE:

REVISION LOG

NO.	DESCRIPTION	REV. BY	CHK. BY	DATE
1	CITY COMMENTS			4/12/12
2	OWNERS COMMENTS			4/12/12

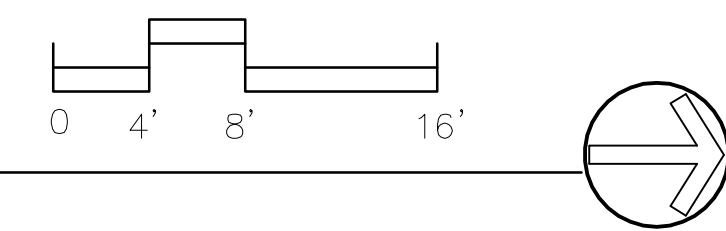
PER CITY OF PHOENIX ORDINANCE G-4396, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.

CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION

NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA

SECOND FLOOR REFLECTED CEILING PLAN

DES: DJM	DR: SMV	CHK: JAH	SHEET NO.	TOTAL SHEET COUNT
DATE: 02/21/12	AS-BUILT: -		A702	59 OF 122
SCALE: AS NOTED				





DESIGN PROFESSIONAL:

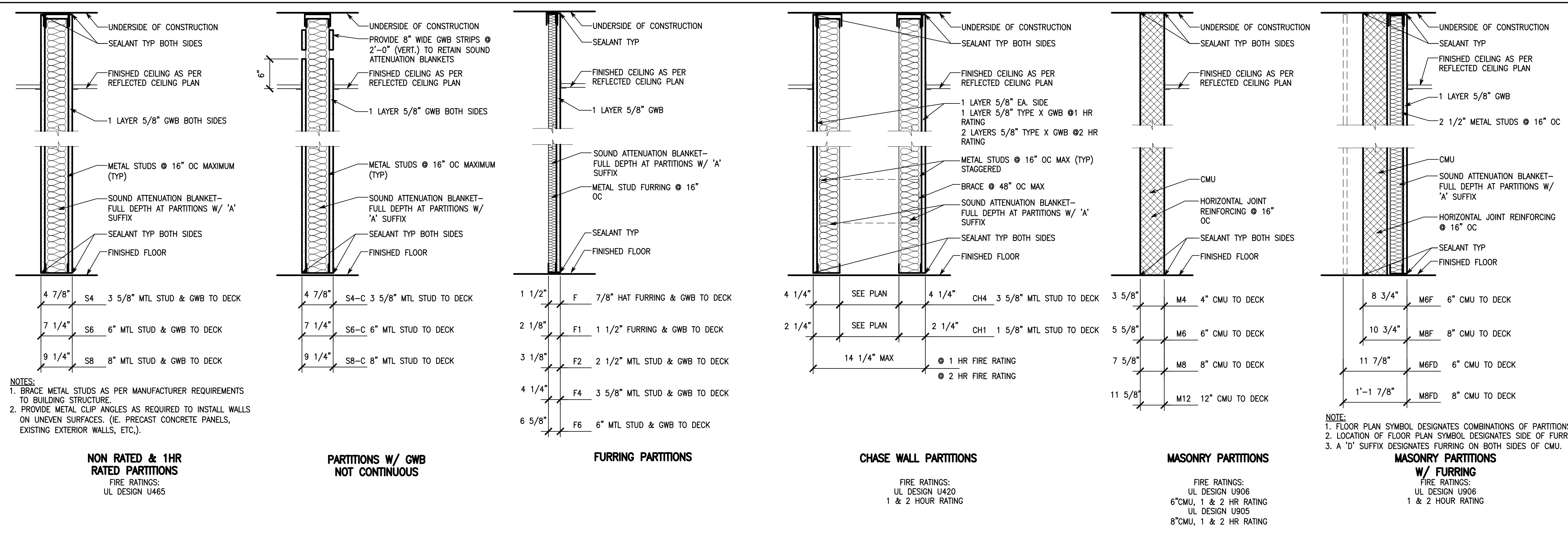
DES: _____ DFT: _____
 CHK: _____ DATE: _____

REVISION LOG

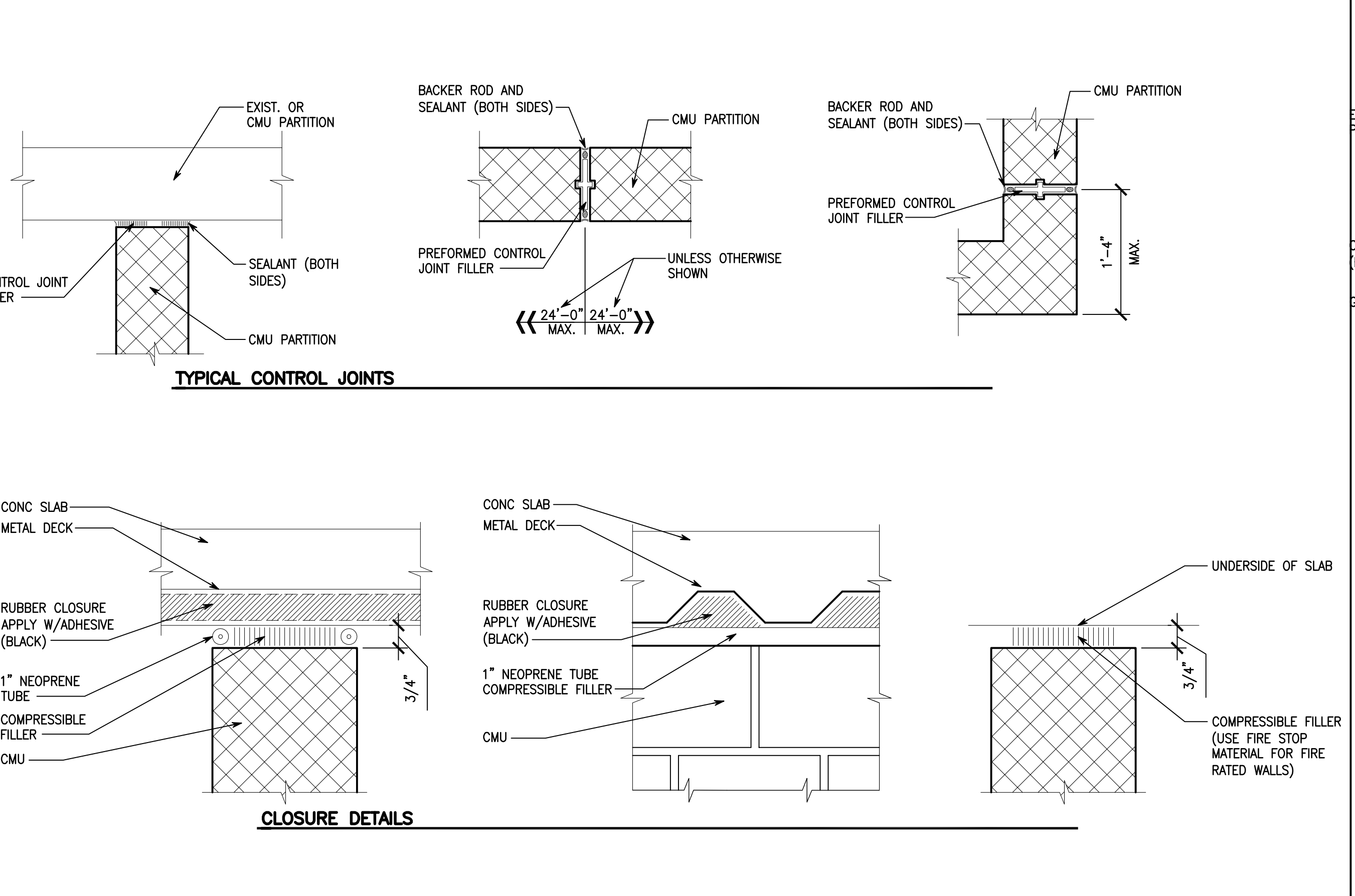
NO.	DESCRIPTION	REV. BY	CHK. BY	DATE
1	CITY COMMENTS			4/12/12
2	OWNERS COMMENTS			4/12/12



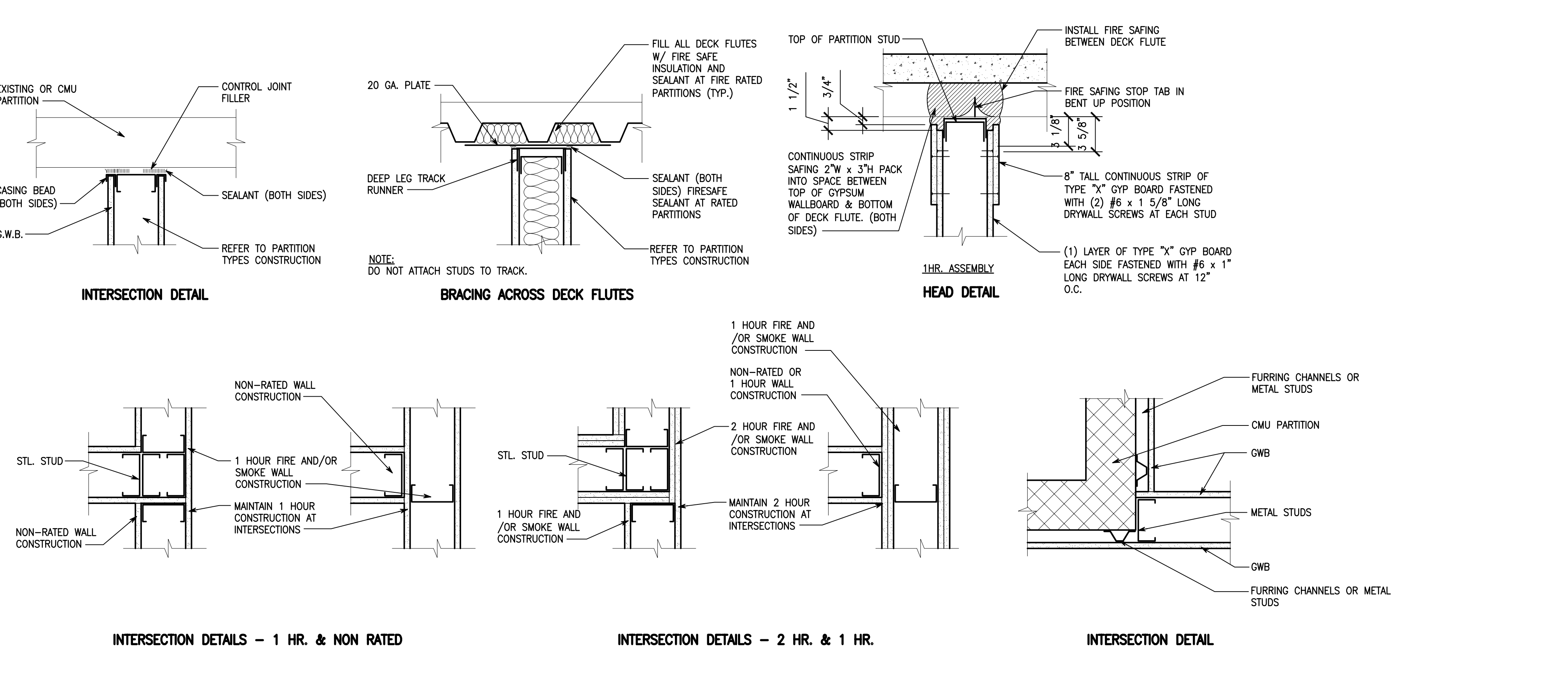
PARTITION TYPES:



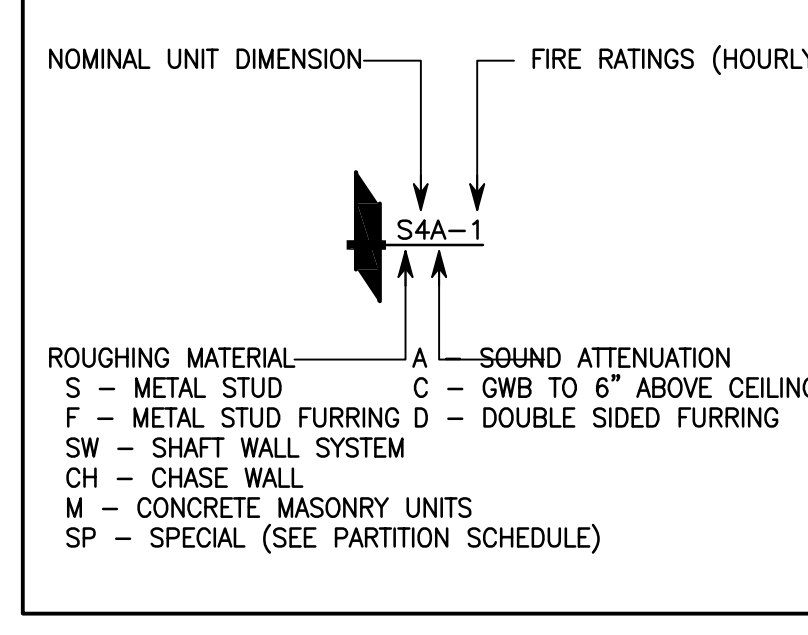
MASONRY PARTITION DETAILS:



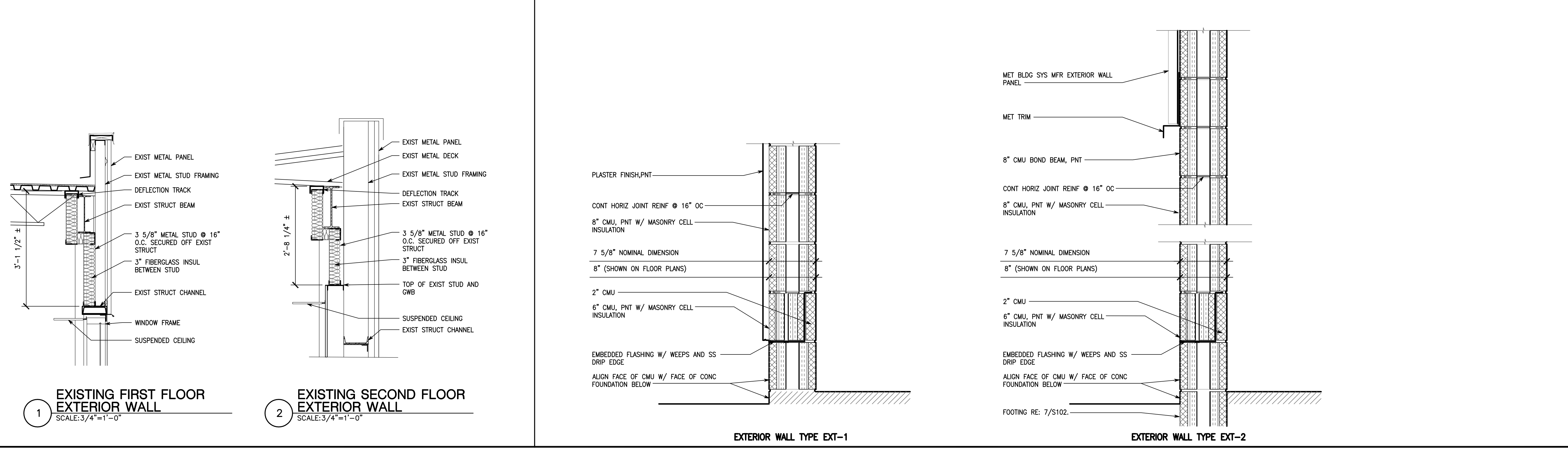
METAL STUD PARTITION DETAILS:



PARTITION TYPE SYMBOL:



EXTERIOR WALL TYPES:



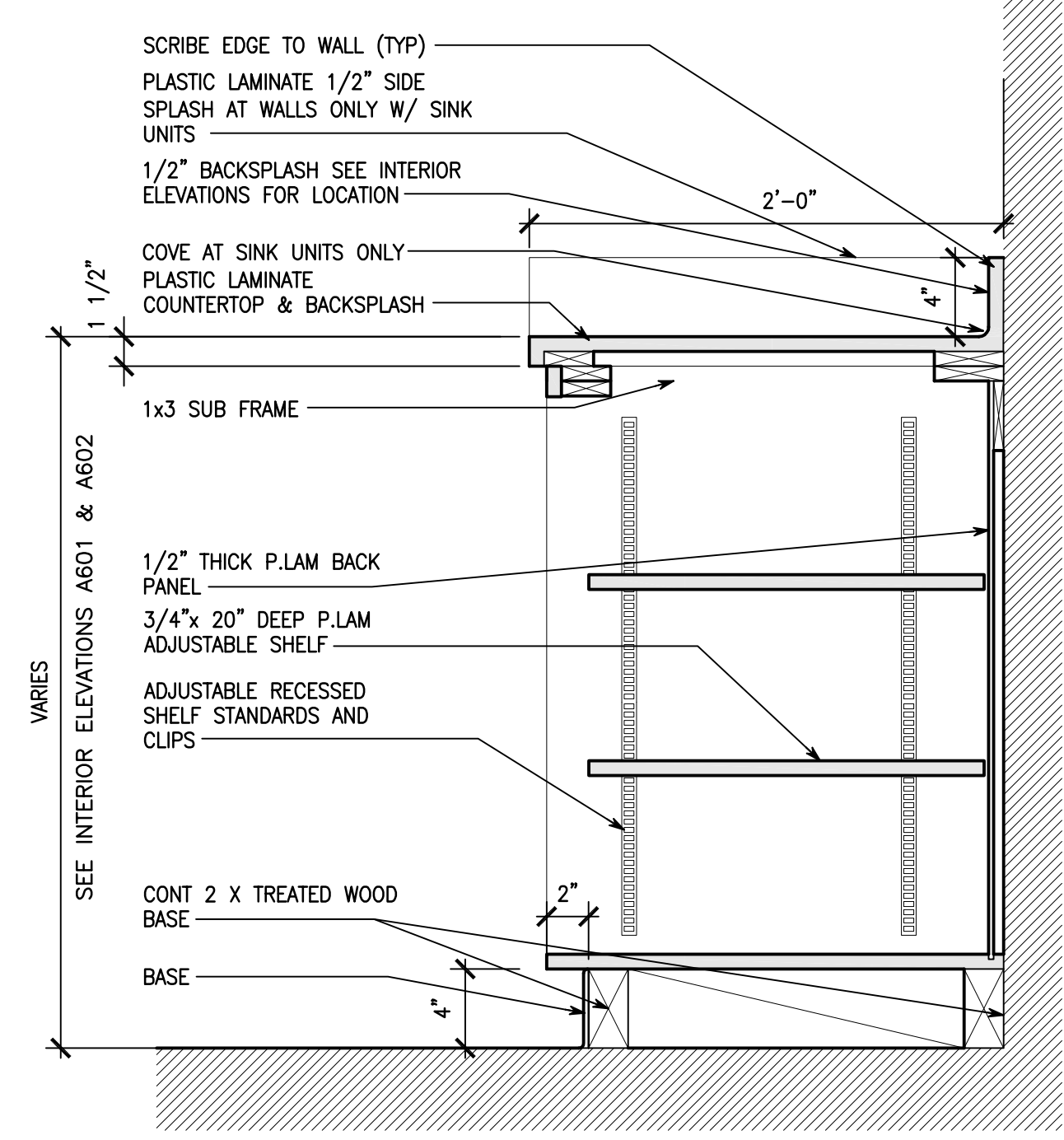
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FACILITIES DIVISION
NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA

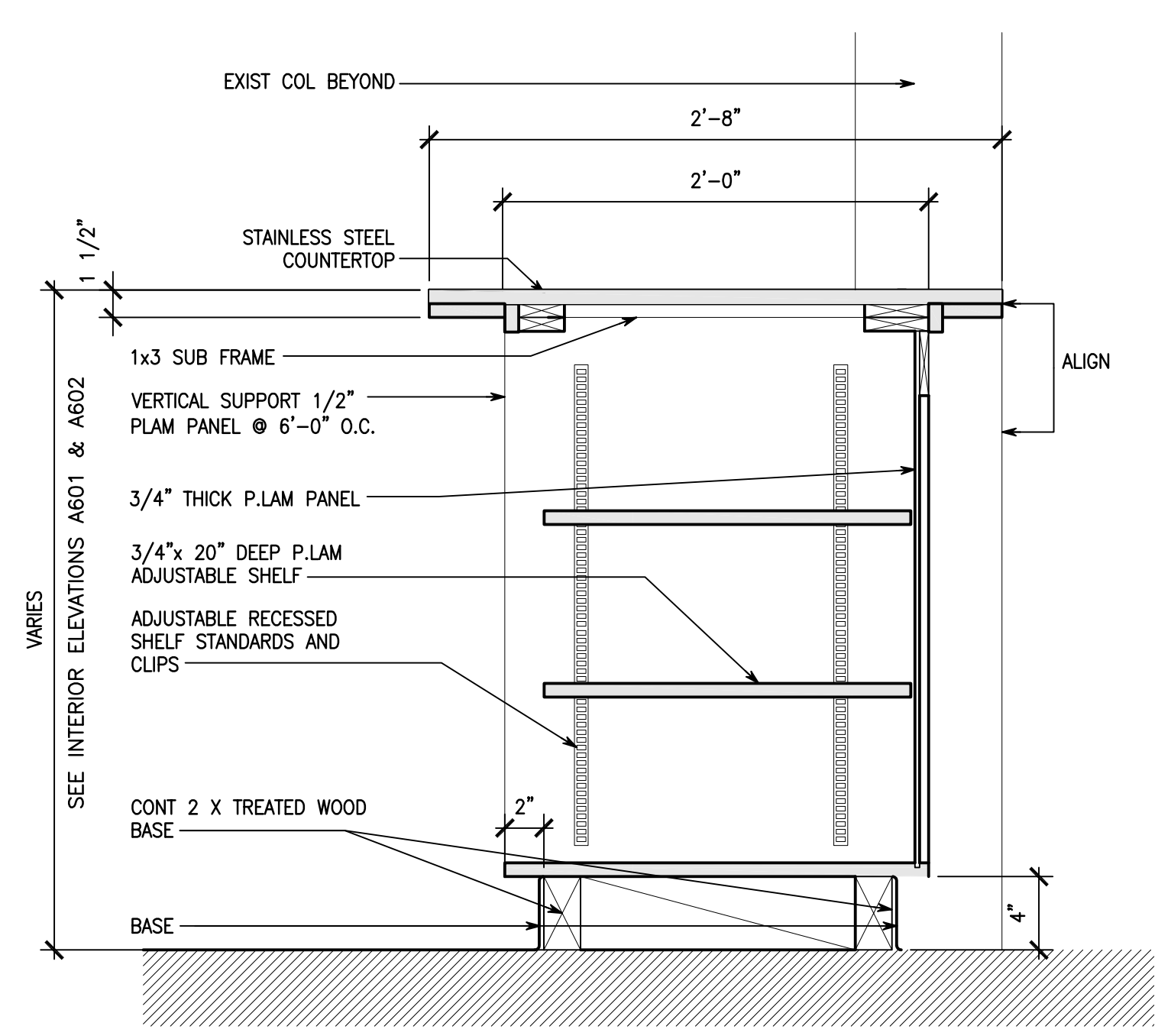
PARTITION & WALL TYPES & DETAILS

DES: DJM	DR: SMV	CHK: JAH	SHEET NO.	TOTAL SHEET COUNT
DATE: 02/21/12	AS-BUILT: -		AB01	60 OF 122

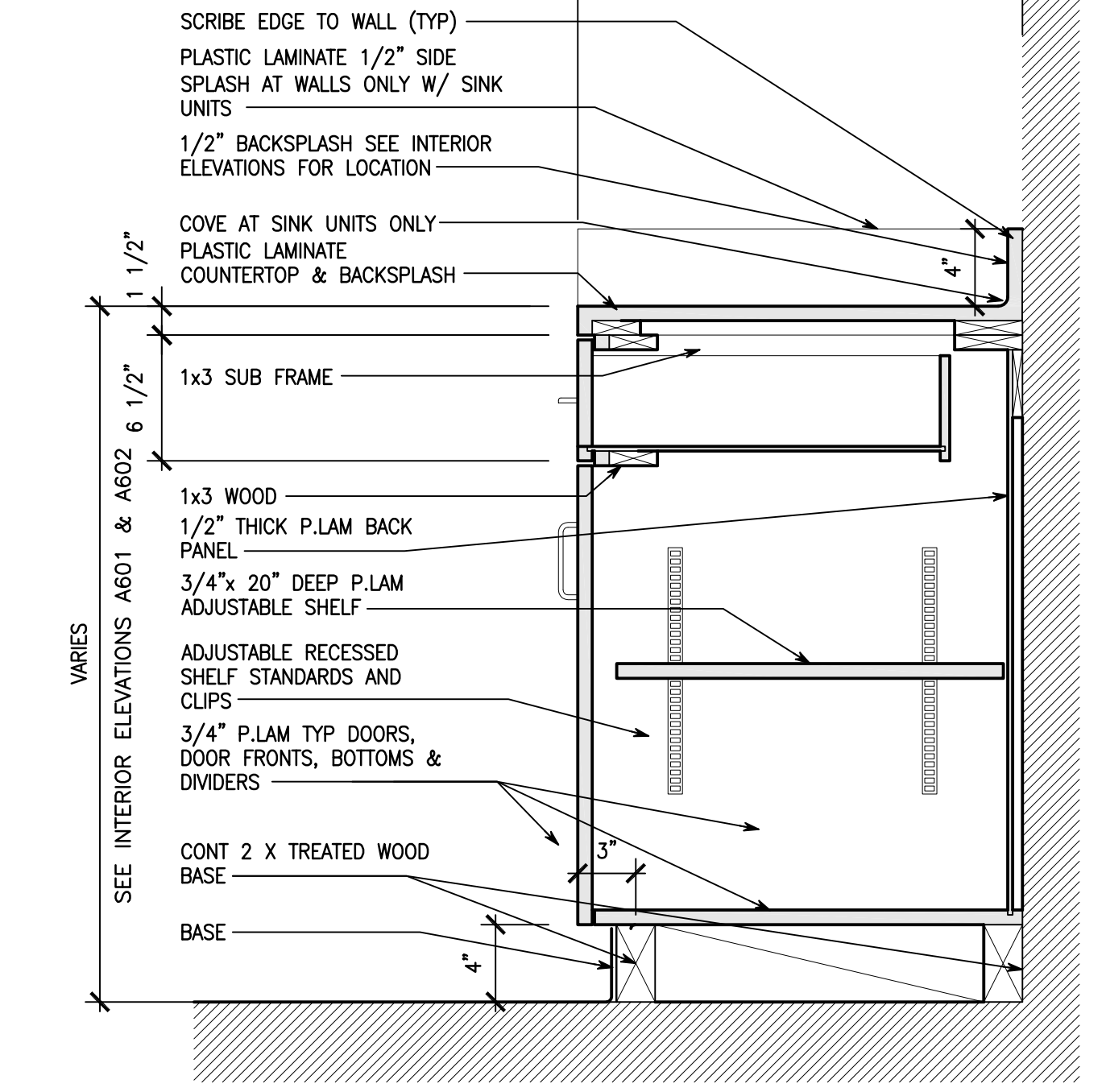
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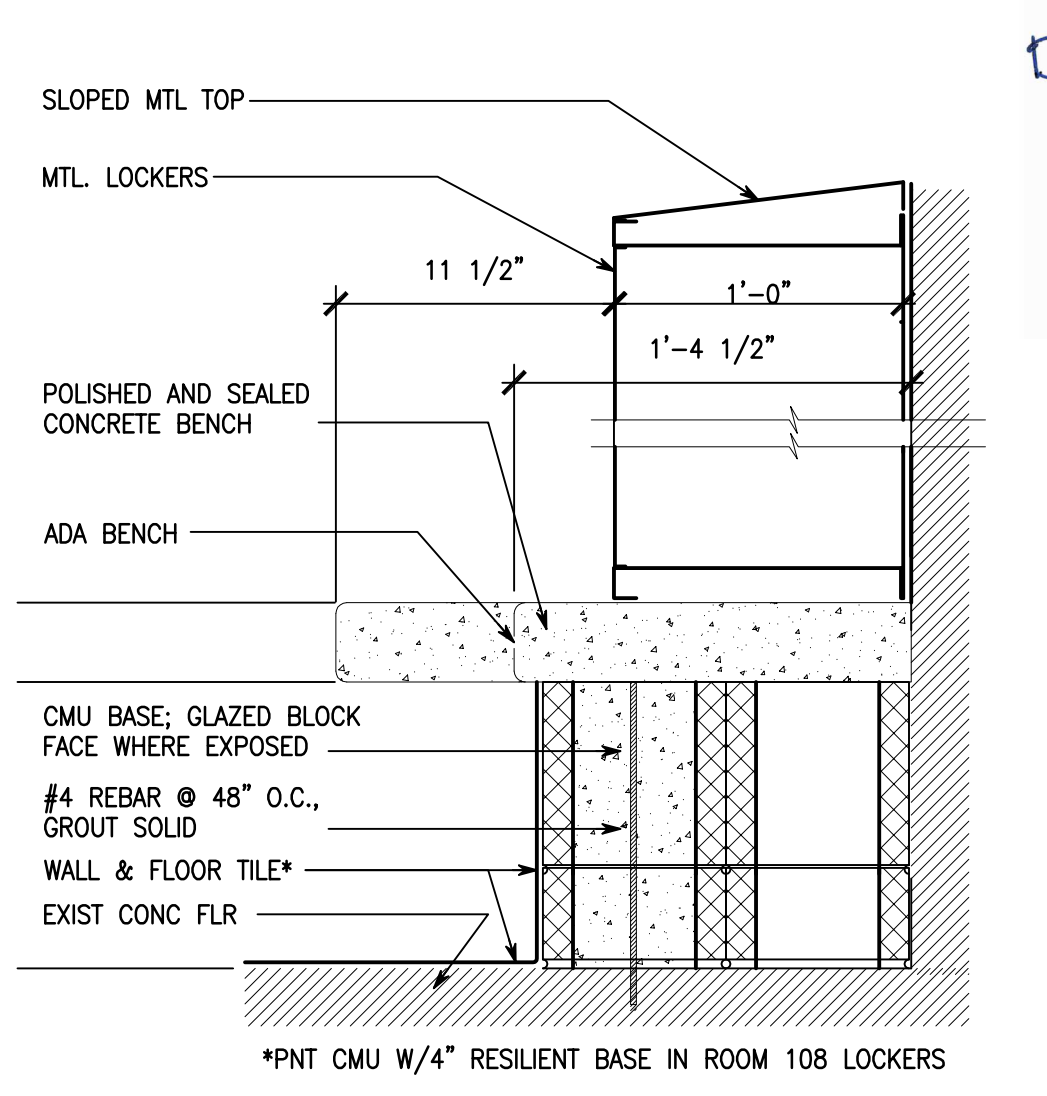
11 OPEN SHELF MILLWORK DETAIL
 SCALE: 1-1/2" = 1'-0"



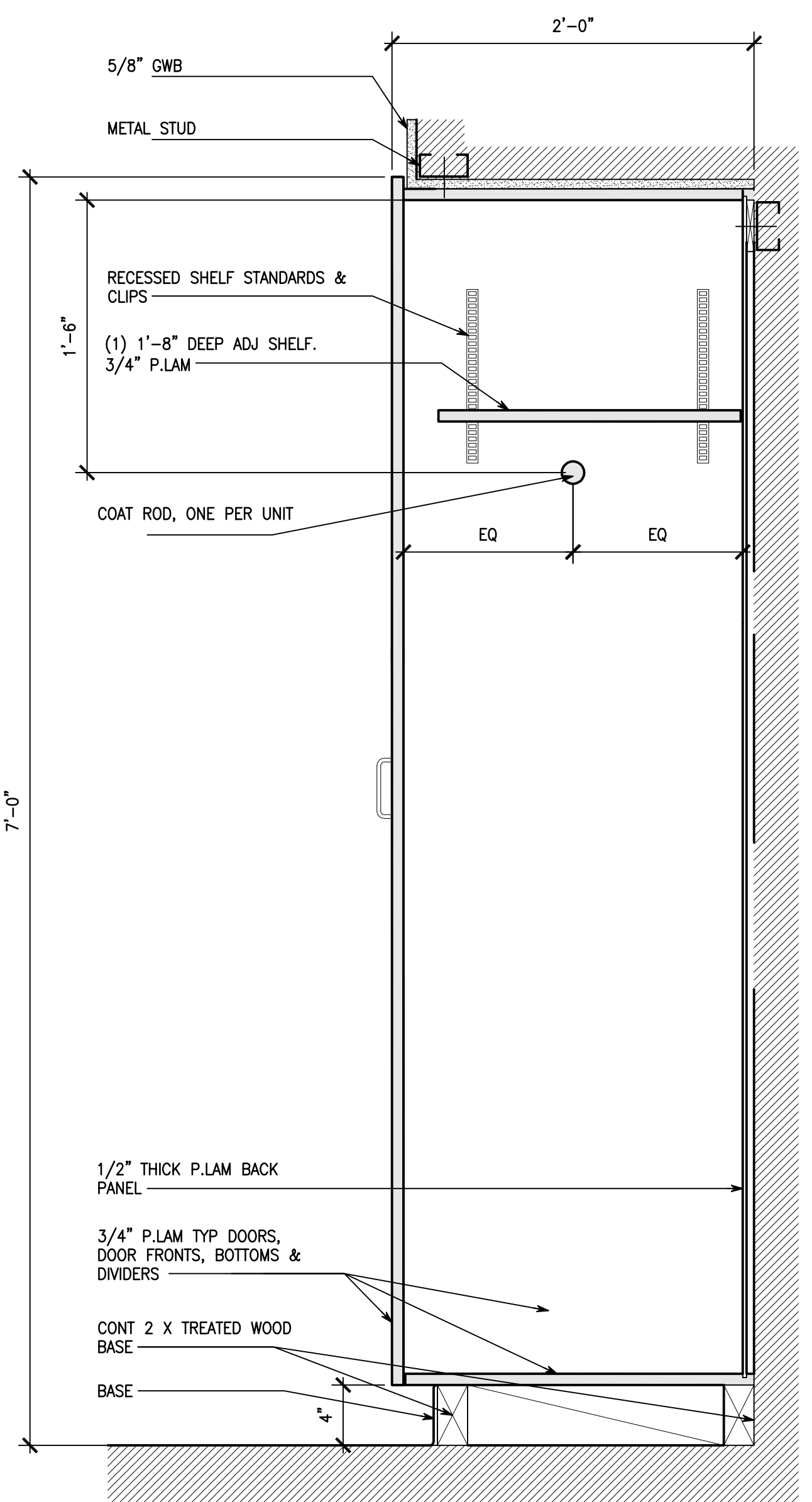
10 COUNTERTOP DETAIL
 SCALE: 1-1/2" = 1'-0"



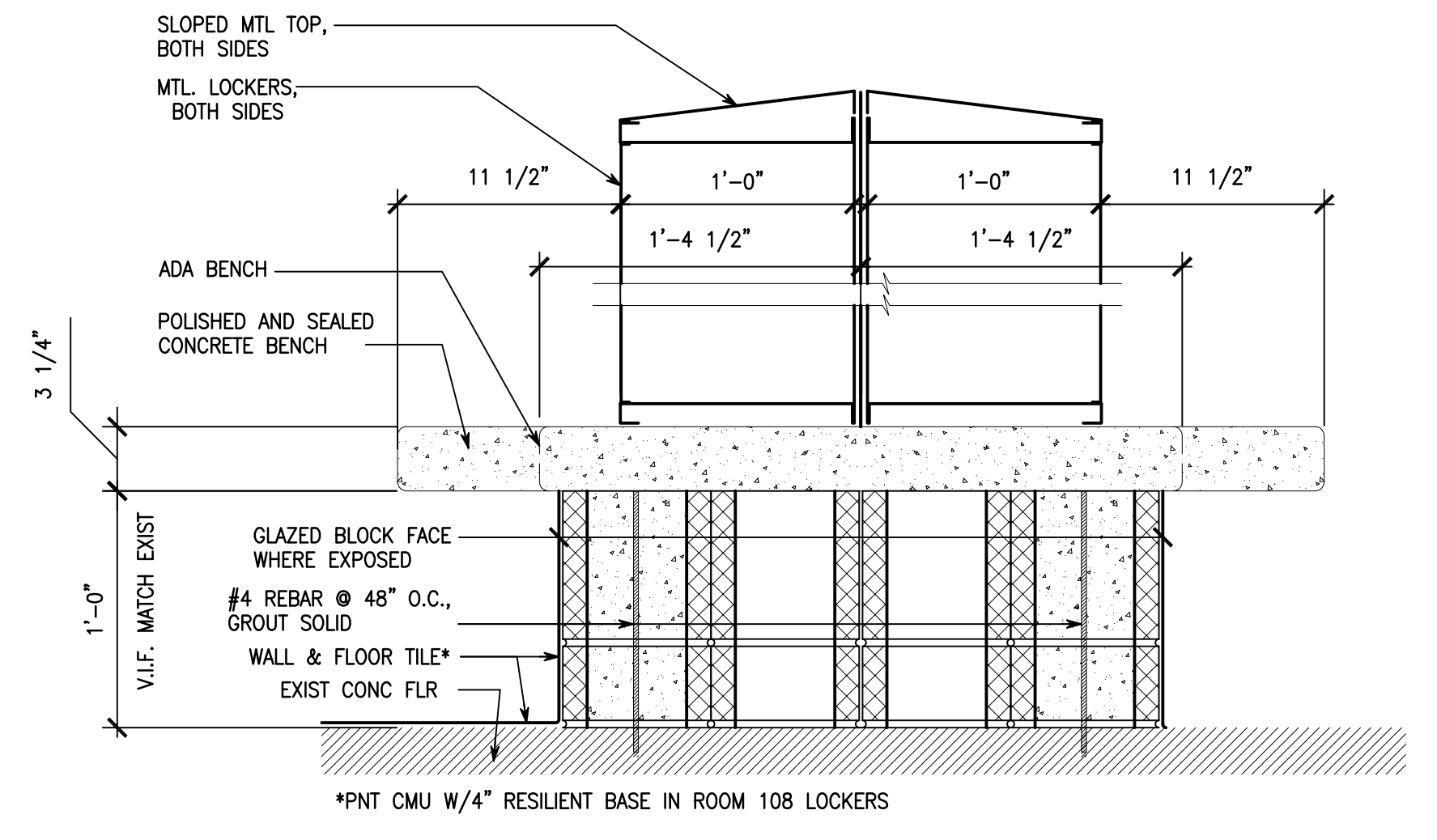
4 BASE CABINET DETAIL
 SCALE: 1-1/2" = 1'-0"



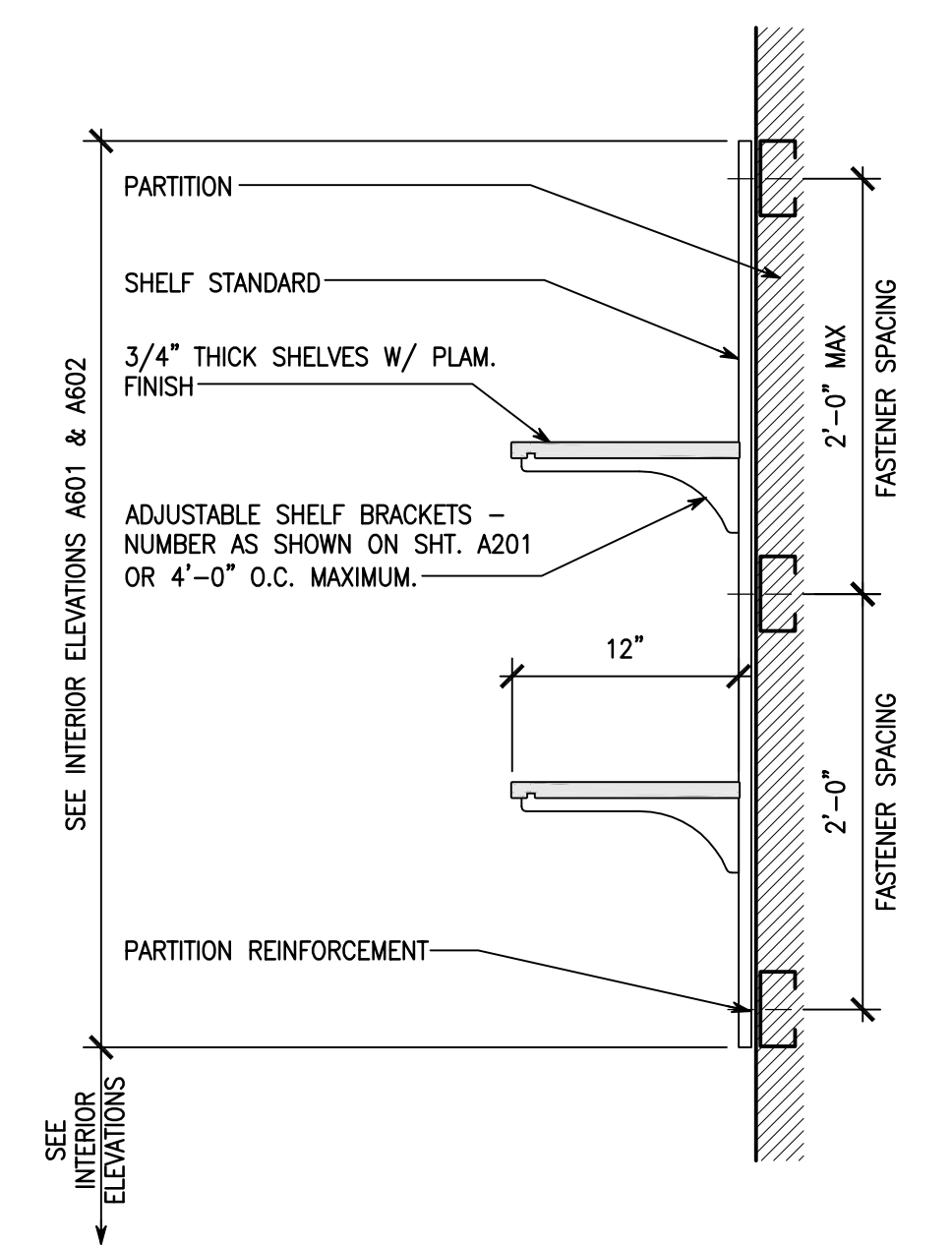
3 LOCKER BASE DETAIL - WALL
 SCALE: 1-1/2" = 1'-0"



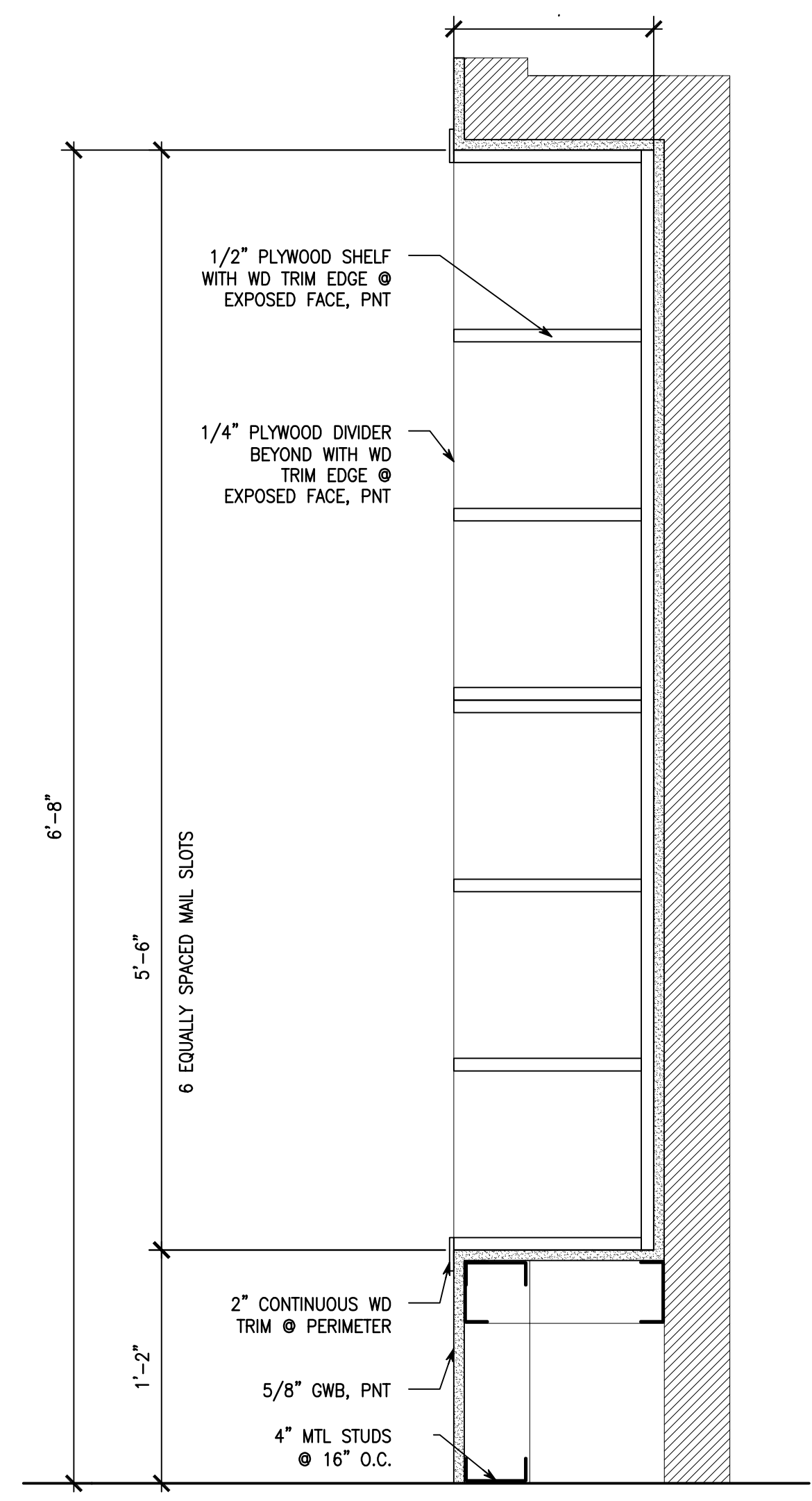
9 WARDROBE MILLWORK DETAIL
 SCALE: 1-1/2" = 1'-0"



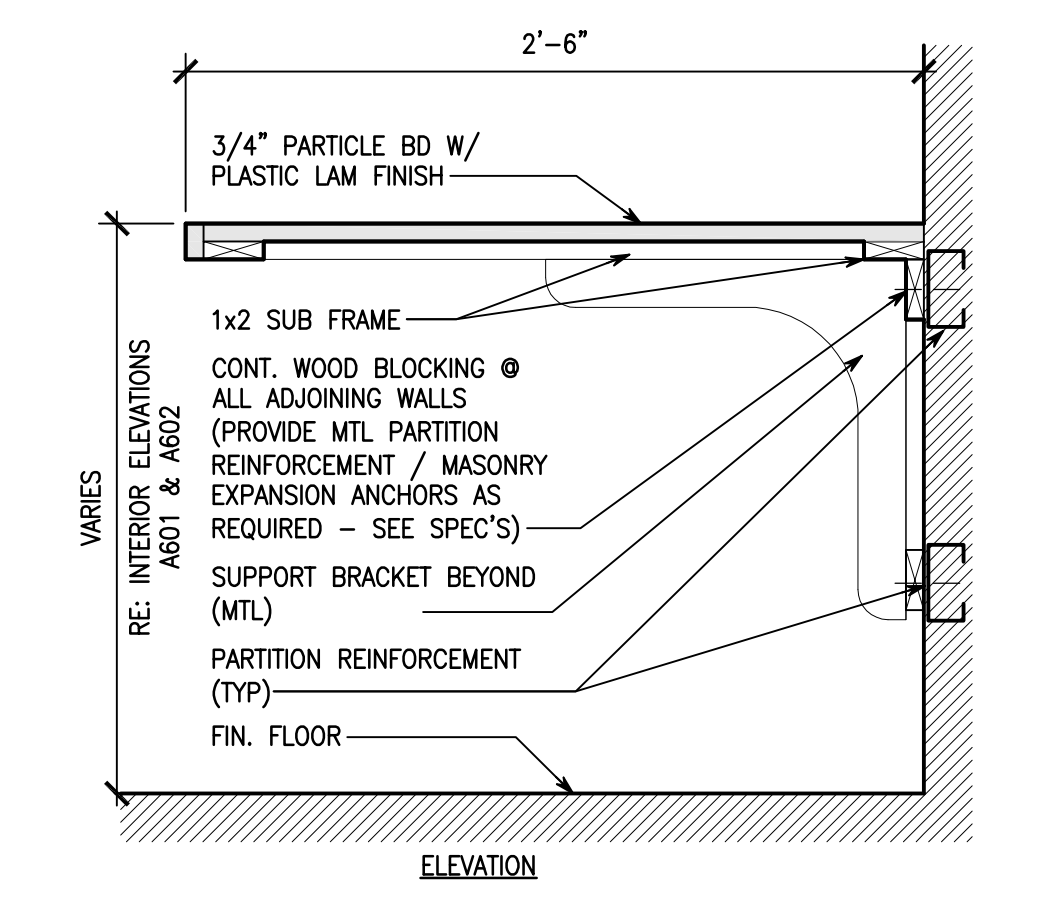
5 LOCKER BASE DETAIL - ISLAND
 SCALE: 1-1/2" = 1'-0"



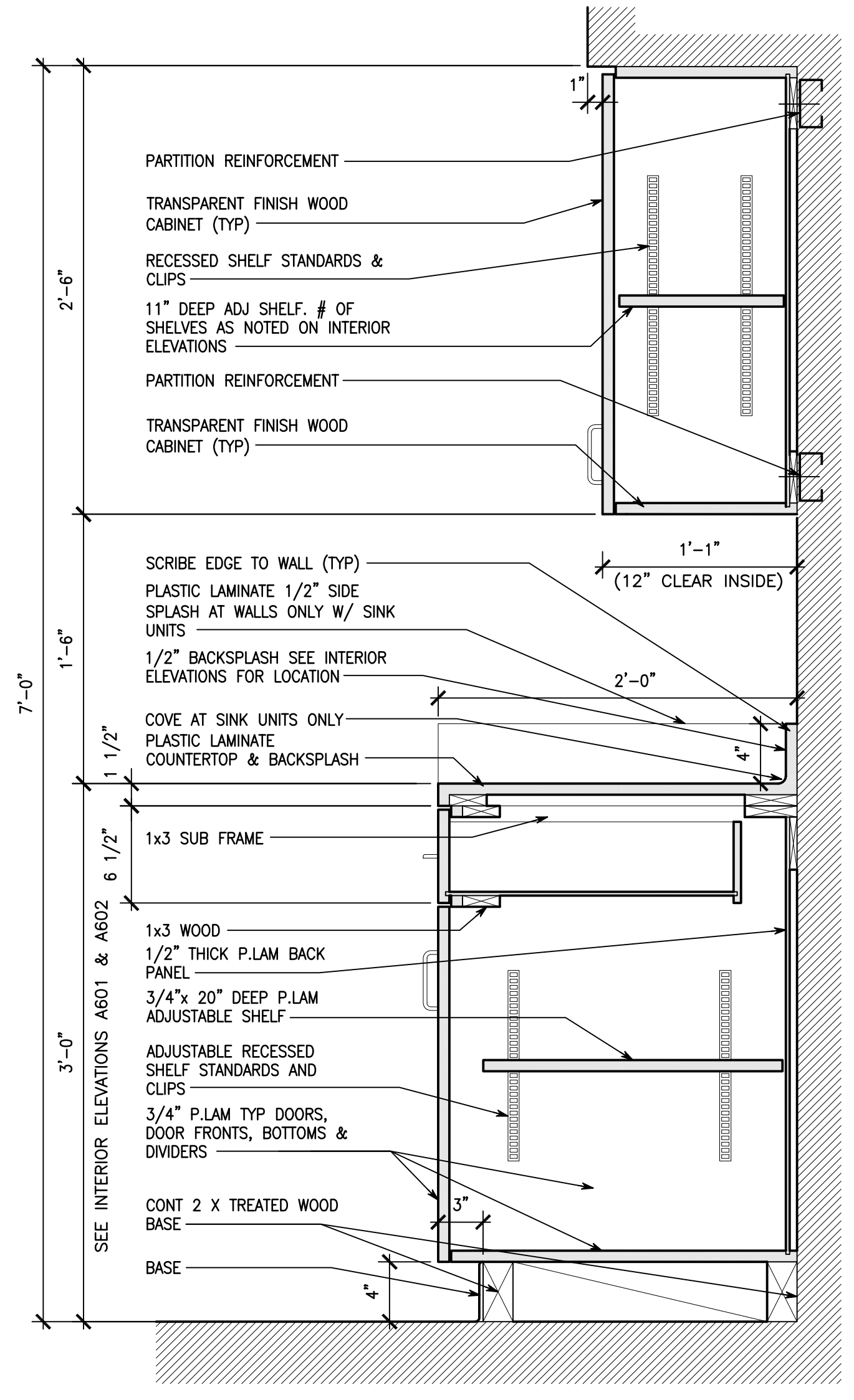
2 TYPICAL MILLWORK DETAIL
 SCALE: 1-1/2" = 1'-0"



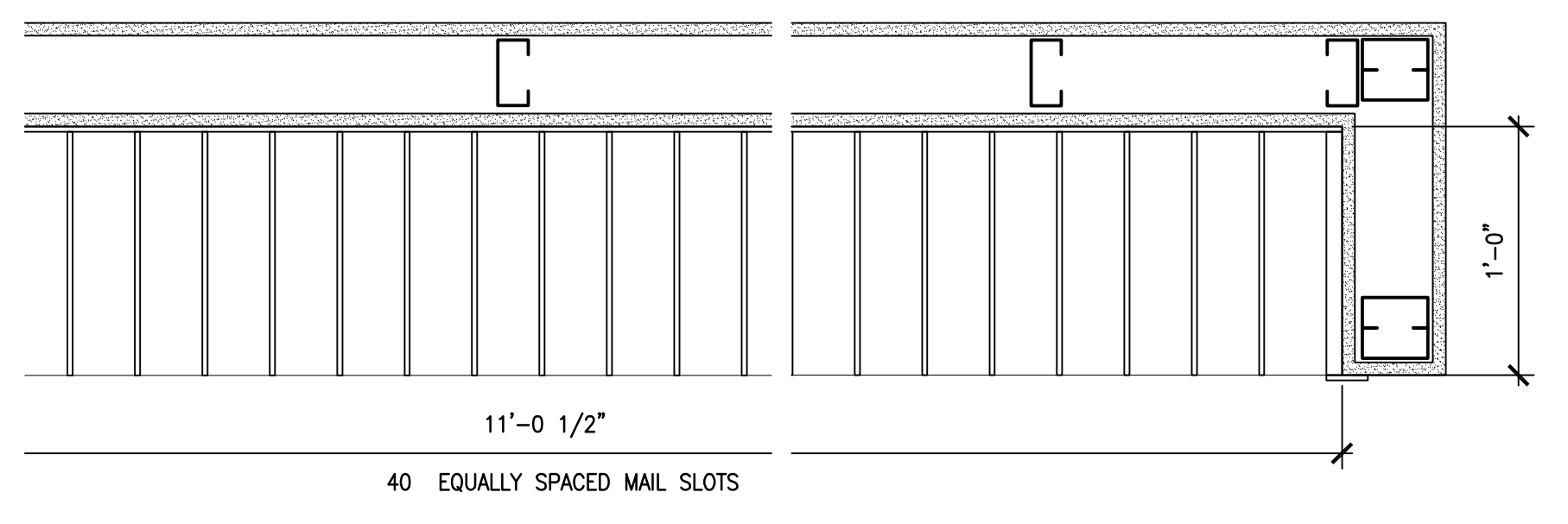
12 MAILBOXES SECTION
 SCALE: 1-1/2" = 1'-0"



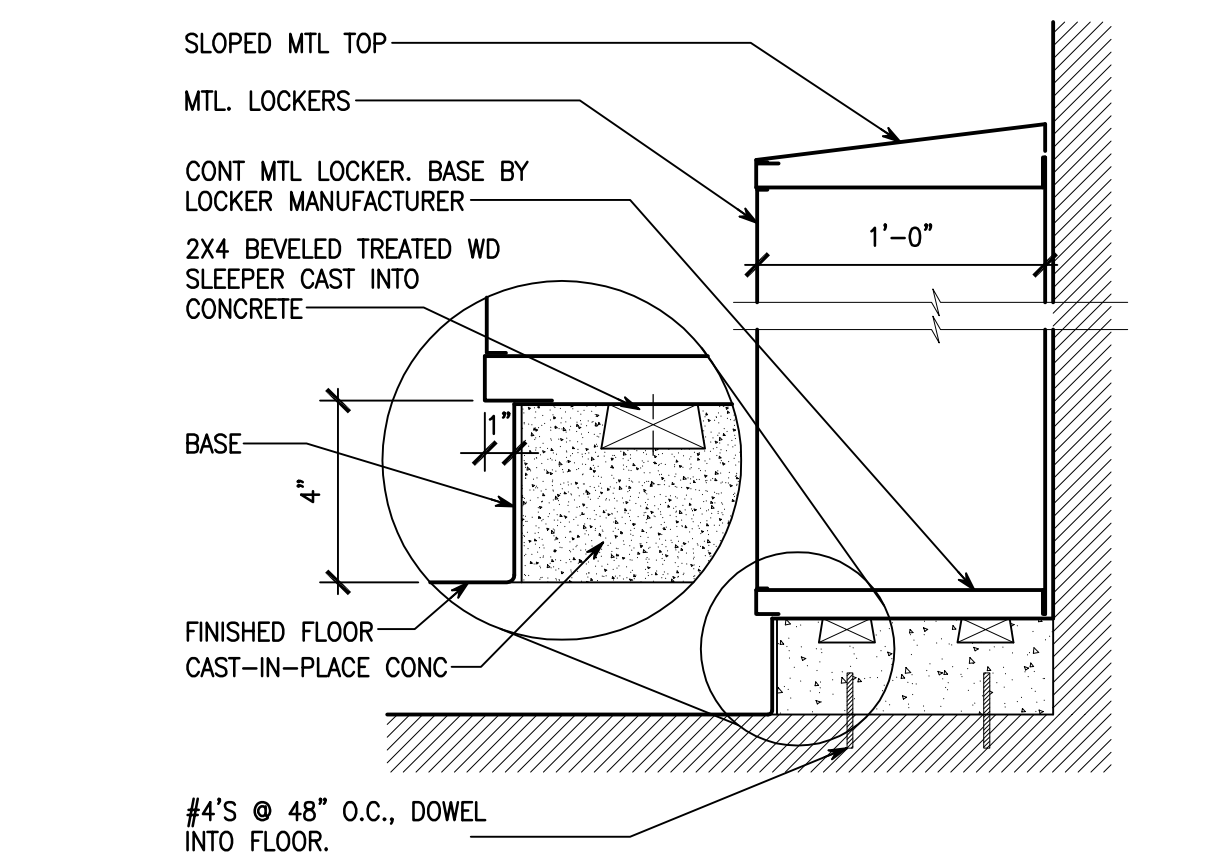
6 COUNTERTOP SUPPORT DETAIL
 SCALE: 1-1/2" = 1'-0"



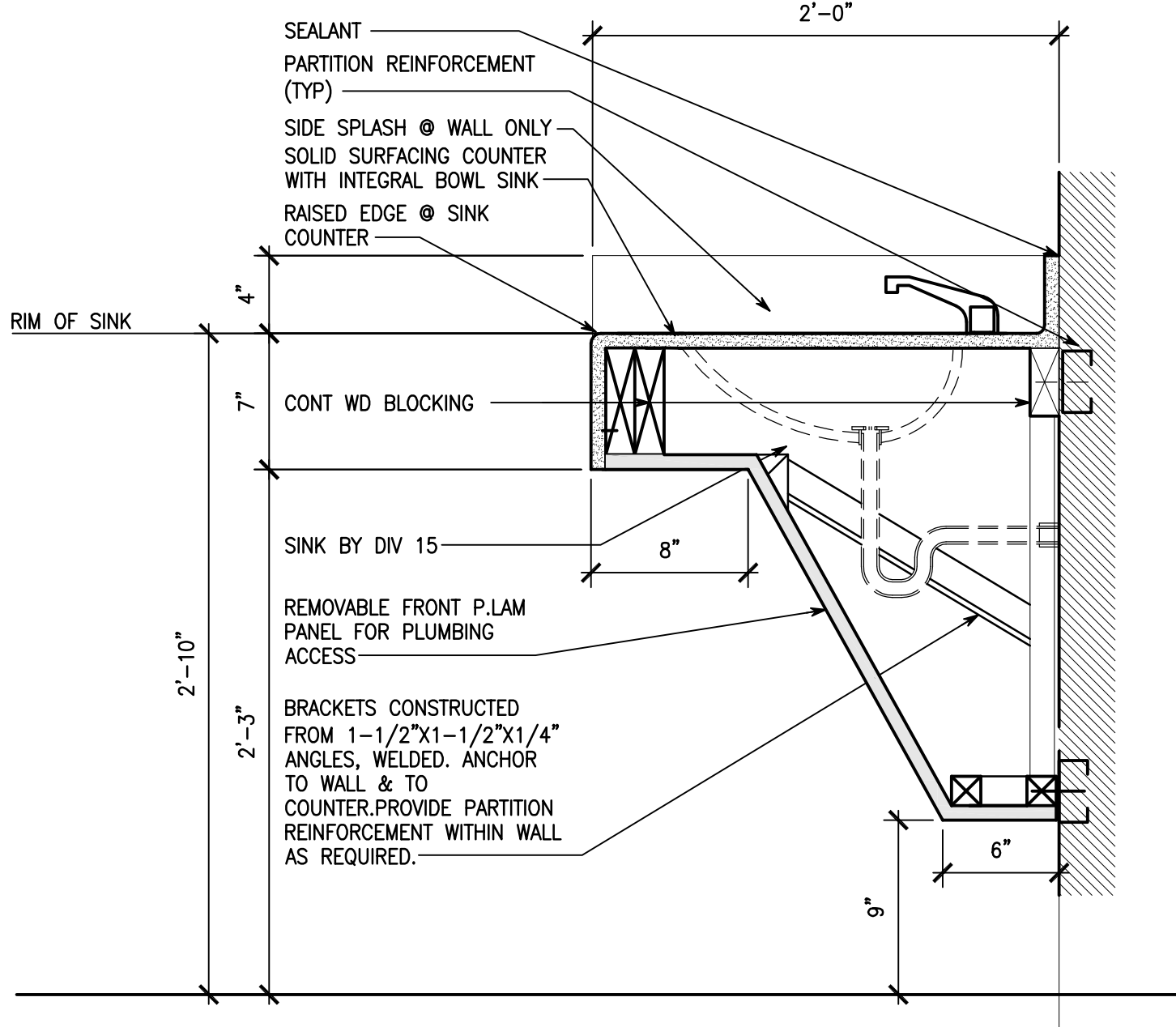
1 TYPICAL MILLWORK DETAIL
 SCALE: 1-1/2" = 1'-0"



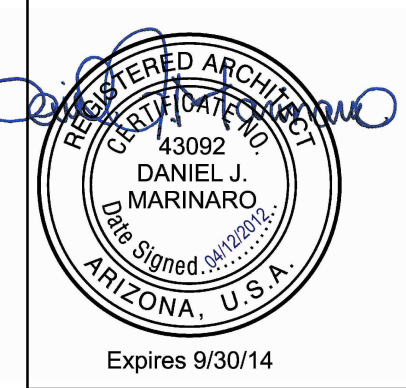
13 MAILBOXES PLAN
 SCALE: 1-1/2" = 1'-0"



8 METAL LOCKER DETAIL
 SCALE: 1-1/2" = 1'-0"

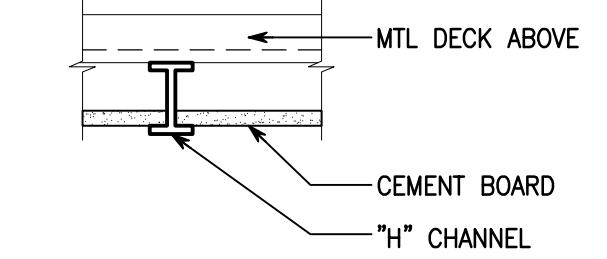


7 TYPICAL MILLWORK DETAIL ACCESSIBLE SINK
 SCALE: 1-1/2" = 1'-0"

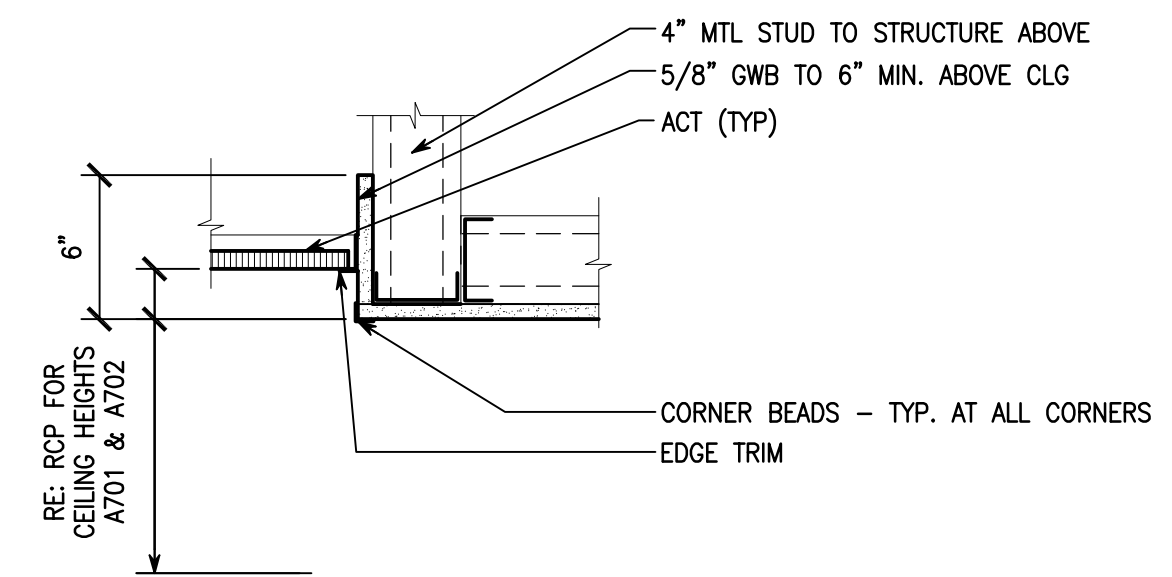


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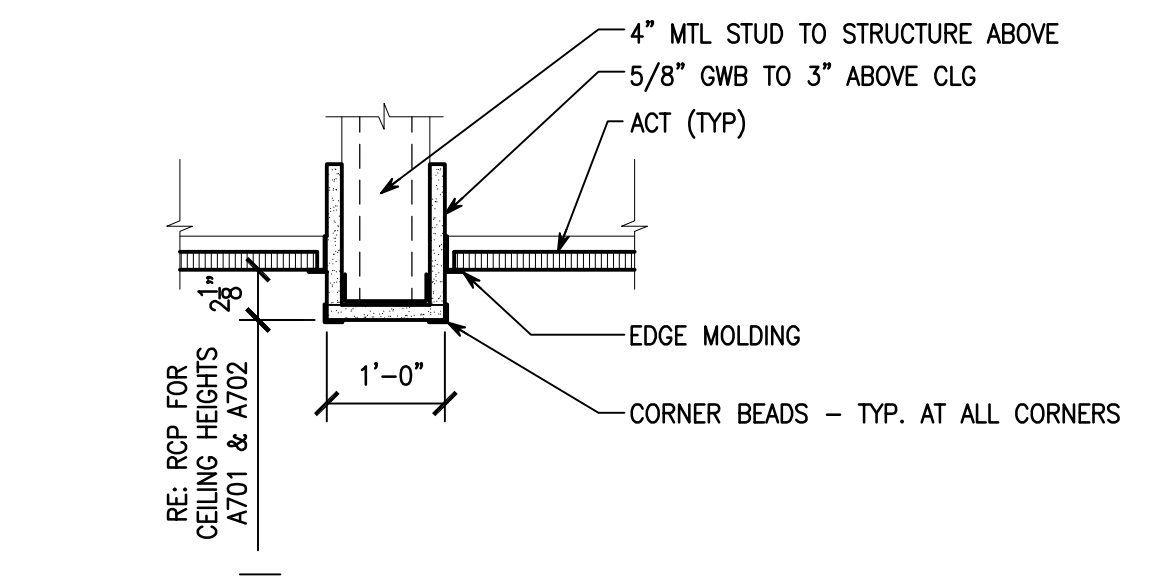
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CHK:	DATE:			
REVISION LOG				
NO.	DESCRIPTION	REV. BY	CKD BY	DATE
1	CITY COMMENTS			4/12/12
2	OWNERS COMMENTS			4/12/12



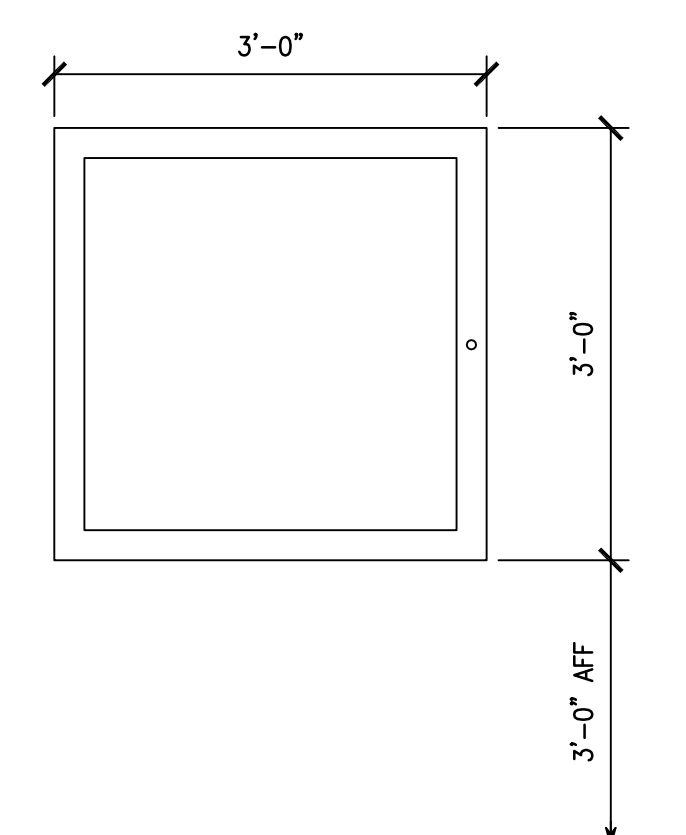
6 CEILING DETAIL
SCALE: 1-1/2" = 1'-0"



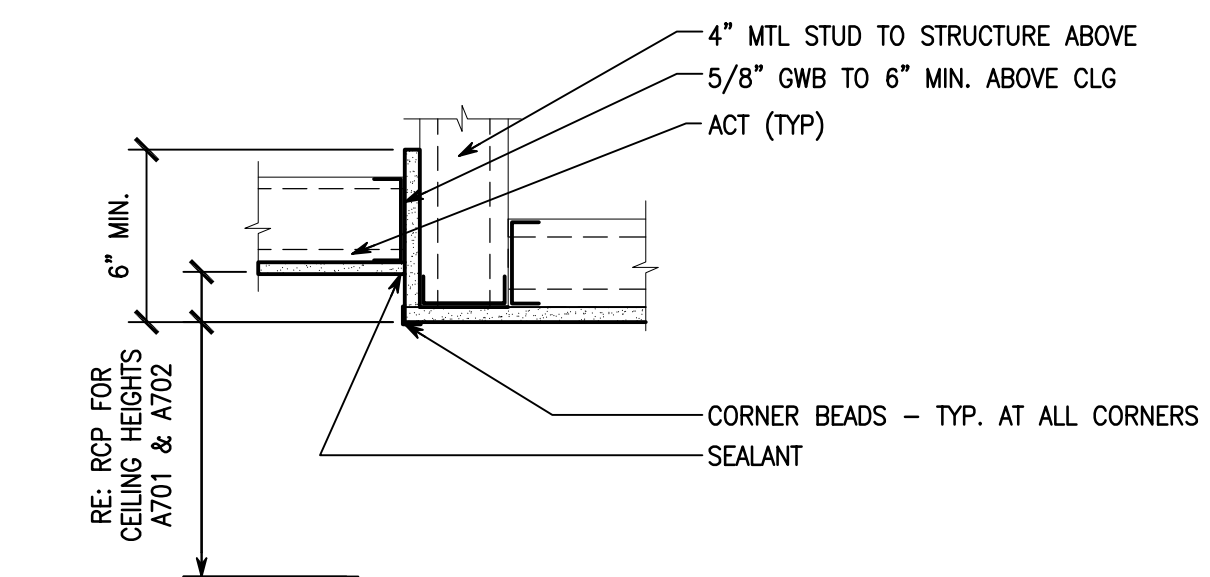
5 CEILING DETAIL
SCALE: 1-1/2" = 1'-0"



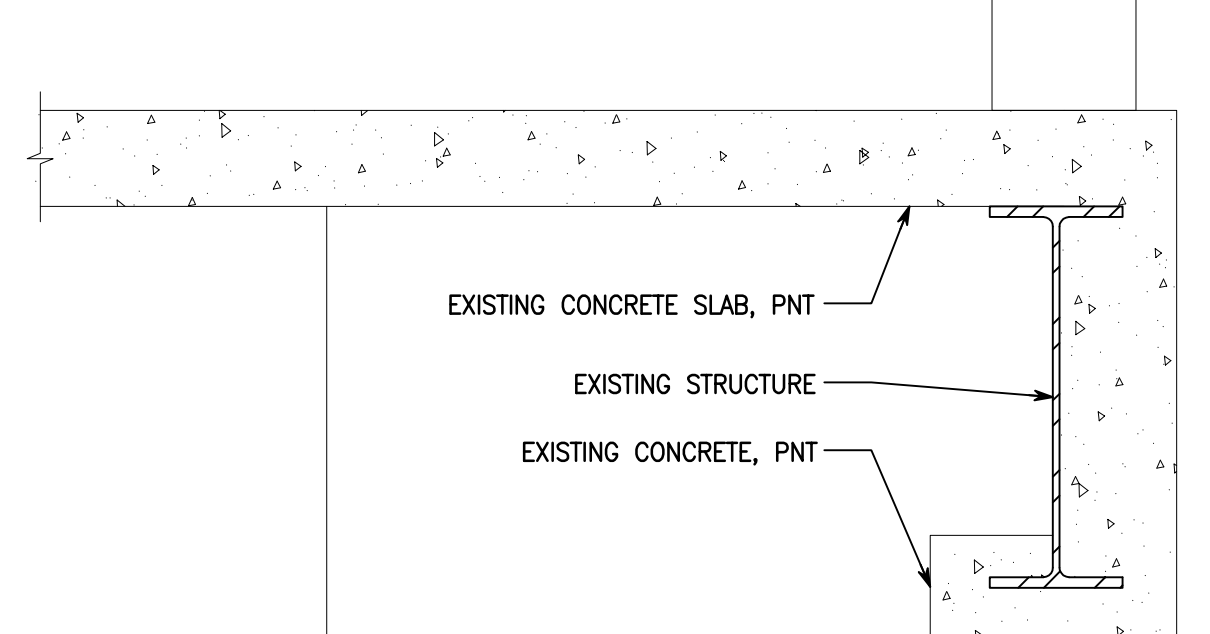
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SCALE: 1-1/2" = 1'-0"



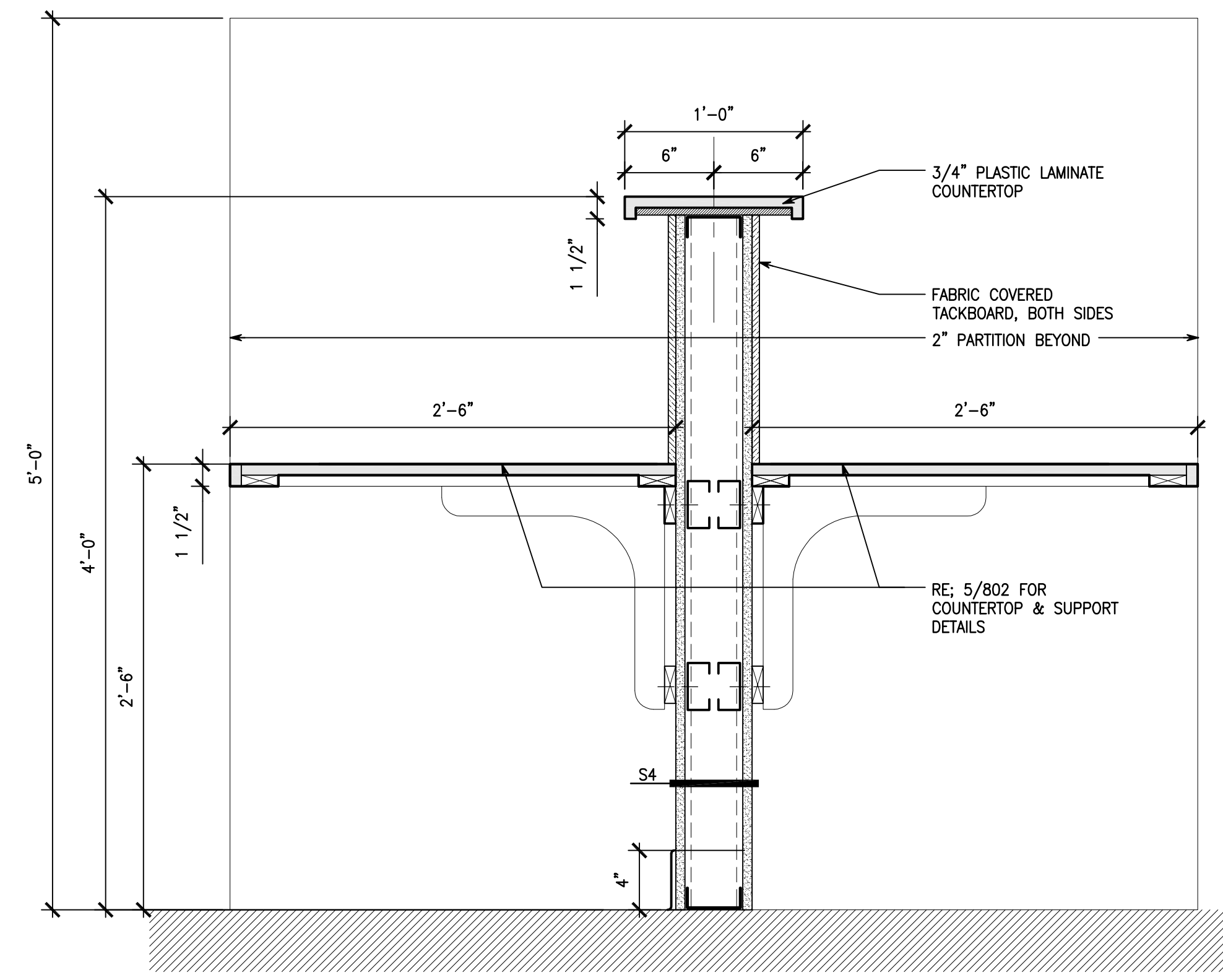
9 DISPLAY BOARD ELEVATION
SCALE: 1-1/2" = 1'-0"



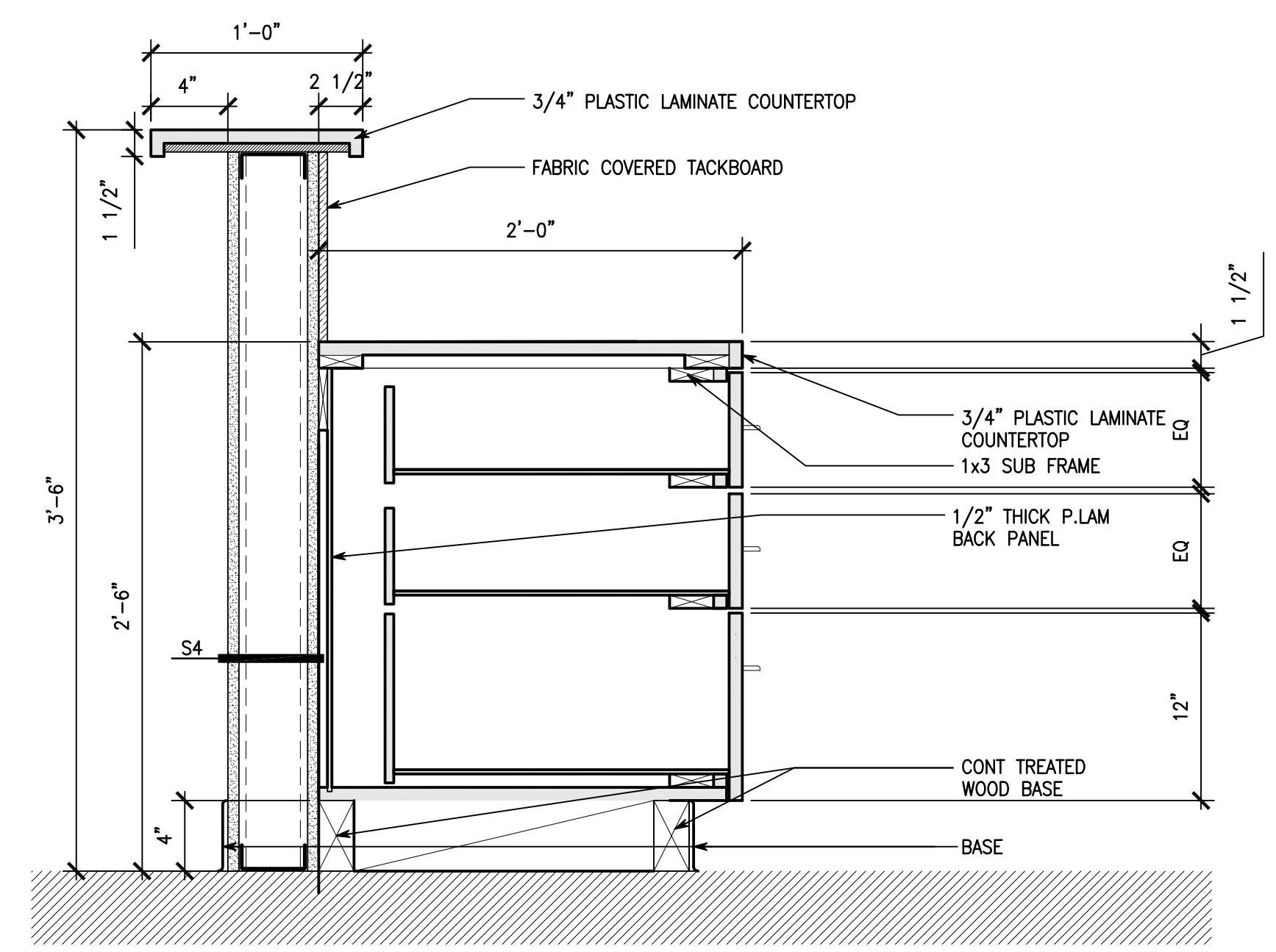
8 CEILING DETAIL
SCALE: 1-1/2" = 1'-0"



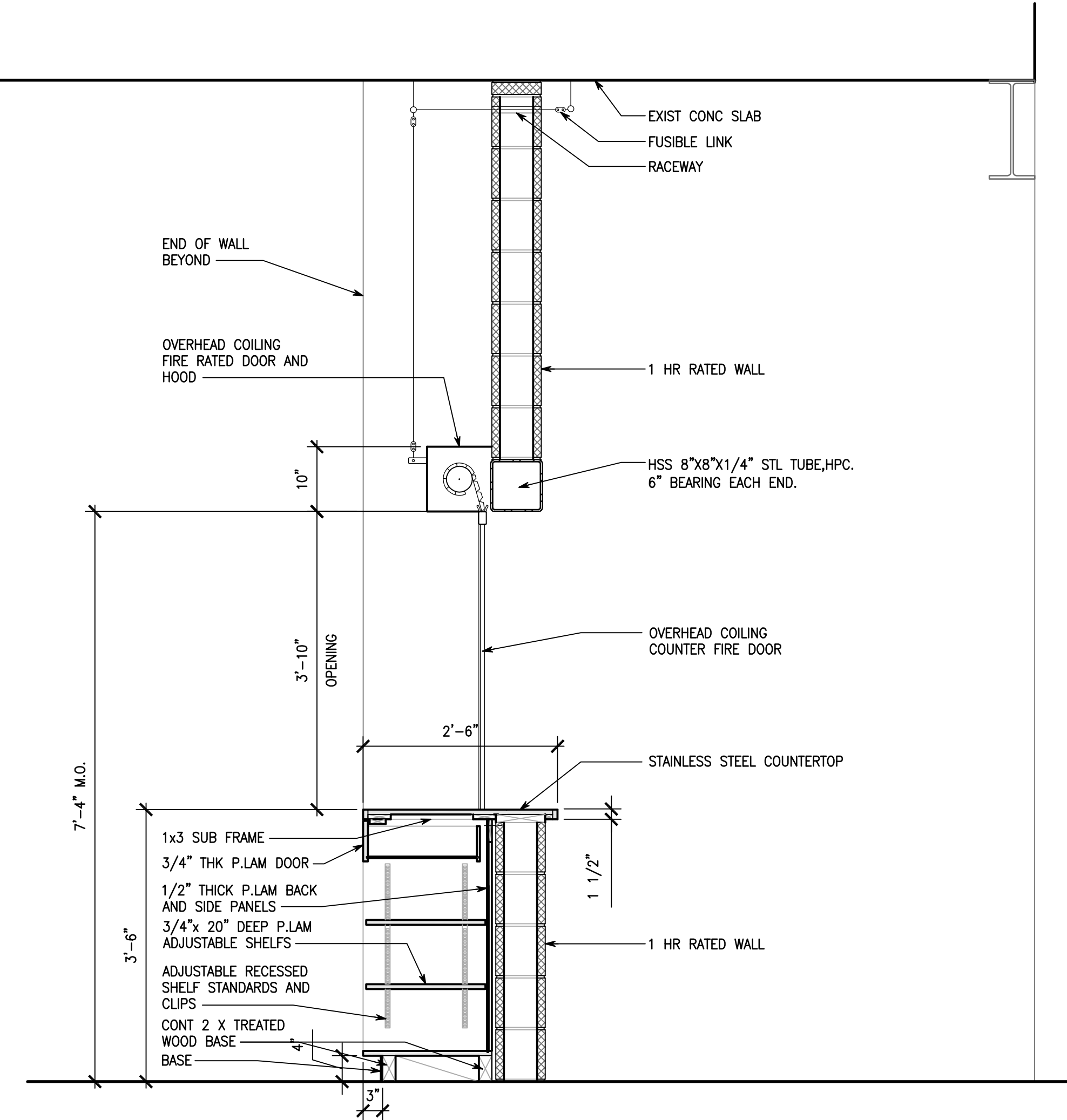
7 CEILING DETAIL
SCALE: 1-1/2" = 1'-0"



2 DISPATCH DESK DETAIL
SCALE: 1-1/2" = 1'-0"



1 SECURITY DESK MILLWORK DETAIL
SCALE: 1-1/2" = 1'-0"



3 PARTS STORAGE COUNTER MILLWORK DETAIL
SCALE: 3/4" = 1'-0"

PER CITY OF PHOENIX ORDINANCE G-4396, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.

**CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION**

**NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA**

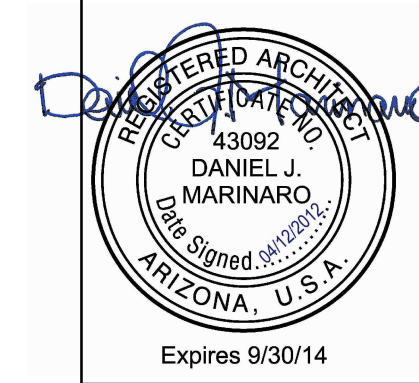
MILLWORK DETAILS

DES: DJM	DR: SMV	CK: JAH	SHEET NO.	TOTAL SHEET COUNT
DATE: 02/21/12	AS-BUILT: -		A803	62 OF 122
SCALE: AS NOTED				

DATE: 02-21-2012 10:51 AM 21 LAYOUT: PARTS STORAGE COUNTER MILLWORK DETAIL 1:8003

ROOM FINISH SCHEDULE

ROOM FINISH SCHEDULE



DESIGN PROFESSIONAL: wendel
DES: DJM
CHK:
DFT:
DATE:
REVISION LOG
NO. DESCRIPTION REV. BY CKD BY DATE
1 CITY COMMENTS 4/12/12
2 OWNERS COMMENTS 4/12/12

Table with columns: ROOM No., ROOM NAME, SURFACE, FLOOR MATERIAL, BASE, WALL MATERIAL, CEILING MATERIAL, CEILING HEIGHT, MILLWORK, NOTES. Rows 101-147.

Table with columns: ROOM No., ROOM NAME, SURFACE, FLOOR MATERIAL, BASE, WALL MATERIAL, CEILING MATERIAL, CEILING HEIGHT, MILLWORK, NOTES. Rows 148-243.

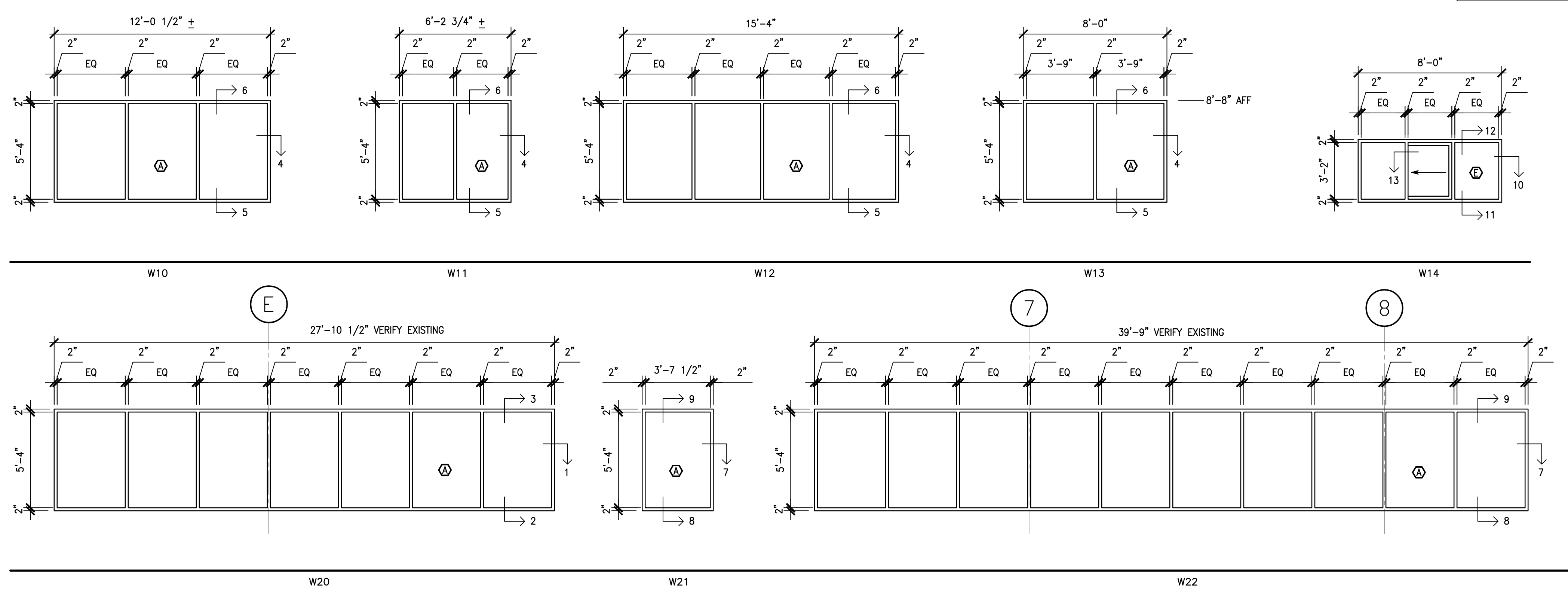
- NOTES:
1. REFER TO INTERIOR ELEVATIONS, A602, FOR WALL TILE PATTERNS.
2. PROVIDE PAINT TO EXISTING HANDRAIL, BALLUSTRADE, POSTS AND STRINGERS. PREP AS NECESSARY.
3. PAINT WALLS FULL HEIGHT - CMU AND METAL PANEL ABOVE. ALLOW FOR CMU TO BE PAINTED ONE COLOR AND METAL PANEL ANOTHER COLOR.
4. PREP AND PAINT EXISTING OVERHEAD SECTIONAL DOORS WITH ACRYLIC LATEX EXTERIOR PAINT.
5. PREP AND PROVIDE TRAFFIC COATING TO EXIST CONC FLOOR. REPAINT ALL EXISTING FLOOR MARKINGS TO MATCH EXISTING LOCATIONS AND COLORS.
6. PREP FLOOR FOR STATIC-CONTROL RESILIENT FLOORING FINISH.

CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA
ROOM FINISH SCHEDULE
DES: DJM DR: SMV CK: JAH SHEET TOTAL
DATE: 02/21/12 AS-BUILT: - NO. SHEET COUNT
SCALE: AS NOTED A901 63 OF 122

02/21/2012 10:48:11 AM C:\PROJECTS\NORTH TRANSIT FACILITY REFURBISHMENT\PT-96130004-FTA\ROOM FINISH SCHEDULE.dwg

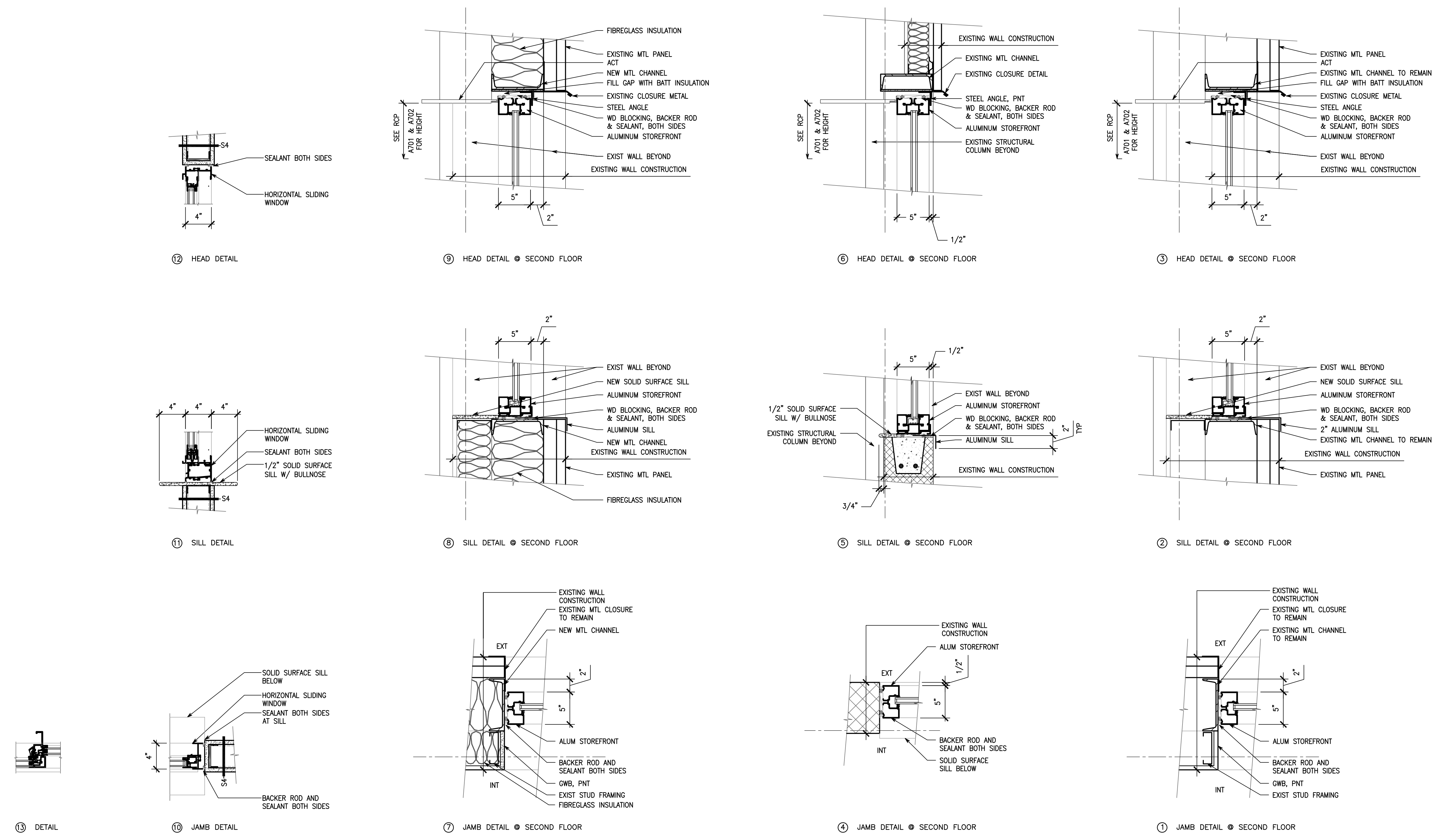


DESIGN PROFESSIONAL:			
DES:	DFT:	7227 N. 16th Street, Suite 140 Phoenix, AZ 85020	
CHK:	DATE:	www.wendelcompanies.com p: 716.888.0700 f: 716.888.8825	
REVISION LOG			
NO.	DESCRIPTION	REV. BY	CHK. BY
1	CITY COMMENTS		4/12/12
2	OWNERS COMMENTS		4/12/12



GLAZING SCHEDULE	
Ⓐ	1" LOW-E INSULATING GLASS
Ⓑ	1/4" ANNEALED GLASS
Ⓒ	1/4" FIRE-RATED GLAZING
Ⓓ	1/4" TEMPERED GLASS
Ⓔ	1" INSULATING GLASS
Ⓕ	1" LOW-E INSULATING SAFETY GLASS

1 WINDOW FRAME TYPES
1/4" = 1'-0"

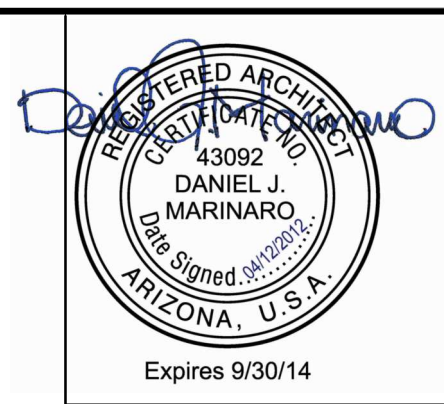


2 WINDOW DETAILS
1-1/2" = 1'-0"

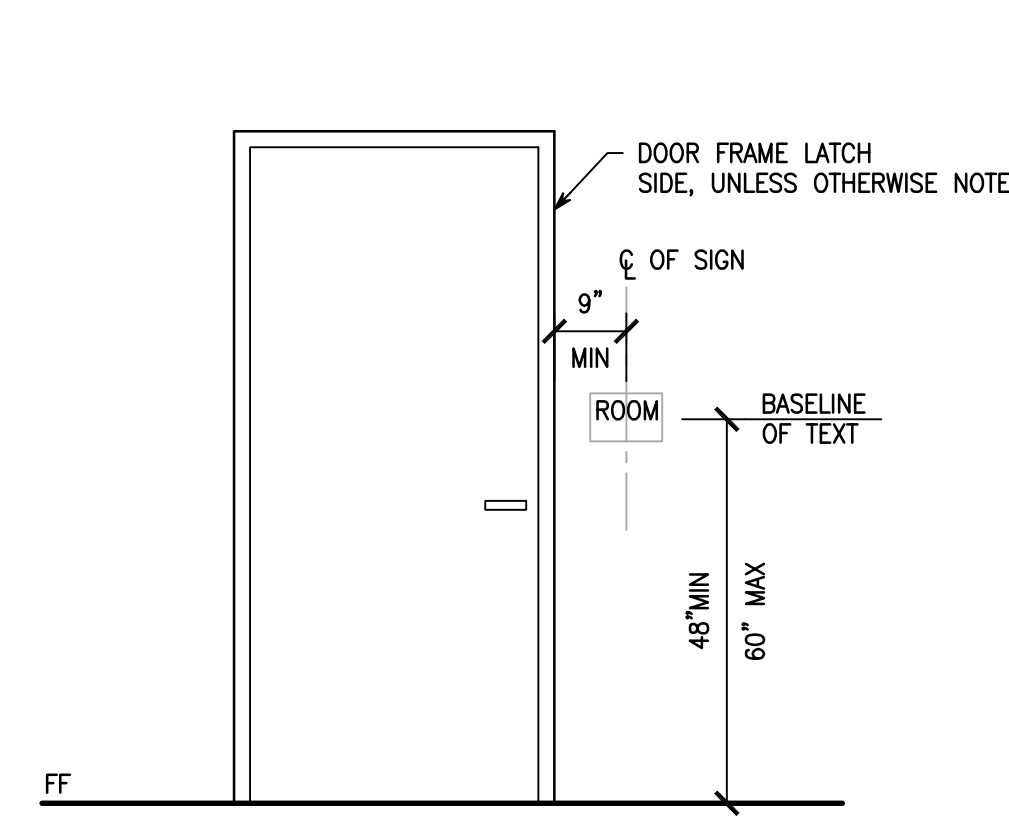
PER CITY OF PHOENIX ORDINANCE G-4396, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.

CITY OF PHOENIX, ARIZONA
PUBLIC FACILITIES DEPARTMENT
FACILITIES DIVISION
NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA
GLAZING SCHEDULE & DETAILS

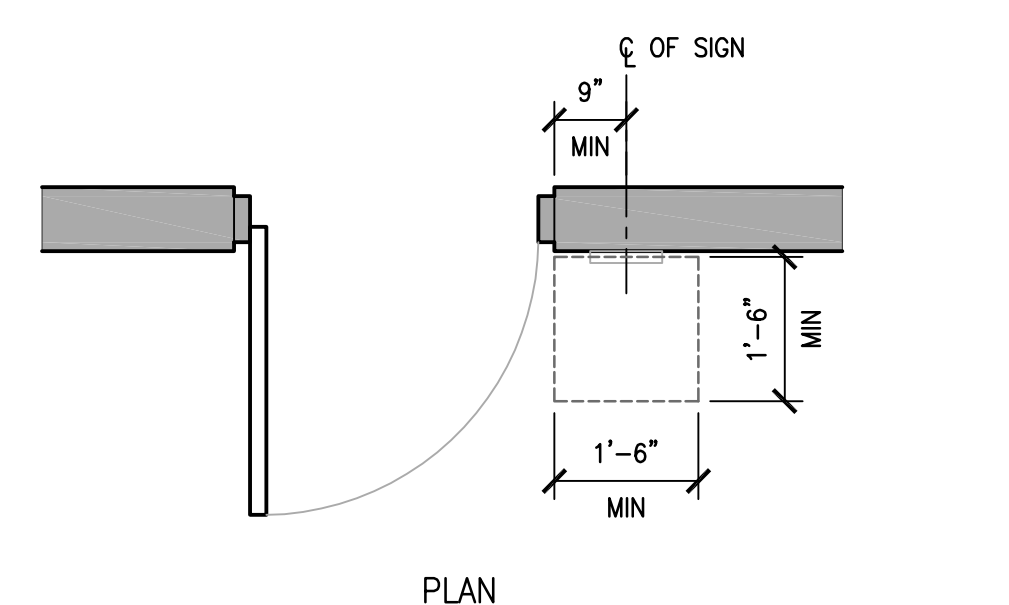
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DATE: 02/21/12	AS-BUILT: -		A903	65 OF 122
SCALE: AS NOTED				



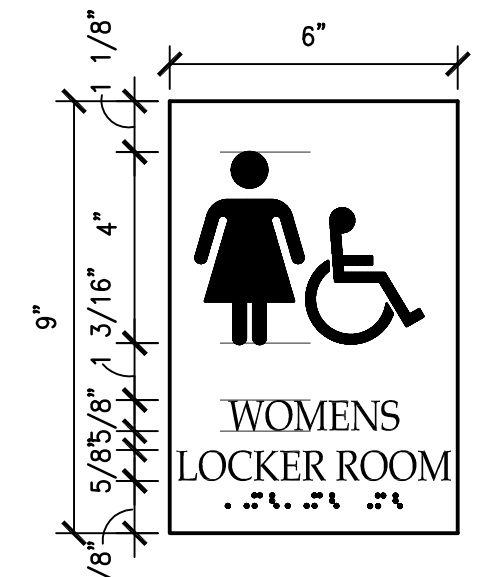
DESIGN PROFESSIONAL:			
DES:	DFT:	7227 N. 16th Street, Suite 140 Phoenix, AZ 85020	
CHK:	DATE:	www.wendel.com 607-888-0700 • 5716-822-8825 ARCHITECTURE • ENGINEERING • PLANNING ENERGY SERVICES • CONSTRUCTION MANAGEMENT	
REVISION LOG			
NO.	DESCRIPTION	REV. BY	DATE
1	CITY COMMENTS		4/12/12
2	OWNERS COMMENTS		4/12/12



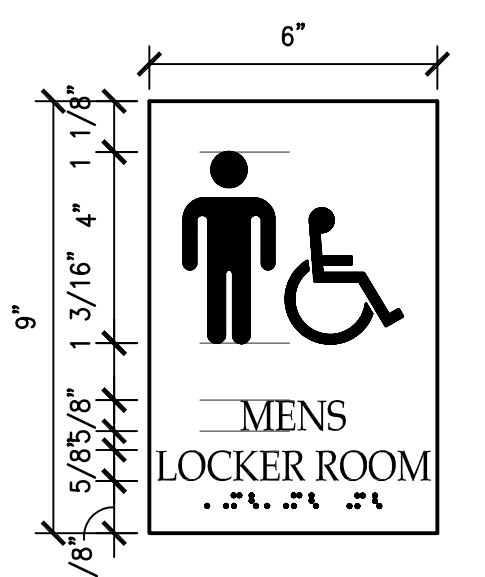
ELEVATION



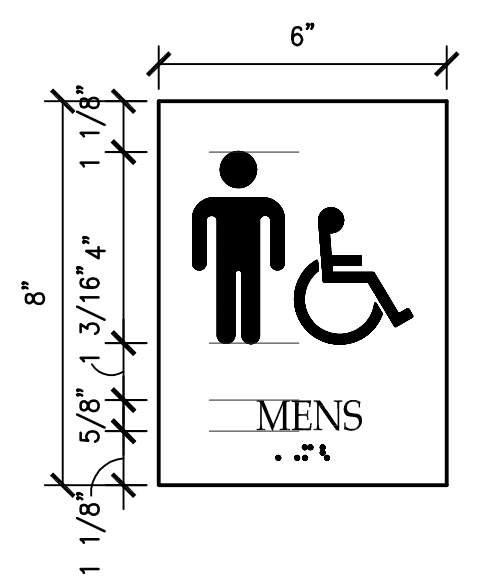
PLAN



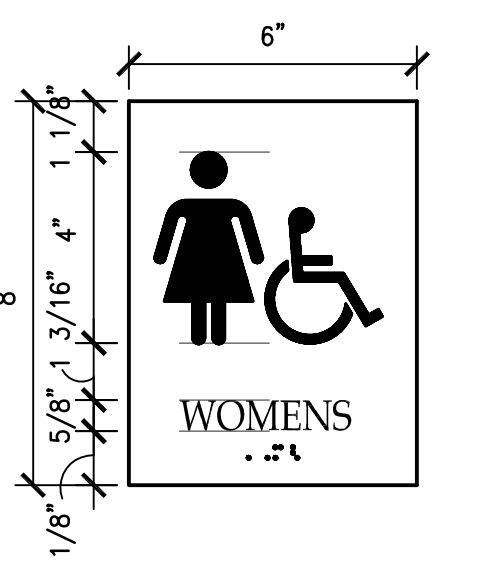
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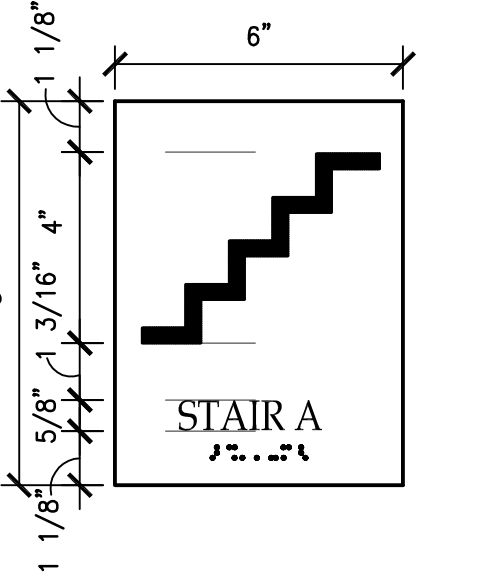
TYPE: 2



TYPE: 3



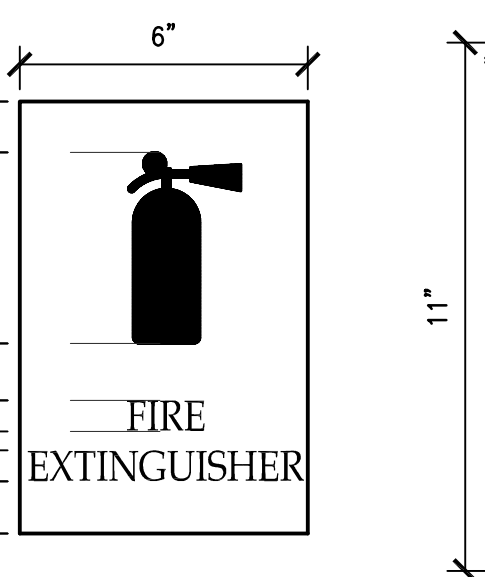
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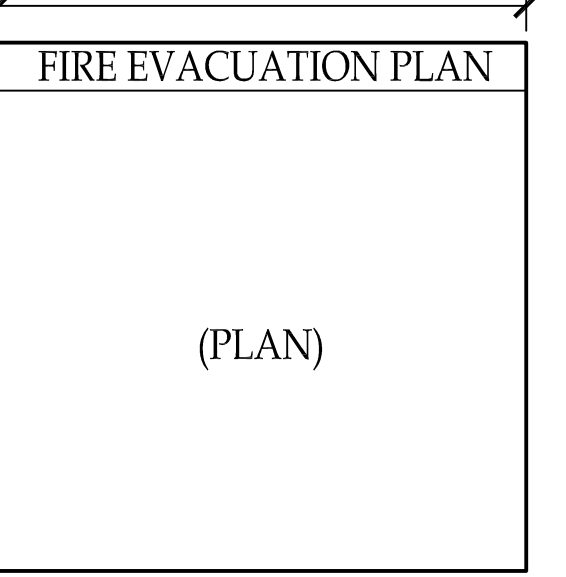
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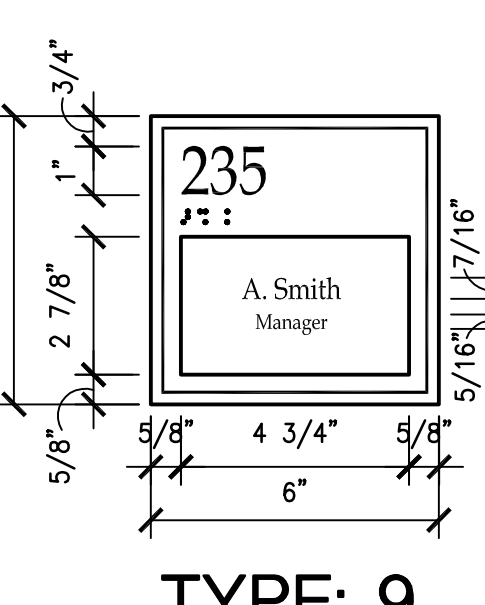
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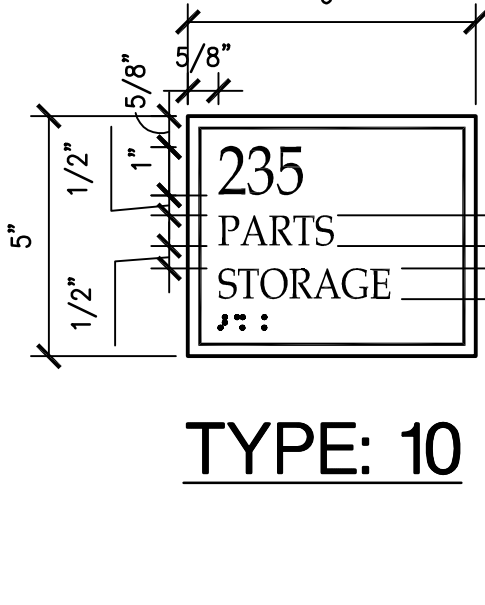
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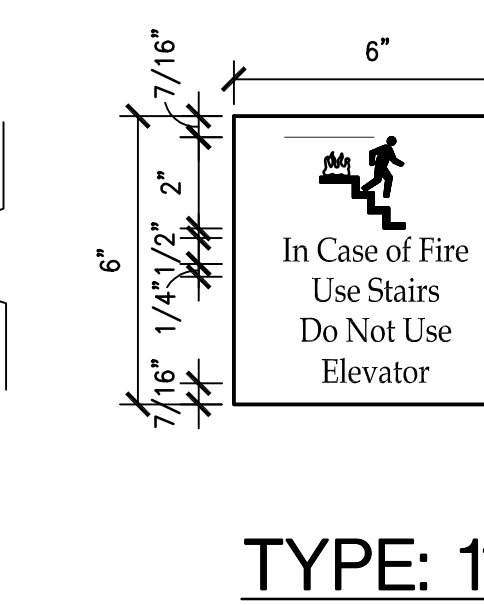
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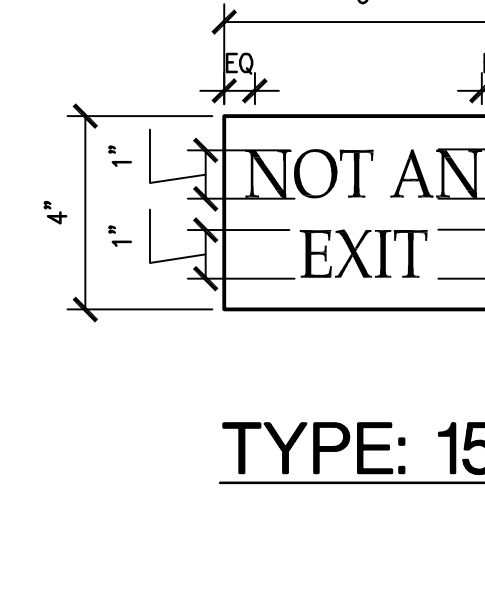
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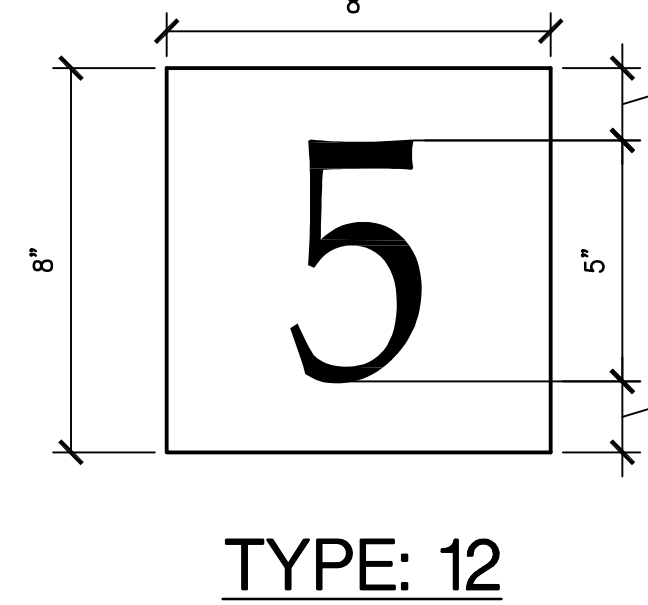
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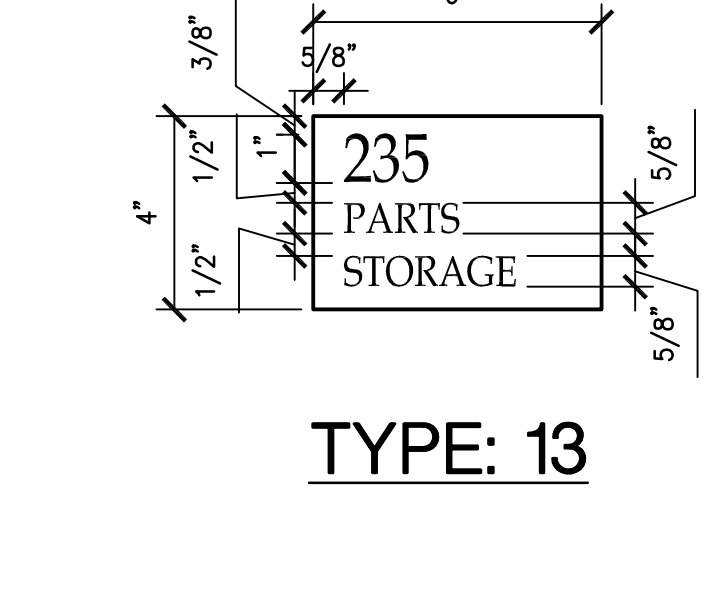
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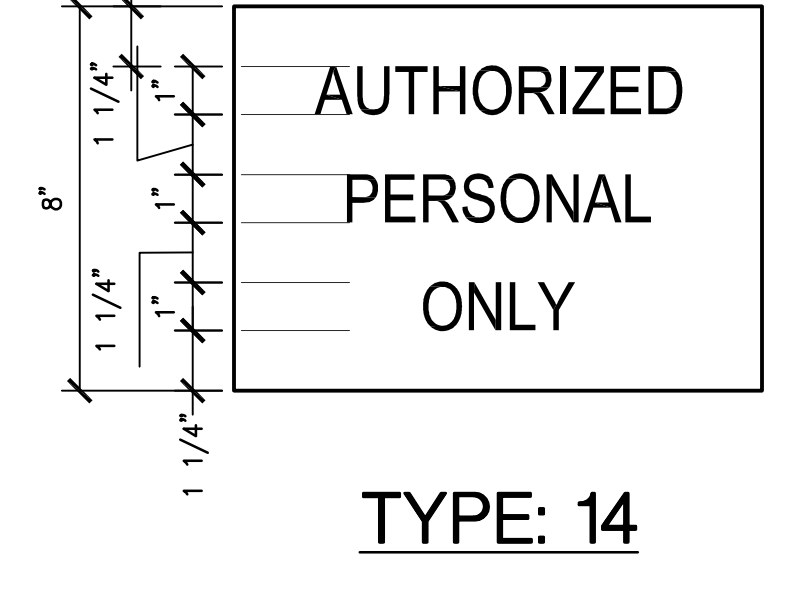
TYPE: 15



TYPE: 12



TYPE: 13



TYPE: 14

3 INTERIOR PANEL MOUNTING LOCATION
1/2" = 1'-0"

1 INTERIOR PANEL SIGN TYPES
3/8" = 1'-0"

2 EXTERIOR PANEL SIGN TYPES
3/8" = 1'-0"

GENERAL NOTES

- COORDINATE FINAL WORDING, NUMBERING AND LOCATION OF ALL SIGNS WITH OWNER.
- UNLESS OTHERWISE NOTED LOCATE SIGNS ALONGSIDE THE LATCH SIDE OF THE DOOR FRAME, ON THE ENTRANCE SIDE OF THE ROOM. PAIRS OF DOORS, LOCATE SIGNS TO THE RIGHT OF THE RIGHT HAND LEAF.
- LOCATE SIGN TYPE 5 ADJACENT TO STAIRCASE DOOR.
- LOCATE SIGN TYPE 7 BY EACH FIRE EXTINGUISHER AS SHOWN ON FLOOR PLANS RE: A101 & A102.
- LOCATE SIGN TYPE 6 ADJACENT TO ELEVATOR DOOR.
- PROVIDE SIGN TO EACH CORRIDOR DOOR INTO ROOM.
- PROVIDE 14# TYPE 12 SIGNS. COORDINATE WITH OWNER ON EXACT LOCATION TO BE MOUNTED ON WALL.
- PROVIDE 12# TYPE 8 SIGNS. SIGNS TO BE LOCATED IN CORRIDORS, EXACT LOCATION TO BE COORDINATED WITH OWNER. PROVIDE EVACUATION PLANS TO BE INSERTED INTO SIGN.
- EXTERIOR SIGN TYPE 12 TO BE LOCATED AT EACH OVERHEAD DOOR, HEIGHT TO BE COORDINATED WITH OWNER.
- REFER TO INTERIOR SIGNAGE SPECIFICATION 104370 AND EXTERIOR SIGNAGE 104350 FOR SIGNAGE MATERIAL AND INSTALLATION INSTRUCTIONS.

SIGNAGE SCHEDULE

ROOM NO.	ROOM NAME	SIGN TEXT	REMARKS	SIGN TYPE
101	STAIR	STAIR	SEE 1&2/A904 FOR LOCATION	SIGN TYPE 5
105A	DISPATCH	DISPATCH		SIGN TYPE 10
105B	STORAGE	STORAGE		SIGN TYPE 10
107	ROAD SUPERVISOR	ROAD SUPERVISOR	COORDINATE NAME WITH OWNER	SIGN TYPE 9
108	LOCKERS	LOCKERS	SEE 1/A904 FOR LOCATION	SIGN TYPE 10
109	LUNCH/ASSEMBLY MEETING	ASSEMBLY ROOM	SEE 1/A904 FOR LOCATION	SIGN TYPE 10
109A	STORAGE	STORAGE		SIGN TYPE 10
110	QUIET	QUIET ROOM		SIGN TYPE 10
111	MECH/ELEC EQUIP	EQUIPMENT ROOM		SIGN TYPE 10
120	WOMAN'S LOCKER/SHOWER	WOMEN'S LOCKER ROOM	OUTSIDE DOOR 120-1 & 120-2	SIGN TYPE 1
121	MEN'S LOCKER/SHOWER	MEN'S LOCKER ROOM	OUTSIDE DOOR 121-1 & 121-2	SIGN TYPE 2
123	JANITOR	JANITOR		SIGN TYPE 10
125	LUNCH	LUNCH ROOM		SIGN TYPE 10
126	CITY WAREHOUSE	CITY WAREHOUSE		SIGN TYPE 13
130	PARTS STORAGE	PARTS STORAGE		SIGN TYPE 10
131	STORAGE	STORAGE		SIGN TYPE 10
132	MAINT MANUALS	MANUALS	SEE 1/A904 FOR LOCATION	SIGN TYPE 9
133	PARTS SUPERVISOR	OFFICE	COORDINATE NAME WITH OWNER	SIGN TYPE 9
134	STAIR	STAIR	LOCATE AT DOOR 134-1	SIGN TYPE 5
136	DIRECTOR OF MAINTENANCE	DIRECTOR OF MAINTENANCE	COORDINATE NAME WITH OWNER	SIGN TYPE 9
137	COUNTER	COUNTER		SIGN TYPE 10
138	PM MAINT/INSPECTION BAYS	# COORDINATE WITH BAY NUMBER	LOCATE 10 SIGNS AT CORRESPONDING BAYS	SIGN TYPE 12
139/141	SERVICE BAYS	WORK ROOM		SIGN TYPE 1
142	STEAM CLEANING	STEAM CLEANING		SIGN TYPE 10
143	STORAGE	STORAGE		SIGN TYPE 12 & 13
144	TIRE STORAGE	TIRE STORAGE	SEE 1/A904 FOR LOCATION	SIGN TYPE 10 & 13
145	TIRE STORAGE	TIRE STORAGE	SEE 1/A904 FOR LOCATION	SIGN TYPE 10 & 13
146	OIL STORAGE	OIL STORAGE		SIGN TYPE 13
147	CMP/PUMPS	PUMP ROOM		SIGN TYPE 10
148	BATTERY STORAGE	BATTERY STORAGE		SIGN TYPE 13
149	BATTERY STORAGE	BATTERY STORAGE		SIGN TYPE 13
150	STEAM CLEAN EQUIP	STEAM CLEAN EQUIPMENT		SIGN TYPE 10
151	FARE COLLECTION	FARE COLLECTION		SIGN TYPE 13
152	FARE COLLECTION	FARE COLLECTION		SIGN TYPE 10 & 12
201	STAIR	STAIR		SIGN TYPE 5
207	STAIR	STAIR	LOCATE AT DOOR 226-1 & 207-1	SIGN TYPE 5
210	OPEN OFFICE	OFFICE	SEE 2/A904 FOR LOCATION	SIGN TYPE 10
211	DIRECTOR OF SAFETY AND SECURITY	DIRECTOR OF SAFETY AND SECURITY	COORDINATE NAME WITH OWNER	SIGN TYPE 9
212	STORAGE	STORAGE		SIGN TYPE 10
213	ENVIRONMENTAL MANAGER	ENVIRONMENTAL MANAGER	COORDINATE NAME WITH OWNER	SIGN TYPE 9
214	TRANS OPS TRAINING ROOM	TRAINING ROOM		SIGN TYPE 1
215	DIRECTOR OF OPERATIONS	DIRECTOR OF OPERATIONS	COORDINATE NAME WITH OWNER	SIGN TYPE 9
220	MEN'S TOILET ROOM	MEN'S		SIGN TYPE 3
221	WOMEN'S TOILET ROOM	WOMEN'S		SIGN TYPE 4
222	ROOF ACCESS	ROOF ACCESS		SIGN TYPE 10
224	DRUG TEST WAITING	WAITING ROOM		SIGN TYPE 9
225	DIRECTOR OF HUMAN RESOURCES	DIRECTOR OF HUMAN RESOURCES	COORDINATE NAME WITH OWNER	SIGN TYPE 9
226	SERV OPS FILE STORAGE	FILE STORAGE		SIGN TYPE 10
227	MEN'S TOILET ROOM	MEN'S		SIGN TYPE 3
228	WOMAN'S TOILET ROOM	WOMEN'S		SIGN TYPE 4
229	LUNCH	LUNCH ROOM		SIGN TYPE 10
230	OPEN OFFICE	OFFICE	SEE 2/A904 FOR LOCATION	SIGN TYPE 10
231	COPY	COPY ROOM		SIGN TYPE 10
232	SERV OPS GENERAL MANAGER	SERVICE OPERATIONS MANAGER	COORDINATE NAME WITH OWNER	SIGN TYPE 9
233	CITY SERVER	CITY SERVER		SIGN TYPE 10
234	VEOLIA SERVER	SERVER ROOM		SIGN TYPE 10
240	CITY OF PHOENIX OFFICE	CITY OF PHOENIX		SIGN TYPE 10
241	CITY OF PHOENIX OFFICE	CITY OF PHOENIX		SIGN TYPE 10
242	CONF	CONFERENCE ROOM		SIGN TYPE 10
243	STORAGE	STORAGE		SIGN TYPE 10

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CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA
INTERIOR SIGNAGE

DES: JAH	DR: JAH	CK: JPK	SHEET NO.	TOTAL SHEET COUNT
DATE: 02/21/12	AS-BUILT: -		A904	66 OF 122
SCALE: AS NOTED				

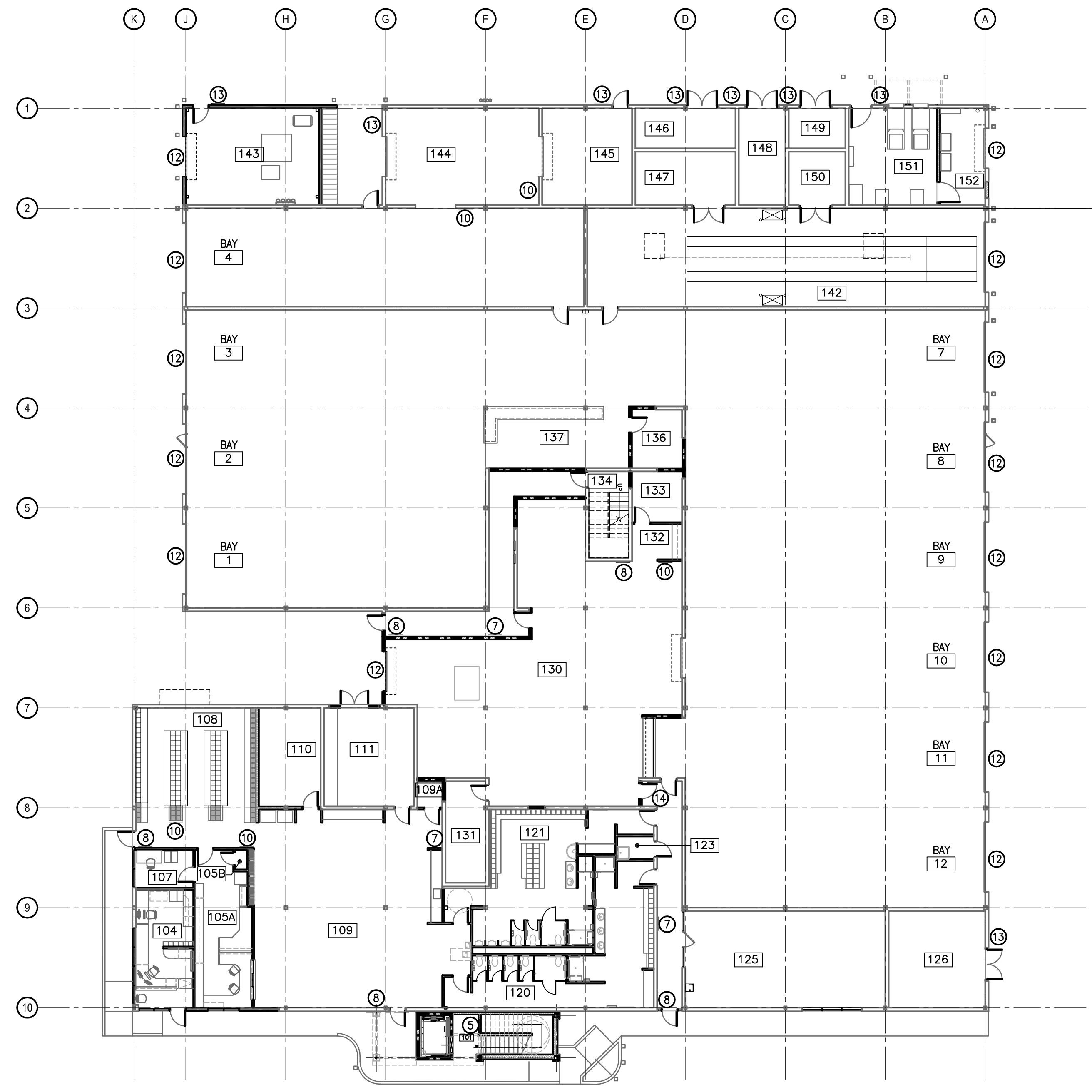


DESIGN PROFESSIONAL:			
DES:	DFT:	7227 N. 16th Street, Suite 140 Phoenix, AZ 85020	
CHK:	DATE:	www.wendel.com 674.888.0786 480.888.8825	
REVISION LOG			
NO.	DESCRIPTION	REV. BY	DATE
1	CITY COMMENTS		4/12/12
2	OWNERS COMMENTS		4/12/12

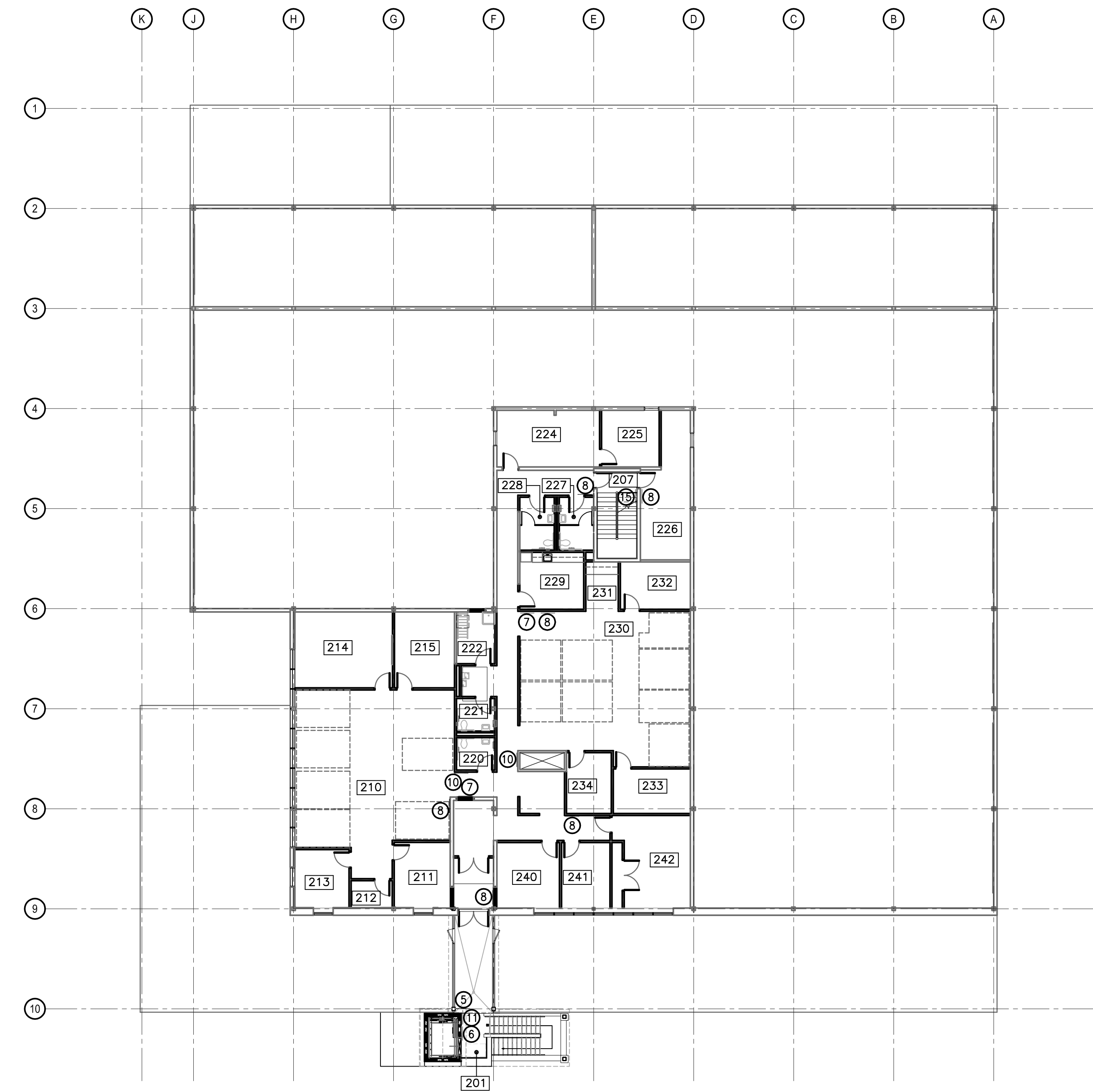
LEGEND:
 — SIGN
 ⓐ SIGN TYPE

GENERAL NOTE:
 REFER TO SHEET A904 FOR SIGNAGE TYPES AND SIZES

- GENERAL NOTES**
- COORDINATE FINAL WORDING, NUMBERING AND LOCATION OF ALL SIGNS WITH OWNER.
 - UNLESS OTHERWISE NOTED LOCATE SIGNS ALONGSIDE THE LATCH SIDE OF THE DOOR FRAME, ON THE ENTRANCE SIDE OF THE ROOM. PAIRS OF DOORS, LOCATE SIGNS TO THE RIGHT OF THE RIGHT HAND LEAF.
 - LOCATE SIGN TYPE 5 ADJACENT TO STAIRCASE DOOR.
 - LOCATE SIGN TYPE 7 BY EACH FIRE EXTINGUISHER AS SHOWN ON FLOOR PLANS RE: A101 & A102.
 - LOCATE SIGN TYPE 6 ADJACENT TO ELEVATOR DOOR.
 - PROVIDE SIGN TO EACH CORRIDOR DOOR INTO ROOM.
 - PROVIDE 14# TYPE 12 SIGNS. COORDINATE WITH OWNER ON EXACT LOCATION TO BE MOUNTED ON WALL.
 - PROVIDE 12# TYPE 8 SIGNS. SIGNS TO BE LOCATED IN CORRIDORS, EXACT LOCATION TO BE COORDINATED WITH OWNER. PROVIDE EVACUATION PLANS TO BE INSERTED INTO SIGN.
 - EXTERIOR SIGN TYPE 12 TO BE LOCATED AT EACH OVERHEAD DOOR, HEIGHT TO BE COORDINATED WITH OWNER.
 - REFER TO INTERIOR SIGNAGE SPECIFICATION 104370 AND EXTERIOR SIGNAGE 104350 FOR SIGNAGE MATERIAL AND INSTALLATION INSTRUCTIONS.



1 FIRST FLOOR SIGNAGE PLAN
 1/16" = 1'-0"



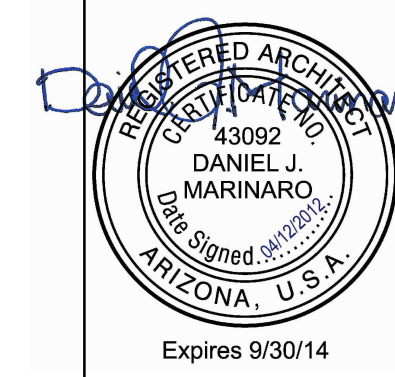
2 SECOND FLOOR SIGNAGE PLAN
 1/16" = 1'-0"

PER CITY OF PHOENIX ORDINANCE G-4396, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.

CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA
 FIRST AND SECOND FLOOR SIGNAGE PLANS

DES: JAH	DR: JAH	CHK: JPK	SHEET NO.	TOTAL SHEET COUNT
DATE: 02/21/12	AS-BUILT: -		A905	67 OF 122
SCALE: AS NOTED				

04-20-2012 JAH, © 2012 WENDEL ARCHITECTS & ENGINEERS, P.C. 04/20/12 09:00 AM PT-96130004-FTA-S05

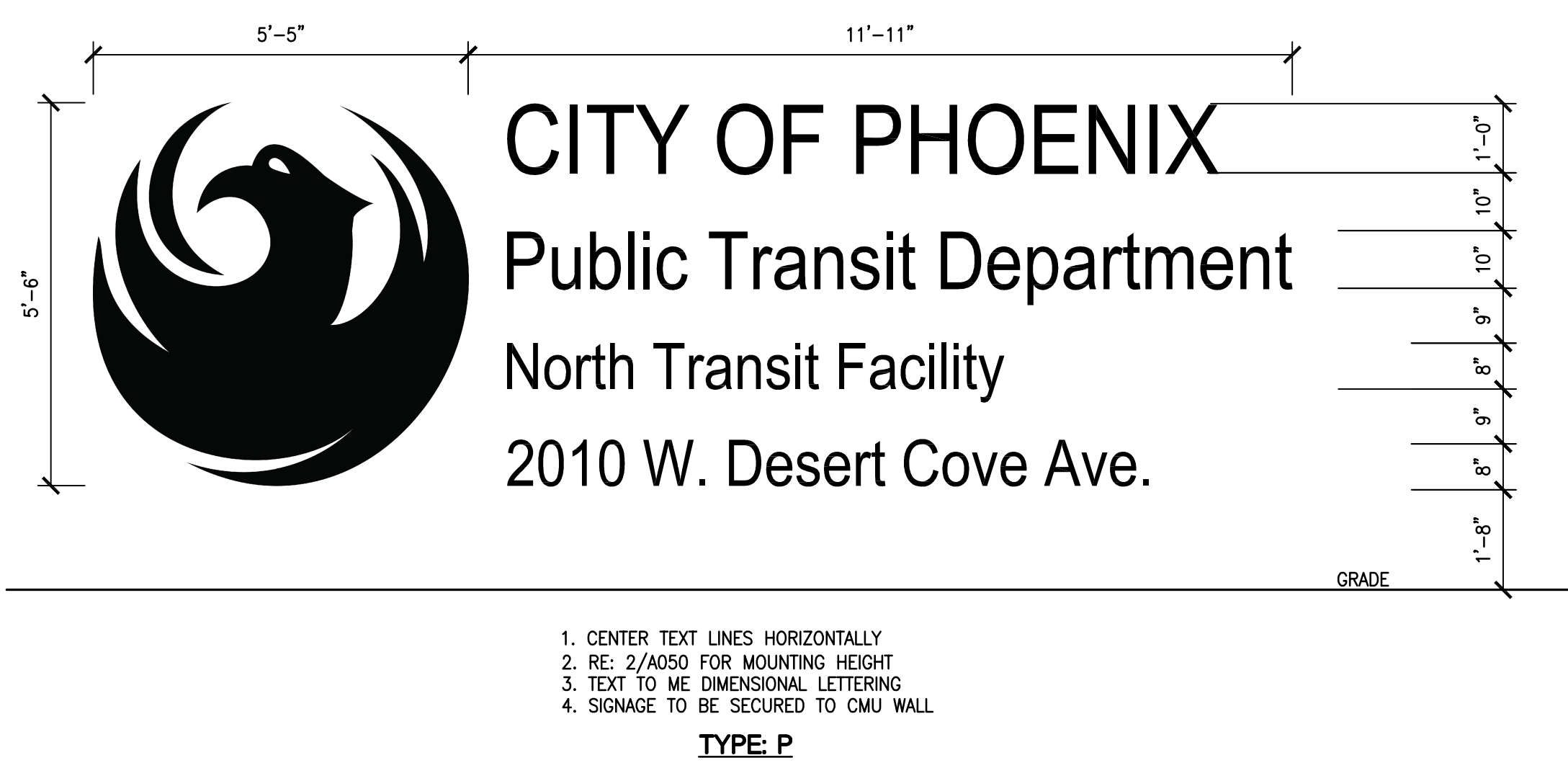
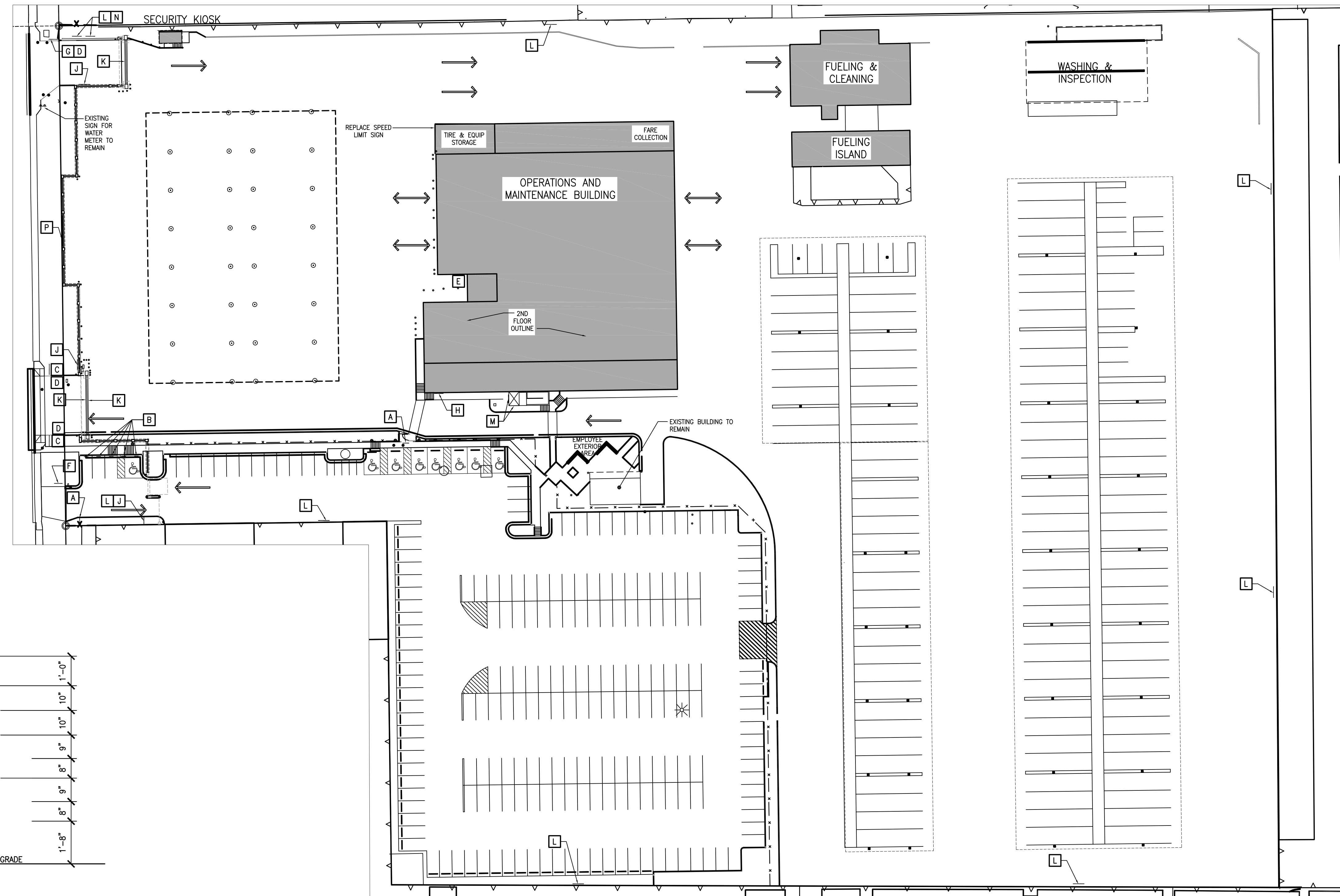
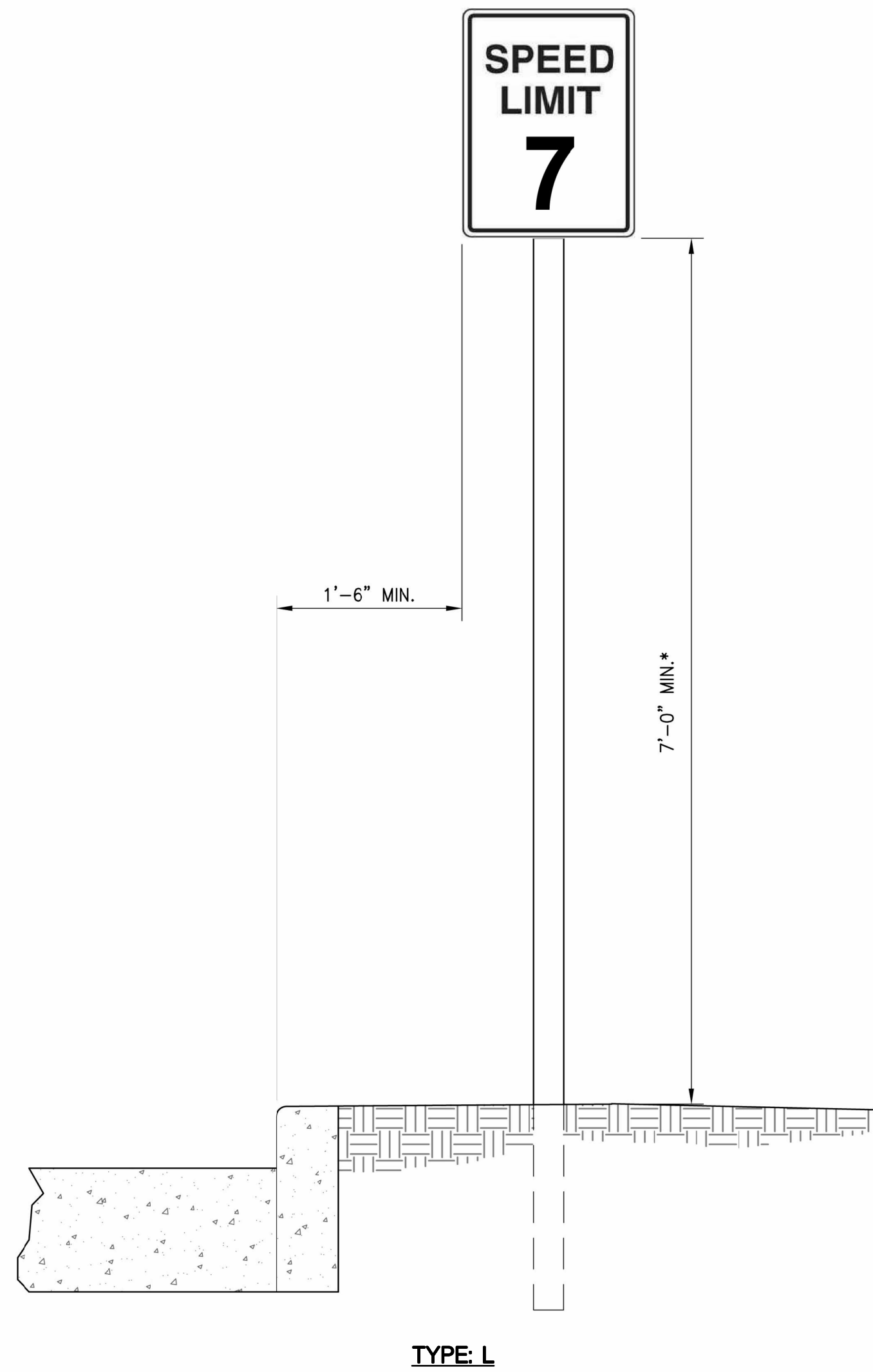
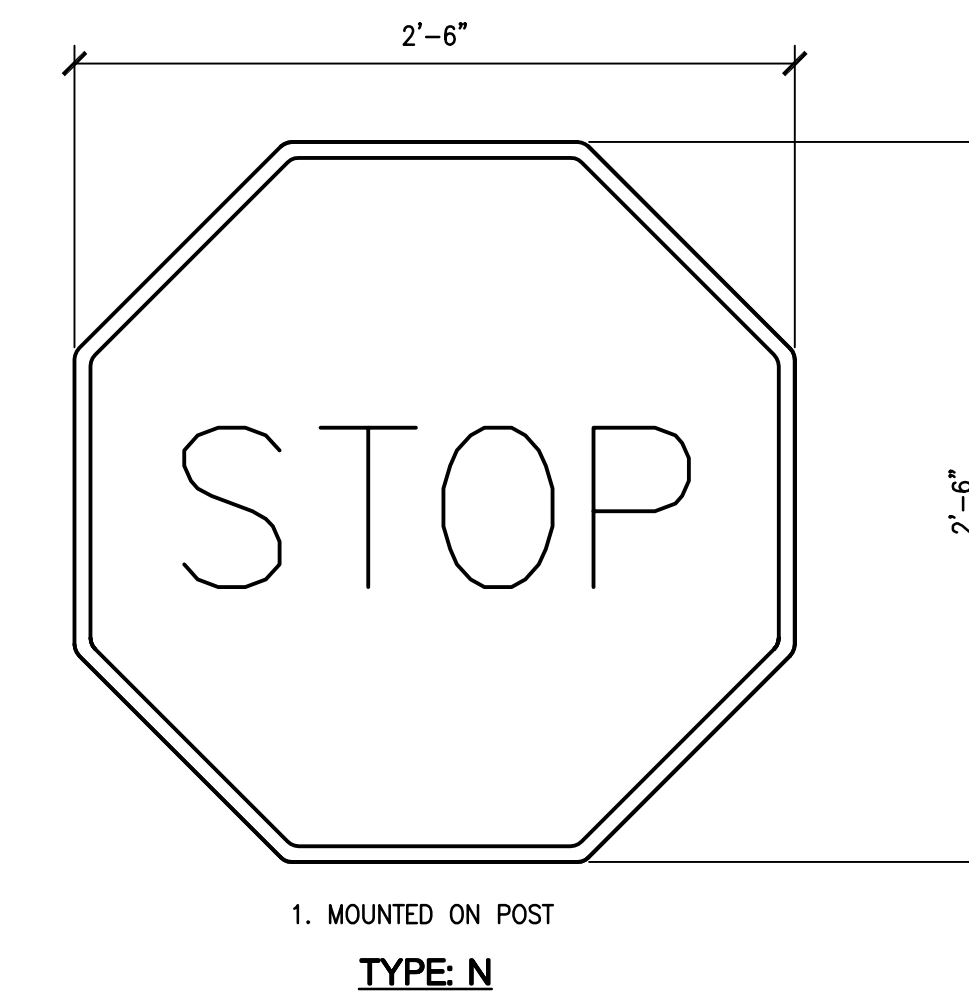
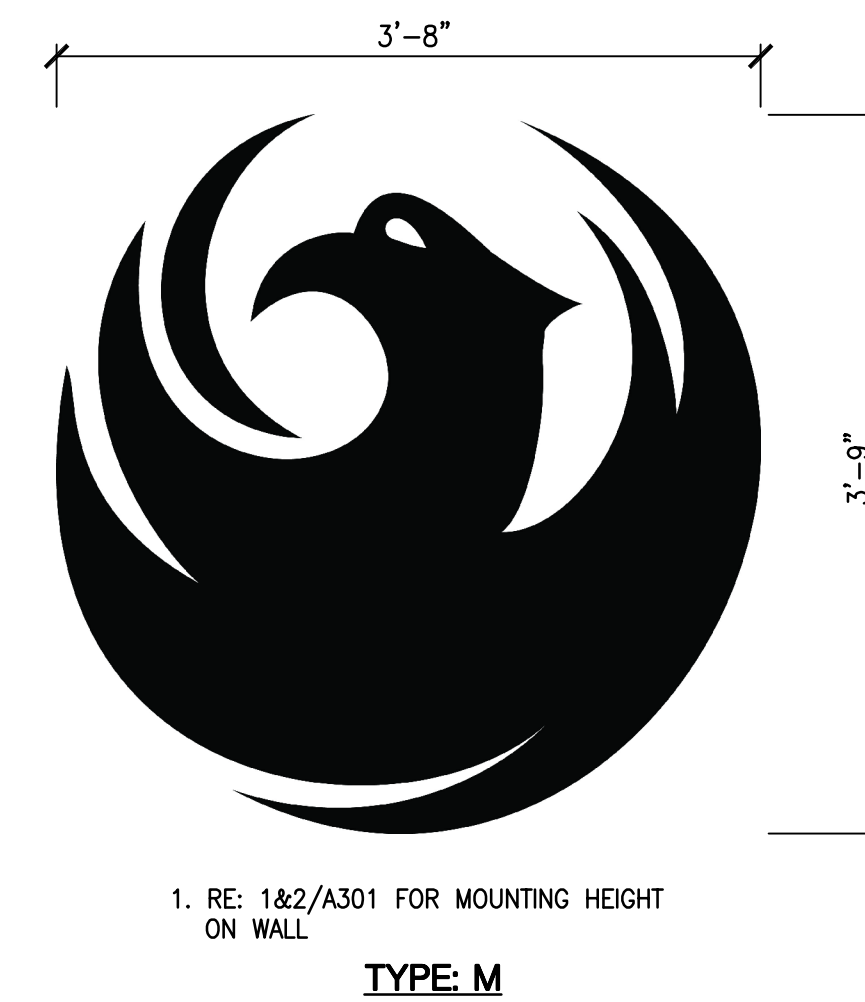
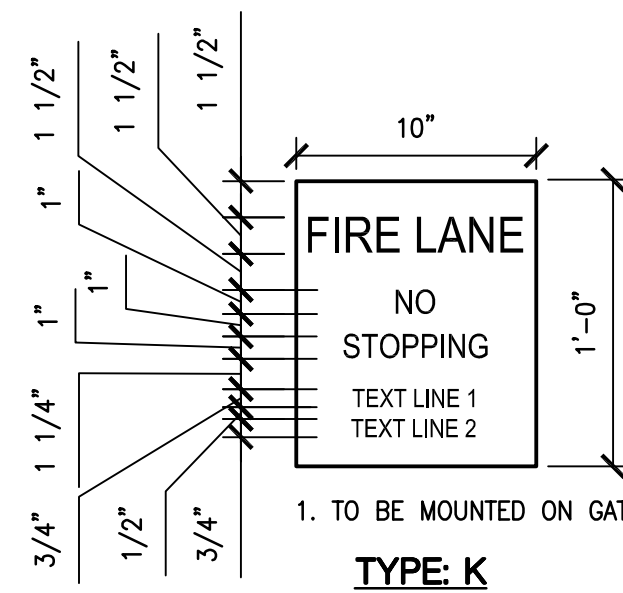
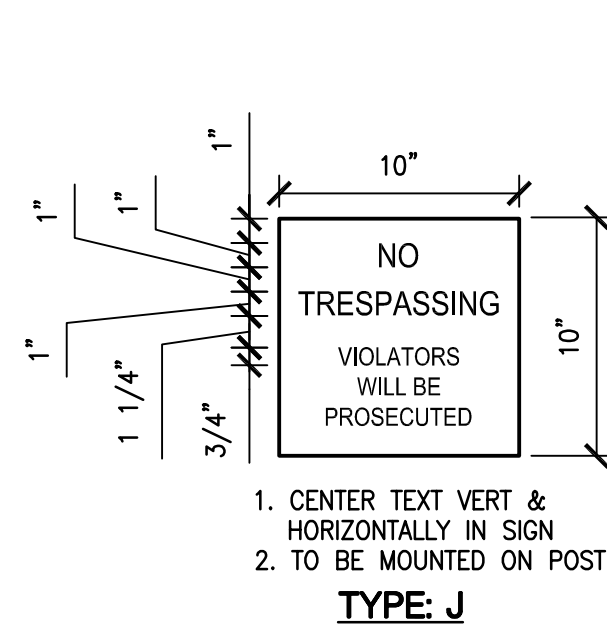
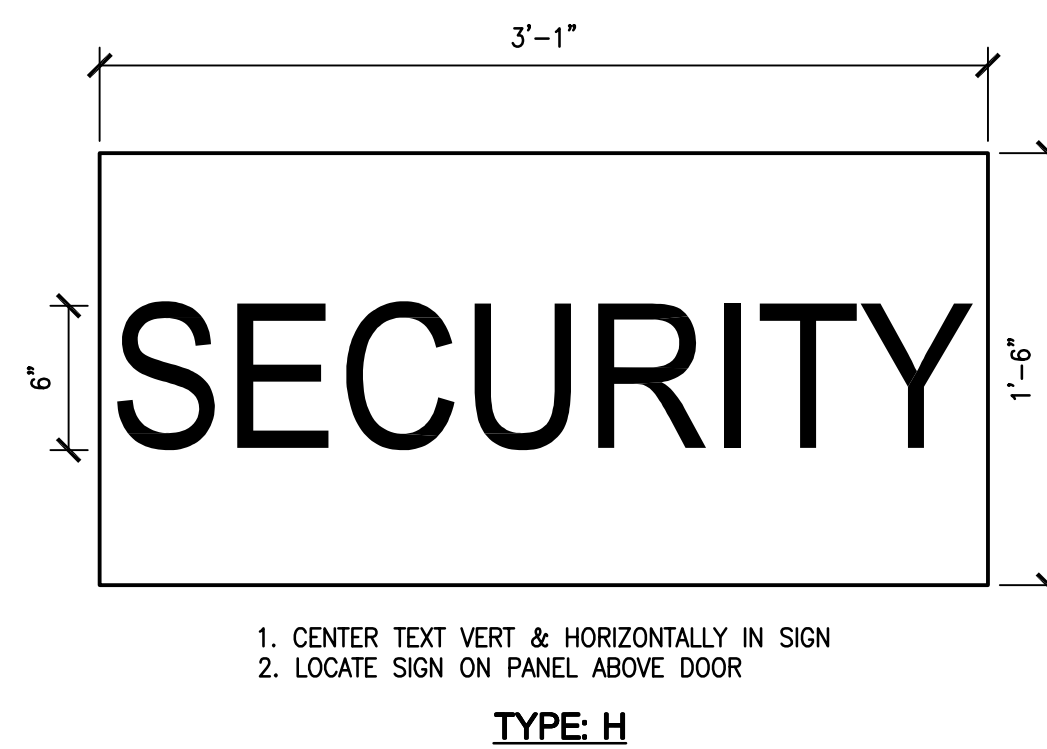
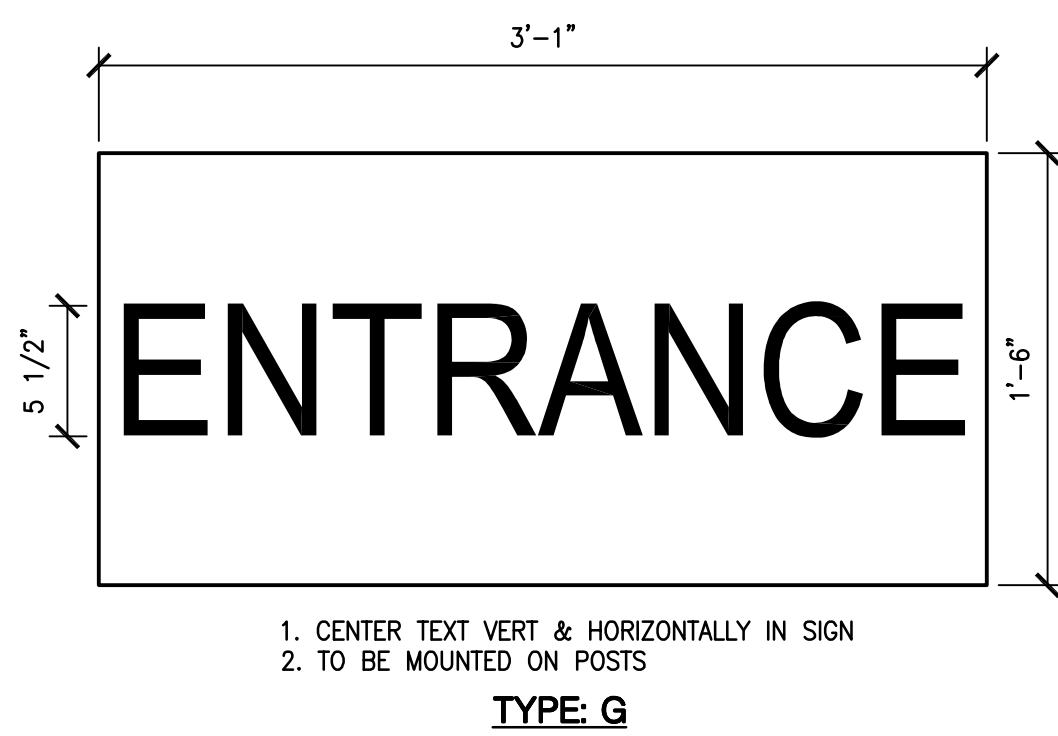
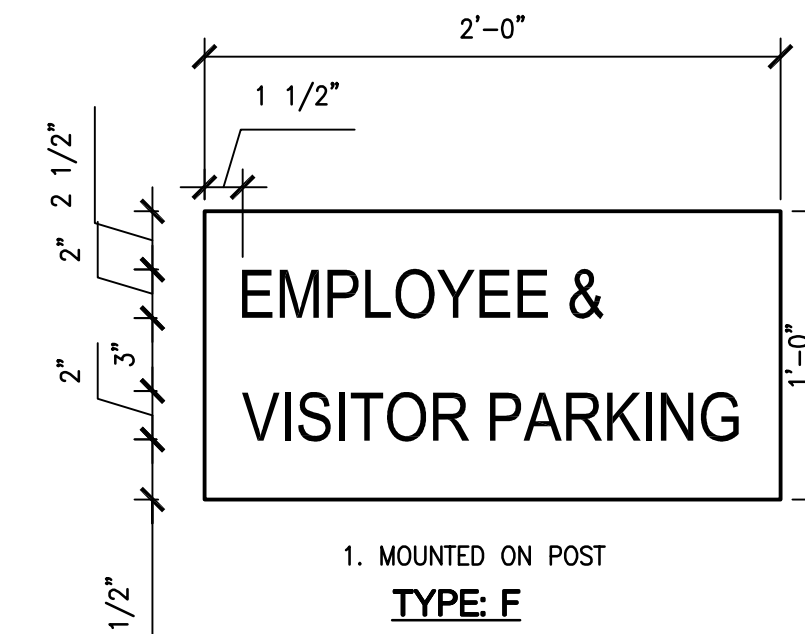
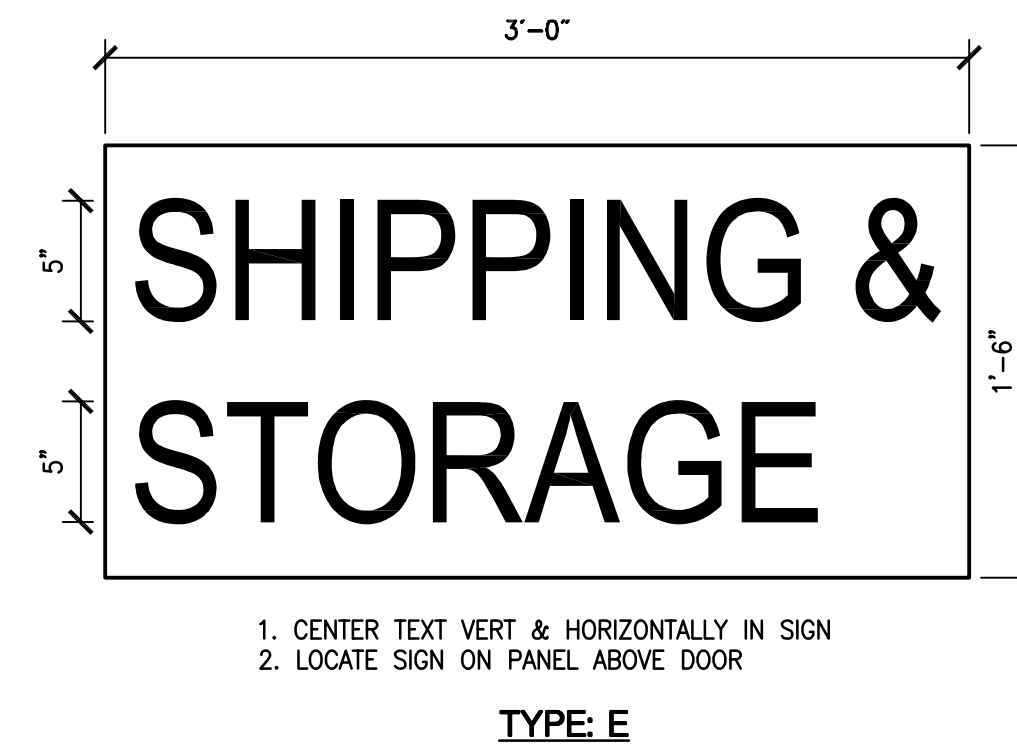
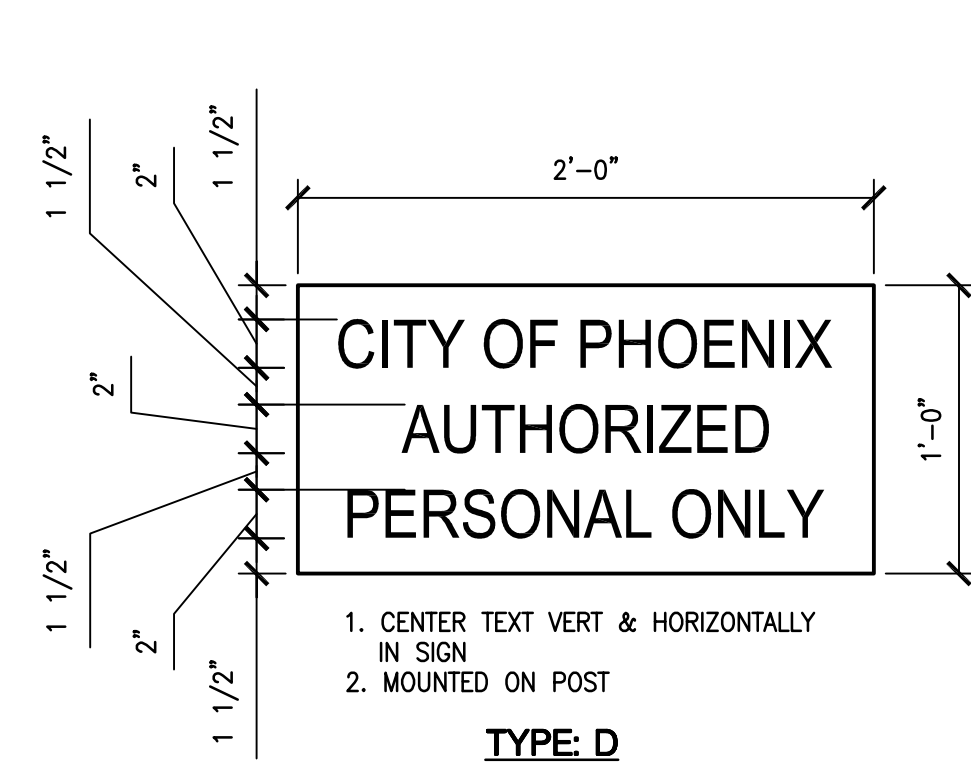
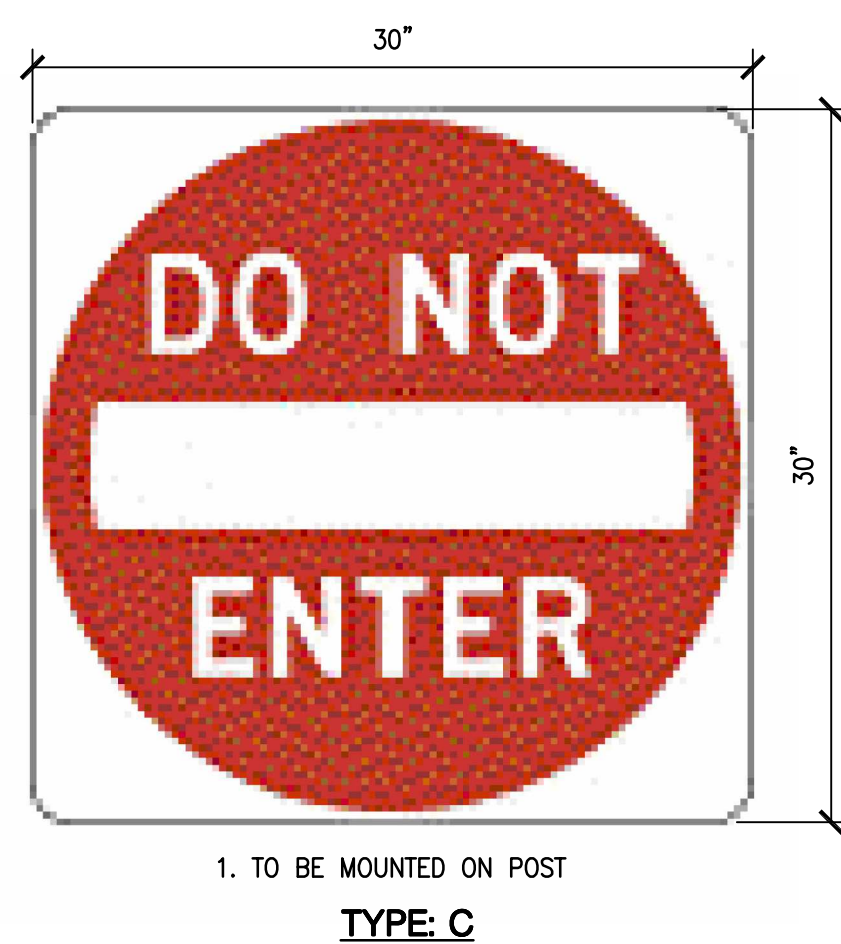
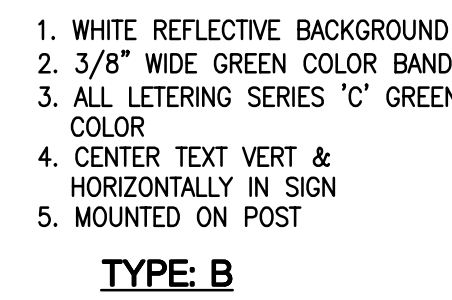
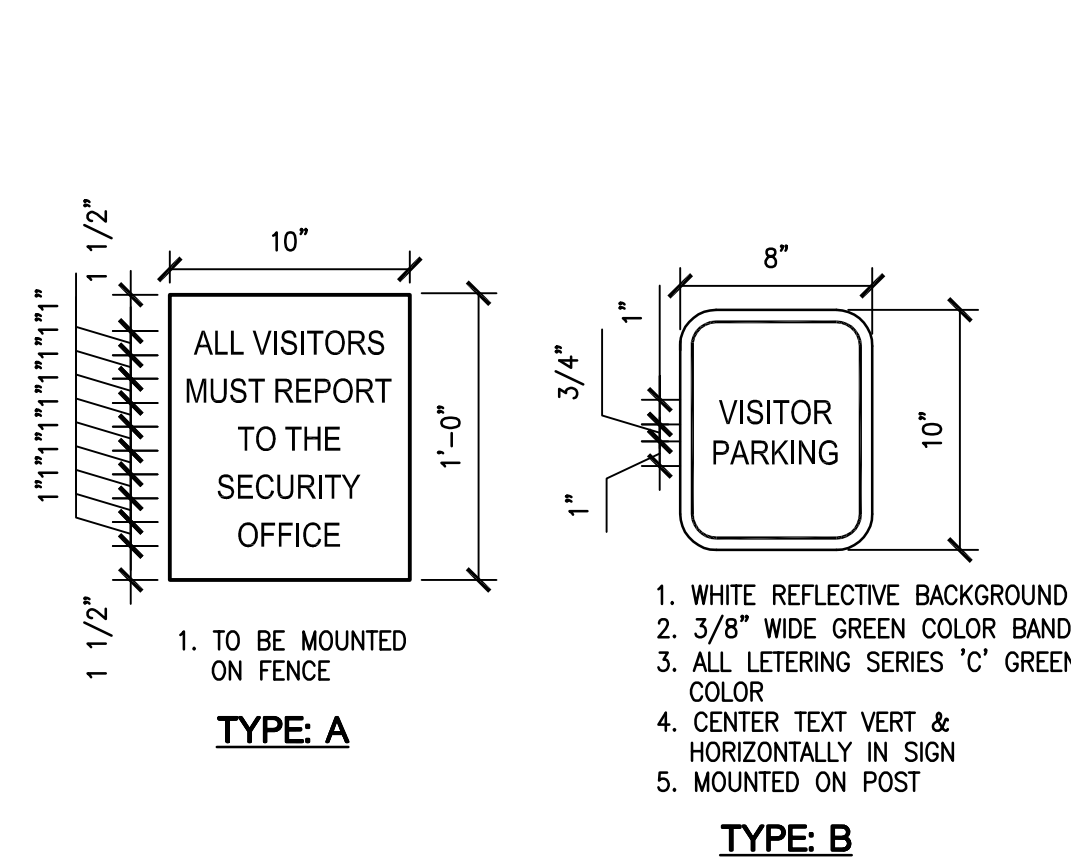


DESIGN PROFESSIONAL:

wendel
7227 N. 161st Street, Suite 140
Phoenix, AZ 85028
www.wendelgroup.com
P: 602.998.0306 F: 602.998.0325
ARCHITECTS • ENGINEERS • PLANNERS
ENERGY SERVICES • CONSTRUCTION MANAGEMENT

DES: _____ DFT: _____
CHK: _____ DATE: _____

REVISION LOG				
NO.	DESCRIPTION	REV. BY	CHK. BY	DATE
1	CITY COMMENTS			4/12/12
2	OWNERS COMMENTS			4/12/12



1 EXTERIOR SIGNAGE PLAN
SCALE: 1:40

PER CITY OF PHOENIX ORDINANCE G-4396, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.

**CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION**

**NORTH TRANSIT FACILITY REFURBISHMENT
PROJECT NO. PT-96130004-FTA**

EXTERIOR SIGNAGE PLAN

DES:	DR:	CK:	JAH	SHEET	TOTAL
DJM	SMV	CK	JAH	NO.	SHEET COUNT
DATE:	02/21/12	AS-BUILT:	-	A906	68 OF 122
SCALE:	AS NOTED				

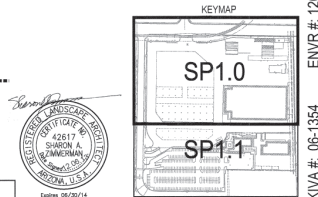
DATE: 02-15-2012 10:48 AM PL: MARICOPA PROJECT: N. TRANSIT FAC. REFURBISHMENT. LOCATION: MARICOPA COUNTY, ARIZONA

GENERAL NOTES

- SITE PLAN SCOPE OF WORK**
- 1a NEW BUS PARKING CANOPY AT EX. BUS PARKING AREA (SEE DETS. 01-03 - SP2.2)
 - 1b ALTERNATE BID 1 - NEW BUS PARKING CANOPY ALONG PERIMETER OF EX. BUS PARKING AREA (SEE DETS. 01-03 - SP2.2)
 - 2 EX. 22ND AVE TO BE RE-STRIPED TO ACCOMMODATE CENTER LANE FOR BUS QUEUING AND LEFT TURN INTO NEW FACILITY ENTRANCE
 - 3 RE-STRIPING AT LOWER BUCKEYE ROAD, NEW TRAFFIC LIGHT AT 22ND AVE
 - 4 NEW VISITOR PARKING AREA
 - 5 NEW STAFF PARKING AREA
 - 6 NEW GUARHOUSE (NEW BUS INGRESS / EGRESS) (SEE DETS. 01, 02, 06, 07 - SP2.0)
 - 7 NEW 10'-HIGH MASONRY SECURITY WALL (SEE DET. 03-04 - SP2.0) (1,415 TOTAL LINEAR FEET ALONG SITE PERIMETER)
 - 8 NEW 10'-HIGH WWM SCREEN
 - 8a NEW 8'-HIGH CHAIN LINK FENCE
 - 8b NEW 10'-HIGH CHAIN LINK FENCE
 - 10 NEW GATED FIRE TRUCK ACCESS (SEE DETS. 01-04 - SP2.1)
 - 11 RELOCATED PUBLIC WORKS GATE
 - 12 ALTERNATE BID 6 - NEW PEDESTRIAN SHADE CANOPY (SEE DET. 1 - SP1.1 and full construction details L-H1.7 and L-H1.8)
 - 13 BOLLARDS (removable where in fire lane)
 - 14 NEW 4'-5'-HIGH WROUGHT IRON FENCE (SEE DET. 01 - SP2.1)

- EXISTING SITE BUILDINGS / FEATURES**
- A EX. BUS PARKING CANOPY TO BE REFINISHED / REPAIRED
 - B EX. INSPECTION BAY (CONVERSION TO NEW WASH BAY)
 - C EX. TIRE + FUELING BAYS (ROOF REPLACEMENT / REPAIR)
 - D EX. ABOVE-GROUND LNG STORAGE TANKS TO REMAIN
 - E EX. GUARHOUSE - TO BE REMOVED
 - F EX. FLEET CAR CANOPY TO REMAIN
 - G EX. CHAIN LINK FENCE TO REMAIN
 - H EX. MASONRY WALL TO REMAIN

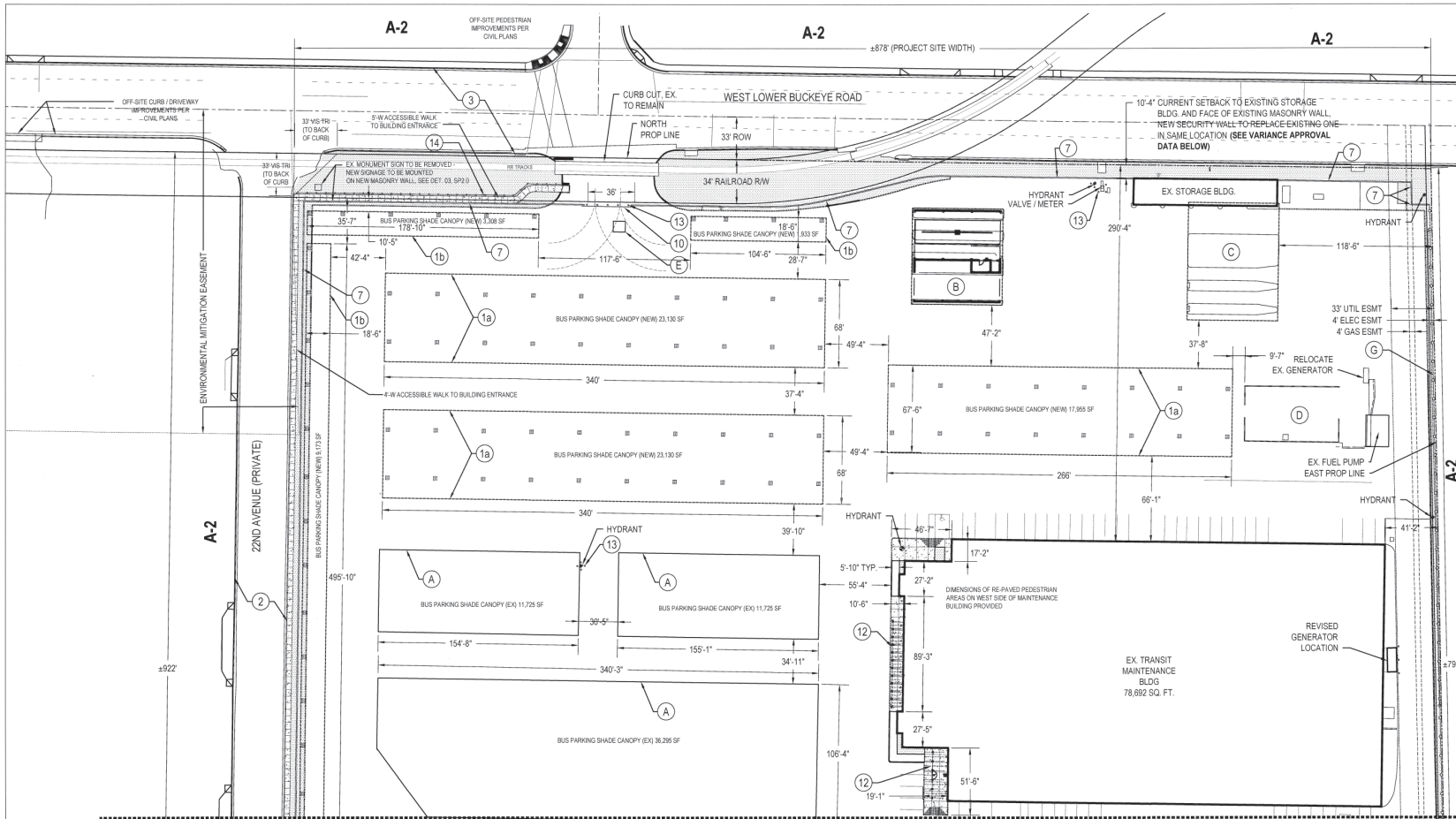
HATCH INDICATES UN-PAVED AREAS; ALL REMAINING NON-BUILDING AREAS ARE PAVED



PER CITY OF PHOENIX CODE CHAPTER 2, SECTION 2-28. THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX

CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
 SOUTH TRANSIT FACILITY REFURBISHMENT
 2225 West Lower Buckeye Road
 Phoenix, AZ
 PROJECT NO. PT03130001-FTA

Site Plan		SP1.0
DES: 12.06.13	DR: 12.06.13	CK: LM
DATE: 12.06.13	DATE: 12.06.13	DATE: 12.06.13
SHEET NO. 4	TOTAL SHEETS 471	AS BUILT
SCALE: 1" = 40'-0"		



LEGAL DESCRIPTION
 Project site is part of larger parcel described by Parcel No. 1: The west half of the northeast quarter of Section 24, Township 1 North, Range 2 east of the Gila and Salt River base and meridian, Maricopa County, Arizona.
 Except that part of the southwest quarter of the northeast quarter of said Section 24, more particularly described as follows:
 Beginning at a brass cap set in concrete marking the center of said Section 24;
 Thence south 89 degrees 24 minutes 40 seconds east, along the east and west midsection line of said Section 24, 1311.24 feet to a pipe 2 inches in diameter set in concrete marking the southeast corner of the southwest quarter of the northeast quarter of said Section 24;
 Thence north 01 degrees 05 minutes 40 seconds west, along the east line of said southwest quarter of the northeast quarter, 1100.46 feet to a pipe 2 inches in diameter set in concrete marking the southeast corner of the southwest quarter of the northeast quarter of said Section 24;
 Thence north 89 degrees 24 minutes 40 seconds west, 1318.44 feet to a bar three-fourths of an inch in diameter, set in the north-south midsection line of said Section 24;
 Thence continuing north 89 degrees 24 minutes 40 seconds west, 923.71 feet to a pipe 2 inches in diameter set in concrete in said east-west midsection line, 930.91 feet to the point of beginning.

PROJECT DESCRIPTION
 Refurbishment of existing City of Phoenix South Transit Facility. Primary renovation is to interiors of facility buildings. Proposed new site work includes relocation of bus ingress/egress and new bus parking guardhouse, addition of shade canopies at bus parking area, new visitor/staff parking lot, new site walls. See Keynotes.

ZONING / USE
 A-2 Industrial District (adjacent land use also A-2)

BUILDING AREAS (SF)
 Maintenance + Operations Bldg (TM) 76,692 (two floors)
 Training + Fare Collec Bldg (TB) 13,440 (two floors)
 Inspection Bay (Wash Bldg) (IB) 5,195
 Tire + Fueling Bldg (TF) 8,642
 Warehouse (WH) 12,756
 Guardhouse (New) 180
 Storage Bldg 2,800
 TOTAL 121,895

OCCUPANCY
 Maintenance + Operations Bldg (TM) Type S-1
 Training + Fare Collec Bldg (TB) Type A-3 / B
 Inspection Bay (Wash Bldg) (IB) Type S-1
 Tire + Fueling Bldg (TF) Type S-1
 Warehouse (WH) Type S-1
 Guardhouse (New) Type B
 Storage Bldg Type S-1
 Bus Storage Canopies Type S-2

BUILDING SITE COVERAGE
 121,895 SF / 700,914 SF 16%

BUILDING HEIGHTS (55' allowed)
 Maintenance + Operations Bldg 28'-8"
 Training + Administration Bldg 28'-0"
 Inspection Bay (Wash Bldg) 20'-2"
 Tire + Fueling Bldg 25'-4"
 Warehouse 24'-8"
 Guardhouse (New) 12'-0"
 Storage Bldg 12'-0"

REQUIRED BUILDING SETBACKS
 North 25'
 South 0'
 East 0'
 West 0'

PARKING SUMMARY (see Calculations/Requirements next sheet)
 Staff (@ SV lot) - new 274 spaces (+ 7 acc)
 Visitor - new 28 spaces (+ 1 acc)
 Staff (internal to facility) - existing 48 spaces (+ 3 acc)
 Fleet - existing 9 spaces

VARIANCE APPROVAL DATA:
 CASE NUMBER - ZA-65-13-7
 Variance Approved - 03-28-13
 With following Stipulations:
 1. 180 days to apply and pay for building permits.

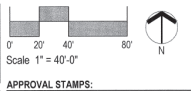
PLEASE NOTE:
 This Site Plan has been prepared for City of Phoenix P&D review purposes. It is not intended to be referenced for construction purposes. Contractor to refer to Hardscape, Civil and Architectural Plans and Details for construction documentation.

CITY OF PHOENIX
SOUTH TRANSIT FACILITY
REFURBISHMENT PROJECT
 Project No. PT03130001-FTA

SITE PLAN

PROJECT OWNER:
 City of Phoenix
 Public Transit Department, South Transit Facility
 (located at 2225 West Lower Buckeye Road, Phoenix AZ)
 CoP Project Manager: Abed Bzai, PTD Facilities
 302 N. 1st Ave., Ste. 300, Phoenix AZ 85003
 602-534-8491 / abed.bzai@phoenix.gov

PROJECT LANDSCAPE ARCHITECT:
 GBtwo Landscape Architecture, Inc.
 6115 N. Camelback Rd., Scottsdale AZ 85250
 480-991-3384 / Shari.Zimmerman_shariz@GBtwo.com

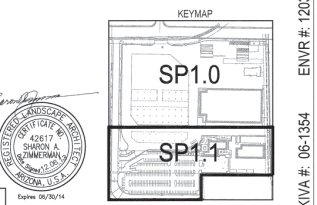


APPROVAL STAMPS:

OS #: 6-24(ET) APN#: 105-40-008C ENV# #: 1203984 KIVA #: 06-1354

- SITE PLAN SCOPE OF WORK**
- 1a NEW BUS PARKING CANOPY AT EX. BUS PARKING AREA (SEE DETS. 01-03 - SP2.2)
 - 1b ALTERNATE BID 1 - NEW BUS PARKING CANOPY ALONG PERIMETER OF EX. BUS PARKING AREA (SEE DETS. 01-03 - SP2.2)
 - 2 EX. 2ND AVE TO BE RE-STRIPE TO ACCOMMODATE CENTER LANE FOR BUS QUEUING AND LEFT TURN INTO NEW FACILITY ENTRANCE
 - 3 RE-STRIPING AT LOWER BUCKEYE ROAD, NEW TRAFFIC LIGHT AT 22ND AVE
 - 4 NEW VISITOR PARKING AREA
 - 5 NEW STAFF PARKING AREA
 - 6 NEW GUARDHOUSE (NEW BUS INGRESS / EGRESS) (SEE DETS. 01.02.06.07 - SP2.0)
 - 7 NEW 10'-HIGH MASONRY SECURITY WALL (SEE DET. 03-04 - SP2.0) (1,415 TOTAL LINEAR FEET ALONG SITE PERIMETER)
 - 8 NEW 10'-HIGH W/M SCREEN
 - 9a NEW 8'-HIGH CHAIN LINK FENCE
 - 9b NEW 10'-HIGH CHAIN LINK FENCE
 - 10 NEW GATED FIRE TRUCK ACCESS (SEE DETS. 01-04 - SP2.1)
 - 11 RELOCATED PUBLIC WORKS GATE
 - 12 ALTERNATE BID 6 - NEW PEDESTRIAN SHADE CANOPY (SEE DET. 1 - SP1.1 and full construction details L-H1.7 and L-H1.8)
 - 13 BOLLARDS (removable where in fire lane)
 - 14 NEW 4'-5'-HIGH WROUGHT IRON FENCE (SEE DET. 01 - SP2.1)

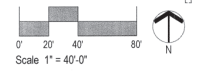
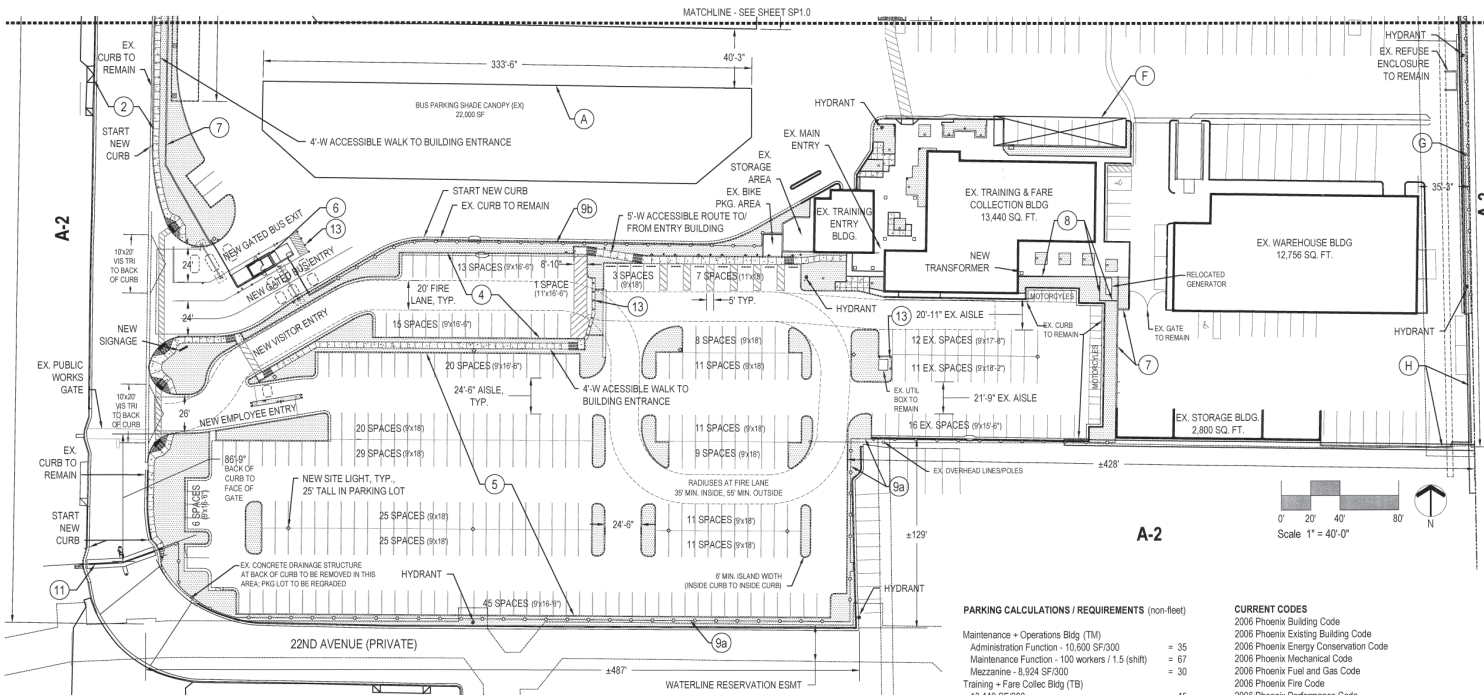
- EXISTING SITE BUILDINGS / FEATURES**
- A EX. BUS PARKING CANOPY TO BE REFINISHED / REPAINTED
 - B EX. INSPECTION BAY (CONVERSION TO NEW WASH BAY)
 - C EX. TIRE - FUELING BAYS (ROOF REPLACEMENT / REPAIR)
 - D EX. ABOVE-GROUND LNG STORAGE TANKS TO REMAIN
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- HATCH INDICATES UN-PAVED AREAS; ALL REMAINING NON-BUILDING AREAS ARE PAVED



PER CITY OF PHOENIX CODE CHAPTER 2, SECTION 2-28. THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX

CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
 SOUTH TRANSIT FACILITY RE/FURBISHMENT
 2225 West Lower Buckeye Road
 Phoenix, AZ
 PROJECT NO. PT03130001-FTA

Site Plan		SP1.1
DES: SZ	DR: SZ	CK: LM
DATE: 12.06.13	DATE: 12.06.13	DATE: 12.06.13
SCALE: 1" = 40'-0"	SHEET NO. 5	TOTAL SHEETS 471



PARKING CALCULATIONS / REQUIREMENTS (non-fleet)

Maintenance + Operations Bldg (TM)	= 35
Administration Function - 10,800 SF/300	= 37
Maintenance Function - 100 workers / 1.5 (shift)	= 60
Mezzanine - 8,924 SF/300	= 30
Training + Fare Collec. Bldg (TB)	= 45
13,440 SF/300	= 45
Wash Building + Fuel Building (IB + TF)	= 23
34 workers / 1.5 (shift)	= 23
Warehouse Bldg (WH)	= 5
Office Area - 1,500 SF/300	= 5
Storage - 10,100 SF/1000	= 10
Guardhouse (New)	= 2
180 SF/300 (Office Area)	= 2
1 (officer in office and 1 on-site at all times)	= 2
SUBTOTAL	= 217

CURRENT CODES

- 2006 Phoenix Building Code
- 2006 Phoenix Existing Building Code
- 2006 Phoenix Energy Conservation Code
- 2006 Phoenix Mechanical Code
- 2006 Phoenix Fuel and Gas Code
- 2006 Phoenix Fire Code
- 2006 Phoenix Performance Code
- 2006 Uniform Plumbing Code with Phoenix Amendments
- 2008 National Electrical Code/NFPA-70
- City of Phoenix Dark Sky Ordinance
- City of Phoenix Zoning Ordinance
- City of Phoenix Grading and Drainage Ordinance
- ICC/ANSI 117.1 - 2003, ADAAG, COP Building Code Chap. 11 and Appendix E Accessibility Requirements, ARS 1492, ARS 28-861-866
- 2002 ASME A17.3 Safety Code for Existing Elevators and Escalators with Phoenix Amendments

CONSTRUCTION TYPE
 Construction Type II-B with APES in Building TM, TB, WH, IB, TF and the existing bus shade canopies

Bus Drivers (on shifts)

204 total buses	- 10% of buses not in operation = 21
Assume all available buses in operation at peak time	183 / 1.5 (shift) = 122
TOTAL REQUIRED EMPLOYEE PARKING	= 339

Proposed Employee Parking (non-fleet)

Staff (@ SV lot) - new	= 277 (+ 7 acc)
Visitor - new	= 28 (+ 1 acc)
Staff (internal to facility) - existing	= 45 (+ 3 acc)
TOTAL PARKING PROVIDED	= 350 (+ 11 acc)

ACCESSIBLE (ADA-COMPLIANT) PARKING SPACES
 (at New Staff / Visitor Lot)
 Required = 8 (1 high profile, 98" min. clear)
 Provided = 8 (1 high profile, 98" min. clear)

BICYCLE PARKING
 Required = 0
 Provided = 12 @ each of two areas

MOTORCYCLE PARKING
 Required = 0
 Provided = 14 (approx. 5x8)

LANDSCAPE REQUIREMENTS AT PARKING

TOTAL PARKING AREA	= 113,138 SF
5% OF TOTAL (landscape area required)	= 5,657 SF
TOTAL LANDSCAPE AREA PROVIDED	= 7,242 SF

SITE PLAN NOTES

- Development and use of this site will conform with all applicable codes and ordinances.
- This project is located in the City of Phoenix water service area and has been designated as having an assured water supply.
- All new or relocated utilities will be placed underground.
- All signage requires separate approvals and permits.
- Any lighting will be placed so as to direct light away from the adjacent residential districts and will not exceed one foot candle at the property line. No noise, odor or vibration will be emitted so that it exceeds the general level of noise, odor or vibration emitted by uses outside the site. [NOTE: Site surrounded by A-2 industrial uses.]
- Owners of property adjacent to public right-of-way will have the responsibility for maintaining all landscaping within the rights-of-way in accordance with approved plans.

SITE LIGHTING NOTES

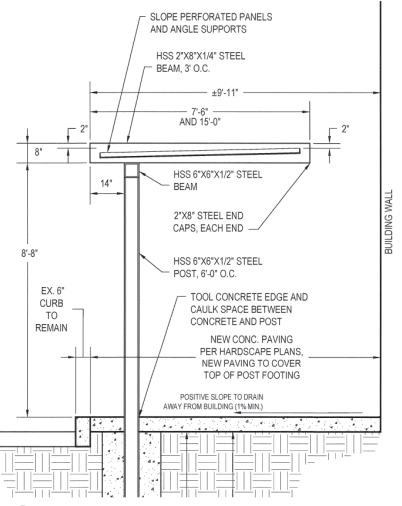
- New pole lights are to be installed at the new visitor and staff parking lot 25' tall.
- Existing pole lights at west and north perimeter of bus parking area, along 22nd Ave. and Lower Buckeye, are to be removed.
- New lights are to be installed under existing and new canopies throughout bus parking area.
- Existing pole lights at east edge of site are to remain in place, approx. 20' tall.

EQUIPMENT SCREENING NOTES

- All rooftop service equipment is existing, will remain in place, and is not being renovated as part of this project. Any existing unshielded condition is to remain.
- Any existing at-grade equipment adjacent to public streets (West Lower Buckeye Road) is to remain in place and current unshielded condition is to remain.
- Any new at-grade equipment adjacent to public streets (West Lower Buckeye Road) will be screened as part of project.

LANDSCAPE NOTES

- Per Salvage & Conservation Plans, there are 40 trees to remain and be protected in place on the project site.
- Per Salvage & Conservation Plans, there are 41 trees to be salvaged and transplanted back onto the project site.
- Per Salvage & Conservation Plans, there are 9 trees being displaced by new construction that will be destroyed.
- There will be no newly procured trees planted on site.



1 PEDESTRIAN SHADE CANOPY - TYP. SECTION
 [PER KEYNOTE 12] SCALE 1/2" = 1'-0"

Q5 # 6-24(ET) APNF: 105-40-008C ENVR #: 1209884 KIVA #: 06-1354

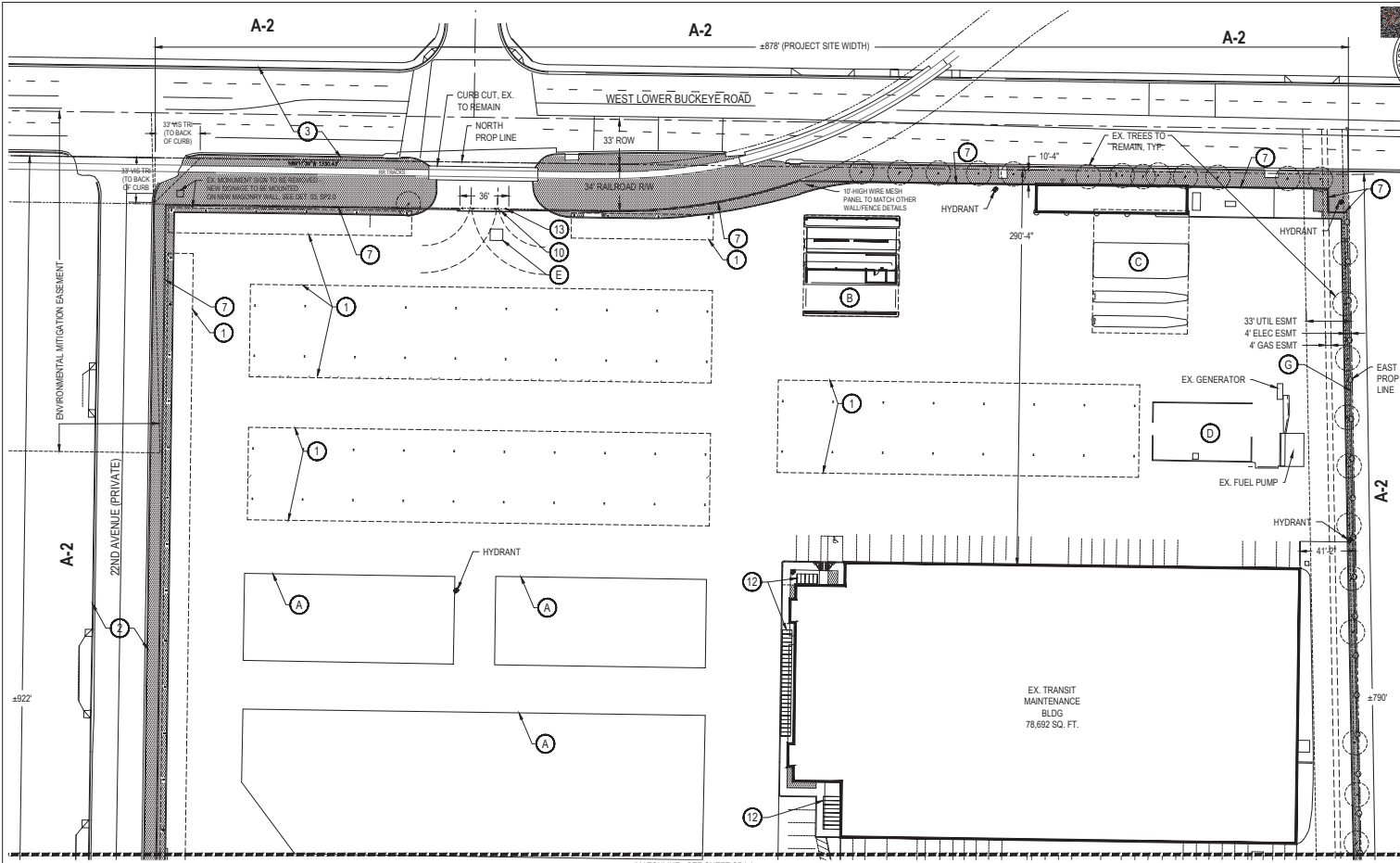
RNL
RIVERSIDE NATIONAL LANDSCAPE ARCHITECTURE, INC.

GBtwo
LANDSCAPE ARCHITECTURE, INC.

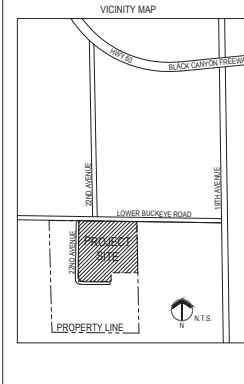
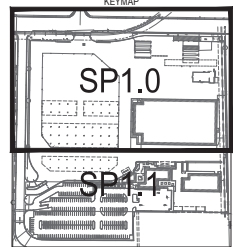
DES: _____ DR: _____ CK: _____ DATE: _____

REVISIONS LOGS

NO.	DESCRIPTION	REV. BY	CHK. BY	DATE



- ### GENERAL NOTES
- SITE PLAN SCOPE OF WORK**
- NEW BUS PARKING CANOPY AT EX. BUS PARKING AREA (SEE DETS. 01-03 - SP2.2)
 - EX. 22ND AVE TO BE RE-STRIPTED TO ACCOMMODATE CENTER LANE FOR BUS QUEUING AND LEFT TURN INTO NEW FACILITY ENTRANCE
 - RE-STRIPING AT LOWER BUCKEYE ROAD, NEW TRAFFIC LIGHT AT 22ND AVE
 - NEW VISITOR PARKING AREA
 - NEW STAFF PARKING AREA
 - NEW GUARDBOUSE (NEW BUS INGRESS / EGRESS) (SEE DETS. 01, 02, 06, 07 - SP2.0)
 - NEW 10'-HIGH MASONRY SECURITY WALL (SEE DET. 03-04 - SP2.0)
 - [not used]
 - NEW 8'-HIGH CHAIN LINK FENCE
 - NEW 10'-HIGH CHAIN LINK FENCE
 - NEW GATED FIRE TRUCK ACCESS (SEE DETS. 01-04 - SP2.1)
 - RELOCATED PUBLIC WORKS GATE
 - NEW PEDESTRIAN SHADE CANOPY (SEE DET. 1 - SP1.1)
 - BOLLARDS (removable where in fire lane)
- EXISTING SITE BUILDINGS / FEATURES**
- EX. BUS PARKING CANOPY TO BE REFINISHED / REPAINTED
 - EX. INSPECTION BAY (CONVERSION TO NEW WASH BAY)
 - EX. TIRE + FUELING BAYS (ROOF REPLACEMENT / REPAIR)
 - EX. ABOVE-GROUND LNG STORAGE TANKS TO REMAIN
 - EX. GUARDBOUSE - TO BE REMOVED
 - EX. FLEET CAR CANOPY TO REMAIN
 - EX. CHAIN LINK FENCE TO REMAIN
 - EX. MASONRY WALL TO REMAIN
- HATCH INDICATES UN-PAVED AREAS; ALL REMAINING NON-BUILDING AREAS ARE PAVED**
- KEYMAP



LEGAL DESCRIPTION

Project site is part of larger parcel described by Parcel No. 1: The west half of the northeast quarter of Section 24, Township 1 North, Range 2 east of the Gila and Salt River base and meridian, Maricopa County, Arizona.

Except that part of the southwest quarter of the northeast quarter of said Section 24, more particularly described as follows:

Beginning at a brass cap set in concrete marking the center of said Section 24;

Thence south 89 degrees 24 minutes 40 seconds east, along the east and west midsection line of said Section 24, 1311.24 feet to a pipe 2 inches in diameter set in concrete marking the southeast corner of the southwest quarter of the northeast quarter of said Section 24;

Thence north 01 degrees 05 minutes 40 seconds west, along the east line of said southwest quarter of the northeast quarter, 1100.46 feet to a pipe 2 inches in diameter, set in concrete;

Thence north 89 degrees 24 minutes 40 seconds west, 1318.44 feet to a bar three-fourths of an inch in diameter, set in the north-south midsection line of said Section 24;

Thence south 01 degrees 05 minutes 40 seconds east, along said midsection line, 930.91 feet to the point of beginning.

PROJECT DESCRIPTION

Rehabilitation of existing City of Phoenix South Transit Facility. Primary renovation is to interiors of facility buildings. Proposed new site work includes relocation of bus ingress/egress and new bus parking guardhouse, addition of shade canopies at bus parking area, new visitor/staff parking lot, new site walls. See Keynotes.

ZONING / USE

A-2 Industrial District (adjacent land use also A-2)

PARCEL AREA

51.38 acres

GROSS PROJECT SITE AREA

217.47 acres

DEDICATIONS (RR Easement)

0.34 acres

NET PROJECT SITE AREA

217.13 acres

BUILDING AREAS (SF)

Maintenance + Operations Bldg	78,692 (two floors)
Inspection Bay (Wash Bldg)	13,440 (two floors)
Tire + Fueling Bldg	5,185
Warehouse	8,842
Guardhouse (New)	180
Storage Bldg	2,800
TOTAL	121,895

BUILDING SITE COVERAGE

121,895 SF / 760,993 SF

BUILDING HEIGHTS (5'± allowed)

Maintenance + Operations Bldg	28'-8"
Inspection Bay (Wash Bldg)	28'-0"
Tire + Fueling Bldg	25'-4"
Warehouse	24'-8"
Guardhouse (New)	12'-0"
Storage Bldg	12'-0"

BUILDING SETBACKS

North	10'±
South	N/A
East	35'±
West	N/A

PARKING SUMMARY

(see Calculations/Requirements next sheet)

Staff (@ SW lot) - new	274 spaces (+ 7 acc)
Visitor - new	28 spaces (+ 1 acc)
Staff (internal to facility) - existing	48 spaces (+ 3 acc)
Fleet - existing	9 spaces

SITE PLAN NOTES

- Development and use of this site will conform with all applicable codes and ordinances.
- This project is located in the City of Phoenix water service area and has been designated as having an assured water supply.
- All new or relocated utilities will be placed underground.
- All signage requires separate approvals and permits.
- Any lighting will be placed so as to direct light away from the adjacent residential districts and will not exceed one foot candle at the property line. No noise, odor or vibration will be emitted so that it exceeds the general level of noise, odor or vibration emitted by uses outside the site. [NOTE: Site surrounded by A-2 Industrial uses.]
- Owners of property adjacent to public right-of-way will have the responsibility for maintaining all landscaping within the rights-of-way in accordance with approved plans.

SITE PLAN

CITY OF PHOENIX SOUTH TRANSIT FACILITY REHABILITATION PROJECT
Project No. PT03130001-FTA

PROJECT OWNER:
City of Phoenix
Public Transit Department, South Transit Facility
(located at 2225 West Lower Buckeye Road, Phoenix AZ)
COP Project Manager: Abed Bzai, PTD/Facilities
302 N. 1st Ave., Ste. 900, Phoenix AZ, 85003
602-534-8491 / abed.bzai@phoenix.gov

PROJECT LANDSCAPE ARCHITECT:
GBtwo Landscape Architecture, Inc.
6115 N. Cattletrack Rd, Scottsdale AZ 85250
480-991-3384 / Shari.Zimmerman_shariz@gbtwo.com

APPROVAL STAMPS:

PER CITY OF PHOENIX ORDINANCE G-4396, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX

CITY OF PHOENIX, ARIZONA PUBLIC TRANSIT DEPARTMENT FACILITIES DIVISION

SOUTH TRANSIT FACILITY

PROJECT NO. PT03130001-FTA

Site Plan

DES.	DR.	CK.	LM.	SHEET NO.	TOTAL SHEETS	AS BUILT
				1	5	

Scale: 1" = 40'-0"



DES.	DR.	CK.	DATE:

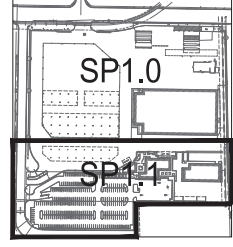
REVISIONS LOGS		
NO.	DESCRIPTION	REV. BY / OKD. BY / DATE

GENERAL NOTES

- SITE PLAN SCOPE OF WORK**
- NEW BUS PARKING CANOPY AT EX. BUS PARKING AREA (SEE DETS. 01-03 - SP2.2)
 - EX. 22ND AVE TO BE RE-STRIPPED TO ACCOMMODATE CENTER LANE FOR BUS QUEUING AND LEFT TURN INTO NEW FACILITY ENTRANCE
 - RE-STRIPING AT LOWER BUCKEYE ROAD, NEW TRAFFIC LIGHT AT 22ND AVE
 - NEW VISITOR PARKING AREA
 - NEW STAFF PARKING AREA
 - NEW GUARHOUSE (NEW BUS INGRESS / EGRESS) (SEE DETS. 01, 02, 06, 07 - SP2.0)
 - NEW 10'-HIGH MASONRY SECURITY WALL (SEE DET. 03-04 - SP2.0)
 - [not used]
 - NEW 8'-HIGH CHAIN LINK FENCE
 - NEW 10'-HIGH CHAIN LINK FENCE
 - NEW GATED FIRE TRUCK ACCESS (SEE DETS. 01-04 - SP2.1)
 - RELOCATED PUBLIC WORKS GATE
 - NEW PEDESTRIAN SHADE CANOPY (SEE DET. 1 - SP1.1)
 - BOLLARDS (removable where in fire lane)

- EXISTING SITE BUILDINGS / FEATURES**
- EX. BUS PARKING CANOPY TO BE REFINISHED / REPAINTED
 - EX. INSPECTION BAY (CONVERSION TO NEW WASH BAY)
 - EX. TIRE + FUELING BAYS (ROOF REPLACEMENT / REPAIR)
 - EX. ABOVE-GROUND LNG STORAGE TANKS TO REMAIN
 - EX. GUARHOUSE - TO BE REMOVED
 - EX. FLEET CAR CANOPY TO REMAIN
 - EX. CHAIN LINK FENCE TO REMAIN
 - EX. MASONRY WALL TO REMAIN

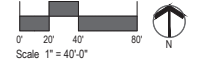
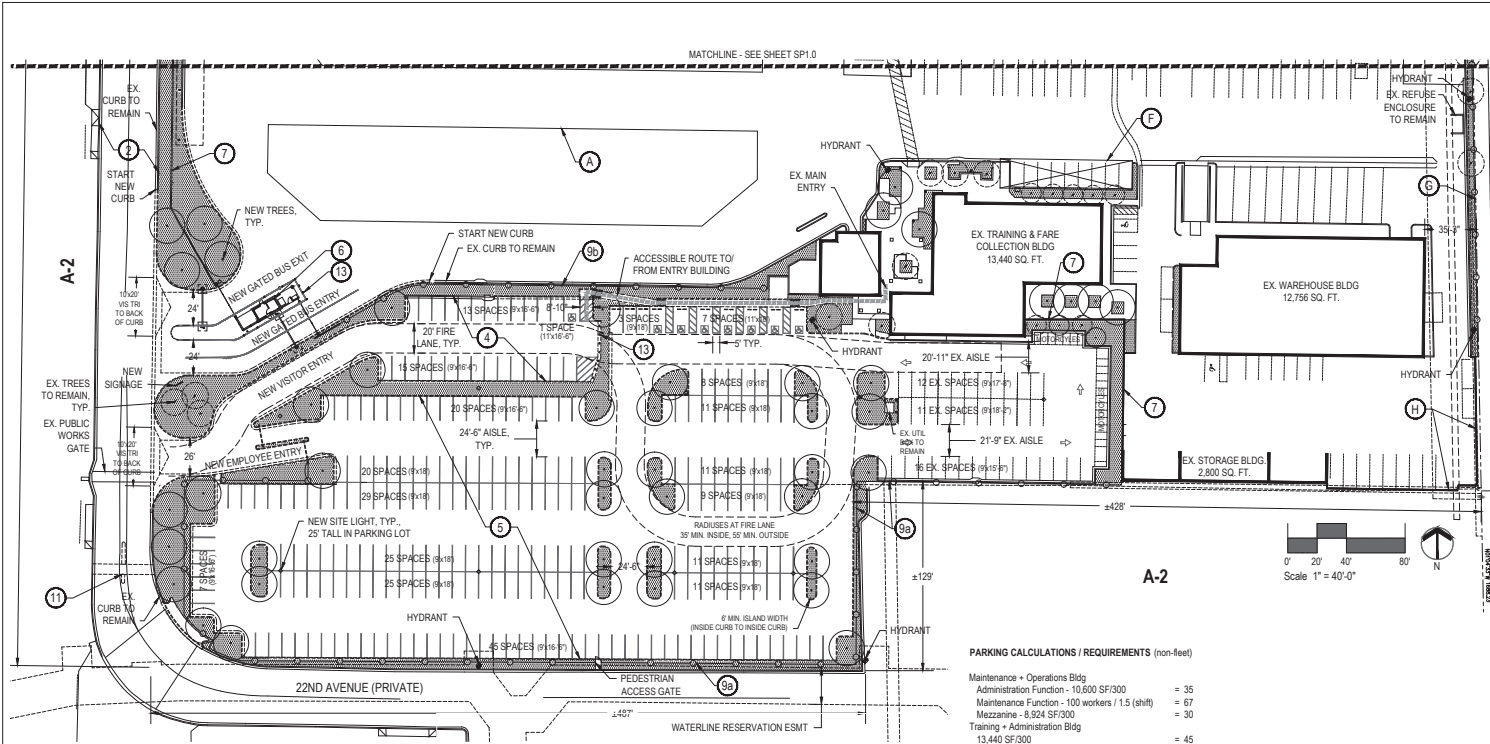
HATCH INDICATES UN-PAVED AREAS; ALL REMAINING NON-BUILDING AREAS ARE PAVED



PER CITY OF PHOENIX ORDINANCE G-4396, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX

**CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
SOUTH TRANSIT FACILITY
PROJECT NO. PT03130001-FTA
Site Plan**

DES.	DR.	CK.	LM.	SHEET NO.	TOTAL SHEETS	AS BUILT
DES. S2	DR. S2	CK. LM		2	5	
DATE: 01.07.13				SCALE: 1" = 40'-0"		



PARKING CALCULATIONS / REQUIREMENTS (non-fee)

Maintenance + Operations Bldg	
Administration Function - 10,600 SF/300	= 36
Maintenance Function - 100 workers / 1.5 (shift)	= 67
Mezzanine - 8,924 SF/300	= 30
Training + Administration Bldg	
13,440 SF/300	= 45
Inspection Bay (Wash Bldg)	
34 workers / 1.5 (shift)	= 23
Warehouse Bldg	
Office Area - 1,500 SF/1000	= 5
Storage - 10,100 SF/1000	= 10
Guardhouse (New)	
180 SF/300 (Office Area)	= 2
(1' office in office and 1 on-site at all times)	
SUBTOTAL	= 217

Bus Drivers (on shifts)
204 total buses
- 10% of buses not in operation = 21
Assume all available buses in operation at peak time
183 / 1.5 (shift) = 122

TOTAL REQUIRED EMPLOYEE PARKING = 339

Proposed Employee Parking (non-fee)	
Staff @ (SW lot) - new	= 274 (+ 7 acc)
Visitor - new	= 28 (+ 1 acc)
Staff (internal to facility) - existing	= 48 (+ 3 acc)
TOTAL PARKING PROVIDED	= 350 (+ 11 acc)

ACCESSIBLE (ADA-COMPLIANT) PARKING SPACES
(at new Staff / Visitor Lot)
Required = 8 (1 high profile, 98" min. clear)
Provided = 8 (1 high profile, 98" min. clear)

BICYCLE PARKING
Required = 0
Provided = 12 @ each of two areas

MOTORCYCLE PARKING
Required = 0
Provided = 14 (approx. 5x8)

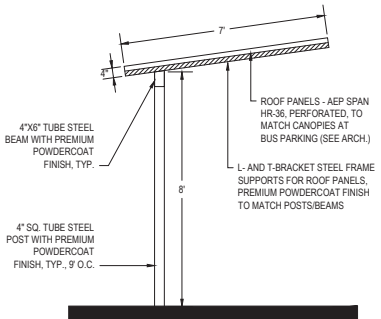
LANDSCAPE REQUIREMENTS AT PARKING
TOTAL PARKING AREA = 113,138 SF
5% OF TOTAL (landscape area required) = 5,657 SF
TOTAL LANDSCAPE AREA PROVIDED = 7,242 SF

SITE LIGHTING NOTES

- New pole lights are to be installed at the new visitor and staff parking lot, 25' tall.
- Existing pole lights at west and north perimeter of bus parking area, along 22nd Ave. and Lower Buckeye, are to be removed.
- New lights are to be installed under existing and new canopies throughout bus parking area.
- Existing pole lights at east edge of site are to remain in place, approx. 20' tall.

EQUIPMENT SCREENING NOTES

- All rooftop service equipment is existing, will remain in place, and is not being renovated as part of this project. Any existing unscreened condition is to remain.
- Any existing at-grade equipment adjacent to public streets (West Lower Buckeye Road) is to remain in place and current unscreened condition is to remain.
- Any new at-grade equipment adjacent to public streets (West Lower Buckeye Road) will be screened as part of project.



1 PEDESTRIAN SHADE CANOPY - ELEVATION
SCALE 1/2" = 1'-0"

GENERAL NOTES

- REFER TO LANDSCAPE DRAWINGS FOR LOCATION AND TYPE/DIMENSION OF SECURITY AND SCREEN WALLS AND FENCING.
- PROVIDE AUTOMATIC KEY OVERRIDE IN KNOX BOXES AND/OR KNOX SWITCHES AT ALL GATES (BOTH INSIDE AND OUTSIDE) AND BUILDING ENTRANCES. A KNOX BOX SHALL BE PROVIDED FOR EACH GATE TO OBTAIN PERMIT FROM CITY OF PHOENIX FOR EXACT LOCATION AND TYPE OF BOXES.
- COORDINATE FIRE LANE SIGNAGE AS REQUIRED BY PHOENIX FIRE CODE.
- PROVIDE FIRE LANE SIGNAGE AS REQUIRED BY PHOENIX FIRE CODE.
- PROVIDE FIRE HYDRANT CLEARANCES (3' TO ANY OBSTACLE) AND ACCESS TO FIRE HYDRANTS. THE FIRE HYDRANT CLEARANCE SHALL BE INDICATED ON THE PHOENIX FIRE CODE, COORDINATE WITH CIVIL DRAWINGS.
- PROVIDE MINIMUM FIRE TRUCK RADIUS CLEARANCES AS REQUIRED BY PHOENIX FIRE CODE, COORDINATE WITH CIVIL DRAWINGS.
- REFER TO LANDSCAPE DRAWINGS FOR PROPOSED TREE PLANTINGS.
- REFER TO SHEET C0202 FOR TYPICAL PARKING STALL DIMENSIONS & HANDICAPPED PARKING STALL DIMENSIONS.
- ALL SIGNAGE SHALL BE INDICATED ON DRAWINGS BY APPROVED MANUFACTURER. SUBMITTALS: REFER TO DRAWINGS BY APPROVED MANUFACTURER.
- ALL SIGNAGE REQUIRE SEPARATE APPROVALS AND PERMITS.

LOCK BOX PROCEDURE REQUIREMENTS

ORDERING THE LOCK BOX:

- THE CONTRACTOR SHALL OBTAIN THE ORDER FORM (KNOX CO. ORDER FORM) FROM THE FIRE INSPECTOR.
- THE COMPLETED FORM AND THE SITE PLAN SHALL BE SUBMITTED, TO THE FIRE INSPECTOR, IN AMOUNT OF MONEY, TO THE PHOENIX FIRE PREVENTION DEPARTMENT.
- AUTHORIZED FIRE PREVENTION PERSONNEL WILL REVIEW AND APPROVE THE ORDER FORM.
- A COPY OF THE STAFF AUTHORIZED FORM AND CHECK WILL BE GIVEN TO THE APPLICANT. A CHECK WILL THEN BE FORWARDED TO THE KNOX CO. BY FIRE PREVENTION BUREAU STAFF.

INSTALLING A LOCK:

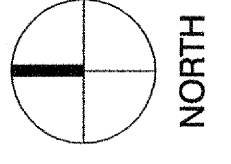
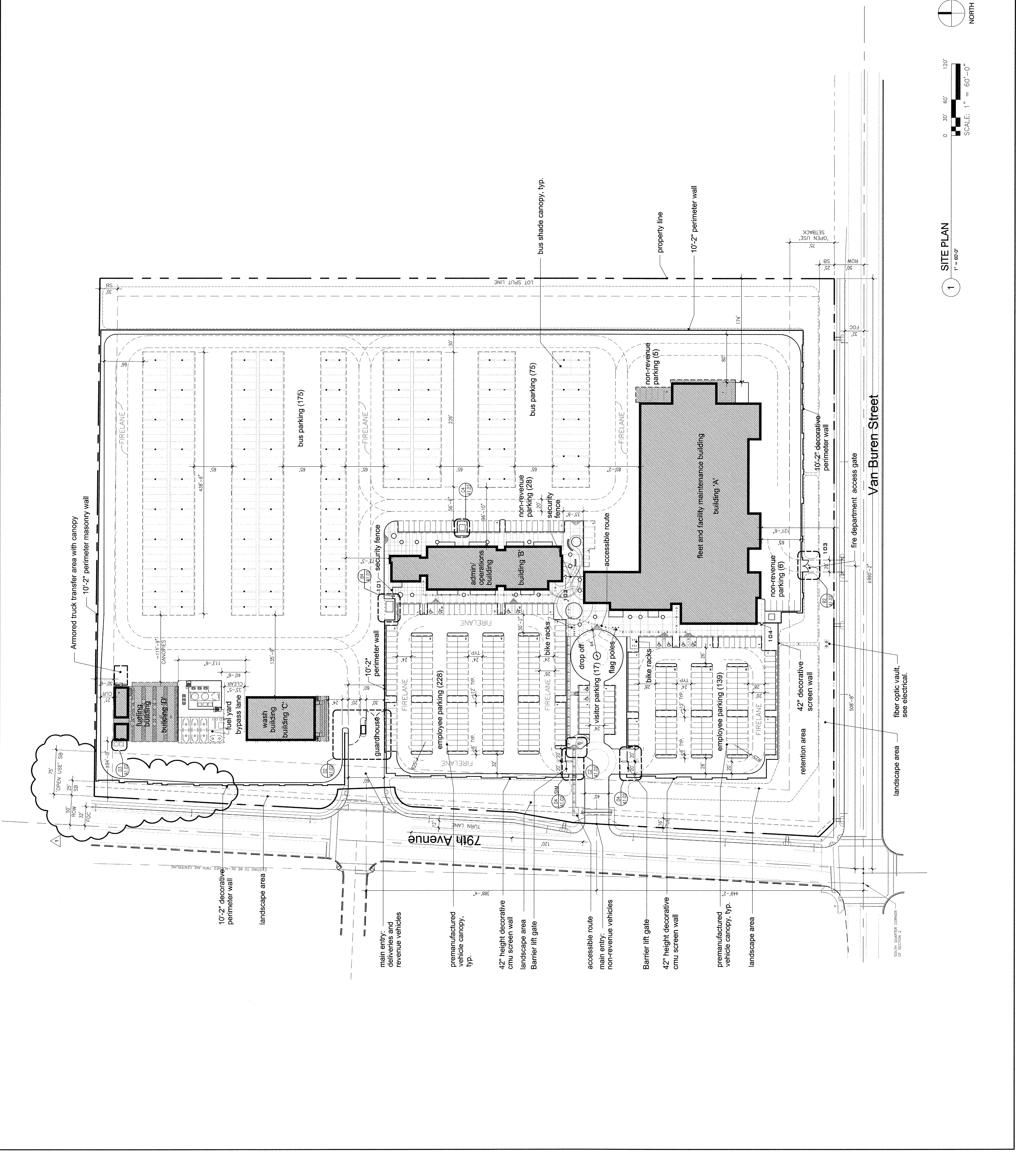
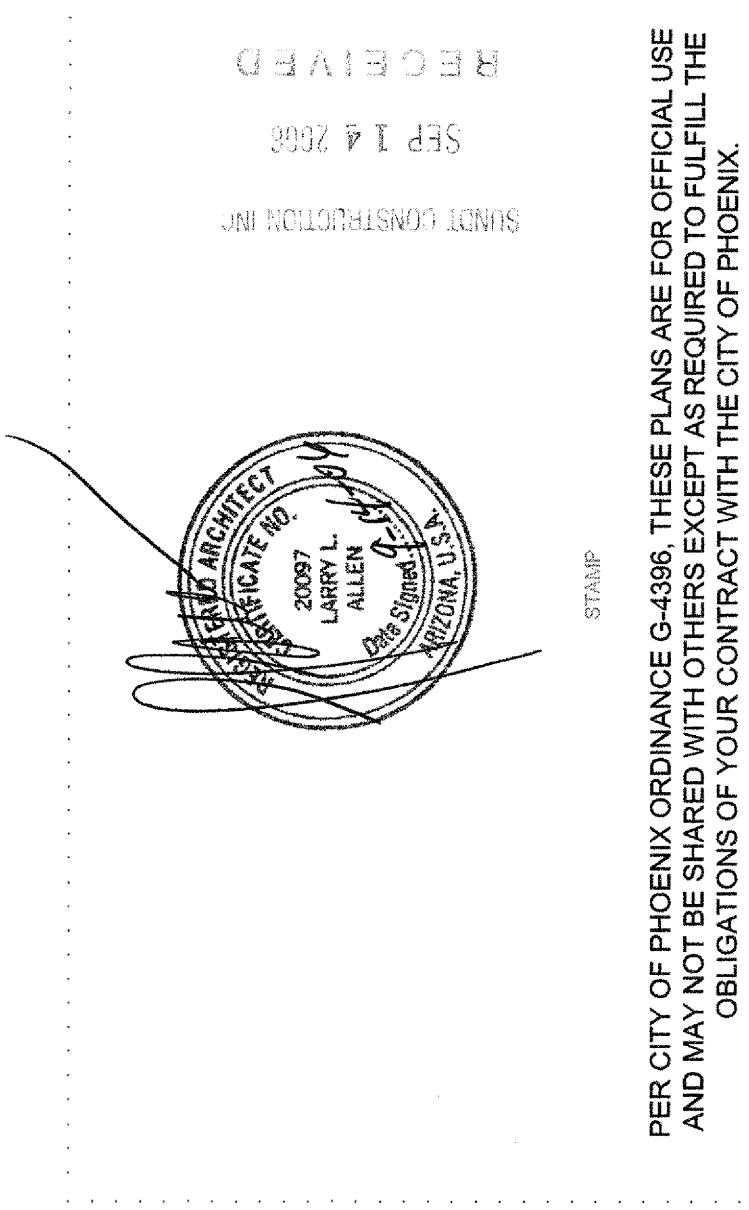
- THE CONTRACTOR SHALL MEET WITH A FIRE INSPECTOR TO DECIDE THE FINAL LOCATION OF THE LOCK BOX.
- THE BOX SHALL BE LOCKED ON PERMANENT SURFACE LOCATIONS ARE INDICATED ON THIS SHEET, AND SPECIFIC BUILDING PLAN SHEETS.
- THE BOX SHALL BE NO LOWER THAN 5' AND NO HIGHER THAN 6'.

KEYS:

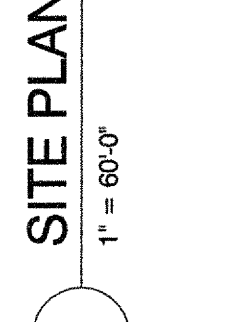
- KEYS TO BE PUT INTO THE LOCK BOX WILL BE DETERMINED BY THE PHOENIX FIRE PREVENTION DEPARTMENT, AS NEEDED FOR ACCESS.
- A METAL DISC WILL BE ATTACHED TO EACH KEY.
- THE KEYS SHALL BE ENGRAVED/STAMPED WITH THE NAME OF THE AREA THE KEY SERVES.
- THE FIRE PREVENTION INSPECTOR WILL TEST THE KEYS IN THE LOCK BOX TO BE SURE THEY WORK PROPERLY.
- THE KEYS WILL BE SECURED INSIDE A PLASTIC BAG, AND THEN PLACE INTO THE LOCK BOX AND LOCKED BY THE FIRE PREVENTION INSPECTOR.

ELECTRIC GATES:

AN APPROVED OPTICAL SENSING DEVICE SHALL BE INSTALLED TO DETECT THE APPROACH OF A VEHICLE TO THE GATE. THE DEVICE SHALL BE INSTALLED IN THE CENTER OF THE GATE. THE DEVICE SHALL BE INSTALLED ON THE INSIDE OF THE GATE. THE DEVICE SHALL BE INSTALLED ON THE INSIDE OF THE GATE. THE DEVICE SHALL BE INSTALLED ON THE INSIDE OF THE GATE. THE DEVICE SHALL BE INSTALLED ON THE INSIDE OF THE GATE.

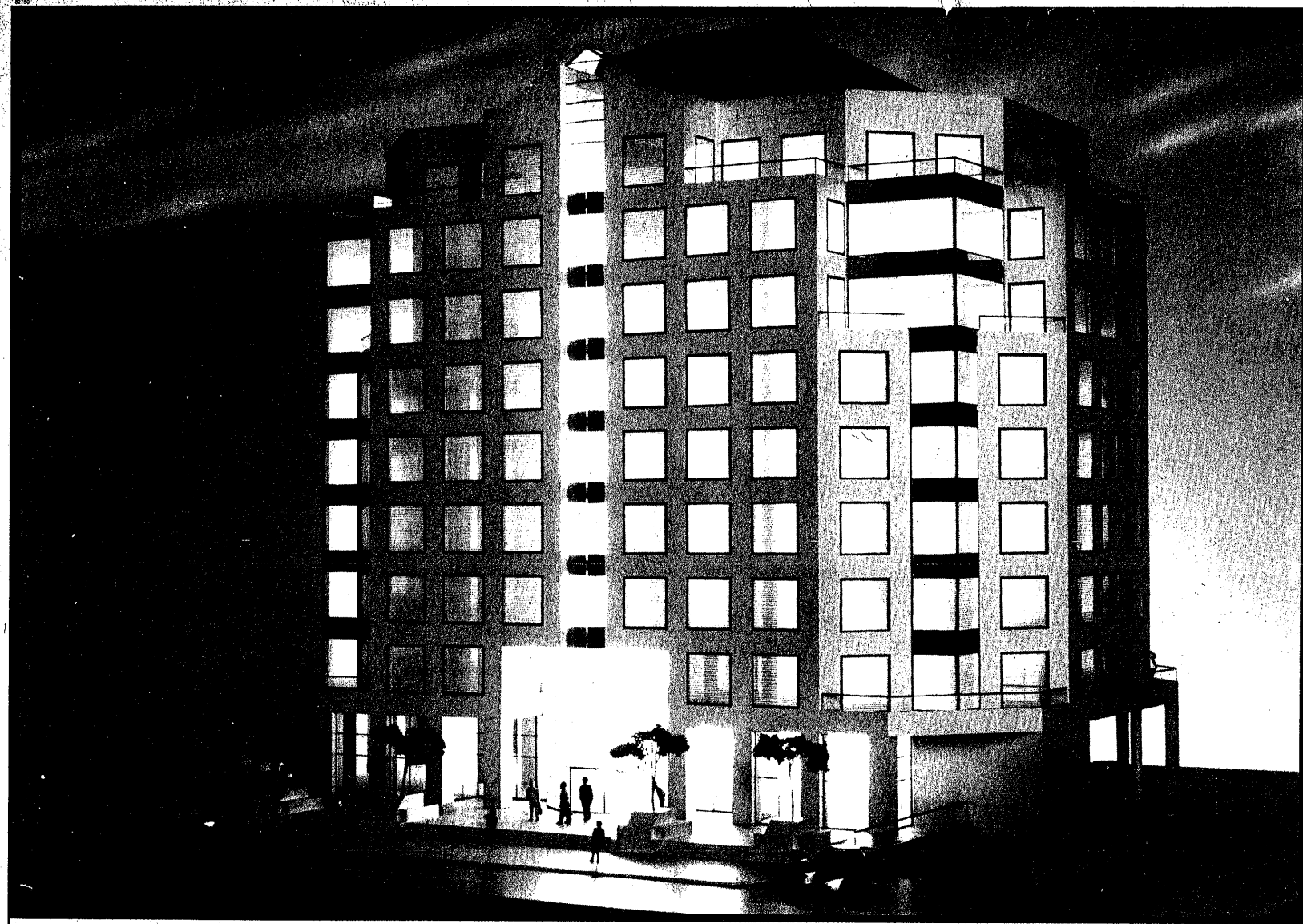


1 SITE PLAN
 1" = 60'-0"



SCALE: 1" = 60'-0"

PER CITY OF PHOENIX ORDINANCE G-4386, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.



PLANNING

PHASE I

P1 Plumbing Site Plan
 P2 Plumbing Floor Plan - First Floor
 P3 Plumbing Floor Plan - Second Floor
 P4 Plumbing Floor Plan - Levels 3-6
 P5 Plumbing Floor Plan - 7th and 8th Floor
 P6 Plumbing Floor Plan - Level 9
 P7 Plumbing Schematics
 P8 Plumbing Roof Plan
 P9 Plumbing Mechanical and Penthouse Floor Plans

MECHANICAL

PHASE I

M1 Mechanical/Plumbing Parking - Level P1
 M2 Mechanical/Plumbing Parking - Level P2 and P3
 M3 Mechanical/Plumbing Parking - Level P4 and P5
 M4 Mechanical/Plumbing Parking - Level P6 and P7
 M5 Mechanical/Plumbing Parking - Level P8
 M6 Mechanical/Plumbing Details/Sections

PHASE II

M1 Mechanical Schedules
 M2 Mechanical Floor Plan - First Floor
 M3 Mechanical Floor Plan - Second Floor
 M4 Mechanical Floor Plan - Levels 3-6
 M5 Mechanical Floor Plan - 7th and 8th Floor
 M6 Mechanical Floor Plan - Level 9
 M7 Mechanical Roof Plan
 M8 1/4 Scale Plans and Sections
 M9 Mechanical Details
 M10 Control Diagrams

ELECTRICAL DRAWINGS

PHASE I

E1 Electrical Floor Plan - 1st Floor
 E2 Electrical Floor Plan - 2nd Floor
 E3 Electrical Floor Plan - Levels 3-6
 E4 Electrical Floor Plan - 7th and 8th Floors
 E5 Electrical Floor Plan - Level 9
 E6 Electrical Roof Plan

PHASE II

E7 Electrical Parking - Level P1
 E8 Electrical Parking - Level P2 and P3
 E9 Electrical Parking - Level P4 and P5
 E10 Electrical Parking - Level P6 and P7
 E11 Electrical Parking - Level P8

PHASE I

E12 One Line Diagrams
 E13 Fire Alarm Racks
 E14 Panel Schedules
 E15 Panel Schedules
 E16 1/4 Scale Plans and Elevations

LANDSCAPE

L1 Site Plan
 L2 Irrigation Plan
 L3 Specifications, Details

STRUCTURAL

PHASE I

S1 General Notes
 S2 Parking Level P8
 S3 Parking Level P6 and P7
 S4 Parking Level P4 and P5
 S5 Parking Level P2 and P3
 S6 Parking Level P1
 S7 First Floor Plan

PHASE II

S8 Second Floor Plan
 S9 Typical Floor 3rd Floor through 7th Floor
 S10 8th Floor Plan
 S11 9th Floor Plan
 S12 Roof Plan

PHASE I

S13 Column and Wall Schedules
 S14 Sections and Details
 S15 Sections and Details
 S16 Sections and Details
 S17 Sections and Details
 S18 Penthouse and Footing Details

SHEET INDEX

revision	no.	date	by
	8	11/8/88	PHASE 2 PERMIT
	7	10/27/88	PHASE 2 2ND SUBMIT
	6	9/19/88	PHASE 2 SUBMITTAL
	5	8/16/88	PHASE 1 PERMIT
	4	7/29/88	CORRECTIONS
	3	7/11/88	CORRECTIONS
	2	2/8/88	REVISIONS
	1	8/18/87	GMP

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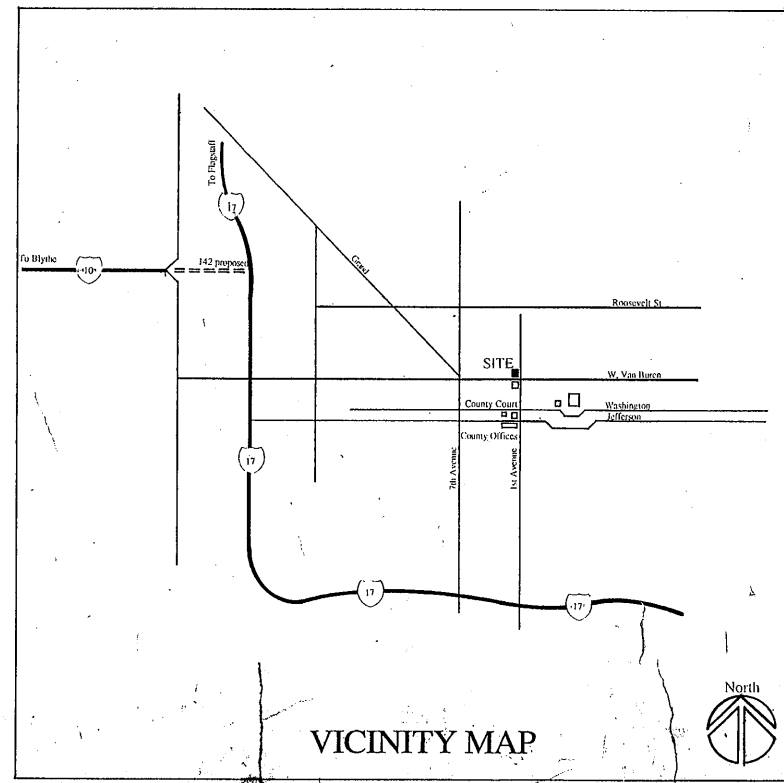
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 Phoenix, Arizona 85004
 (602) 251-8369

Phoenix Arts Commission
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 Two North Central
 Suite 125
 Phoenix, Arizona 85004
 (602) 262-4637

PROJECT REPRESENTATIVES



VICINITY MAP

PROJECT DATA

SITE AREA

Gross	51,136 s.f.
Net	30,198 s.f.

BUILDING AREA

First Floor	12,040 s.f.
Second Floor	11,370 s.f.
3rd through 6th floor	12,200 s.f. each
7th and 8th floor	11,878 s.f. each
9th floor	9,348 s.f.
Roof Plan	
Total	105,314 s.f.

CODE DATA

Zoning	C-3 HRI
Construction Type	1B
Occupancy Type	Business
Fire sprinklers	Fully

Front Setback Requirement: 35 feet
 Setback Reduction

Sec. 512.2a(1)	5 feet
Sec. 512.2b(4)	2 1/2 feet
Sec. 512.2b(5)	2 1/2 feet

Adjusted from setbacks: 25 feet

PARKING REQUIREMENTS

Requirements:
 (95% of 105,314 s.f.) 250 = 401 stalls

Parking stalls reduced by variance: 73 stalls

Parking stalls provided: 328 stalls

Loading Bays Required and Provided: (105,314 s.f. requires) 3 Bays

VARIANCES

Parking: Case No: 473-87
 Date of Approval: June 4, 1987
 Description: Approved to reduce the required parking to 328 stalls.

Loading Bay: Case No: 584-87
 Date of Approval: July 9, 1987
 Description: Approved to use less as maneuvering aisle.

Driveway: Case No: 44-81
 Date of Approval: March 1, 1981
 Description: A driveway width increased to 40' with wing to overlap property line as shown on plan.

CO2: Case No: 327-88
 Date of Approval: August 23, 1988
 Description: To show subterranean ventilating system to shut down to conserve energy when CO2 concentration levels allow it.

LEGAL DESCRIPTION

This part of lot 1, Block 3, Segar's addition to the City of Phoenix, according to the plat of record in the Office of the County Recorder of Maricopa County, Arizona, in Book 3 of maps at page 127, in the Southwest quarter of Section 5, Township 1 North, Range 2 East of the T & S R & M, described as follows:

Beginning at the intersection of the West line of the East 75 feet of said Southwest quarter and the North line of the South 53 feet thereof; thence southerly along a line, herein designated as line "A", the line of the East 50 feet of said Southwest quarter and the North line of the South 40 feet thereof, as measured perpendicular to said line "A", to its intersection with said West line of the East 50 feet thereof; thence westerly along said West line to its intersection with the North line of the South 40 feet; thence westerly along said North line of the South 40 feet to its intersection with a line that is 400 feet southerly of and parallel with said line "A", thence Northwesterly along said parallel line to its intersection with the North line of the South 40 feet of said Southwest quarter; thence westerly along said North line to the West line of said lot 1; thence Northwesterly along said West line to its intersection with said North line of the South 53 feet of the Southwest quarter; thence easterly along said North line to the point of beginning.

PROJECT DATA



CITIBANK BUILDING OF ARIZONA

TITLE SHEET
 PHASE ONE AND TWO

scale	date
drawn	checked
project no.	sheet no.
42-141	A0

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When dimensions shall have precedence over scale dimensions, Contractors shall verify and be responsible for all dimensions and conditions on the job, and the architect shall be relieved of all responsibility from the dimensions and conditions shown on the drawing. Close drawings shall be submitted to the architect for approval before proceeding with construction.

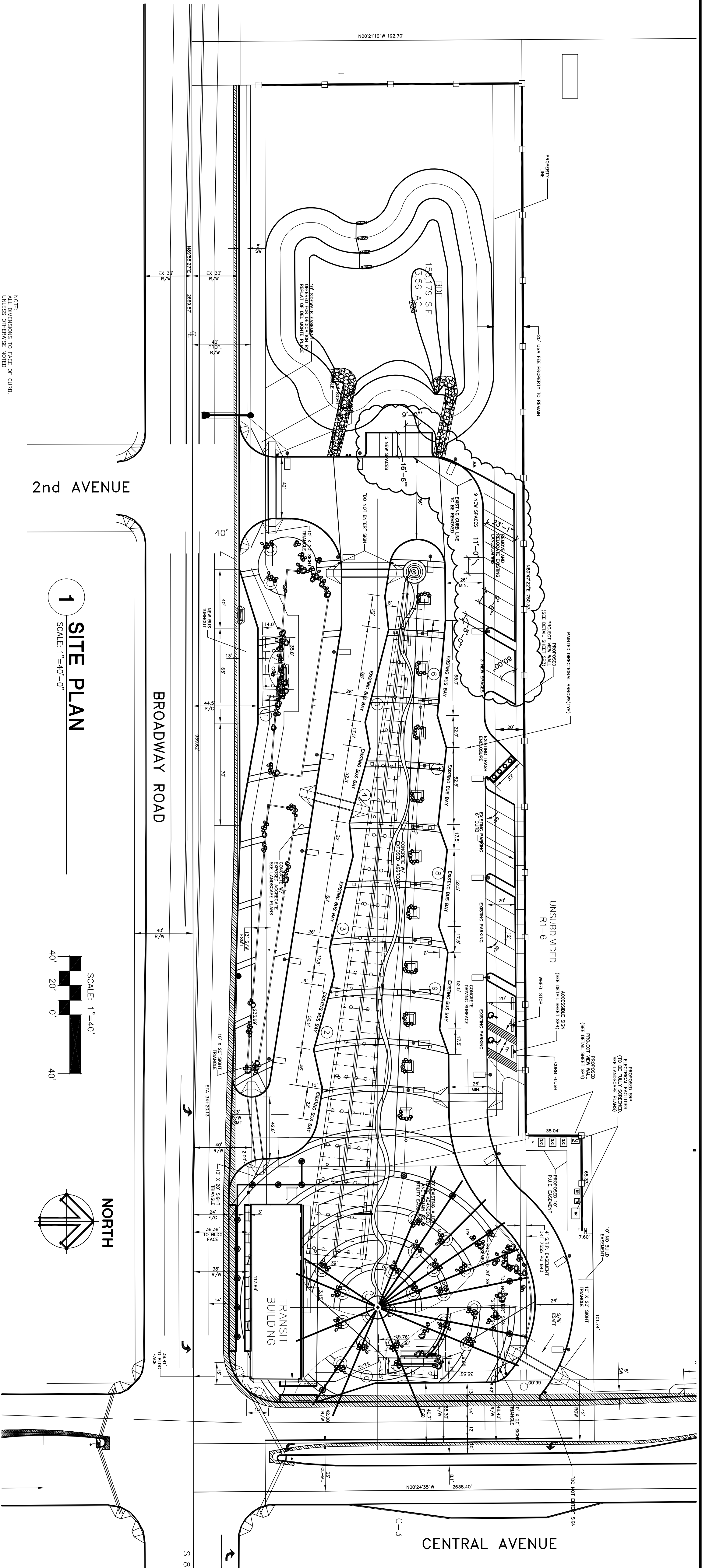
PLAN CHECK LOG NO. 547

DESIGN PROFESSIONAL:

DAVISON ASSOCIATES

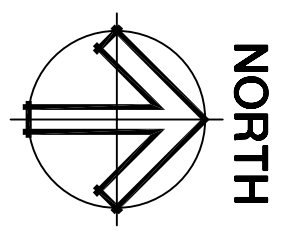
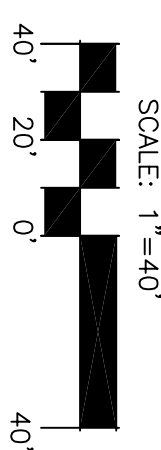
1110 EAST MYRTLE AVENUE
PHOENIX, AZ 85020
P: 602-906-9605
F: 602-861-0333
E:davisonassociates@cox.net

DES. NO.	DR.	ND	CHK.	ND	DATE:
REVISION LOG					
NO.	DESCRIPTION	REV. BY	CHK BY	DATE	
1	CITY SUBMITTAL			2/2/06	
2	OWNER COMMENTS			2/27/06	

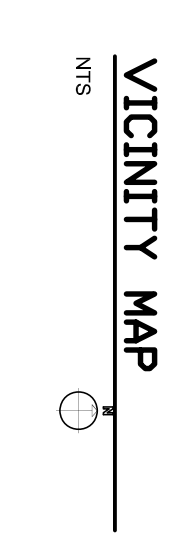


1 SITE PLAN

SCALE: 1"=40'-0"



NORTH



VICINITY MAP

PROJECT DESCRIPTION:

THE ED PASTOR TRANSIT CENTER AT SOUTH MOUNTAIN VILLAGE WAS DEVELOPED BY THE CITY OF PHOENIX PUBLIC TRANSIT DEPARTMENT. THE SITE, LOCATED AT THE NORTHWEST CORNER OF CENTRAL AVENUE AND BROADWAY ROAD SERVES AS A TRANSFER POINT FOR SEVEN EXISTING ROUTES WITHIN THE PHOENIX TRANSIT SYSTEM. THE SITE PROVIDES FOR RIDERS TO TRANSFER TO AND FROM OTHER ROUTES, AND FOR "DROP-OFF" FROM A PRIVATE VEHICLE. THE "PLAY N TAK 11" BUILDING HAS BEEN REHABILITATED AND IS USED FOR TRANSIT RELATED ACTIVITIES INCLUDING: PURCHASE OF TICKETS AND PASSES, PUBLIC RESTROOMS, DISTRIBUTION OF SCHEDULES, OFFICE FOR ADA CERTIFICATION, OF TRANSIT SERVICES AND SPACE FOR ADA CERTIFICATION, OF TRANSIT SERVICES AND SPACE FOR STAFF OFFICES AND RESTROOMS. THE OUTDOOR SPACE IS FOR THE PUBLIC AND INCLUDES SEATING, LIGHTS, SHADE TREES, SPACE AND UTILITIES FOR VENDOR HOOK-UP. THE SPACE INCLUDES LANDSCAPING AS WELL AS PUBLIC ART.

APPLICANT INFORMATION:

CITY OF PHOENIX PUBLIC TRANSIT DEPARTMENT
302 N. FIRST AVENUE, EIGHT FLOOR
MR. KINI KNudson
(602) 262-7254

ARCHITECT:

NEIL DAVISON
DAVISON ASSOCIATES
1110 EAST MYRTLE AVENUE
PHONE: (602) 906-9605
FAX: (906) 861-0333

DEVELOPMENT SUMMARY:

GROSS SITE AREA: 4.71 AC
NET SITE ACREAGE: 3.58 AC (155,945 SF)
EXISTING SITE ZONING: C-3
LOT COVERAGE:
EXISTING BUILDING = 4,241 SF
MAIN CANOPY (LESS 6') = 7,729 SF
BUS STOP CANOPY = 454 SF
TOTAL AREA = 12,424 SF
LOT COVERAGE = 8%

PARKING:

ANGLE OF PARKING IS 60°
REQUIRED:
4,241 SF * 80% = 3,3928 /300=11.3 SPACES=
12 SPACES REQUIRED, 1 OF WHICH MUST BE ACCESSIBLE
EXISTING:
11 CONVENTIONAL
2 ACCESSIBLE
8 INTERIOR BUS BAYS
2 STREET BUS BAYS

NEW 17 CONVENTIONAL

NOTES:

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
2. THIS PROJECT IS LOCATED IN THE CITY OF PHOENIX WATER SERVICES AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSUED WATER SUPPLY.
3. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
4. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAY ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
5. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED 33'-X-33' ALONG THE PROPERTY LINE (AS DESIGNATED ON THE PLAN) WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3', WITH THE EXCEPTION OF THE NORTHWEST CORNER OF BROADWAY ROAD AND CENTRAL AVENUE WHERE THE "PLAY N TAK 11" HISTORIC BUILDING IS LOCATED.
6. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDELA AT THE PROPERTY LINE. NO NOISE, ODOR, OR VIBRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE.
7. OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPINGS LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLANS.
8. THE EXISTING STRUCTURES MUST COMPLY WITH THE CHANGE OF OCCUPANCY PROVISIONS IN THE PHOENIX CONSTRUCTION CODE PRIOR TO USE.
9. AFTER FINAL APPROVAL THE PROJECT WILL BE INSPECTED FOR ZONING COMPLIANCE DURING CONSTRUCTION AND PRIOR TO OCCUPANCY. THE APPLICANT IS TO NOTIFY DSD PRIOR TO OCCUPANCY TO ARRANGE FOR INSPECTIONS. CALL 602-262-6981 AND REQUEST A DESIGN REVIEW INSPECTION.
10. ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
11. ALL SERVICES AREA SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
12. ALL ON-SITE WATERLINES, INCLUDING THOSE REQUIRED FOR FIRE PROTECTION SHALL BE PRIVATE PLUMBING LINES SUBJECT TO THE PHOENIX PLUMBING CODE.
13. ALL NEW SANITARY SEWER LINES WITHIN THE SITE SHALL BE PRIVATE PLUMBING LINES SUBJECT TO THE PHOENIX PLUMBING CODE.
14. ALL SIGNAGE REQUIRES SEPARATE APPROVALS AND PERMITS.
15. BARBED, RAZOR, OR CONCERTINA WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OF ADJACENT RESIDENTIAL AREAS.
16. TREES ADJACENT TO PEDESTRIAN WALKWAYS SHOULD HAVE A MINIMUM CANOPY CLEARANCE OF SIX FEET EIGHT INCHES.

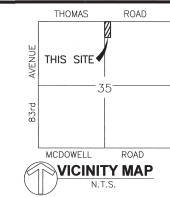
LEGAL DESCRIPTION:

THE TRANSIT DEPARTMENT INTENDS TO ADD A SMALL POLICE OFFICE ON THE EAST END OF THE EXISTING BUILDING. THE PROJECT WILL BE TENANT IMPROVEMENT WORK ONLY. 17 PARKING SPACES FOR POLICE VEHICLES WILL BE ADDED TO THE SITE.

VARIANCE PER ZA-517-01-7

- APPROVED 8/23/01 WITH STIPULATIONS:
VARIANCE TO ZONING ORDINANCE SECTIONS 62.3.C.4.d, 507.11.5.1.4, 702.A.2.c.(2)
1. VARIANCE TO ALLOW A 5' LANDSCAPE SETBACK ON THE PROPERTY LINE.
 2. MINIMUM 10' REQUIRED.
 3. VARIANCE TO DELETE THE INTERIOR PARKING LOT LANDSCAPING.
 4. MINIMUM 5% PARKING LOT LANDSCAPING REQUIRED.
 5. VARIANCE TO ALLOW AN OPEN WROUGHT-IRON FENCE TO SCREEN THE PARKING AREA. SOLID WALL REQUIRED.
- STIPULATIONS
1. GENERAL CONFORMANCE TO SITE PLAN
 2. (DATED 04/2001) AND FENCE ELEVATIONS.
 3. ONE TEAR TO APPL-FOR PERMITS.

PER CITY OF PHOENIX ORDINANCE G-4386, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.					
KIVA NUMBER	01-309	CCPR NUMBER	0600369	SDEV NUMBER	0700171
Q.S. NUMBER	5-27				
CITY OF PHOENIX, ARIZONA PUBLIC TRANSIT DEPARTMENT FACILITIES DIVISION ED PASTOR TRANSIT CENTER TENANT AND PARKING IMPROVEMENTS P700120037 MASTER SITE PLAN					
DES. NO.	DR.	ND	CHK.	ND	SHEET TOTAL AS BUILT
DATE: 1/16/06	DATE: 1/16/06	DATE: 1/16/06	DATE: 1/16/06	DATE: 1/16/06	3 9
SCALE: 1" = 40'					



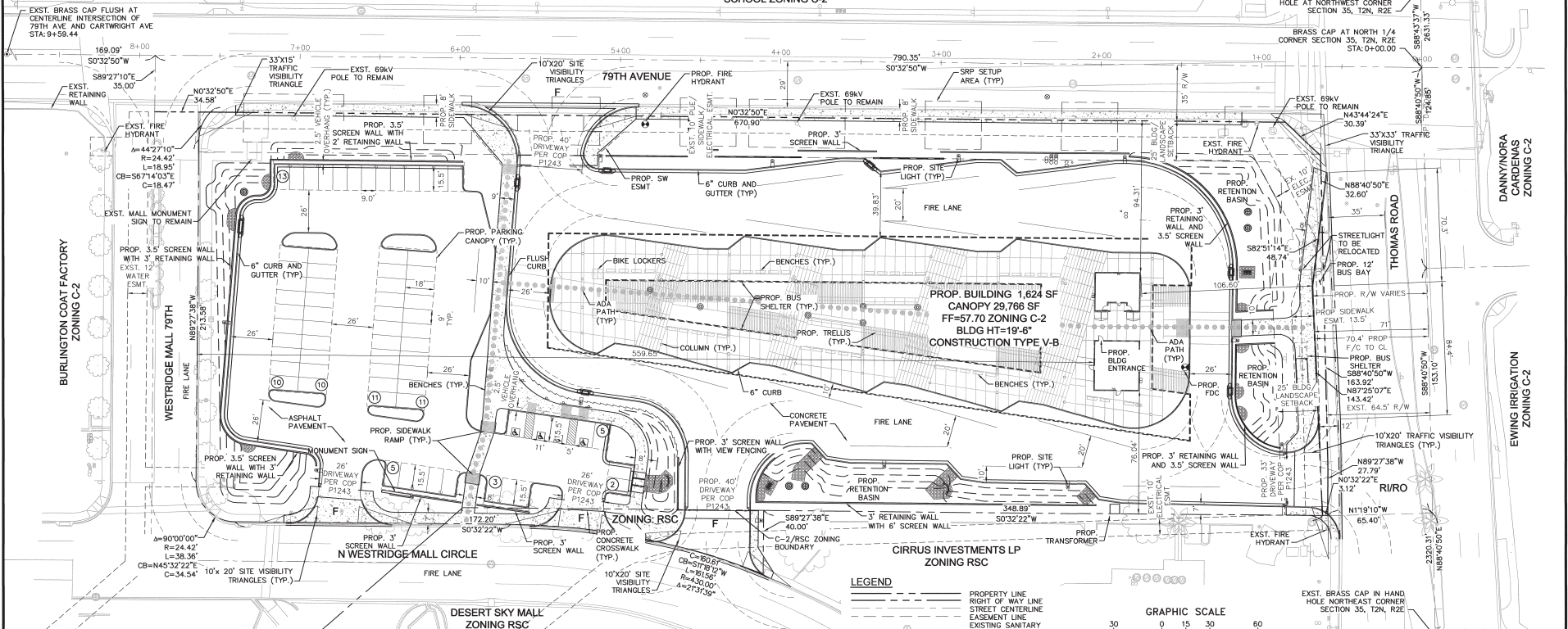
DESIGN PROFESSIONAL:
KIMLEY-HORN AND ASSOCIATES, INC

DES: STM DR: BMW CK: STM DATE: 10/24/14

REVISION LOG

NO.	DESCRIPTION	REV.	BY	DATE

CARTWRIGHT ELEMENTARY SCHOOL ZONING C-2



PROJECT INFORMATION

GROSS ACREAGE: 219,504 SF 5.04 ACRES
NET ACREAGE: 177,053 SF 4.06 ACRES
ZONING: COMMERCIAL C-2 (3.98 AC.)
REGIONAL SHOPPING CENTER RSC (0.08 AC.)
CITY Q.S.: 012-35 AND 012-37
F.E.M.A. MAP NO.: 04013C2105F

NET SITE AREA: 169,253 SF
PAVING/HARDSCAPE: 93,213 SF
LANDSCAPE: 44,630 SF
BUILDING: 1,624 SF
SHELTER: 29,766 SF

MAXIMUM BUILDING HEIGHT: 2 STORIES OR 30'
PARKING SPACES REQUIRED:
STANDARD 9'X18': 2 FOR EMPLOYEES
ADA STALLS 11'X18': 1
LANDSCAPE: 1,624 SF
PARKING SPACES PROVIDED (ALL COVERED):
STANDARD 9'X18': 66
ADA STALLS 11'X18': 4
70 STALLS

TOTAL:
PARKING AREA: 12,000 SF
REQUIRED PARKING LANDSCAPE AREA (5% OF PARKING AREA): 600 SF
PROVIDED PARKING LANDSCAPE AREA: 1,032 SF

PROJECT DATA

AREA: 4.06 ACRES
ZONING: C-2
OWNER: CITY OF PHOENIX
OWNER CONTACT (PTD): HERB MUNDZ PHONE: 602-534-1818
DESIGN CONSULTANT: KIMLEY-HORN AND ASSOC., INC.
CONSULTANT CONTACT: ADAM PERILLO PHONE: 602-944-5500

BLDG CODE DATA

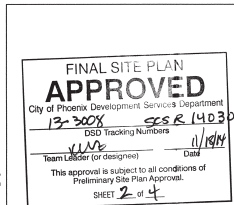
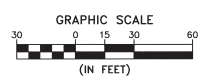
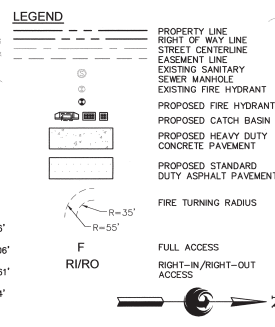
2012 INTERNATIONAL BUILDING CODE WITH AMENDMENTS
2012 INTERNATIONAL ENERGY CONSERVATION CODE WITH AMENDMENTS
2012 INTERNATIONAL MECHANICAL CODE WITH AMENDMENTS
2012 INTERNATIONAL EXISTING BUILDING CODE WITH AMENDMENTS
2012 INTERNATIONAL CODE COUNCIL PERFORMANCE CODE WITH AMENDMENTS
2012 UNIFORM PLUMBING CODE WITH AMENDMENTS
2012 NATIONAL ELECTRICAL CODE/NFPA-70 WITH AMENDMENTS
2012 CITY OF PHOENIX BUILDING ADMINISTRATIVE PROVISIONS OF PHOENIX BUILDING CONSTRUCTION CODE
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN & ICC/ANSI A117.1-2003

BUILDING OCCUPANCY: BUILDING=B, CANOPY=V-B
TYPE OF CONSTRUCTION PER 2006 IBC TABLE 601 V-B
SQUARE FOOTAGE: BUILDING 1,624 SF, CANOPY 29,766 SF
SPRINKLERS: BUILDING YES, CANOPY NO
FIRE ALARM: BUILDING YES, CANOPY NO
EMERGENCY LIGHTING: YES

SETBACKS

BUILDING:
MINIMUM SIDE (EAST) BUILDING SETBACK: 0' 76'
MINIMUM FRONT (NORTH) BUILDING SETBACK: 25' 106'
MINIMUM REAR (SOUTH) BUILDING SETBACK: 0' 561'
MINIMUM SIDE (WEST) BUILDING SETBACK: 25' 94'

LANDSCAPE:
MINIMUM SIDE (EAST) LANDSCAPE SETBACK: 0' 6'
MINIMUM FRONT (NORTH) LANDSCAPE SETBACK: 25' 55'
MINIMUM REAR (SOUTH) LANDSCAPE SETBACK: 0' 55'
MINIMUM SIDE (WEST) LANDSCAPE SETBACK: 0' 17'
MINIMUM SIDE (WEST) LANDSCAPE SETBACK: 25' 25'



ZONING: C-2
Q.S.# 14-10
SDEV# 1300466
KIVA# 13-3008
CCPR# 1403100

7887 W. THOMAS ROAD | PHOENIX, AZ 85033

PER CITY OF PHOENIX CODE CHAPTER 2, SECTION 2-28, THESE PLANS ARE FOR OFFICIAL USE ONLY AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.

CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION

DESERT SKY TRANSIT FACILITY
PROJECT NO. PT00120061 FTA

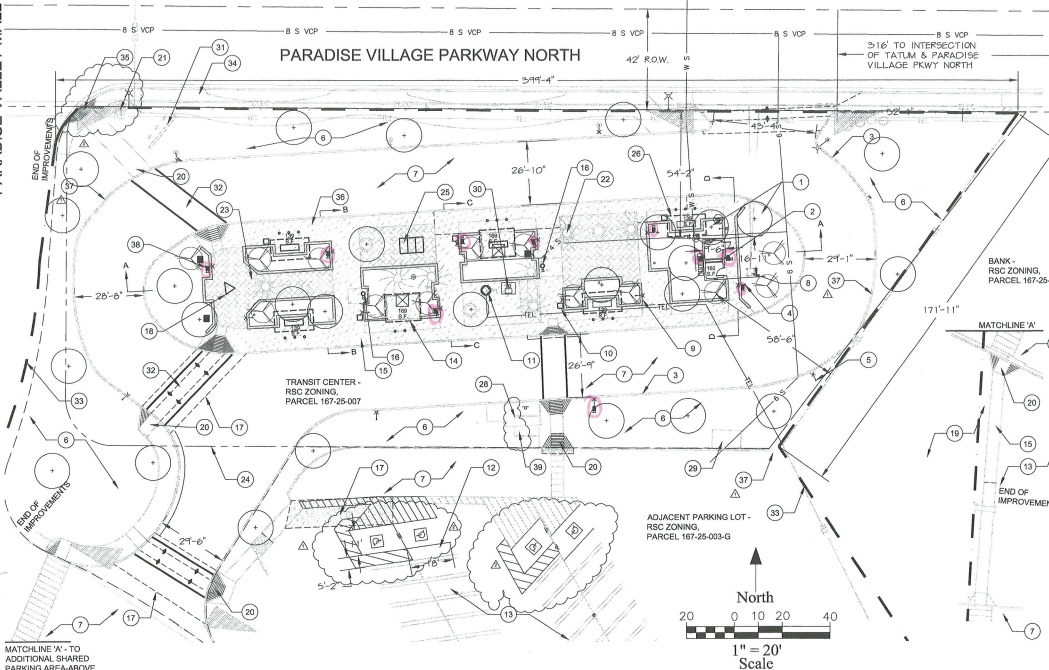
SITE PLAN

DES:	STM	DR:	BMW	CK:	STM	SHEET	TOTAL	AS
DATE:	10/24/14	DATE:	10/24/14	DATE:	10/24/14	NO.	SHEETS	BUILT
SCALE:	1"=30'					8	137	

SHEET SP2

C.C.P.R. # 1403100 KIVA # 13-3008 SDEV # 1300466 Q.S. # 14-10

ENTRANCE TO PARADISE VALLEY MALL



DES:	SJ	DR:	SJ	CK:	JW	DATE:	2/18
REVISION LOG							
NO.	DESCRIPTION	REV BY	CHK BY	DATE			
1	ADD CIVIL ENGINEER						
2	ADD CIVIL ENGINEER						

PROJECT DESCRIPTION

A REFINISHMENT OF AN EXISTING CITY OF PHOENIX TRANSIT FACILITY TO INCLUDE REFINISHED ARCHITECTURAL FINISHES, NEW & REFURBISHED LANDSCAPE, AND CIVIL IMPROVEMENTS TO ACCESSIBLE ROUTES PER ADA REQUIREMENTS. 1.34 ACRES OF IMPROVEMENTS TO 2.02 LEASED SITE AREA. SITE IS LEASED FROM WESTCORS MALL. CENTER IS OPERATED AND MAINTAINED BY THE CITY OF PHOENIX PUBLIC TRANSIT DEPARTMENT. PURPOSE OF IMPROVEMENTS IS TO ENHANCE LANDSCAPE & SITE AMENITIES TO IMPROVE ACCESSIBLE ROUTES BETWEEN TRANSIT PARKING SPACES, ADJACENT MALL, AND TRANSIT PLATFORM TO COMPLY WITH CURRENT ADA REQUIREMENTS TO UPGRADE SITE ELEMENTS FOR ACCESS, AND TO UPGRADE SECURITY.

OWNER

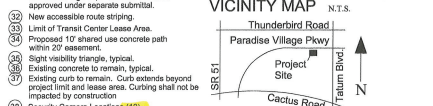
CITY OF PHOENIX
 PROJECT MANAGER: REED CALDWELL, P.E.
 PUBLIC TRANSIT DEPARTMENT
 302 N. 1ST AVE., STE. 800
 PHOENIX, AZ 85003
 P: 602.234.4393

PROJECT CONSULTANTS

LANDSCAPE ARCHITECT
 PROJECT MANAGER: JANET WABER
 WABER & ASSOCIATES LANDSCAPE ARCHITECTURE
 8611 SOUTH FIRST DRIVE, SUITE 101
 TEMPE, AZ 85281
 P: 480.893.3649 F: 480.893.3846

ARCHITECT
 PROJECT MANAGER: DAN FLUK
 JOHN W. BMALES & ASSOCIATES, L.L.C.
 1150 E. MISSOURI AVE, STE. 700
 PHOENIX, AZ 85014
 P: 602.234.1980 F: 602.234.1413

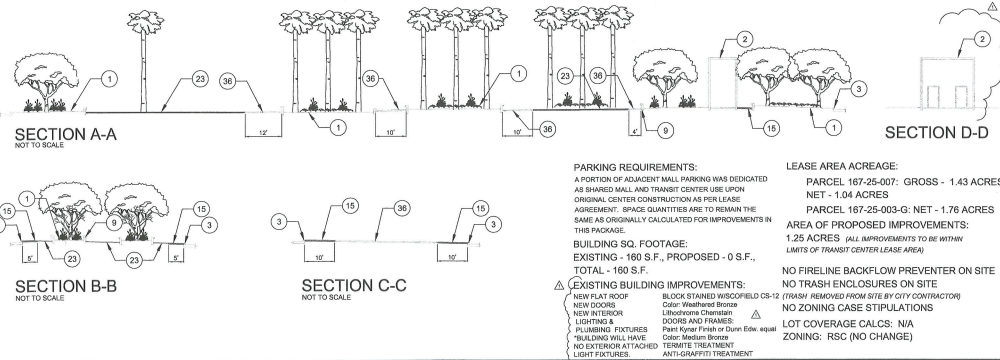
CIVIL ENGINEER
 PROJECT MANAGER: JEFF SCHOREY
 2282 N. 44TH ST., STE. 125
 PHOENIX, AZ 85018
 P: 602.244.2898 F: 602.244.8847



PROJECT ADDRESS
 4623 E. PARADISE VILLAGE PARKWAY
 PHOENIX, AZ 85032

PER CITY OF PHOENIX ORDINANCE G-4386, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.

CITY OF PHOENIX, ARIZONA		PUBLIC TRANSIT DEPARTMENT		VALLEY DIVISION	
PARADISE VILLAGE MALL TRANSIT CENTER					
PT - 70120004 FTA					
FINAL SITE PLAN					
DES:	SJ	DR:	SJ	CK:	JW
DATE:	2/18/21	DATE:	2/18/21	DATE:	2/18/21
SCALE: 1" = 20'-0"				SHEET NO.	003
LPRN 0603941				TOTAL SHEETS	029
KIVA 06-1754					
SDEV 0000554					



PARKING REQUIREMENTS:
 A PORTION OF ADJACENT MALL PARKING WAS DEDICATED AS SHARED MALL AND TRANSIT CENTER USE UPON ORIGINAL CENTER CONSTRUCTION AS PER LEASE AGREEMENT. SPACE QUANTITIES ARE TO REMAIN THE SAME AS ORIGINALLY CALCULATED FOR IMPROVEMENTS IN THIS PACKAGE.

BUILDING SQ. FOOTAGE:
 EXISTING - 160 S.F., PROPOSED - 0 S.F., TOTAL - 160 S.F.

EXISTING BUILDING IMPROVEMENTS:
 NEW FLAT ROOF
 NEW DOORS
 NEW INTERIORS
 LIGHTING & BUILDING FIXTURES
 BUILDING WILL HAVE NO EXTERIOR ATTACHED LIGHT FIXTURES

NEW FINISHES:
 BLOCK STAINED WISCONSIN OAK
 Color: Washed Bronze
 Ultrasonic Charcoal
 DOORS AND FRAMES
 Color: Washed Bronze
 Park Kynard Finish or Dura-Eco, equal
 Color: Medium Bronze
 FERTILE TREATMENT
 ANTI-GRAFFITI TREATMENT

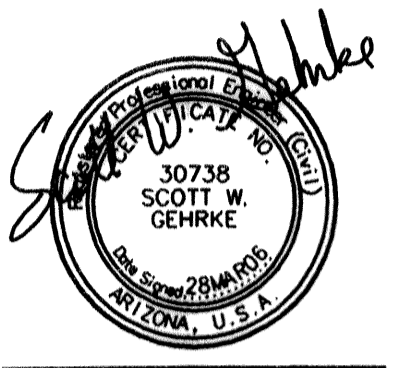
LEASE AREA ACREAGE:
 PARCEL 167-25-007: GROSS - 1.43 ACRES, NET - 1.04 ACRES
 PARCEL 167-25-003-G: NET - 1.76 ACRES

AREA OF PROPOSED IMPROVEMENTS:
 1.25 ACRES (ALL IMPROVEMENTS TO BE WITHIN LIMITS OF TRANSIT CENTER LEASE AREA)

NO FIRELINE BACKFLOW PREVENTER ON SITE
 NO TRASH ENCLOSURES ON SITE
 (FRASH) REMOVED FROM SITE BY CITY CONTRACTOR
 NO ZONING CASE STIPULATIONS
 LOT COVERAGE CALCS: N/A
 ZONING: RSC (NO CHANGE)

- transit platform to be re-furbished, irrigation system to be replaced and connected to new controller, existing sleeves to be used.
- Existing driver restroom/utility building to remain and to be re-furbished (1 story).
 - Existing curb to remain except where accessible route is to be re-furbished, typical.
 - Existing 18' transit platform light poles to remain - poles to be cleaned and prep'd for re-painting. Lenses and bulbs to be cleaned and replaced, uprights at existing cooling tower locations to be removed, typical. Security cameras to be installed, locations to be determined. Refer to Electrical drawings, sheet 05.
 - Existing 25' perimeter light poles to remain.
 - Existing landscape area to remain.
 - Existing driveway to remain.
 - Existing electrical equipment to remain.
 - Existing seawalls to be heavily sandblasted to expose aggregate and stained, skids board protection to be installed, typical.
 - New trash receptacles (5).
 - Existing pay phone to be replaced. Maintain service.
 - Accessible parking stalls to be re-striped and new accessible signs (4), existing accessible sign footings to be removed.
 - Existing shared Transit Center Parking to remain. Refer to Context Plan.
 - Bus shelter fabric canopies to be replaced, frames existing and route signage replaced (6). Cooling towers to be removed (2).
 - Concrete to be removed and re-poured to provide accessible route, typical.
 - New accessible drinking fountains and chillers to replace existing at same locations (3).
 - Mitted/Overlay pavement.
 - Location of Proposed Information Kiosk.
 - Adjacent mall parking. Refer to Context Plan.
 - New accessible ramp.
 - Existing fire hydrant to remain.
 - Tree well to be reconfigured circular, typical.
 - Existing concrete pavers to be replaced.
 - Parcel boundary line.
 - New site lockers to be installed (3).
 - New bus shelter benches to replace existing (6).
 - Existing concrete slab and bike rack to be removed. New dog relief area to be installed with 6" curbing and signage.
 - Existing concrete slab to be removed.
 - Proposed liquid vending machine with new canopy structure.
 - Existing Transit Center Monument Sign. Monument Sign improvements are to be approved under separate submittal.
 - Limit of Transit Center Lease Area.
 - New accessible route striping.
 - Proposed 10' shared use concrete path within 20' easement.
 - Sight visibility triangle, typical.
 - Existing concrete to remain, typical.
 - Existing curb to remain. Curb extends beyond project limit and lease area. Curbing shall not be impacted by construction.
 - Security Camera Locations (10).
 - Symbol shown on plans.
 - Dog Relief Area.

Revisions	Date
REISSUE	03/06



Designed By:	GTF
Drawn By:	SR
Checked By:	SWG
Date:	03/28/06

SUNNYSLOPE TRANSIT CENTER REFURBISHMENTS
INDEX NO. PT68120002
GRADING, DRAINAGE & SITE PLAN 2 OF 3

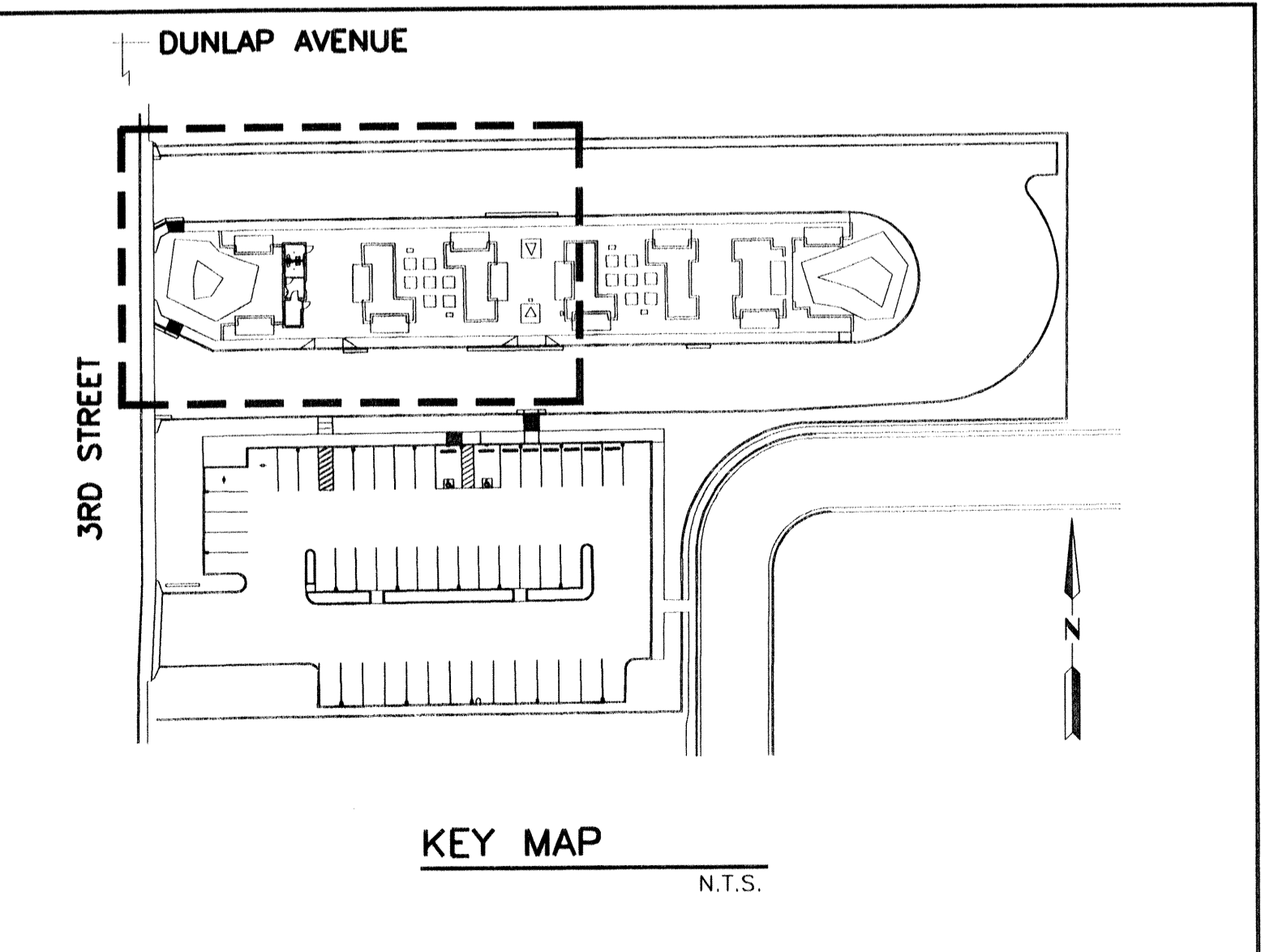
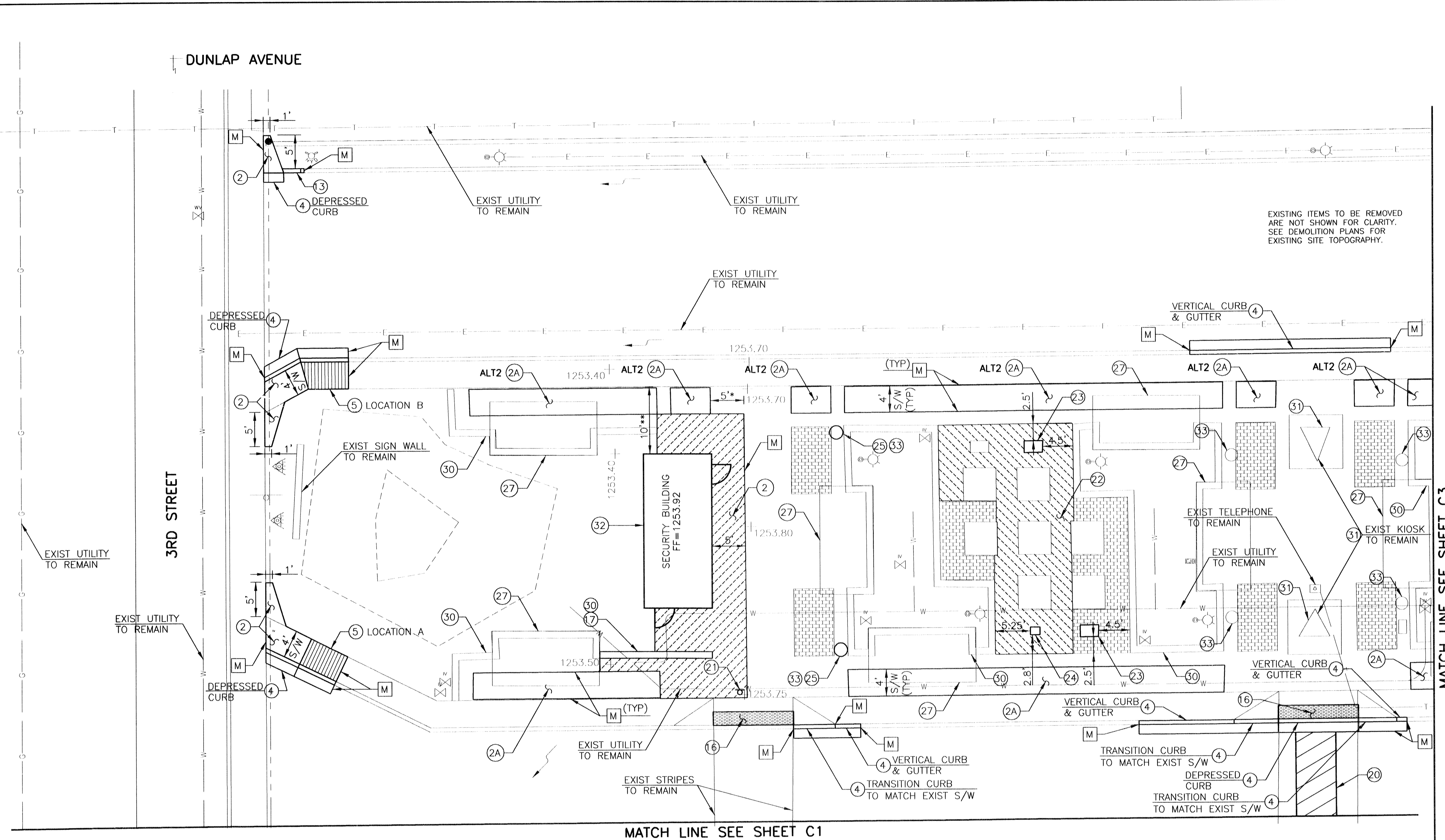
JACOBS
875 W. ELLIOT ROAD, SUITE 201
PHOENIX, AZ 85001
PHONE (480) 763-8600



Sheet
C2

PUBLIC TRANSIT DEPARTMENT

CITY OF PHOENIX



CONSTRUCTION NOTES

- ② CONC. SIDEWALK, DETAIL 230, SHEET D4
- 2A COLORED CONC. SIDEWALK, DETAIL 230, SHEET D4
- ④ CONC. CURB & GUTTER, DETAIL 220, SHEET D4
- ⑤ SIDEWALK RAMP, SEE DETAIL, SHEET D2
- ⑬ CONC. SINGLE CURB TERMINATION, DETAIL 222, SHEET D4 NPI
- ⑯ TRUNCATED DOME MAT, SEE DETAIL, SHEET D2
- ⑰ SEAT WALL (MATCH EXIST), SEE DETAIL, SHEET D2
- ⑳ STRIPE AS ACCESSIBLE WALKWAY, SEE DETAIL, SHEET D1
- ㉑ ACCESSIBLE ROUTE SIGN, SEE DETAIL, SHEET D1. SEE U1 FOR ACCESSIBLE ROUTE
- ㉒ RESET DISPLACED CONC. PAVERS
- ㉓ INSTALL RELOCATED SCULPTURE
- ㉔ INSTALL RELOCATED BRONZE PLAQUE
- ㉕ INSTALL RELOCATED TRASH RECEPTACLE
- ㉖ REFURBISH PEDESTRIAN SHELTER, SEE A2.2
- ㉗ PREPARE AND PAINT SEATWALL, SEE A2.2
- ㉘ REFURBISH KIOSK, SEE A2.2
- ㉙ CONSTRUCT SECURITY BUILDING, SEE ARCH SHEETS
- ㉚ PAINT EXISTING TRASH RECEPTACLE, SEE A0.1, NOTE 27

LEGEND

- LIMITS OF NEW CONC. SIDEWALK (NON COLORED)
- LIMITS OF DISPLACED CONC. PAVERS TO BE RESET
- MATCH EXISTING

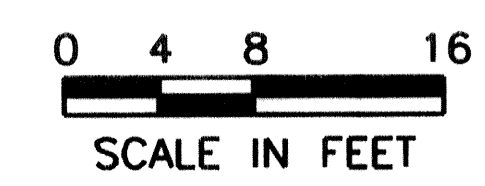
- * DIMENSION FROM EDGE OF EXIST PAVERS TO MATCH LINE
- ** DIMENSION FROM EDGE OF EXIST SIDEWALK TO NEW SECURITY BUILDING

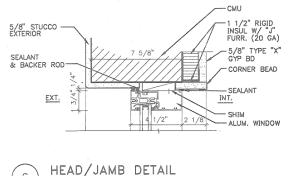
AS-BUILT CERTIFICATION
I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/LAND SURVEYOR _____ DATE _____
REGISTRATION NUMBER _____

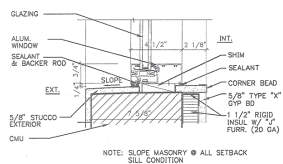
NOTE: ALL CONSTRUCTION BID ITEMS ARE INCLUDED IN THE BASE BID UNLESS NOTED ALT1, ALT2, OR ALT3.

PER CITY OF PHOENIX ORDINANCE G-4396, THESE PLANS ARE FOR OFFICIAL USE ONLY AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.

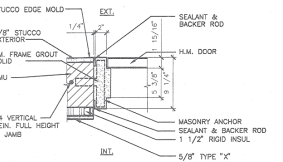




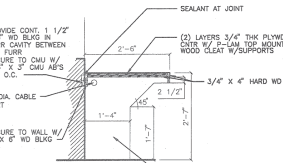
6 HEAD/JAMB DETAIL 1 1/2"=1'-0"



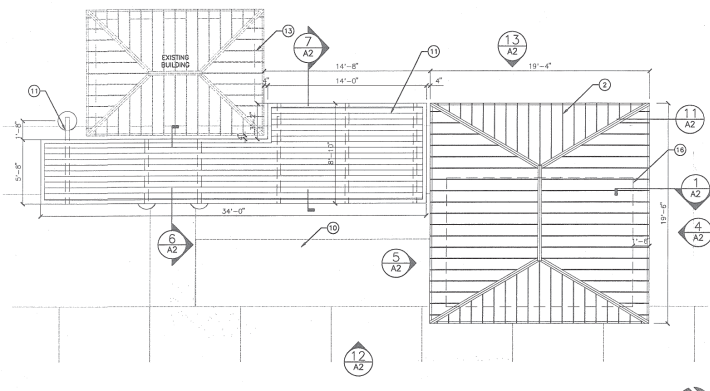
5 SILL DETAIL 1 1/2"=1'-0"



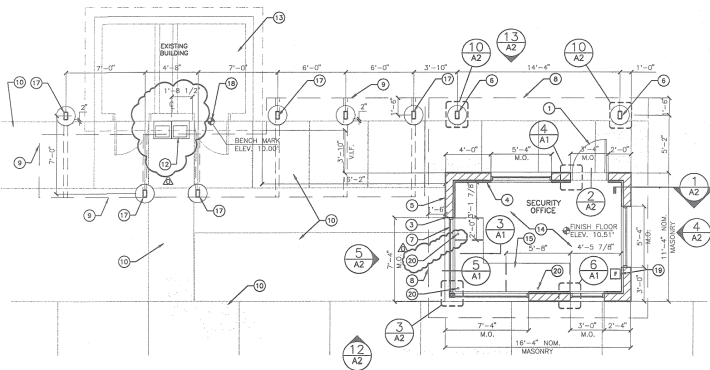
4 DOOR JAMB DETAIL 1 1/2"=1'-0"



3 COUNTER/SUPPORT DETAIL (TYP.) 3/4"=1'-0"



2 ROOF PLAN 1/4"=1'-0"



1 FLOOR PLAN 1/4"=1'-0"

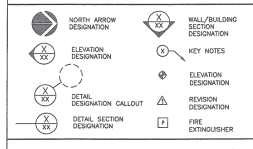
GENERAL NOTES

- A ALL DIMENSIONS ARE TO THE DYP. BD. FACE OF FRAME WALLS AND TO THE FACE OF MASONRY WALLS, AS SHOWN
- B FINISH FLOOR ELEVATION IS TO BE ELEV. 10.15' ALL ELEVATIONS ARE REFERENCED FROM THE TOP OF A CONCRETE FLOOR SLAB DATUM +0'-0" ADJUST FOR ACTUAL ELEVATION
- C CONSTRUCTION OF THIS PROJECT SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS OF THE CITY OF PHOENIX
- D THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO ACCEPT OF BIDS AND SHALL VERIFY ALL EXISTING DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND PLANS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT
- E THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES FROM DAMAGE AND SHALL NOTIFY NEARBY UTILITIES AGENCIES PRIOR TO CONSTRUCTION ACTIVITIES
- F ALL INTERIOR AND EXTERIOR COLOR FINISHES TO BE DETERMINED BY OWNER

KEYED NOTES

- 1 3'-0" x 7'-0" x 1 3/4" HOLLOW METAL DOOR & FRAME W/ 8' x 8' SECURITY GLASS VIEW PORT & CAROL ACCESS CONTROL, PAD - DOOR HARDWARE SPECIFICATION SECTION 08110
- 2 BATHEN SEAM METAL ROOF - FINISH & COLOR TO BE DETERMINED BY OWNER
- 3 8' x 8' x 10' UNIT CMU WALL
- 4 5/8" TYPE 'X' GYP. BO. W/ 1/2" RIGID INSUL ON 1 1/2" x 2" (20 GA) FURRING CHANNELS 16' O.C.
- 5 5/8" STUCCO (FINISH & COLOR TO BE DETERMINED BY OWNER) - SEE ELEVATIONS SHEET A2
- 6 8' x 4' x 1/4" TS COLUMN SUPPORT (COLUMN FOOTING TO HAVE 1/2" ISOLATION AT WHERE SEISMAL OCCURS) - SEE DETAIL 10/A2
- 7 8' x 4' x 1/4" TS COLUMN SUPPORT (COLUMN FOOTING TO HAVE 1/2" ISOLATION AT WHERE SEISMAL OCCURS) - SEE DETAIL 10/A2
- 8 OUTLINE OF CANOPY ABOVE
- 9 OUTLINE OF CANOPY ABOVE
- 10 PRE-MANUFACTURED ALUMINUM CANOPY SYSTEM (COLOR TO BE DETERMINED BY OWNER)
- 11 DRAWING FOUNTAIN - SEE MECHANICAL FOR INSTALLATION & SPECIFICATIONS
- 12 EXISTING BUILDING (OFFSHIN EXTERIOR COLORS TO BE DETERMINED BY OWNER)
- 13 RESILIENT VCT TILE FLOORING
- 14 P-LAM COUNTER & SUPPORTS - SEE DETAIL 3/A1
- 15 OUTLINE OF BUILDING BELOW
- 16 8' x 4' x 1/4" CANOPY ALUMINUM POST - (POST FOOTING TO HAVE 1/2" ISOLATION AT WHERE SEISMAL OCCURS) - SEE DETAIL 6/2/A2
- 17 SITE BENCH MARK ELEV. 10.00' - SEE CIVIL FOR GRADING PLAN
- 18 FIRE EXTINGUISHER - 10 LB. ABC
- 19 2" DIA. CABLE PORTS IN COUNTERTOP

DRAWING SYMBOLS



ABBREVIATIONS

AB	ANCHOR BOLT	ELEC	ELECTRICAL	MIN	MINIMUM
AC	ACROBATIC BASE COURSE	ELEV	ELEVATION	MIN	MINIMUM
AD	ADHESIVE	EP	EPOXY	NC	NOT IN CONTACT
AE	ADHESIVE	EP	EPOXY	NTS	NOT TO SCALE
AF	ADHESIVE	EP	EPOXY	NTS	NOT TO SCALE
AG	ADHESIVE	EP	EPOXY	NTS	NOT TO SCALE
AH	ADHESIVE	EP	EPOXY	NTS	NOT TO SCALE
AI	ADHESIVE	EP	EPOXY	NTS	NOT TO SCALE
AJ	ADHESIVE	EP	EPOXY	NTS	NOT TO SCALE
AK	ADHESIVE	EP	EPOXY	NTS	NOT TO SCALE
AL	ALUMINUM	EXT	EXTERIOR	OPNG	OPENING
AM	ALUMINUM	INT	INTERIOR	OPNG	OPENING
AN	ALUMINUM	INT	INTERIOR	OPNG	OPENING
AO	ALUMINUM	INT	INTERIOR	OPNG	OPENING
AP	ALUMINUM	INT	INTERIOR	OPNG	OPENING
AQ	ALUMINUM	INT	INTERIOR	OPNG	OPENING
AR	ALUMINUM	INT	INTERIOR	OPNG	OPENING
AS	ALUMINUM	INT	INTERIOR	OPNG	OPENING
AT	ALUMINUM	INT	INTERIOR	OPNG	OPENING
AU	ALUMINUM	INT	INTERIOR	OPNG	OPENING
AV	ALUMINUM	INT	INTERIOR	OPNG	OPENING
AW	ALUMINUM	INT	INTERIOR	OPNG	OPENING
AX	ALUMINUM	INT	INTERIOR	OPNG	OPENING
AY	ALUMINUM	INT	INTERIOR	OPNG	OPENING
AZ	ALUMINUM	INT	INTERIOR	OPNG	OPENING
BA	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BB	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BC	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BD	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BE	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BF	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BG	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BH	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BI	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BJ	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BK	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BL	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BM	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BN	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BO	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BP	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BQ	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BR	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BS	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BT	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BU	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BV	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BW	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BX	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BY	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
BZ	BATHEN SEAM METAL ROOF	CONC	CONCRETE	CONC	CONCRETE
CA	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CB	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CC	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CD	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CE	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CF	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CG	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CH	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CI	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CJ	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CK	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CL	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CM	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CN	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CO	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CP	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CQ	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CR	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CS	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CT	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CU	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CV	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CW	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CX	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CY	CANOPY	CONC	CONCRETE	CONC	CONCRETE
CZ	CANOPY	CONC	CONCRETE	CONC	CONCRETE
DA	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DB	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DC	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DD	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DE	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DF	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DG	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DH	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DI	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DJ	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DK	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DL	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DM	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DN	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DO	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DP	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DQ	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DR	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DS	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DT	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DU	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DV	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DW	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DX	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DY	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
DZ	DRAINAGE	CONC	CONCRETE	CONC	CONCRETE
EA	EXISTING BUILDING	CONC	CONCRETE	CONC	CONCRETE
EB	EXISTING BUILDING	CONC	CONCRETE	CONC	CONCRETE
EC	EXISTING BUILDING	CONC	CONCRETE	CONC	CONCRETE
ED	EXISTING BUILDING	CONC	CONCRETE	CONC	CONCRETE
EE	EXISTING BUILDING	CONC	CONCRETE	CONC	CONCRETE
EF	EXISTING BUILDING	CONC	CONCRETE	CONC	CONCRETE
EG	EXISTING BUILDING	CONC	CONCRETE	CONC	CONCRETE
EH	EXISTING BUILDING	CONC	CONCRETE	CONC	CONCRETE
EI	EXISTING BUILDING	CONC	CONCRETE	CONC	CONCRETE
EJ	EXISTING BUILDING	CONC	CONCRETE	CONC	CONCRETE

Revisions	Date
1	01/31/02

Designed By:	TCM
Drawn By:	TCM
Checked By:	SS
Date:	01/31/02

79TH AVENUE PARK-AND-RIDE
 INDEX NO. PT00120012
 ARCHITECTURAL PLAN
 Sverdrup CIVIL INC
 875 W. ELLIOT ROAD, SUITE 201
 PHOENIX, AZ 85026
 PHONE (480) 963-8600



Sheet A1 of

FILENAME: A101
 PLOTTED BY: TCMON
 DATE: 01/31/02

2/2000 79th Ave/79th Ave/PT00120012.dwg 1:00 41 10/18/02 10:00 10:00

LEGAL DESCRIPTION

THAT PORTION OF THE SOUTH HALF OF SECTION 36, TOWNSHIP 1 SOUTH, RANGE 3 EAST OF THE GLA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
 COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 36, FROM WHICH THE SOUTHEAST CORNER OF SAID SECTION BEARS SOUTH 00 DEGREES 40 MINUTES 27 SECONDS EAST A DISTANCE OF 2639.03 FEET (MEASURED); 2639.03 FEET ALONG SAID SOUTHEAST CORNER; THENCE SOUTH 00 DEGREES 40 MINUTES 27 SECONDS EAST ALONG THE EAST LINE OF SAID SECTION A DISTANCE OF 1301.81 FEET TO THE SOUTHEAST CORNER OF "WILTON COMMONS", A SUBDIVISION RECORDED IN BOOK 294 OF MAPS AND PLATS OF RECORDS FOR MARICOPA COUNTY, SAID CORNER ALSO BEING A POINT ON A TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 1732.00 FEET AND A CENTRAL ANGLE OF 01 DEGREES 19 MINUTES 24 SECONDS;
 THENCE WESTERLY ALONG SAID CURVE AN ARC DISTANCE OF 40.00 FEET TO THE WEST RIGHT-OF-WAY LINE OF 40TH STREET, SAID POINT ALSO BEING THE POINT OF BEGINNING;
 THENCE SOUTH 00 DEGREES 40 MINUTES 27 SECONDS EAST ALONG A LINE PARALLEL AND 40.00 FEET WESTERLY OF THE EAST LINE OF SAID SECTION A DISTANCE OF 625.79 FEET TO A POINT ON THE NORTH LINE OF THE ARIZONA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY FOR STATE ROUTE 202I, (SANTAN FREEWAY); THENCE SOUTH 83 DEGREES 08 MINUTES 53 SECONDS WEST ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 2212.95 FEET;
 THENCE SOUTH 87 DEGREES 17 MINUTES 06 SECONDS WEST, CONTINUING ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 425.92 FEET TO A POINT ON THE SOUTH LINE OF "LAKEWOOD PARCEL 23", A SUBDIVISION RECORDED IN BOOK 362 OF MAPS, PAGE 19 OF RECORDS FOR MARICOPA COUNTY;
 THENCE NORTH 87 DEGREES 13 MINUTES 58 SECONDS EAST ALONG SAID SOUTH LINE OF "LAKEWOOD PARCEL 23" A DISTANCE OF 328.24 FEET TO A POINT OF CURVATURE TO THE LEFT HAVING A RADIUS OF 1759.88 FEET AND A CENTRAL ANGLE OF 29 DEGREES 26 MINUTES 38 SECONDS;
 THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 904.38 FEET ALONG THE SOUTH LINES OF SAID "LAKEWOOD PARCEL 23" AND "WILTON COMMONS" TO A POINT OF TANGENCY;
 THENCE NORTH 57 DEGREES 47 MINUTES 21 SECONDS EAST ALONG THE SOUTH LINE OF SAID "WILTON COMMONS" A DISTANCE OF 677.52 FEET TO A POINT OF CURVATURE TO THE RIGHT HAVING A RADIUS OF 1732.00 FEET AND A CENTRAL ANGLE OF 30 DEGREES 12 MINUTES 49 SECONDS;
 THENCE NORTHEASTERLY ALONG THE SOUTH LINE OF SAID "WILTON COMMONS" AND THE ARC OF SAID CURVE AN ARC DISTANCE OF 913.33 FEET TO THE POINT OF BEGINNING.

AREA CONTAINS 734,934.6647 SQUARE FEET (16.87 ACRES) AND IS SUBJECT TO ALL EASEMENTS OF RECORD.

CITY OF PHOENIX SITE PLAN NOTES

- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- THIS PROJECT IS LOCATED IN THE CITY OF PHOENIX WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- ALL SIGNAGE REQUIRES SEPARATE APPROVALS AND PERMITS.
- ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM THE ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR OR VIBRATION WILL BE EMITTED SO THAT IT EXCEEDS THE GENERAL LEVEL OF NOISE, ODOR OR VIBRATION EMITTED BY USES OUTSIDE OF THE SITE.
- OWNERS OF PROPERTY ADJACENT TO THE PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHTS-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.
- ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
- BARBED, RAZOR, OR CONCERTINA WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM ALL PUBLIC STREETS.
- SMOKE, GAS, OR ODOR EMISSIONS SHALL COMPLY WITH REGULATION #15 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL RULES AND REGULATIONS.
- THE DISPOSAL OF ALL WASTE MATERIALS SHALL COMPLY WITH TITLE 9, CHAPTER 9, ARTICLES 18 AND 4 OF THE HAZARDOUS WASTE REGULATIONS AS ADOPTED BY THE ARIZONA HEALTH DEPARTMENT.
- THE AVERAGE NOISE LEVEL AT THE PROPERTY LINE SHALL NOT EXCEED 55 dB (1 dh) WHEN MEASURED ON AN "A WEIGHTED" SOUND LEVEL METER AND ACCORDING TO THE PROCEDURES OF THE ENVIRONMENTAL PROTECTION AGENCY.

STIPULATIONS FOR ABANDONMENT CASE NO. V020025A

- THE APPLICANT SHALL CONSTRUCT A PUBLIC MULTI-USE TRAIL. THIS TRAIL SHALL BE 8' WIDE, COMPRISED OF DECOMPOSED GRANITE, AND IN THE LOCATION APPROVED BY THE PARKS, RECREATION AND LIBRARY DEPARTMENT. CONTACT TOM FITZGERALD, TRAILS COORDINATOR, AT (602)534-5292 FOR PLAN APPROVAL. NO RIGHT-OF-WAY WITHIN 50 FEET OF THE 40TH STREET MONUMENT LINE MAY BE ABANDONED.
- A 15-FOOT LANDSCAPE AND PUBLIC UTILITY EASEMENT SHALL BE RETAINED ALONG 40TH STREET.
- ALL WORK IN PUBLIC RIGHT-OF-WAY IS TO BE DONE IN ACCORDANCE WITH PLANS APPROVED BY THE DEVELOPMENT SERVICES DEPARTMENT AND AT NO COST TO THE CITY OF PHOENIX.
- AN APPROPRIATE PERFORMANCE AGREEMENT, IN AN APPROVED FORM AND COST AMOUNT, MUST BE POSTED WITH THE DEVELOPMENT SERVICES DEPARTMENT TO GUARANTEE THE IMPROVEMENTS ABOVE.
- ALL UNDEVELOPED PARCELS SHALL BE REPAVED, OR LEGALLY COMBINED, TO HAVE LEGAL ACCESS TO A PUBLIC STREET AND TO PROVIDE LEGAL STREET FRONTAGE.
- THE RESOLUTION OF ABANDONMENT SHALL BE ADOPTED WITH A PROVISION THAT IT BECOMES EFFECTIVE ONLY WHEN RECORDED CONCURRENTLY WITH THE FINAL PLAT.
- CONSIDERATION WHICH PROVIDES A PUBLIC BENEFIT TO THE CITY IS REQUIRED IN ACCORDANCE WITH CITY CODE ART. 5, SEC. 31-64. COST FOR COMMERCIAL PROPERTY IS \$0.20 PER SQUARE FOOT. THE APPLICANT SHALL SUBMIT CALCULATION AND FEE TO THE DEVELOPMENT SERVICES DEPARTMENT.
- THE ABOVE STIPULATIONS MUST BE COMPLETED WITHIN ONE YEAR FROM THE ABANDONMENT HEARING OFFICER'S DECISION DATED MAY 22, 2002.

ADAAG NOTE:

ALL RAMPS MUST MEET ADA ACCESSIBILITY GUIDELINES (ADAAG) STANDARDS, 2% MAX CROSS SLOPES, AND 12:1 MAXIMUM LONGITUDINAL SLOPES. TRUNCATED DOMES, AS DETECTABLE WARNINGS ARE REQUIRED ON ALL ON-SITE RAMPS PER ADAAG SECTION 4.7.7. TRUNCATED DOMES, AS DETECTABLE WARNINGS ARE ALSO REQUIRED ON ALL ON-SITE WALKS THAT CROSS OR ADJOIN A VEHICULAR WAY PER ADAAG SECTION 4.29.5.

PROJECT DESCRIPTION

EXPANSION OF EXISTING PARK AND RIDE FACILITY ON AN UNDEVELOPED PARCEL OF LAND. PHASE I WAS ANTICIPATED IN THE INITIAL DESIGN.

PROJECT DATA

AREA: 16.85 ACRES
 ZONING: JP & C-2
 OWNER: CITY OF PHOENIX
 OWNER CONTACT (EAS): RANDY MONTELLO PHONE: 602-282-4958

DESIGN CONSULTANT: KIMLEY-HORN AND ASSOC., INC.
 CONSULTANT CONTACT: ADAM PERILLO PHONE: 602-944-5500

PHASE I	PHASE II	TOTAL
PARKING (UNCOVERED) 184	PARKING (UNCOVERED) 0	PARKING (UNCOVERED) 184
PARKING (COVERED) 378	PARKING (COVERED) 345	PARKING (COVERED) 723
A.D.A. REQUIRED 12	A.D.A. REQUIRED 8	A.D.A. REQUIRED 20
A.D.A. PROVIDED 20	A.D.A. PROVIDED 0	A.D.A. PROVIDED 20
TOTAL SPACES		907

731/896 = 82% NON-ACCESSIBLE SPACES COVERED
 20/20 = 100% ACCESSIBLE SPACES COVERED

LEGEND

- EXISTING R.O.W. LINE
- EXISTING PROPERTY LINE
- - - EX. EASEMENTS
- - - PROPOSED COVERED PARKING
- - - EX. ZONING BOUNDARY
- - - EX. COVERED PARKING
- - - EX. ADA ROAD
- - - EX. SITE LIGHTING
- - - PROPOSED SITE LIGHTING (15' MOUNTING HEIGHT)
- FIRE HYDRANT
- FIRE/PUBLIC SAFETY TURNING RADIUS (R35' INSIDE/R55' OUTSIDE)

PROJECT INFORMATION

GROSS ACREAGE: 17.44 ACRES
 NET ACREAGE: 16.87 ACRES
 ZONING: COMMERCIAL C-2 (12.86 AC.)
 AND INDUSTRIAL PARK IP (4.21 AC.)
 CITY Q.S.: 012-36 AND 012-37
 F.E.M.A. MAP NO.: 04013C2620E AND 04013C2640F

MAXIMUM LOT COVERAGE: 50%
 NET SITE AREA: 734,940 S.F.
 PHASE I COVERAGE: 243 S.F. (BUILDING)
 72,090 S.F. (CANOPIES)
 58,729 S.F. (CANOPIES)
 PHASE II COVERAGE: 131,062 S.F./734,940 S.F. = 18%
 MAXIMUM BUILDING HEIGHT: 2 STORIES OR 30'

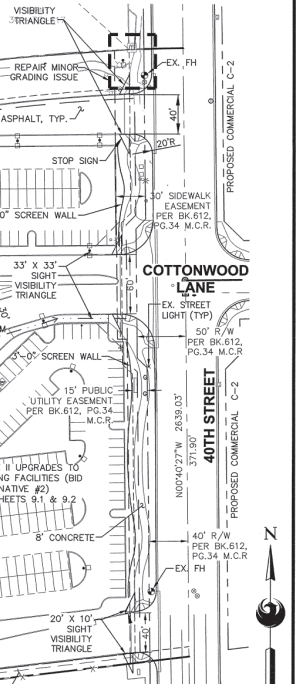
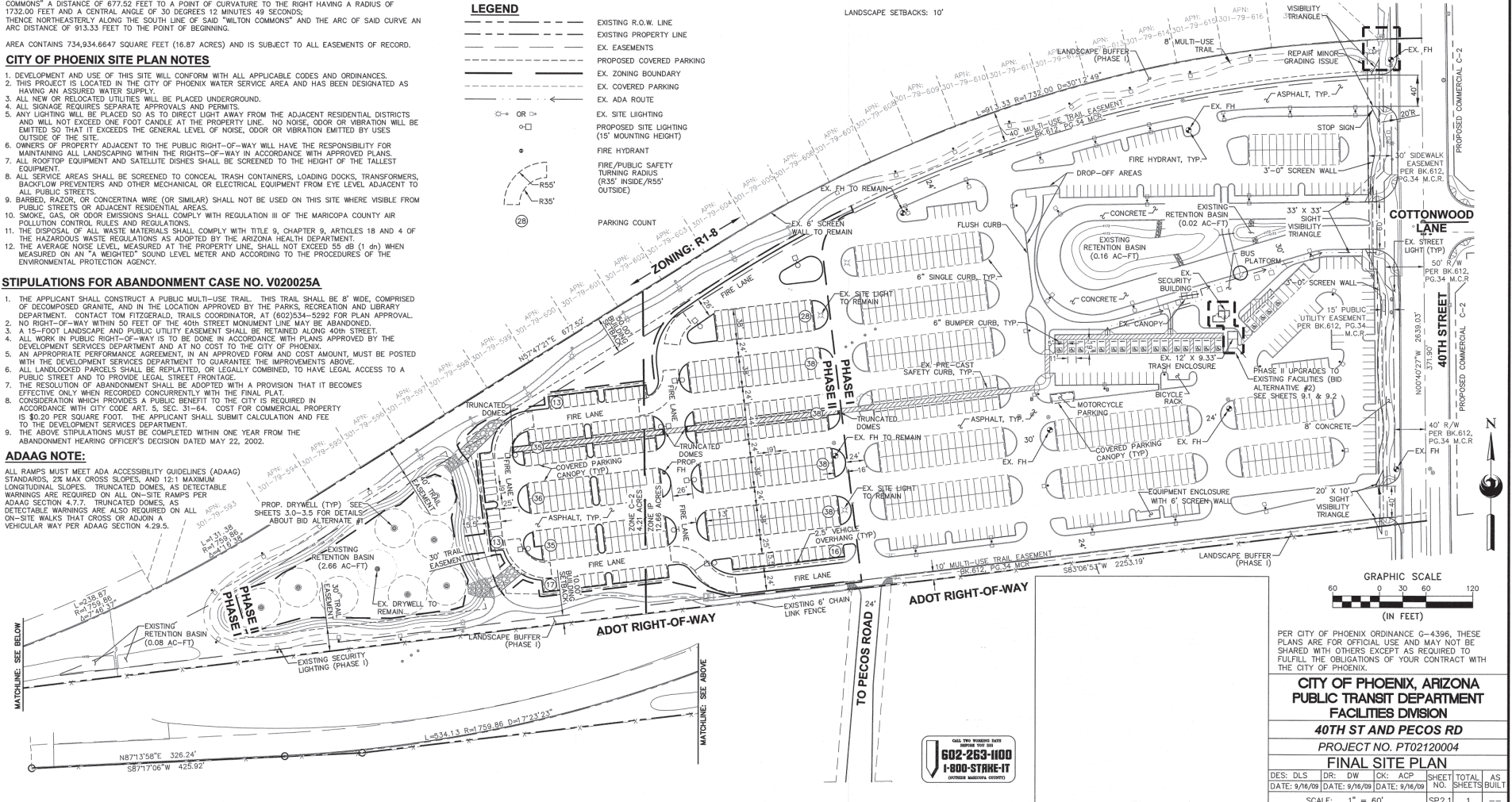
SETBACKS

MINIMUM FRONT (EAST) BUILDING SETBACK: 10'
 SETBACK PROVIDED: >10'
 MINIMUM SIDE (NORTH) BUILDING SETBACK: 50'
 SETBACK PROVIDED: >50'
 MINIMUM SIDE (SOUTH) BUILDING SETBACK: 10'
 SETBACK PROVIDED: >10'
 MINIMUM REAR (WEST) BUILDING SETBACK: 50'
 SETBACK PROVIDED: >50'
 LANDSCAPE SETBACKS: 10'



DESIGN PROFESSIONAL: KIMLEY-HORN AND ASSOCIATES, INC.
 DES: DLS DR: HY CK: ACP DATE: 9/16/09

NO.	DESCRIPTION	REV.	BY/CHK	DATE



PER CITY OF PHOENIX ORDINANCE G-4396, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.

CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
40TH ST AND PECOS RD
 PROJECT NO. PT02120004

FINAL SITE PLAN
 DES: DLS DR: DW CK: ACP SHEET TOTAL AS
 DATE: 9/16/09 DATE: 9/16/09 DATE: 9/16/09 NO. SHEETS BUILT
 SCALE: 1" = 60' SP.2.1 1 ---

Q.S. #12-36 SDEV #0900232 KIVA #89-3380 CCP#0907530

1. Working days before you call for the blue staves.
 (602) 263-1100
 Blue Stave Center

LEGEND

- R/W RIGHT-OF-WAY
- FH FIRE HYDRANT
- T.C.E. TEMPORARY CONSTRUCTION EASEMENT
- R.O.E. RIGHT OF ENTRY
- M.U.T.E. MULTI-USE TRAIL EASEMENT
- CENTERLINE
- SECTION LINE/CENTERLINE
- RIGHT-OF-WAY
- PROPERTY LINE
- EASEMENT
- PARKING OVERHANG
- FIRE LANE TURNING RADI
- SETBACK LINE
- SWALE
- STORM DRAIN PIPE
- SRP WIRE SET-UP AREA & CLEAR ZONE
- SRP TOWER SET-UP AREA
- MULTI-USE TRAIL
- PARKING SHADE CANOPY FOOTPRINT
- CONCRETE PAVEMENT/SIDEWALK
- EXISTING CONCRETE PAVEMENT/SIDEWALK
- DRYWELL
- CATCH BASIN
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING STORM DRAIN MANHOLE
- EXISTING POWER POLE
- STREET LIGHTS
- CANOPY LIGHT
- CCTV CAMERA
- ELECTRICAL/COMMUNICATION STRUCTURE
- GROUND LIGHTING

GENERAL SITE PLAN NOTES

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
2. THIS PROJECT IS LOCATED IN THE CITY OF PHOENIX WATER SERVICES AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
3. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND. STRUCTURES AND LANDSCAPING AT THE INTERSECTION OF PUBLIC STREETS AND PRIVATE ACCESSWAYS, WITHIN A TRIANGLE MEASURING 33' ALONG THE PUBLIC STREET AND 15' ALONG THE PRIVATE ACCESSWAY RIGHT-OF-WAY LINES, WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
4. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAYS ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
5. STRUCTURE AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' x 33' ALONG THE RIGHT-OF-WAY LINES AT UNCONTROLLED FOUR-WAY INTERSECTIONS OF PRIVATE ACCESSWAYS WITH PRIVATE ACCESSWAYS WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
6. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR, OR VIBRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE.
7. OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLANS.
8. AFTER FINAL APPROVAL THE PROJECT WILL BE INSPECTED FOR ZONING COMPLIANCE DURING CONSTRUCTION AND PRIOR TO OCCUPANCY. THE APPLICANT IS TO NOTIFY DSD PRIOR TO OCCUPANCY TO ARRANGE FOR INSPECTIONS. CALL 262-6981 AND REQUEST A DESIGN REVIEW INSPECTION.
9. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTORS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
10. BARBED, RAZOR, OR CONCERTINA WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.

LEGAL DESCRIPTION

THAT PART OF THE EAST 420.00 FEET OF THE NORTH HALF OF THE NORTH HALF OF LOT 1, SECTION 2, TOWNSHIP 1 SOUTH, RANGE 2 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN IN THE PLAT RECORDED IN BOOK 687 OF MAPS, PAGE 41, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 2,

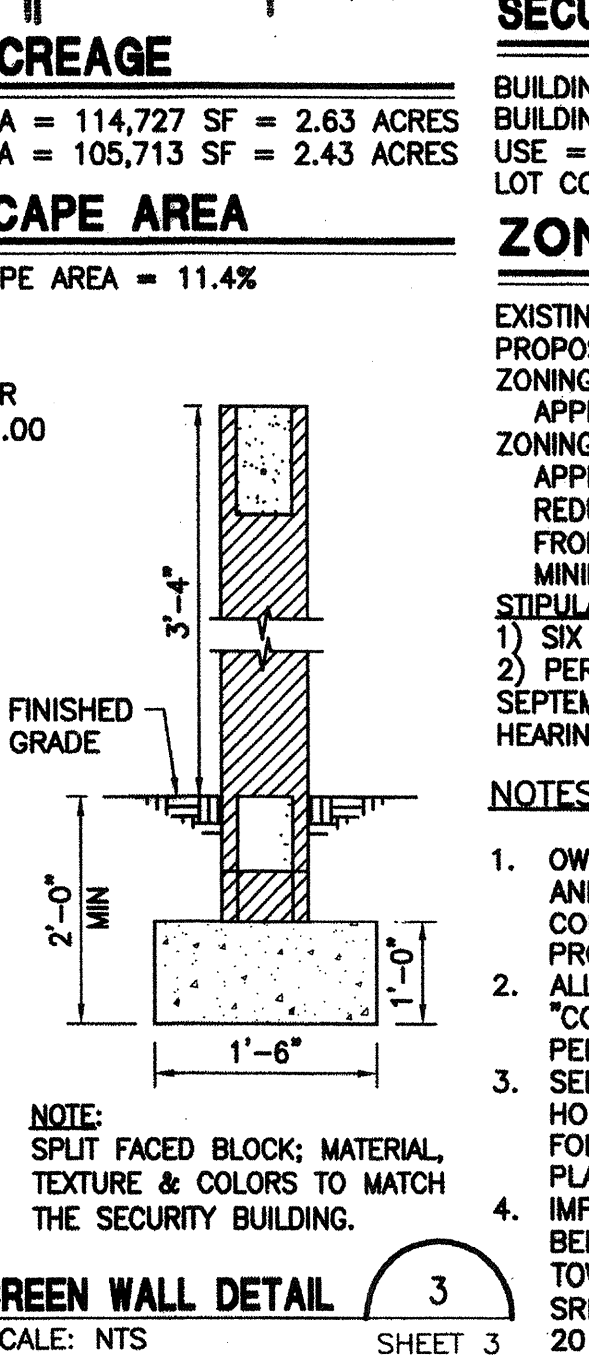
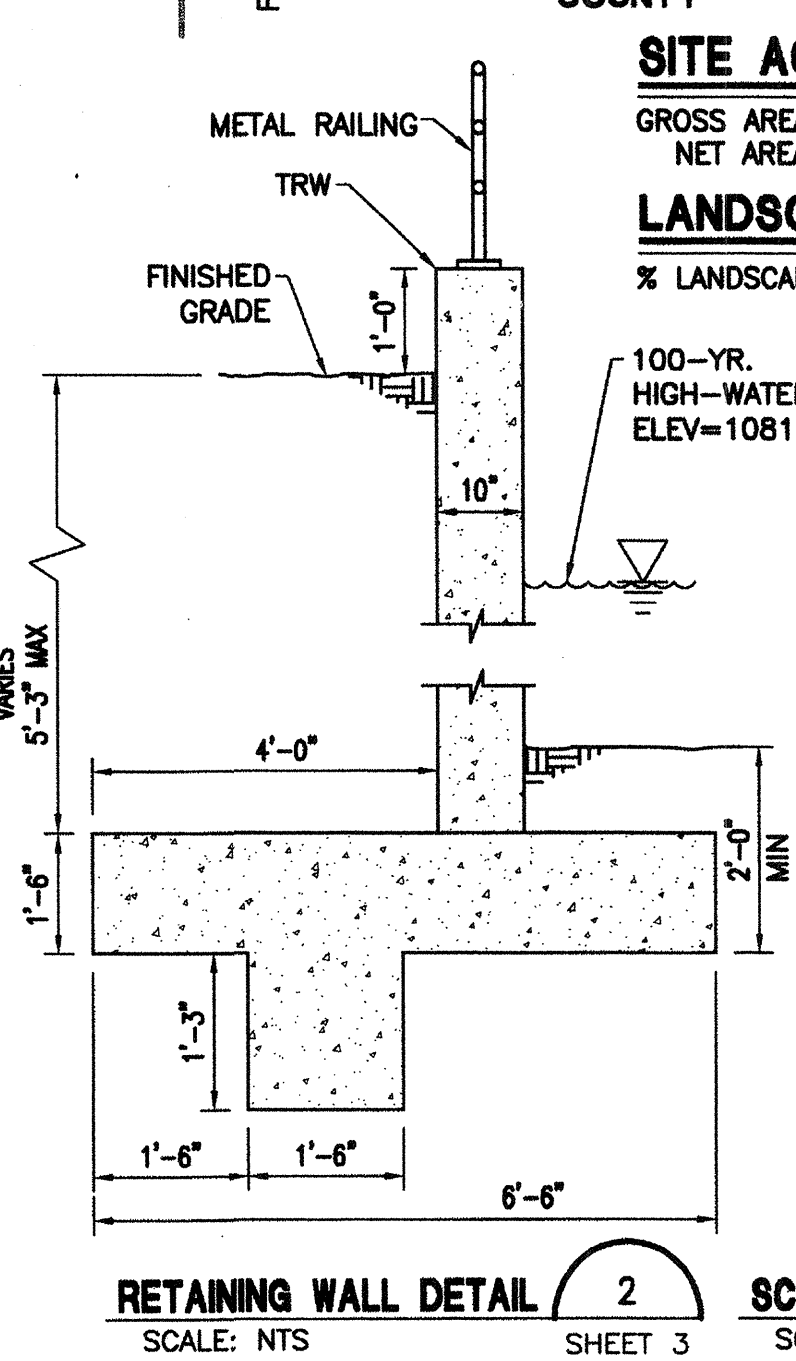
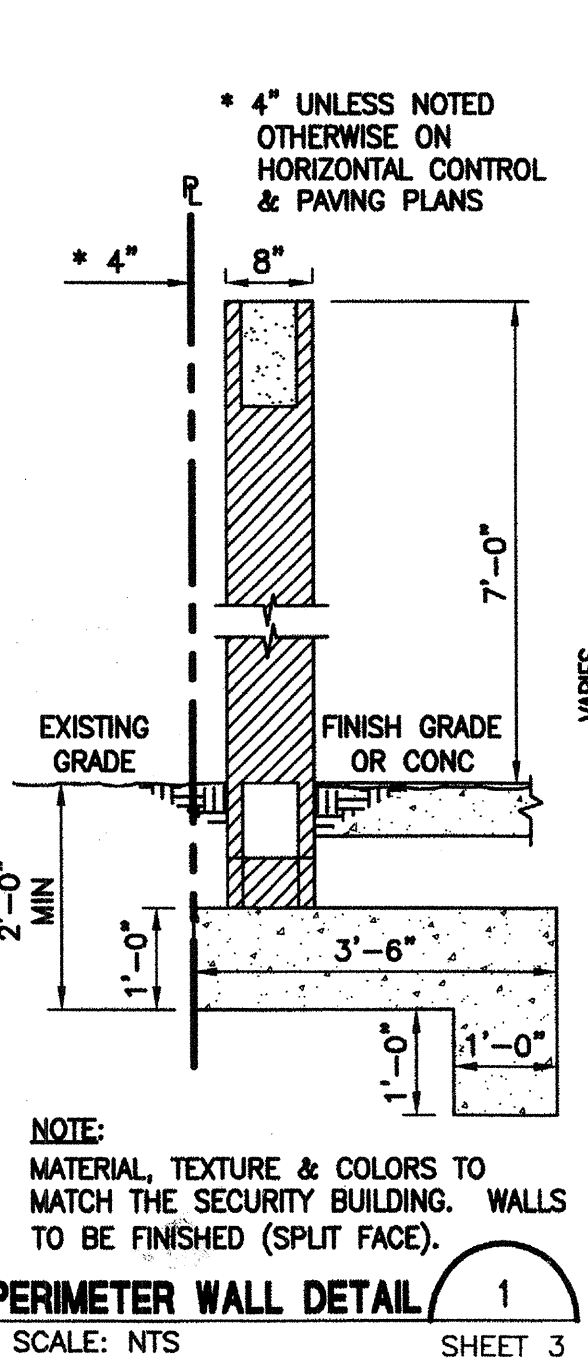
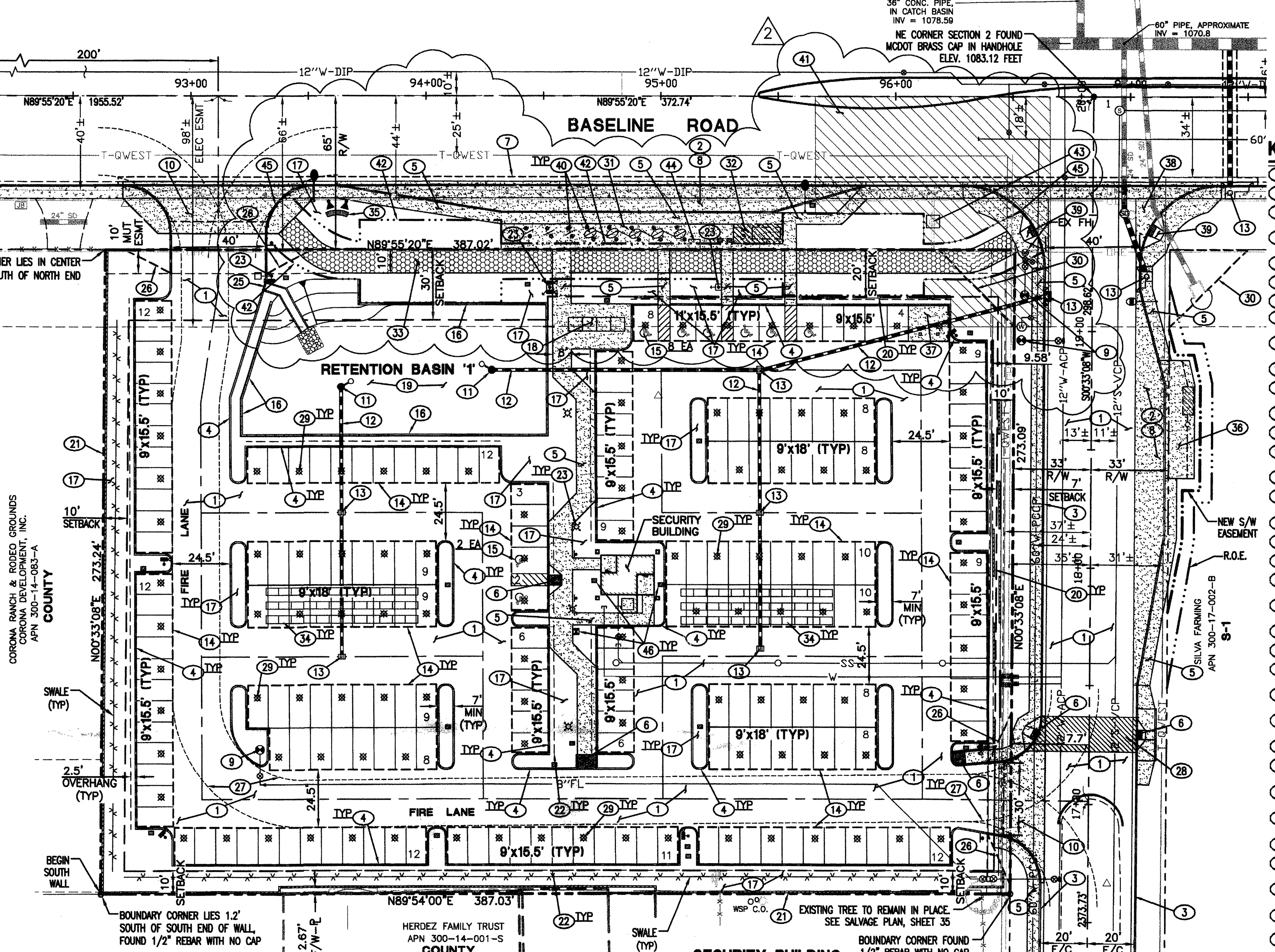
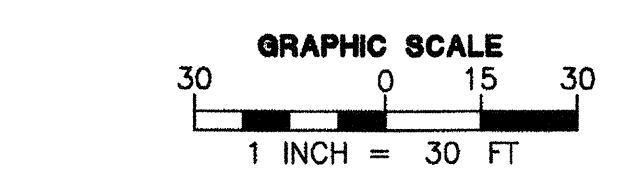
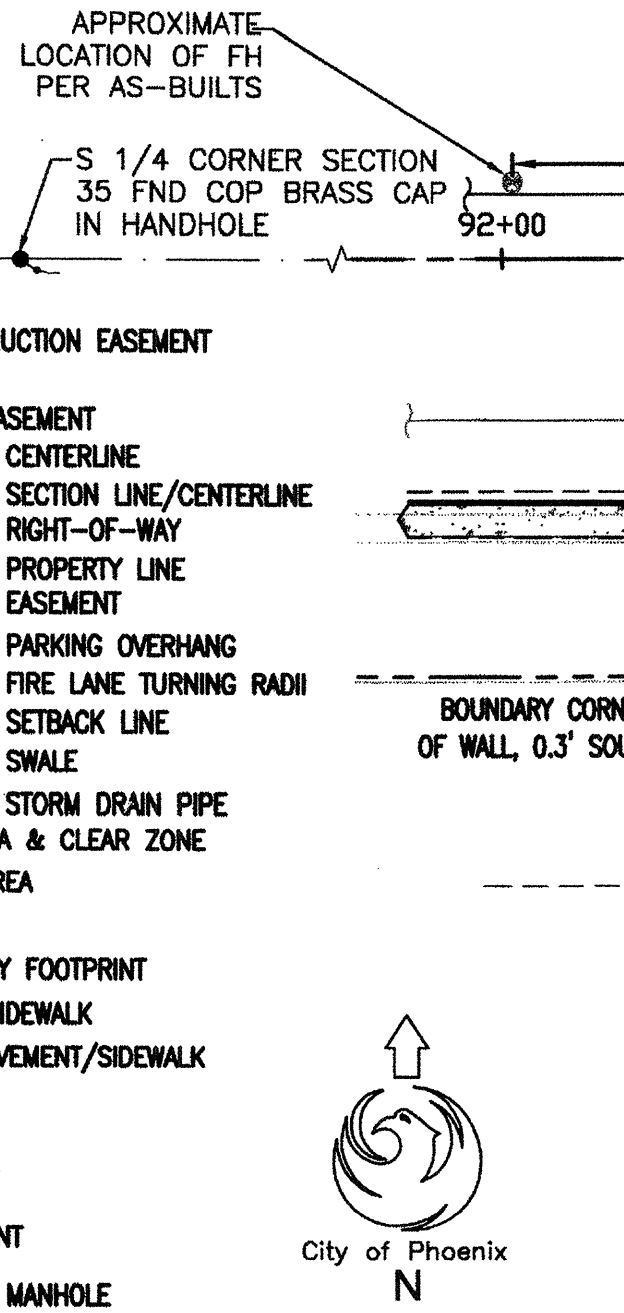
THENCE SOUTH 89°55'04" WEST, ALONG THE NORTH LINE OF SAID SECTION 2, A DISTANCE OF 420.02 FEET TO THE WEST LINE OF THE EAST 420.00 FEET OF SAID SECTION 2;

THENCE SOUTH 00°32'55" WEST, ALONG SAID WEST LINE, A DISTANCE OF 338.24 FEET TO THE SOUTH LINE OF THE NORTH HALF OF THE NORTH HALF OF LOT 1 OF SAID SECTION 2;

THENCE NORTH 89°53'42" EAST, ALONG SAID SOUTH LINE, A DISTANCE OF 420.02 FEET TO THE EAST LINE OF SAID SECTION 2;

THENCE NORTH 00°32'55" EAST, ALONG SAID EAST LINE, A DISTANCE OF 338.07 FEET TO THE NORTHEAST CORNER OF SAID SECTION 2 AND THE POINT OF BEGINNING.

EXCEPT THE NORTH 65 FEET AND THE EAST 33 FEET THEREOF.



SITE ACREAGE
 GROSS AREA = 114,727 SF = 2.63 ACRES
 NET AREA = 105,713 SF = 2.43 ACRES

LANDSCAPE AREA
 % LANDSCAPE AREA = 11.4%

SECURITY BUILDING
 BUILDING HEIGHT = 14'-8 7/8"
 BUILDING AREA = 198 SF
 USE = SECURITY OFFICE
 LOT COVERAGE = 0.18%

ZONING
 EXISTING: C-3
 PROPOSED: C-3
 ZONING CASE No. Z-175-04
 APPROVED MARCH 2, 2005
 ZONING ADJUSTMENT CASE No. ZA-329-10
 APPROVED SEPTEMBER 16, 2010
 REDUCE SETBACK ALONG EAST PROPERTY LINE FROM 25 FEET TO A VARIED SET BACK WITH A MINIMUM 7 FEET.

STIPULATIONS:
 1) SIX MONTHS TO APPLY/PAY FOR PERMITS
 2) PER THE SITE PLAN SIGNED AND DATED SEPTEMBER 16, 2010 BY THE ZONING ADJUSTMENT HEARING OFFICER

NOTES:
 1. OWNER HAS AN AGREEMENT WITH THE SOUTH AND WEST PROPERTY OWNER'S FOR THE CONTRACTOR'S RIGHT OF ENTRY ALONG THE PROPERTY LINE TO BUILD THE PERIMETER WALL.
 2. ALL PARKING SPACES ARE TO BE COVERED. "COVERED PARKING" IS UNDER SEPARATE PERMITS.
 3. SEE GRADING & DRAINAGE PLANS (SHT 8) AND HORIZONTAL CONTROL & PAVING PLANS (SHT 9) FOR LOCATIONS OF WALL. SEE STRUCTURAL PLANS (SHTS 12 & 13) FOR WALL DETAILS.
 4. IMPROVEMENTS WITHIN THE CLOUD AREA HAS BEEN REVISED TO PROVIDE THE SRP WIRE & TOWER SETUP/CLEAR ZONE AREA ACCORDING TO SRP COMMENTS RECEIVED ON APRIL 14TH, 2011.

KEY NOTES

- 1 ASPHALT PAVEMENT
- 2 CONCRETE PAVEMENT
- 3 6 INCH CURB & GUTTER, MAG SD 220-1
- 4 6 INCH SINGLE CURB, MAG SD 220-A
- 5 SIDEWALK, COP SD P1230
- 6 ADA RAMP
- 7 2 FOOT MIN SAWCUT
- 8 BUS BAY PER COP SD P1256-1, MODIFIED PER PAVING DTL SHT 33.
- 9 FIRE HYDRANT, COP SD P1360, P1361 & P1362
- 10 DRIVEWAY PER COP SD P1243
- 11 DRYWELL (MAXWELL PLUS OR APPROVED EQUAL)
- 12 STORM DRAIN PIPE
- 13 CATCH BASIN
- 14 COVERED PARKING PER DETAIL 5 OR 6 ON SHT 4. SEE NOTE 2, THIS SHT.
- 15 ADA ACCESSIBLE PARKING
- 16 RETAINING WALL W/SAFETY RAILING PER DETAIL 2, THIS SHEET
- 17 LANDSCAPE AREA
- 18 BIKE LOCKERS
- 19 RETENTION BASIN
- 20 40 INCH SCREEN WALL PER DETAIL 3, THIS SHEET
- 21 7 FOOT PERIMETER BLOCK WALL PER DETAIL 1, THIS SHEET
- 22 PARKING OVERHANG
- 23 LIGHT POLES PER DETAIL 4, SHEET 4
- 24 DRIVEWAY PER COP SD P1255 (16-FOOT)
- 25 DEPRESSED CURB OPENING W/SPILLWAY
- 26 10 FOOT x 20 FOOT VISIBILITY TRIANGLE
- 27 FIRE TRUCK TURNING RADI
- 28 STRIPED CROSSWALK PER TRAFFIC OPERATIONS APPROVAL
- 29 CANOPY LIGHTS PER DETAIL 7, SHEET 4
- 30 33 FOOT x 33 FOOT VISIBILITY TRIANGLE
- 31 10" MAG (CLASS A) CONC PAD
- 32 FUTURE BRT SLAB W/BUS SHELTER PER PAVING DETAILS, SHT 33.
- 33 MULTI-USE PATH (DG). SEE LANDSCAPE PLANS, (SHEETS 34 TO 37)
- 34 PHOTOVOLTAIC PANELS (SHEETS 44-47)
- 35 36" SIGN WALL - SEPARATE PERMIT
- 36 BUS SHELTER PAD PER COP SD P1261
- 37 CONCRETE PAVEMENT (MOTORCYCLE PARKING)
- 38 CONCRETE APRON & VALLEY GUTTER PER MAG SD 240
- 39 ADA SIDEWALK RAMP PER COP SD P-1240
- 40 ART FEATURES BY OTHERS
- 41 SRP TOWER SETUP AREA
- 42 SRP WIRE SETUP AREA/CLEAR ZONE
- 43 EXISTING SRP TOWER
- 44 EXISTING QWEST TERMINAL CABINET TO BE REMOVED BY QWEST
- 45 MOUNTABLE CURB PER MAG SD 220-2, TYPE F
- 46 ELECTRICAL/COMMUNICATION STRUCTURE

PARKING CALCULATIONS:

TOTAL PROVIDED AUTO STALLS = 212
 STANDARD = 204
 ADA STALLS = 8
 REQUIRED ADA STALLS = 7

COVERED PARKING
 # STANDARD COVERED STALLS = 204
 % COVERED = 100%

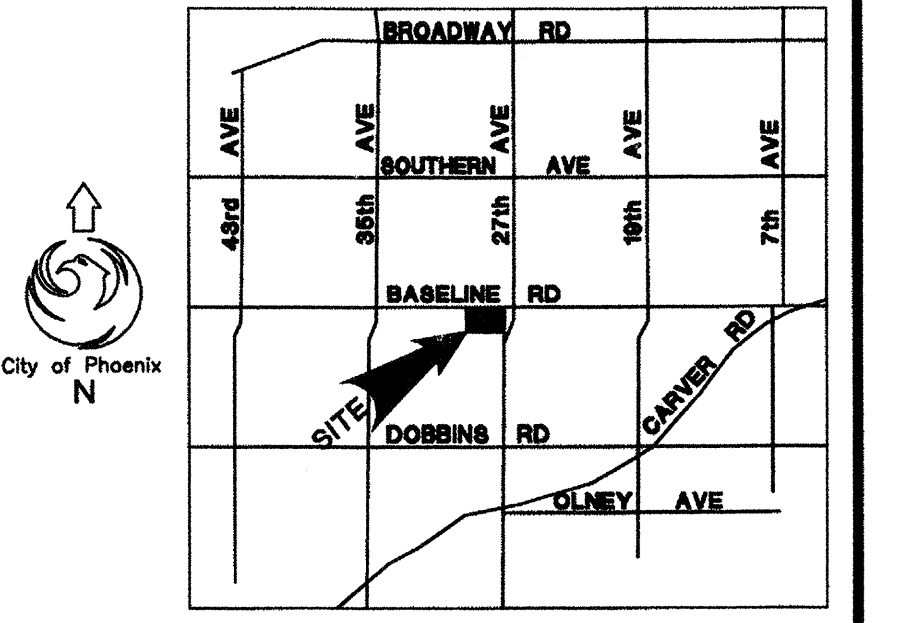
ADA COVERED STALLS = 8
 % COVERED = 100%

Q8 01-22
 KIVA 10-2389A1
 SDEV 1000281
 PRLM # 1002308
 PAPP # 1001454
 FEMA MAP # 04019C21408

DESIGN PROFESSIONAL: **PREMIER**
 ENGINEERING CORPORATION
 6437 W CHANDLER BLVD, STE 1
 CHANDLER, ARIZONA 85226
 (480) 829-6000 FAX (480) 829-6016

DES: RRS DR: MEK
 CK: RJD DATE: 05/11
 REVISION LOG

NO.	DESCRIPTION	REV. BY	CKD BY	DATE
1	REVISIONS PER PRE-APP			
2	MODIFIED PER SRP COMMENTS (SEE NOTE 4 BELOW)			



PROJECT DESCRIPTION

WITH THE SELECTION OF BASELINE ROAD AS THE FUTURE RAPID CENTRAL-SOUTH MOUNTAIN WEST LEG ROUTE, A SERIES OF PUBLIC OPEN HOUSES WAS HELD AND THE LAVERN AND SOUTH MOUNTAIN VILLAGE PLANNING COMMITTEES APPROVED THIS SITE FOR A PARK AND RIDE FACILITY. THIS FACILITY WILL SERVE THE CITIZENS OF THE GROWING LAVERN COMMUNITY CURRENTLY SERVED BY BUS ROUTES 0, 19, 35, 77 & FUTURE RAPID TRANSIT.

THE PROJECT SITE IS A 2.63-ACRE UNDEVELOPED PARCEL BOUNDED BY PRIVATE COUNTY PROPERTIES TO THE SOUTH AND WEST, OLD 27TH AVENUE RIGHT-OF-WAY ON THE EAST AND FULLY DEVELOPED BASELINE ROAD ALONG THE NORTH SIDE.

OWNER/DEVELOPER
 CITY OF PHOENIX PUBLIC TRANSIT DEPARTMENT
 302 N. 1st AVENUE, SUITE 900
 PHOENIX, ARIZONA 85003
 PHONE: 602-262-7242
 FAX: 602-534-0879
 CONTACT: MARK MELNYCHENKO

ENGINEER
 PREMIER ENGINEERING CORP.
 6437 W CHANDLER BLVD., STE. 1
 CHANDLER, AZ 85226
 PHONE: (480) 829-6000
 FAX: (480) 829-6016
 CONTACT: SAM MALEKOOTI, P.E., R.L.S.

APPROVED SITE PLAN AMENDMENT
 City of Phoenix Development Services Department
 AMENDMENT # A1
 10-2389
 DSD Tracking Numbers
 Team Leader (or designee) Date
 M. Daniels 05/15/11
 SHEET 1 of 2

To reflect SRP comments

PER CITY OF PHOENIX ORDINANCE G-4396, THESE PLANS ARE FOR OFFICIAL USE AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED TO FULFILL THE OBLIGATIONS OF YOUR CONTRACT WITH THE CITY OF PHOENIX.

CITY OF PHOENIX, ARIZONA PUBLIC TRANSIT DEPARTMENT FACILITIES DIVISION
 2727 W. BASELINE ROAD, PHOENIX, AZ
 PROJECT NO. PT02120007
 FINAL SITE PLAN

DES:	DR:	CK:	RJD	SHEET	TOTAL	AS
RRS	MEK	RJD		3	70	

DATE: 05/11 DATE: 05/11 DATE: 05/11
 SCALE: 1" = 30'

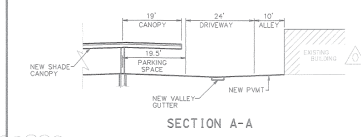
AS-BUILTS

SITE DATA

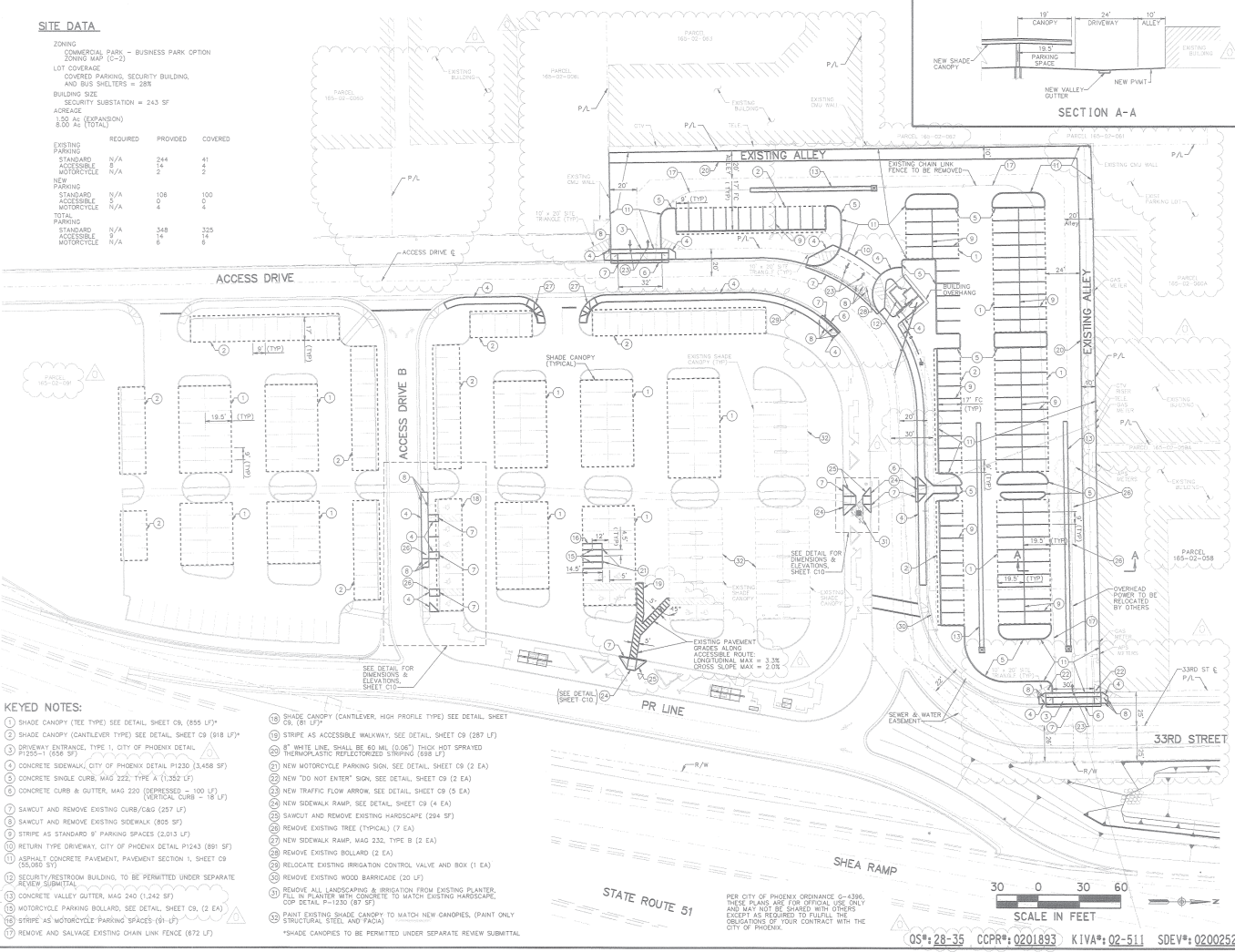
ZONING: COMMERCIAL PARK - BUSINESS PARK OPTION
 ZONING MAP: (C-2)
 LOT COVERAGE: COVERED PARKING, SECURITY BUILDING, AND BUS SHELTERS = 28%

BUILDING SIZE: SECURITY SUBSTATION = 243 SF
 ADREACE: 8.00 AS (REAR) 8.00 AS (TOTAL)

EXISTING PARKING	REQUIRED	PROVIDED	COVERED
STANDARD	N/A	244	41
ACCESSIBLE	N/A	14	2
MOTORCYCLE	N/A	2	0
NEW PARKING			
STANDARD	N/A	106	100
ACCESSIBLE	N/A	4	4
MOTORCYCLE	N/A	0	0
TOTAL		348	325
STANDARD	N/A	14	14
ACCESSIBLE	N/A	6	6
MOTORCYCLE	N/A	0	0



Revisions	Date
30%	01/02
DSD REV	07/02



KEYED NOTES:

- 1) SHADE CANOPY (TEE TYPE) SEE DETAIL SHEET C9 (855 LF)*
- 2) SHADE CANOPY (CANTILEVER TYPE) SEE DETAIL SHEET C9 (918 LF)*
- 3) DRIVEWAY ENTRANCE, TYPE 1, CITY OF PHOENIX DETAIL P1230-1 (656 SF)
- 4) CONCRETE SIDEWALK, CITY OF PHOENIX DETAIL P1230 (3,458 SF)
- 5) CONCRETE SINGLE CURB, MAG 222, TYPE A (1,352 LF)
- 6) CONCRETE CURB & GUTTER, MAG 220 (DEPRESSED) = 100 LF (VERTICAL CURB = 18 LF)
- 7) SAWCUT AND REMOVE EXISTING CURB/C&G (257 LF)
- 8) SAWCUT AND REMOVE EXISTING SIDEWALK (805 SF)
- 9) STRIPE AS STANDARD 'P' PARKING SPACES (2,013 LF)
- 10) RETURN TYPE DRIVEWAY, CITY OF PHOENIX DETAIL P1243 (891 SF)
- 11) ASPHALT CONCRETE PAVEMENT, PAVEMENT SECTION 1, SHEET C9 (55,060 SF)
- 12) SECURITY RESTROOM BUILDING, TO BE PERMITTED UNDER SEPARATE CITY SIGNATURE.
- 13) CONCRETE VALLEY GUTTER, MAG 240 (1,242 SF)
- 14) MOTORCYCLE PARKING BOLLARD, SEE DETAIL SHEET C9, (2 EA)
- 15) STRIPE AS MOTORCYCLE PARKING SPACES (61 LF)
- 16) REMOVE AND SALVAGE EXISTING CHAIN LINK FENCE (872 LF)
- 17) SHADE CANOPY (CANTILEVER, HIGH PROFILE TYPE) SEE DETAIL SHEET C9 (91 LF)
- 18) STRIPE AS ACCESSIBLE WALKWAY, SEE DETAIL SHEET C9 (287 LF)
- 19) 8" WHITE LINE, SHALL BE 60 MIL (0.06") THICK HOT SPRAYED THERMOPLASTIC REFLECTORIZED STRIPPING (698 LF)
- 20) NEW MOTORCYCLE PARKING SIGN, SEE DETAIL SHEET C9 (2 EA)
- 21) NEW "DO NOT ENTER" SIGN, SEE DETAIL SHEET C9 (2 EA)
- 22) NEW TRAFFIC FLOW ARROW, SEE DETAIL SHEET C9 (5 EA)
- 23) NEW SIDEWALK RAMP, SEE DETAIL SHEET C9 (4 EA)
- 24) SAWCUT AND REMOVE EXISTING HARDCAPE (224 SF)
- 25) REMOVE EXISTING TREE (TYPICAL) (7 EA)
- 26) NEW SIDEWALK RAMP, MAG 232, TYPE B (2 EA)
- 27) REMOVE EXISTING BOLLARD (2 EA)
- 28) RELOCATE EXISTING IRRIGATION CONTROL VALVE AND BOX (1 EA)
- 29) REMOVE EXISTING WOOD BARRICADE (20 LF)
- 30) REMOVE ALL LANDSCAPING & BRIDGION FROM EXISTING PLANTER, FILL IN PLANTER WITH CONCRETE TO MATCH EXISTING HARDCAPE, SEE DETAIL P1230 (87 SF)
- 31) PAINT EXISTING SHADE CANOPY TO MATCH NEW CANOPIES. (PAINT ONLY STRUCTURAL STEEL AND FRAMES)

*SHADE CANOPIES TO BE PERMITTED UNDER SEPARATE REVIEW SUBMITTAL

Drawn By: HHB
 Checked By: HHB
 Date: 07/25/02

DREAMY DRAW PARK-AND-RIDE
 INDEX NO. P100120014
 MASTER PLAN SCHEMATIC
 Sverdrup CIVIL INC
 9275 W. FALLOUT ROAD, SUITE 200
 PHOENIX, AZ 85028

CITY OF PHOENIX
 PUBLIC TRANSIT DEPARTMENT



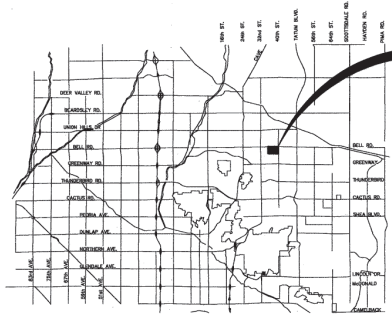
OS* 28-35 CCPR* 0201893 KIVA* 02-511 SDEV* 0200252

FILE NAME: P:\42714\NVA\334D\334D.DWG DATE: 08-AUG-2002 09:29
 PLOTTED BY: BANCROFT

F.I.W.A. REGION	STATE	PROJ. NO.	NO.	TOTAL	AS BUILT
9	ARIZ	PT00120021-1	2	85	

INCA ENGINEERS INC.
 3800 North Central Ave., Suite 200
 Phoenix, Arizona 85004
 Phone (602) 277-8181 Fax (602) 277-8183

CONSULTING ENGINEER
 DR: INCA DES: JP CK: MEW DATE:



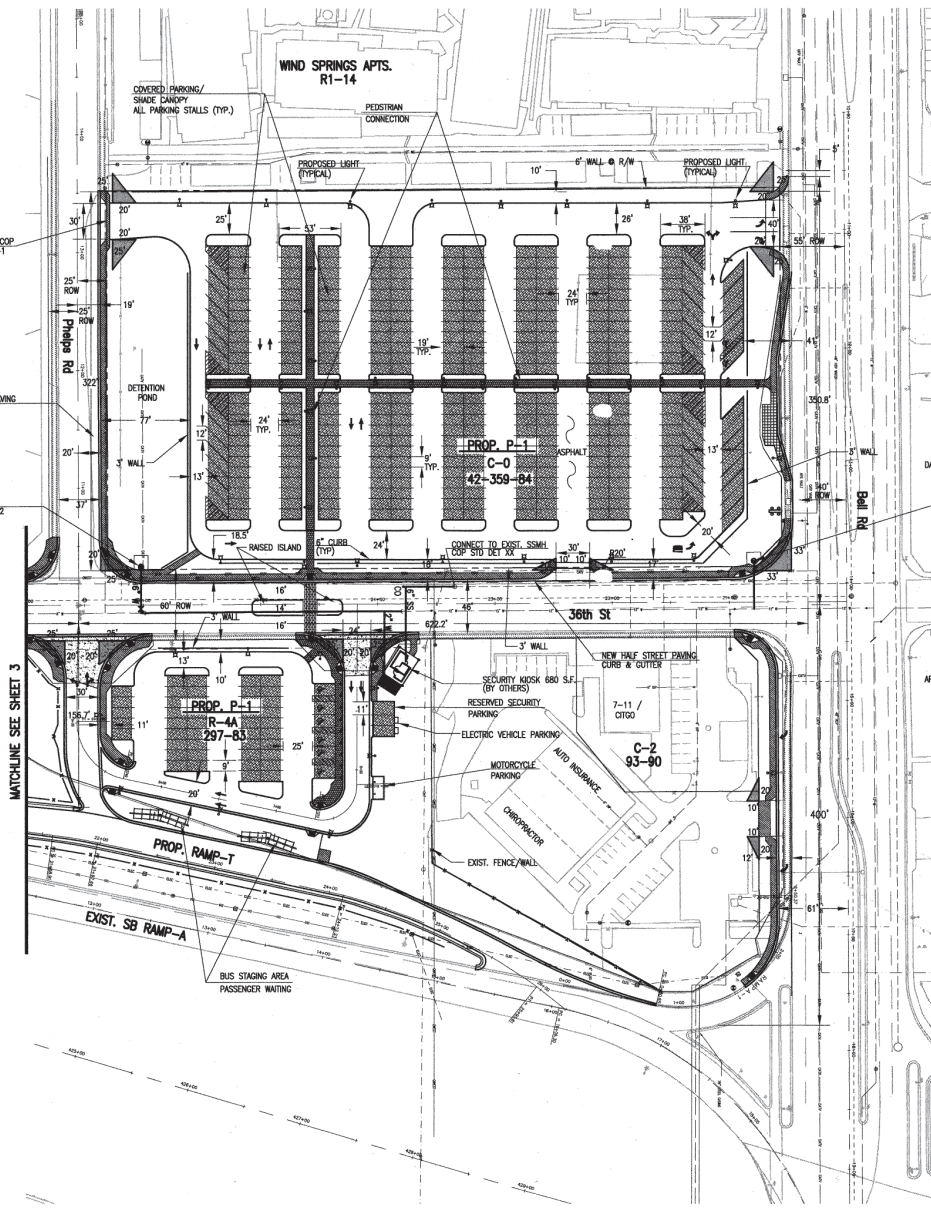
BELL ROAD PARK AND RIDE
 3535 E BELL ROAD

ZONING STIPULATIONS
 ZONING CASE # Z-176-01-2

1. That the development shall be in general conformance with the site plan dated 3/11/02, except as may be modified by the Development Services Department and the following stipulations.
2. That the development shall be consistent with the Bell Road Corridor Policy. There shall be an average 40-foot, minimum 30-foot landscape setback along Bell Road. Within the Bell Road landscape setback, the proposed bus ramp shall be permitted as shown on the site plan and approved by Development Services Department. The applicant shall provide mature landscaping within the setback to include 2" caliper shade trees with 15-gallon shrubs. The shade trees shall be placed 20-feet on center or in equivalent groupings, as approved by the Development Services Department.
3. That the parking area be screened with landscaping materials to remain consistent with the Bell Road standards.
4. That 2-inch caliper shade trees be planted along the east and south property lines 20-feet on center, or in equivalent groupings. In addition, a minimum 5-foot landscape strip be located along either side of the shaded and open pedestrian walkways. Shade trees and landscape materials shall be planted within this landscape area, as approved by the Development Services Department.
5. That a minimum of 50% of all parking spaces shall be covered.

SITE NOTES

- Development and use of this site will conform with all applicable codes and ordinances.
- All new or relocated utilities will be placed underground.
- Structures and landscaping at the intersection of public streets and private accessways, within a triangle measuring 33' along the public street and 15' along the private accessway right-of-way lines, will be maintained at a maximum height of 3'.
- Structures and landscaping within a triangle measured back 10' from the property line and 20' along the property line on each side of the driveway entrances will be maintained at a maximum height of 3'.
- Any lighting will be placed so as to direct light away from adjacent residential district and will not exceed one foot candle at the property line. No noise, odor, or vibration will be emitted at any level exceeding the general level of noise, odor, or vibration emitted by uses in the area outside of the site.
- Owners of property adjacent to public right-of-way will have the responsibility for maintaining all landscaping located within the rights-of-way, in accordance with approved plans.
- After final approval the project will be inspected for zoning compliance during construction and prior to occupancy. The applicant is to notify DSD prior to occupancy to arrange for inspections. Call 262-6981 and request a Design Review Inspection.
- All rooftop equipment and satellite dishes shall be screened to the height of the tallest equipment.
- All service areas shall be screened to conceal trash containers, loading docks, transformers, backflow preventers and other mechanical or electrical equipment from eye level adjacent to all public streets.
- Barbed, razor, or concertina wire (or similar) shall not be used on this site where visible from public streets or adjacent residential areas.
- All on-site water lines, including those required for fire protection shall be private plumbing lines subject to the Phoenix Plumbing Code.
- All new sanitary sewer lines within the site shall be private plumbing lines subject to the Phoenix Plumbing Code.



PROJECT INFORMATION

APPLICANT

CITY OF PHOENIX TRANSIT
 302 N. 1ST AVE.
 PHOENIX, AZ 85003
 MARK MELNYCHENKO
 PH. (602) 262-7240
 FAX (602) 495-2002

DESCRIPTION

BELL RD / SR-51 PARK AND RIDE
 3535 E BELL RD.
 CONSTRUCTION OF A PARK AND RIDE AT BELL ROAD AND SR-51

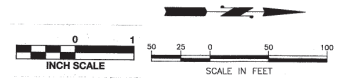
GROSS & NET ACRES 6.204
 T3N R3E SEC.1

TOTAL PARKING SPACE 377
 ACCESSIBLE 8

CITY TO COORDINATE LIGHTING ON 36TH AND PHELPS WITH APS.
 TO BE DESIGNED AND INSTALLED BY APS

APPROVAL

KMA #02-372
 SDEV #0200180



INCA ENGINEERS INC.
 3800 North Central Ave., Suite 200
 Phoenix, Arizona 85004
 Phone (602) 277-8181 Fax (602) 277-8183

HAPPY VALLEY ROAD/I-17 PARK-AND-RIDE PROJECT # PT-02120003-FTA

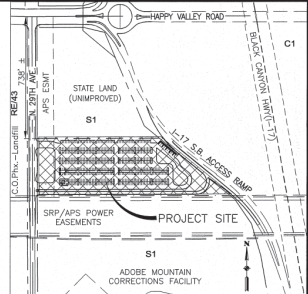
**MAG
SPECS**

- PROPOSED IMPROVEMENTS**
- | | | | |
|----------------------|-------------------------|-----------------------|---------------------------------|
| 1 ASPHALT | 8 INLINE CURB RAMP | 11 5' RETENTION WALL | 16 WROUGHT-IRON FENCE |
| 2 CONCRETE | 9 CONCRETE PATH | 12 LANDSCAPING AREA | 17 CHAIN LINK FENCE |
| 3 6" CURB & GUTTER | 10 COVERED PARKING* | 13 BIKE RACKS | 18 DRIVEWAY PER P124.3 |
| 4 6" SINGLE CURB | 11 ACCESSIBLE PARKING | 14 CONCRETE ROLL CURB | 19 DRYWELL |
| 5 SIDEWALK PER P1230 | 12 BUS STOP PER P1256-2 | 15 FIRE HYDRANT | 20 BACKFLOW PREVENTION ASSEMBLY |

DEVELOPER
CITY OF PHOENIX
PUBLIC TRANSIT DEPARTMENT
302 N. FIRST AVE. STE 910
PHOENIX, ARIZONA 85003
CONTACT: ABED BZAI, P.E.
PHONE: (602) 534-8491
FAX: (602) 534-0879

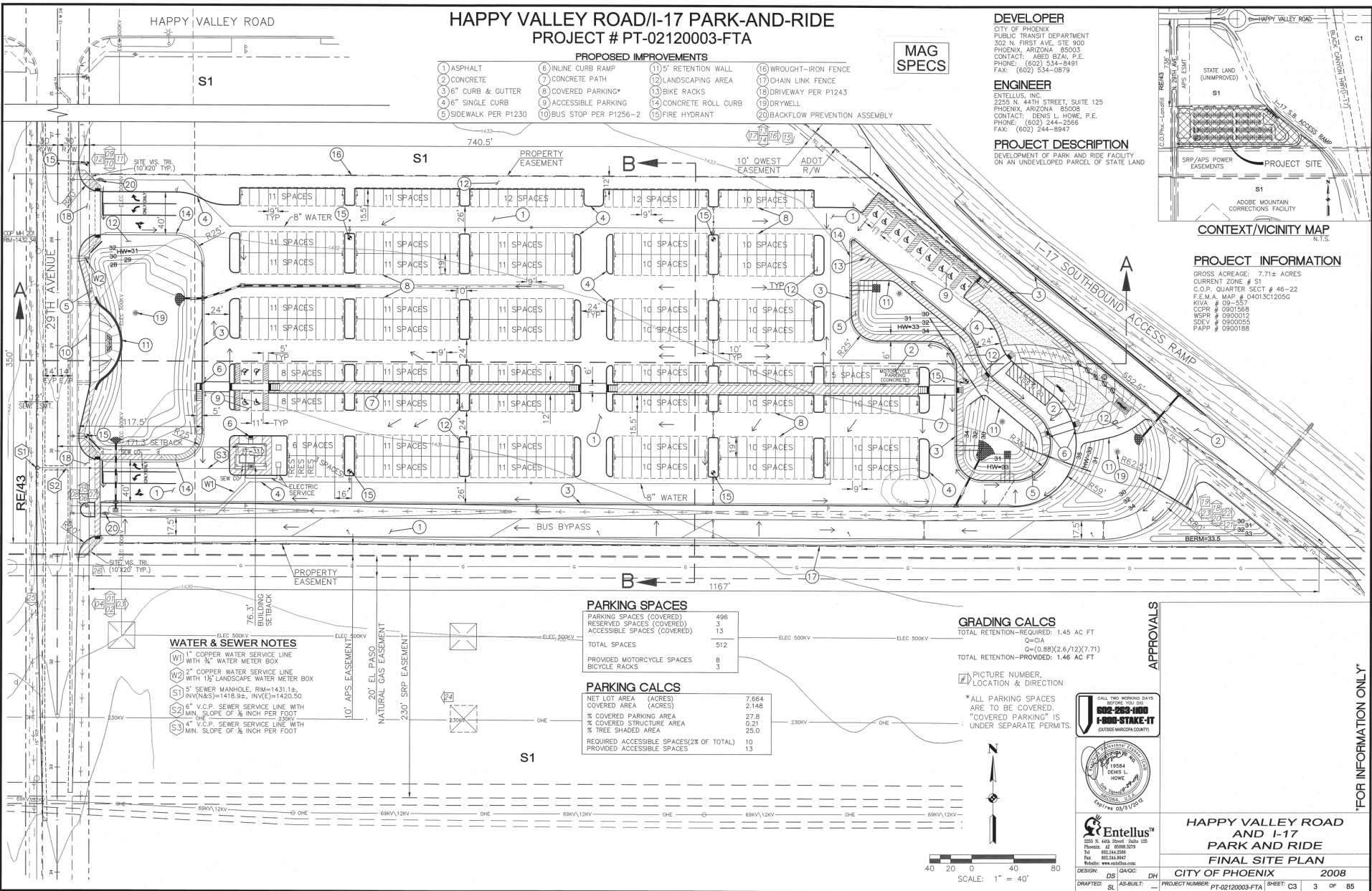
ENGINEER
ENTELLUS, INC.
2255 N. 44TH STREET, SUITE 125
PHOENIX, ARIZONA 85008
CONTACT: DENIS L. HOWE, P.E.
PHONE: (602) 244-2566
FAX: (602) 244-8947

PROJECT DESCRIPTION
DEVELOPMENT OF PARK AND RIDE FACILITY
ON AN UNDEVELOPED PARCEL OF STATE LAND



CONTEXT/VICINITY MAP
N.T.S.

PROJECT INFORMATION
GROSS ACREAGE: 7.71± ACRES
CURRENT ZONE: # S1
C.O.P. QUARTER SECT # 46-22
F.E.M.A. MAP # 04013C1205G
KIVA # 09-557
CCPR # 0901568
VSPR # 0900012
SDCV # 0900055
PAPP # 0800188



PARKING SPACES

PARKING SPACES (COVERED)	496
RESERVED SPACES (COVERED)	3
ACCESSIBLE SPACES (COVERED)	13
TOTAL SPACES	512
PROVIDED MOTORCYCLE SPACES	8
BICYCLE RACKS	3

PARKING CALCS

NET LOT AREA (ACRES)	7.664
COVERED AREA (ACRES)	2.148
% COVERED PARKING AREA	27.8
% COVERED STRUCTURE AREA	0.21
% TREE SHADED AREA	23.0
REQUIRED ACCESSIBLE SPACES(2% OF TOTAL)	10
PROVIDED ACCESSIBLE SPACES	13

GRADING CALCS
TOTAL RETENTION-REQUIRED: 1.45 AC FT
Q=0.14
Q=(0.88)(2.6/12)(7.71)
TOTAL RETENTION-PROVIDED: 1.46 AC FT

- WATER & SEWER NOTES**
- (W1) 1" COPPER WATER SERVICE LINE WITH 3/4" WATER METER BOX
 - (W2) 2" COPPER WATER SERVICE LINE WITH 1 1/2" LANDSCAPE WATER METER BOX
 - (S1) 5" SEWER MANHOLE, RIM=1431.12, INV(NMS)=1418.92, INV(C)=1420.50
 - (S2) 6" V.C.P. SEWER SERVICE LINE WITH MIN. SLOPE OF 1/8" INCH PER FOOT
 - (S3) 4" V.C.P. SEWER SERVICE LINE WITH MIN. SLOPE OF 1/8" INCH PER FOOT

APPROVALS

CALL TWO WORKING DAYS BEFORE YOU SIGN

ONE-STEP-TO-IT
I-17 STATE-IT
EXPIRES 03/31/2010

ENTELLUS
2255 N. 44th Street Suite 125
Phoenix, AZ 85008
Tel: 602.244.2566
Fax: 602.244.8947
Website: www.entellus.com

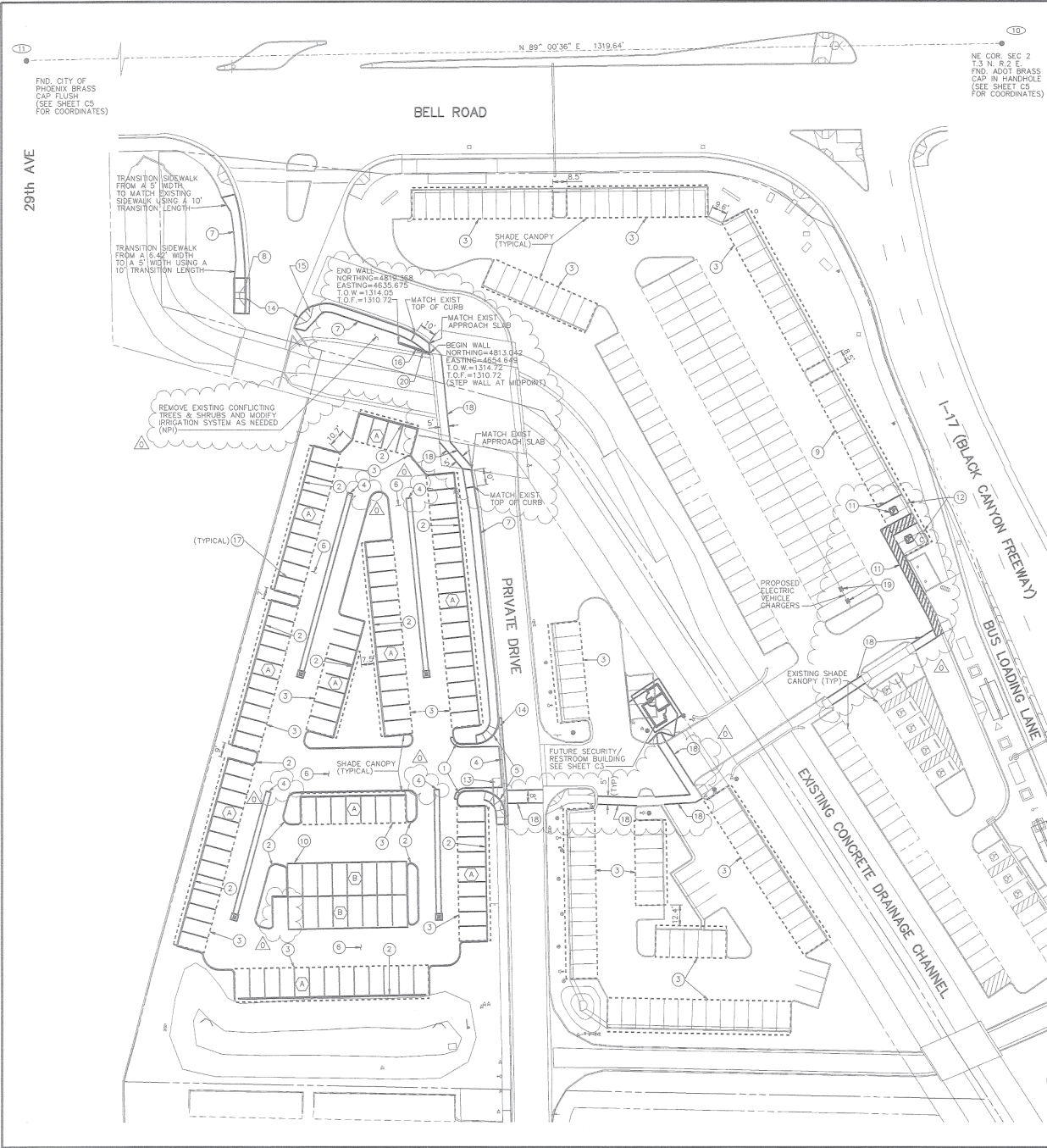
HAPPY VALLEY ROAD AND I-17 PARK AND RIDE FINAL SITE PLAN
CITY OF PHOENIX 2008



P:\100\115104 Happy Valley Park & Ride\Coord\SDS\SITE-PLAN-FSD-02.dwg
Oct. 28, 2009 - 10:58am

FOR INFORMATION ONLY

FILENAME: P:\M77107\133508_Deer Valley\000000\0001\0001\782\000A\335\c03.dgn
 PLOTTED BY: lsh-kaw DATE: 24-MAY-2002 12:23



KEYED NOTES:

- 1 CONCRETE CURB AND GUTTER, MAG 220, TYPE 'A' (87 LF)
 - 2 CONCRETE SINGLE CURB, MAG 222, TYPE 'A' (1866 LF)
 - 3 FUTURE SHADE CANOPY (CANTILEVER TYPE) SEE DETAIL, SHEET C9 (1735 LF)*
 - 4 VALLEY GUTTER, MAG 240 (1300 SF)
 - 5 SIDEWALK RAMP, COP STD P-1241-2 (MODIFIED) (2 EA)
 - 6 2" ASPHALT ON 6" AB (CLASS 2)
 - 7 5' CONCRETE SIDEWALK PER COP STD P-1230 (1410 SF)
 - 8 SIDEWALK RAMP, COP STD P-1235 (1 EA)
 - 9 FUTURE SHADE CANOPY (CANTILEVER, HIGH PROFILE TYPE) SEE DETAIL, SHEET C9 (119 LF)*
 - 10 FUTURE SHADE CANOPY (TEE TYPE) SEE DETAIL, SHEET C9 (77 LF)*
 - 11 STRIPE AS 5' ACCESSIBLE PARKING SPACES & WALKWAY, SEE DETAIL, SHEET C9 (467 LF)
 - 12 RESERVED PARKING SIGN, SEE DETAIL, SHEET C9 (2 EA)
 - 13 REMOVE EXISTING SIDEWALK (173 SF)
 - 14 REMOVE EXISTING CURB & GUTTER (111 LF)
 - 15 SIDEWALK RAMP, COP STD P-1241, (MODIFIED) CONSTRUCT LEFT RAMP ONLY (1 EA)
 - 16 RETAINING WALL, SEE DETAIL, SHEET C9 (20 LF)
 - 17 4" WHITE STRIPING FOR EACH STALL (1737 LF)
 - 18 STRIPE AS CROSSWALK, SEE SPECIFICATIONS (377 LF)
 - 19 NEW "NEIGHBORHOOD ELECTRIC VEHICLE PARKING ONLY" SIGN, TWO SIDED, SEE DETAIL, SHEET C9 (2 EA)
 - 20 REMOVE EXISTING 6" CONCRETE RETAINING WALL AND FOUNDATION (8 LF)
- A 9' x 16.5' PARKING STALL WITH 2.5' VEHICLE OVERHANG.
 B 9' x 19' PARKING STALL.
 C 13' x 16.5' ACCESSIBLE STALL WITH 6.5' AISLE (78 LF - 4" STRIPING)
- *FUTURE SHADE CANOPIES TO BE PERMITTED UNDER SEPARATE REVIEW SUBMITTAL.

SITE DATA

ZONING
 COMMERCIAL PARK - BUSINESS PARK OPTION
 ZONING MAP (M-7)

VARIANCE NO. 537-99-1
 VARIANCE TO REDUCE THE FRONT YARD SETBACK FROM 30' TO 9' AND THE SIDE YARD SETBACK FROM 20' TO 11'

VARIANCE GRANTED

LOT COVERAGE
 COVERED PARKING, SECURITY BUILDING, AND BUS SHELTERS = 18%

BUILDING SIZE
 SECURITY SUBSTATION = 243 SF

ACREAGE	GROSS	NET
	7.89 AC	7.13 AC

PARKING

STANDARD	REQUIRED	PROVIDED
ACCESSIBLE	N/A	334
MOTORCYCLE	N/A	10
TOTAL		4

Revisions	Date
30%	1/02
DSD	4/02
OWNER MODS	5/02



Designed By:
CAM

Drawn By:
BEE

Checked By:
SWG

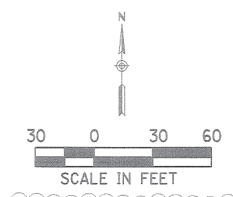
Date:
5/22/02

DEER VALLEY PARK-AND-RIDE EXPANSION/UPGRADES
 INDEX NO. P100120018
 MASTER PLAN SCHEMATIC

Sverdrup CIVIL INC
 875 W. ELLIOT ROAD, SUITE 201
 PHOENIX, ARIZONA 85026
 PHONE (480) 763-8600



Sheet
C2
 OF



Per City of Phoenix ordinance 6-4396, these plans are for official use only and may not be shared with others except as required to fulfill the obligations of your contract with the City of Phoenix.

PUBLIC TRANSIT DEPARTMENT
 CITY OF PHOENIX

CALL TWO HOURS AHEAD
 602-263-1100
 1-800-STAKE-IT
 MARICOPA COUNTY

ZONING
 ZONE - C-2 COMMERCIAL
 Z-97-00-B

LEGEND

- EXISTING OR NEW R/W LINE
- EASEMENT LINE
- PROPERTY LINE
- CENTERLINE
- SECTION LINE/CENTERLINE
- PARKING OVERHANG
- SETBACK LINE
- NEW STORM DRAIN LINE

- CONCRETE PAVEMENT/SIDEWALK
- EXISTING CONCRETE PAVEMENT/SIDEWALK
- EXISTING FIRE HYDRANT
- NEW OR RELOCATED FIRE HYDRANT
- EXISTING STORM DRAIN MANHOLE
- CATCH BASIN
- EXISTING POWER POLE
- STREET LIGHT & POLE
- CANOPY LIGHT
- SECURITY CAMERA



FLOODPLAIN STATEMENT
 SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE "X" AND "A" DESIGNATION BY THE SECRETARY OF THE HOUSING AND URBAN DEVELOPMENT ON FLOOD INSURANCE RATE MAP NO. 04013C2145F WITH DATE IDENTIFICATION OF SEPTEMBER 30, 1995 FOR COMMUNITY #040051 IN MARICOPA COUNTY, STATE OF ARIZONA.

LEGAL DESCRIPTION

PARCEL NO. 1:
 LOTS 5, 6, AND 7, OF LEGACY PLAZA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED AS BOOK 578 OF MAPS, PAGE 41.

PARCEL NO. 2:
 A NON-EXCLUSIVE, PERPETUAL EASEMENT FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS AS SET FORTH IN DECLARATION RECORDED JUNE 15, 2001 AS 2001-523706 OF OFFICIAL RECORDS.

PARCEL NO. 3:
 A NON-EXCLUSIVE, PERPETUAL EASEMENT FOR PEDESTRIAN INGRESS AND EGRESS AS SET FORTH IN RECIPROCAL EASEMENT AGREEMENT RECORDED MAY 08, 2007 AS 2007-537465 OF OFFICIAL RECORDS.

SITE ACRESAGE
 LOT 5 = 48,182 SQ. FT. OR 1.13 ACRES
 LOT 6 = 85,495 SQ. FT. OR 1.96 ACRES
 LOT 7 = 176,891 SQ. FT. OR 4.06 ACRES
 NET AREA = 311,568 SQ. FT. OR 7.15 ACRES
 GROSS AREA = 328,772 SQ. FT.

SECURITY BUILDING
 BUILDING HEIGHT = 14' 9"
 BUILDING AREA = 255 SQ. FT.
 USE = SECURITY OFFICE
 LOT COVERAGE = 0.08%

LANDSCAPE AREA

± LANDSCAPE AREA = 46.87%

PARKING STALL CALCULATIONS

PROVIDED AUTO STALLS:
 TOTAL PROVIDED = 204
 STANDARD STALLS = 197
 ACCESSIBLE STALLS = 7
 REQUIRED ACCESSIBLE = 7

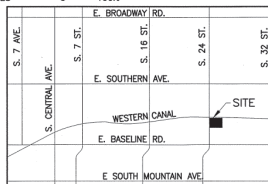
STALLS: 7 FOR 201-300 SPACES
 MOTORCYCLE PARKING = 5
 BICYCLE RACKS (8 BICYCLE CAPACITY)
 COVERED AUTO STALLS:
 STANDARD STALLS = 197 100%
 ACCESSIBLE STALLS = 7 100%
 MOTORCYCLE STALLS = 5 100%

APPLICANT

CITY OF PHOENIX PUBLIC TRANSIT DEPARTMENT
 302 N. 1st AVENUE, SUITE 900
 PHOENIX, ARIZONA 85003
 PROJECT MANAGER: MARK MELNYCHENKO
 PHONE: (602) 262-7242
 FAX: (602) 495-2002

ENGINEER

JACOBS ENGINEERING GROUP INC.
 101 N. FIRST AVENUE, SUITE 3100
 PHOENIX, AZ 85003
 PROJECT MANAGER: SHANTHI KRISHNAN, P.E.
 PHONE: (602) 253-1200
 FAX: (602) 253-1202



VICINITY MAP
 N.T.S.

GENERAL SITE PLAN NOTES

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
2. THIS PROJECT IS LOCATED IN THE CITY OF PHOENIX WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
3. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
4. ALL SIGNAGE REQUIRES SEPARATE APPROVALS AND PERMITS.
5. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM THE ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR OR VIBRATION WILL BE EMITTED SO THAT IT EXCEEDS THE GENERAL LEVEL OF NOISE, ODOR OR VIBRATION EMITTED BY USES OUTSIDE OF THE SITE.
6. OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHTS-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.
7. AFTER FINAL APPROVAL THE PROJECT WILL BE INSPECTED FOR ZONING COMPLIANCE DURING CONSTRUCTION AND PRIOR TO OCCUPANCY. THE APPLICANT IS TO NOTIFY PLANNING AND DEVELOPMENT DEPARTMENT PRIOR TO OCCUPANCY TO ARRANGE FOR INSPECTIONS. CALL 262-6981 AND REQUEST A SITE INSPECTION.
8. ALL SERVICE AREAS SHALL BE SORENEED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
9. CROSS DRAINAGE AGREEMENT SHALL BE MAINTAINED.

KEY NOTES

- 1 SINGLE CURB
- 2 CURB AND GUTTER
- 3 ASPHALT PAVEMENT
- 4 CONCRETE PAVEMENT
- 5 SIDEWALK RAMP MEETING ADA REQUIREMENTS
- 6 ACCESSIBLE PARKING STALLS
- 7 6' HIGH CMU WALL
- 8 CAST CONCRETE SEAT WALL
- 9 BUS BAY PER C.O.P. DET. P1256-1
- 10 3' VALLEY GUTTER
- 11 CONCRETE SIDEWALK
- 12 CONCRETE PATH
- 13 PROPOSED HIGH LIGHT POLE WITH CONCRETE FOUNDATION
- 14 CANOPY LIGHTS
- 15 PHOTOVOLTAIC PANELS
- 16 FULL CANTILEVER SHADE CANOPY
- 17 SECURITY CAMERA
- 18 MOTORCYCLE PARKING
- 19 BICYCLE LOCKER PAD
- 20 FIRE HYDRANT
- 21 DRYWELL
- 22 25' PUBLIC WATER EASEMENT
- 23 CONC. SPILLWAY

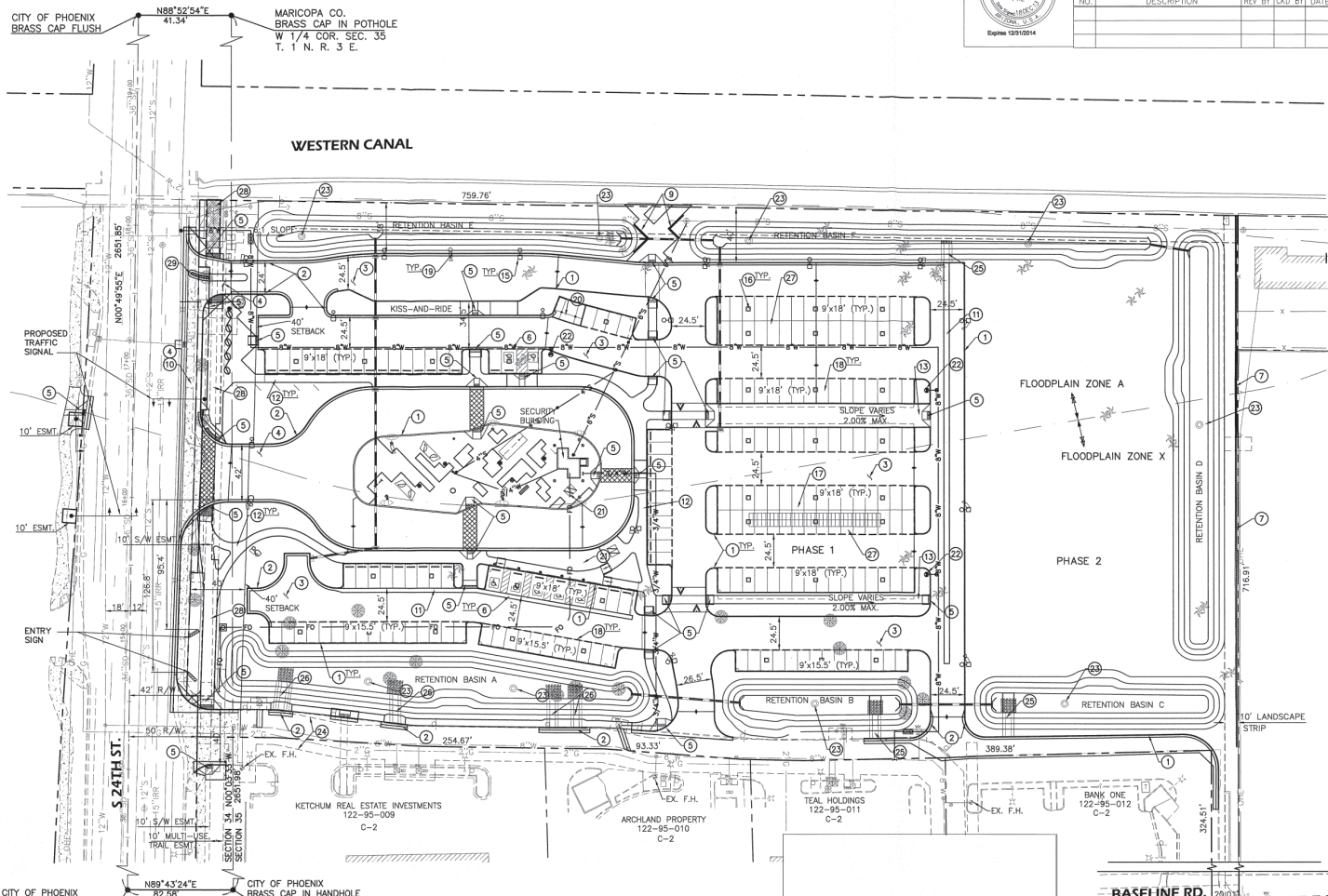
SOLID WASTE
 NO TRASH ENCLOSURE REQUIRED.
 SOLID WASTE WILL BE REMOVED DAILY BY CONTRACT CLEANING SERVICE.

PROJECT DESCRIPTION

THE PHOENIX PUBLIC TRANSIT DEPARTMENT (PTD) PLANS TO DESIGN AND CONSTRUCT A PARK-AND-RIDE FACILITY ON A 7.15 ACRE SITE NEAR THE NORTHEAST CORNER OF 24TH STREET AND BASELINE ROAD TO SERVE THE CENTRAL-SOUTH MOUNTAIN RAPID, THE FUTURE EAST LEG OF THE SOUTH CENTRAL HIGH CAPACITY TRANSIT CORRIDOR, AND A SERIES OF LOCAL BUS ROUTES IN THE AREA. THE PROPOSED PARK-AND-RIDE PROVIDES APPROXIMATELY 204 PARKING STALLS (IN ITS INITIAL PHASE) SHADED BY SOLAR ENERGY LIGHTED CANOPIES, BUS TURNAROUND AND STAGING AREAS, PASSENGER PLATFORM FOR BOARDING AND DISEMBARKING BUSES, A SECURITY BUILDING AND CAMERAS, LOW-WATER IRRIGATED LANDSCAPING, DRINKING FOUNTAINS AND VERTICAL SHADE PANELS FEATURING FUNCTIONAL PUBLIC ART.

BENCHMARK

CITY OF PHOENIX BRASS CAP IN HANDHOLE AT THE INTERSECTION OF 24TH ST. AND BASELINE RD. HAVING A NGVD 29 CITY OF PHOENIX ELEVATION OF 1180.885.



APPROVED
 SITE PLAN AMENDMENT
 City of Phoenix Planning and Development Department
 01-338 ACT
 PDD Taveling Numbers
 S.W. Dammitt - December 26, 2013
 Team Leader (or Designer) Date
 This approval is subject to all conditions of
 Site Plan Approval.
 SHEET 2 of 4

PER CITY OF PHOENIX ORDINANCE C-4396, THESE PLANS ARE FOR OFFICIAL USE ONLY AND MAY NOT BE SHARED WITH OTHERS EXCEPT AS REQUIRED FOR THE CONSTRUCTION OF THE PUBLIC WORKS FACILITIES SHOWN HEREON. THE PROJECT OWNER AND THE OWNER'S LICENSEES, CONSULTANTS, CONTRACTORS AND SUBCONTRACTORS ARE PROHIBITED FROM DISCLOSING THE PLANS AND SPECIFICATIONS TO ANY PERSONS OTHER THAN THOSE WHO HAVE A NEED TO KNOW THE INFORMATION FOR THE PURPOSE OF THE PROJECT.

CITY OF PHOENIX, ARIZONA
PUBLIC TRANSIT DEPARTMENT
FACILITIES DIVISION
GENERAL SITE PLAN
EAST BASELINE ROAD PARK-AND-RIDE
7415 SOUTH 24TH STREET
PHOENIX, AZ 85042

DR. J.E.	DES. J.K.	CHK. S.K.	REV. J.K.	DATE: 10/13	DATE: 10/13	SHEET NO.	TOTAL SHEETS	AS BUILT
						2	12	-

OS # 1-32, 1-33
 KIVA # 01-334 A7

DESIGN PROFESSIONAL

JACOBS
 101 North 1st Ave., Suite 3100
 Phoenix, Arizona 85003
 (602) 253-1200 Fax: (602) 253-1202

DES: J.K. DR: J.E.
 CK: S.K. DATE: 10/13
 REVISION LOG
 NO. DESCRIPTION REV BY CKD BY DATE

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
NTF	Gounds	North Transit Facility							
NTF-A	Builing	Maintenance & Operations Building				A	NTF		
NTF-B	Builing	Facility Maintenance Building				B	NTF		
NTF-C	Builing	Wash & Inspection Building				C	NTF		
NTF-D	Builing	Fuel Area Complex				D	NTF		
NTF-E	Builing	Security Kiosk				E	NTF		

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID
NTF-A-AKOMPRM	Room	Air Compressor Room by Bay 6				A	NTF
NTF-A-BAT	Room	Battery Room				A	NTF
NTF-A-BAY10	Room	Bay 10-NM				A	NTF
NTF-A-BAY11	Room	Bay 11-NM				A	NTF
NTF-A-BAY12	Room	Bay 12-NE				A	NTF
NTF-A-BAY1	Room	Bay 1-SE				A	NTF
NTF-A-BAY2	Room	Bay 2-SM				A	NTF
NTF-A-BAY3	Room	Bay 3-SM				A	NTF
NTF-A-BAY4	Room	Bay 4-Tire Shop Bay				A	NTF
NTF-A-BAY6	Room	Bay 6-Steam Cleaning				A	NTF
NTF-A-BAY7	Room	Bay 7-NW				A	NTF
NTF-A-BAY8	Room	Bay 8-NM				A	NTF
NTF-A-BAY9	Room	Bay 9-NM				A	NTF
NTF-A2-KIT	Room	Breakroom/Kitchen, 2nd Fl				A	NTF
NTF-A-BRKRM	Room	Breakroom/Kitchen, North				A	NTF
NTF-A-ITCR	Room	Computer Room, IT, FL1				A	NTF
NTF-A2-CNF242	Room	Conference Room 242, City				A	NTF
NTF-A-DSPH	Room	Dispatch and Office				A	NTF
NTF-A-SES	Room	Electrical Room, Main Service Electrical System				A	NTF
NTF-A-ELRM	Room	Elevator Control Room				A	NTF
NTF-A-STEAM	Room	Equipment Room, Steam Clean				A	NTF
NTF-A-FC	Room	Fare Collection & Storage				A	NTF
NTF-A2-JC	Room	Janitor Closet -Second Floor				A	NTF
NTF-A-JC	Room	Janitor Closet, North side - between locker rooms				A	NTF
NTF-A-MLR	Room	Locker Room, Men's				A	NTF
NTF-A-OPSLR	Room	Locker Room, Operators, by dispatch				A	NTF
NTF-A-WLR	Room	Locker Room, Women's				A	NTF

A - Maintenance Ops
 B - Facility Maintenance Shop
 C - Wash Inspection

D - Fuel Island Complex
 E - Security Kiosk

North Transit Facility

10/30/2024

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
NTF-A2-MR210	Room	Meeting Room 210- Ops/Safety Training -South				A	NTF		
NTF-A2-MR230	Room	Meeting Room 230- Training-North				A	NTF		
NTF-A2-OF211	Room	Office 211-South				A	NTF		
NTF-A2-OF213	Room	Office 213-South				A	NTF		
NTF-A2-OF214	Room	Office 214 - Ops Training Room -South				A	NTF		
NTF-A2-OF215	Room	Office 215-South				A	NTF		
NTF-A2-OF224	Room	Office 224-West				A	NTF		
NTF-A2-OF225	Room	Office 225-West				A	NTF		
NTF-A2-OF232	Room	Office 232				A	NTF		
NTF-A2-OF240	Room	Office 240, City				A	NTF		
NTF-A2-OF241	Room	Office 241, City				A	NTF		
NTF-A-SECOFF	Room	Office, Security				A	NTF		
NTF-A-SSUP	Room	Office, Shop Supervisor & Counter				A	NTF		
NTF-A-OPS	Room	Operators Lounge, South				A	NTF		
NTF-A-PARTS	Room	Parts warehouse				A	NTF		
NTF-A-QUTRM	Room	Quite Room				A	NTF		
NTF-A1-MRR	Room	Restroom, Men's 1st Floor				A	NTF		
NTF-A2-MRR2	Room	Restroom, Men's 2nd Floor, East				A	NTF		
NTF-A2-LRR2	Room	Restroom, Men's 2nd Floor, West				A	NTF		
NTF-A1-WRR	Room	Restroom, Women's 1st Floor				A	NTF		
NTF-A2-WRR1	Room	Restroom, Women's 2nd Floor, East				A	NTF		
NTF-A2-WRR2	Room	Restroom, Women's 2nd Floor, West				A	NTF		
NTF-A2-ITCR	Room	Server Room, City IT, FL2				A	NTF		
NTF-A2-ITCR2	Room	Server Room, Contractor IT, FL2				A	NTF		
NTF-A-BAY5	Room	Storage Room, SW, 143				A	NTF		
NTF-A-OSRM	Room	Storage, Oil - Room 146				A	NTF		
NTF-A-TIRE	Room	Storage, Tire - Room 144 & 145				A	NTF		
NTF-A-STRM	Room	Storerroom, City, NE Corner				A	NTF		
NTF-A2-SR212	Room	Storerroom, South				A	NTF		
NTF-A2-SR226	Room	Storerroom, West				A	NTF		
NTF-B-FMSO	Room	Office - FMC Bldg				B	NTF		
NTF-B-FMSRR	Room	Restroom, Unisex - Facility Maintenance				B	NTF		
NTF-B-FMS	Room	Shop & Storage - FMC Bldg				B	NTF		
NTF-C-MRR	Room	Restroom, Men's - Wash Bldg.				C	NTF		
NTF-C-WRR	Room	Restroom, Women's - Wash Bldg.				C	NTF		
NTF-D-LCNG	Room	LNG Control Room				D	NTF		

A - Maintenance Ops
 B - Facility Maintenance Shop
 C - Wash Inspection

D - Fuel Island Complex
 E - Security Kiosk

North Transit Facility

10/30/2024

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
NTF-D-OFF	Room	Office - Fuel Island				D	NTF		
NTF-D-TOFF	Room	Office, Fuel Island Tech				D	NTF		
NTF-E-RR	Room	Restroom, Security Kiosk				E	NTF		

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
NTF-A-AHU1	Equipment	Air Conditioning Unit #1 - AHU-1 - 1st Floor	TRANE	SFHFLF304JJ47CDD7001AW0D00	C12M07712	A	NTF	Fair	4
NTF-A-AHU2	Equipment	Air Conditioning Unit #2 - AHU-2 - 2nd Floor	TRANE	SFHFLF254JJ37C5ED7001A0W000	C12M07713	A	NTF	Fair	4
NTF-A-AL7	Equipment	Air Hose Reel, Bay 7				A	NTF	Fair	2
NTF-A-AL11	Equipment	Air Hose Reel, Bay 11/12				A	NTF	Fair	2
NTF-A-AL2	Equipment	Air Hose Reel, Bay 2/3				A	NTF	Fair	2
NTF-A-AL9	Equipment	Air Hose Reel, Bay 9/10				A	NTF	Fair	2
NTF-A-BFP	Equipment	Backflow Valve, Break Room	Watts			A	NTF	Fair	2
NTF-A-BAS	Equipment	Building Automation System, Trane Controller Elec Rm	TRANE	Tracer		A	NTF	Good	7
NTF-A-BASS	Equipment	Building Automation System, Trane Server Elec Rm	TRANE	Tracer		A	NTF	Good	7
NTF-A-BASWS	Equipment	Building Automation System, Trane Work Station Elec Rm	TRANE	Tracer		A	NTF	Good	7
NTF-A-FCCAN	Equipment	Canopy, Fare Collection		KC15L		A	NTF	Good	7
NTF-A-ACT	Equipment	Ceiling Tiles				A	NTF	Fair	2
NTF-A-CT	Equipment	Ceiling Tiles				A	NTF	Fair	2
NTF-A-CRV	Equipment	Centrifugal Roof Vent - Lower West Roof	AMCO	E165879	4H253	A	NTF	Good	7
NTF-A-ADYR	Equipment	Compressed Air Dryer. By Bay 6	ZEKS	600H5EA400	275629	A	NTF	Fair	2
NTF-A-ACOMP2	Equipment	Compressor, Air - 25HP. By Bay 6	SAYLOR BEALL		9Y-2-001	A	NTF	Fair	2
NTF-A-ACOMP3	Equipment	Compressor, Air - 30HP. By Bay 6	Quincy	QGV-30	UTY100929	A	NTF	Good	7
NTF-A-ACOMP1	Equipment	Compressor, Air - SW Storage Room	ATLAS COPCO	GA11P	CAI715699	A	NTF	Fair	2
NTF-A-CHB12	Equipment	Crane 2-Ton, Hoist Bridge. Bay 12	Kone	CXT20410020P15FALOF	HGW05421	A	NTF	Fair	2
NTF-A-OHD1	Equipment	Door, Overhead - Bay 1	Raynor	2DZ301 (424)	940314	A	NTF	Fair	2
NTF-A-OHD10	Equipment	Door, Overhead - Bay 10	Raynor	2DZ301 (424)	940414	A	NTF	Fair	2
NTF-A-OHD11	Equipment	Door, Overhead - Bay 11	Raynor	2DZ301 (424)		A	NTF	Fair	2
NTF-A-OHD12	Equipment	Door, Overhead - Bay 12	Raynor	2DZ301 (424)	L02-301	A	NTF	Fair	2
NTF-A-OHD2	Equipment	Door, Overhead - Bay 2	Raynor	2DZ301 (424)		A	NTF	Fair	2
NTF-A-OHD3	Equipment	Door, Overhead - Bay 3	Raynor	2DZ301 (424)	940414	A	NTF	Fair	2
NTF-A-OHD4	Equipment	Door, Overhead - Bay 4	Raynor	2DZ301 (424)		A	NTF	Fair	2
NTF-A-OHD5	Equipment	Door, Overhead - Bay 5, SW Store Room	Cookson/ Micanan	JN 1206260098	GH-50-11	A	NTF	Fair	2
NTF-A-OHD6	Equipment	Door, Overhead - Bay 6	Raynor	2DZ301 (424)		A	NTF	Fair	2
NTF-A-OHD7	Equipment	Door, Overhead - Bay 7	Raynor	2DZ301 (424)	940413	A	NTF	Fair	2

A - Maintenance Ops
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North Transit Facility

10/30/2024

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
NTF-A-OHD8	Equipment	Door, Overhead - Bay 8	Raynor	2DZ301 (424)		A	NTF	Fair	2
NTF-A-OHD9	Equipment	Door, Overhead - Bay 9	Raynor	2DZ301 (424)		A	NTF	Fair	2
NTF-A-OHD14	Equipment	Door, Overhead - Fare Collections	Raynor	2DZ301 (424)		A	NTF	Fair	2
NTF-A-OHD13	Equipment	Door, Overhead - Tire Shop Interior	Raynor			A	NTF	Fair	2
NTF-A-OHD15	Equipment	Door, Roll Up - Parts Counter	Cookson	Counter Fire door		A	NTF	Good	7
NTF-A-DF1	Equipment	Drinking Fountain - 1st Floor Operators Lounge	Oasis	OASISPG8ACSL	OA578293	A	NTF	Fair	2
NTF-A2-DF2	Equipment	Drinking Fountain - 2nd Floor WRR	Oasis	OASISPG8ACSL	OA272947	A	NTF	Fair	2
NTF-A-SES	Equipment	Electrical - Service Entrance Section, Main - Electrical Room	Square D			A	NTF	Fair	2
NTF-A-EP1	Equipment	Electrical Panel-boards - 1st Floor	Various	Various		A	NTF	Fair	2
NTF-A2-EP	Equipment	Electrical Panel-boards - 2nd Floor	Square D			A	NTF	Fair	2
NTF-A-EP	Equipment	Electrical Panel-boards - Roof	Siemens			A	NTF	Fair	2
NTF-A-ELEV	Equipment	Elevator	OTIS	Gen 2	5466	A	NTF	Good	7
NTF-A-EC1	Equipment	Evaporative Cooler #1, Tire Shop Roof	United Metal	UMP-839DHL	FA-55559	A	NTF	Fair	2
NTF-A-EC10	Equipment	Evaporative Cooler #10, Comp RM West Lwr Roof	United Metal	UMP-824DHL	FA-55566	A	NTF	Good	7
NTF-A-EC11	Equipment	Evaporative Cooler #11, Bay 2 Roof	United Metal	UMP-839D-HL	FA55544	A	NTF	Good	7
NTF-A-EC12	Equipment	Evaporative Cooler #12, Bay 1 Roof	United Metal	UMP-839D-HL	FA55561	A	NTF	Good	7
NTF-A-EC14	Equipment	Evaporative Cooler #14, Bay 6 Roof	United Metal	UMP-939D-HL	FA55564	A	NTF	Good	7
NTF-A-EC15	Equipment	Evaporative Cooler #15, Bay 7 Roof	United Metal	UMP-839D-HL	FA55550	A	NTF	Good	7
NTF-A-EC16	Equipment	Evaporative Cooler #16, Bay 7 Roof	United Metal	UMP-839D-HL	FA55557	A	NTF	Good	7
NTF-A-EC17	Equipment	Evaporative Cooler #17, Bay 8 Roof	United Metal	UMP-839D-HL	FA55547	A	NTF	Good	7
NTF-A-EC18	Equipment	Evaporative Cooler #18, Bay 8 Roof	United Metal	UMP-839D-HL	FA55558	A	NTF	Good	7
NTF-A-EC19	Equipment	Evaporative Cooler #19, Bay 9 Roof	United Metal	UMP-839D-HL	FA55556	A	NTF	Good	7
NTF-A-EC2	Equipment	Evaporative Cooler #2 Bay 5-Store Rm (lower roof)	United Metal	UMP-824DHL	FA-55568	A	NTF	Good	7
NTF-A-EC20	Equipment	Evaporative Cooler #20, Bay 9 Roof	United Metal	UMP-839D-HL	FA55554	A	NTF	Good	7
NTF-A-EC21	Equipment	Evaporative Cooler #21. Bay 10 Roof	United Metal	UMP-839D-HL	FA55553	A	NTF	Good	7
NTF-A-EC22	Equipment	Evaporative Cooler #22. Bay 10 Roof	United Metal	UMP-839D-HL	FA55548	A	NTF	Good	7
NTF-A-EC23	Equipment	Evaporative Cooler #23. Bay 11 Roof	United Metal	UMP-839D-HL	FA55555	A	NTF	Good	7
NTF-A-EC24	Equipment	Evaporative Cooler #24. Bay 11 Roof	United Metal	UMP-839D-HL	FA55546	A	NTF	Good	7
NTF-A-EC25	Equipment	Evaporative Cooler #25. Bay 12 Roof	United Metal	UMP-839D-HL	FA55552	A	NTF	Good	7
NTF-A-EC26	Equipment	Evaporative Cooler #26. Bay 12 Roof	United Metal	UMP-839D-HL	FA55551	A	NTF	Good	7
NTF-A-EC27	Equipment	Evaporative Cooler #27 - NE Storage Room Roof	United Metal	UMP-824OHL	FA-55567	A	NTF	Good	7
NTF-A-EC3	Equipment	Evaporative Cooler #3 Bay 6 Roof	United Metal	UMP-839D-HL	FA-55565	A	NTF	Good	7
NTF-A-EC4	Equipment	Evaporative Cooler #4, Bay 3 Roof	United Metal	UMP-839D-HL	FA55543	A	NTF	Good	7
NTF-A-EC5	Equipment	Evaporative Cooler #5, Bay 4 Roof	United Metal	UMP-939D-HL	FA55563	A	NTF	Good	7
NTF-A-EC6	Equipment	Evaporative Cooler #6, Bay 2 Roof	United Metal	UMP-839D-HL	FA55549	A	NTF	Good	7
NTF-A-EC7	Equipment	Evaporative Cooler #7, Bay 3 Roof	United Metal	UMP-839D-HL	FA55545	A	NTF	Good	7

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NTF-A-EC8	Equipment	Evaporative Cooler #8, Bay 1 Roof	United Metal	UMP-839D-HL	FA55560	A	NTF	Good	7
NTF-A-EC9	Equipment	Evaporative Cooler #9, Bay 4 Roof	United Metal	UMP-939D-HL	FA55562	A	NTF	Good	7
NTF-A-EF10	Equipment	Exhaust Fan - Welding Area Between Bay 9 & 10	PENN VENTILATOR	NM3N6	DX-16B	A	NTF	Fair	2
NTF-A-EF3	Equipment	Exhaust Fan, Lwr Roof SW side				A	NTF	Fair	2
NTF-A-EF4	Equipment	Exhaust Fan, Lwr Roof NW Battery Rm				A	NTF	Fair	2
NTF-A-EFM20	Equipment	Exhaust Fan, Methane - Power Ventilator - Roof above tire	Barry Blower			A	NTF	Fair	2
NTF-A-EFM13	Equipment	Exhaust Fan, Methane - Bay 1 Roof	Barry Blower	365-EST-CW	5-01-403860-20-1	A	NTF	Fair	2
NTF-A-EFM18	Equipment	Exhaust Fan, Methane - Bay 11 Roof	Barry Blower	365-ESI-CW	5-01-403860-50-1	A	NTF	Fair	2
NTF-A-EFM14	Equipment	Exhaust Fan, Methane - Bay 3 Roof	Barry Blower	365-EST-CW	5-01-403860-20-2	A	NTF	Fair	2
NTF-A-EFM12	Equipment	Exhaust Fan, Methane - Bay 4 Roof	Barry Blower	RTMA-14-SISPNAWDHIHG	5-01-403860-10-2	A	NTF	Fair	2
NTF-A-EFM15	Equipment	Exhaust Fan, Methane - Bay 7 Roof	Barry Blower	365-ESI-CW	5-01-403860-30-1	A	NTF	Fair	2
NTF-A-EFM17	Equipment	Exhaust Fan, Methane - Bay 8 Roof	Barry Blower	365-ESI-CW	5-01-403860-40-1	A	NTF	Fair	2
NTF-A-EFM11	Equipment	Exhaust Fan, Methane -Bay 6 Roof	Barry Blower	365-ESI-CW	5-01-403860-10-1	A	NTF	Fair	2
NTF-A-EFM16	Equipment	Exhaust Fan, Methane -Bay 6 Roof	Barry Blower	365-ESI-CW	5-01-403860-30-2	A	NTF	Fair	2
NTF-A-EFM19	Equipment	Exhaust Fan, Methane -West LLW Roof	Barry Blower	222ESICW	5-01-403860-50-1	A	NTF	Fair	2
NTF-A-EFV1	Equipment	Exhaust Fan, Vehicle #1 - Exhaust Fan Roof Bays 1-3	Harvey Industries, Inc.	BD-11	BD-11 IEF-1	A	NTF	Fair	2
NTF-A-EFV2	Equipment	Exhaust Fan, Vehicle #2 - Exhaust Fan Roof Bays 7-9	Harvey Industries, Inc.	BD-11	BD-11 IEF-2	A	NTF	Fair	2
NTF-A-EFV3	Equipment	Exhaust Fan, Vehicle #3 - Exhaust Fan Roof Bays 10-12	Harvey Industries, Inc.	BD-11	BD-11 IEF-3	A	NTF	Fair	2
NTF-A-EF2	Equipment	Exhaust Fan, W-MRR-2nd Floor	Loren Cook	165-C10D	100SE51099-00/0001701	A	NTF	Good	7
NTF-A-EF1	Equipment	Exhaust Fan, W-MRR-locker rms 1nd Floor	Loren Cook	165-C10D	100SE51099-00/0001701	A	NTF	Good	7
NTF-A-ER4	Equipment	Exhaust Reel - back of bay	Harvey Industries, Inc.	RHR-6R-MHR		A	NTF	Fair	2
NTF-A-ER6	Equipment	Exhaust Reel - back of Bay 6	Harvey Industries, Inc.	RHR-6R-MHR		A	NTF	Fair	2
NTF-A-ER1	Equipment	Exhaust Reel - Bay 1	Harvey Industries, Inc.	RHR-6R-MHR		A	NTF	Fair	2
NTF-A-ER10	Equipment	Exhaust Reel - Bay 10	Harvey Industries, Inc.	RHR-6R-MHR		A	NTF	Fair	2
NTF-A-ER11	Equipment	Exhaust Reel - Bay 11	Harvey Industries, Inc.	RHR-6R-MHR		A	NTF	Fair	2
NTF-A-ER12	Equipment	Exhaust Reel - Bay 12	Harvey Industries, Inc.	RHR-6R-MHR		A	NTF	Fair	2
NTF-A-ER2	Equipment	Exhaust Reel - Bay 2	Harvey Industries, Inc.	RHR-6R-MHR		A	NTF	Fair	2
NTF-A-ER3	Equipment	Exhaust Reel - Bay 3	Harvey Industries, Inc.	RHR-6R-MHR		A	NTF	Fair	2
NTF-A-ER7	Equipment	Exhaust Reel - Bay 7	Harvey Industries, Inc.	RHR-6R-MHR		A	NTF	Fair	2
NTF-A-ER8	Equipment	Exhaust Reel - Bay 8	Harvey Industries, Inc.	RHR-6R-MHR		A	NTF	Fair	2
NTF-A-ER9	Equipment	Exhaust Reel - Bay 9	Harvey Industries, Inc.	RHR-6R-MHR		A	NTF	Fair	2
NTF-A-FVAV1-1	Equipment	Fan Powered VAV Unit #1, 1st floor	TRANE	VPEF1002SQ	R12L03086A	A	NTF	Good	7
NTF-A2-FVAV2-1	Equipment	Fan Powered VAV Unit #1, 2nd floor	TRANE	VPEF1002SQ	R12L03093A	A	NTF	Good	7
NTF-A-FVAV1-2	Equipment	Fan Powered VAV Unit #2, 1st floor	TRANE	VPEF1002SQ	R12L03087A	A	NTF	Good	7
NTF-A2-FVAV2-2	Equipment	Fan Powered VAV Unit #2, 2nd floor	TRANE	VPEF1002SQ	R12L03090A	A	NTF	Good	7
NTF-A-FVAV1-3	Equipment	Fan Powered VAV Unit #3, 1st floor	TRANE	VPEF1002SQ	R12L03088A	A	NTF	Good	7

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NTF-A-FVAV1-4	Equipment	Fan Powered VAV Unit #4, 1st floor	TRANE	VPEF1002SQ	R12L03089A	A	NTF	Good	7
NTF-A-FVAV1-5	Equipment	Fan Powered VAV Unit #5, 1st floor	TRANE	VPEF1002SQ	R12L03092A	A	NTF	Good	7
NTF-A-FVAV1-6	Equipment	Fan Powered VAV Unit #6, 1st floor	TRANE	VPEF1002SQ	R12L03091A	A	NTF	Good	7
NTF-A-SPRNK	Equipment	Fire Sprinkler System - M&O Bldg				A	NTF	Fair	2
NTF-A-SPKR	Equipment	Fire Suppression System/ Risers/Valves/EPA BLD.A	Viking			A	NTF	Fair	2
NTF-A-FLR	Equipment	Floor tile	AZROCK-VCT	V-206 Morning Time		A	NTF	Fair	2
NTF-A-FR1	Equipment	Fluid Reel - Bay 1	Harvey Industries, Inc.	BD11-I-EF-2		A	NTF	Fair	2
NTF-A-FR10	Equipment	Fluid Reel - Bay 10	Harvey Industries, Inc.	BD11-I-EF-2		A	NTF	Fair	2
NTF-A-FR11	Equipment	Fluid Reel - Bay 11	Harvey Industries, Inc.	BD11-I-EF-2		A	NTF	Fair	2
NTF-A-FR12	Equipment	Fluid Reel - Bay 12	Harvey Industries, Inc.	BD11-I-EF-2		A	NTF	Fair	2
NTF-A-FR2	Equipment	Fluid Reel - Bay 2	Harvey Industries, Inc.	BD11-I-EF-2		A	NTF	Fair	2
NTF-A-FR3	Equipment	Fluid Reel - Bay 3	Harvey Industries, Inc.	BD11-I-EF-2		A	NTF	Fair	2
NTF-A-FR7	Equipment	Fluid Reel - Bay 7	Harvey Industries, Inc.	BD11-I-EF-2		A	NTF	Fair	2
NTF-A-FR8	Equipment	Fluid Reel - Bay 8	Harvey Industries, Inc.	BD11-I-EF-2		A	NTF	Fair	2
NTF-A-FR9	Equipment	Fluid Reel - Bay 9	Harvey Industries, Inc.	BD11-I-EF-2		A	NTF	Fair	2
NTF-A-GDS	Equipment	Gas Detection System (Methane Sys)- Controllers	Honeywell	TPPLBAWA8SNBRRN		A	NTF	New	15?
NTF-A-GDSS	Equipment	Gas Detection System (Methane Sys)- Sensors	Honeywell	SPXCDULNRXM		A	NTF	New	
NTF-A-GF1	Equipment	Gas Furnace #1	MODINE	HFP400SMRLN20A1		A	NTF	Fair	2
NTF-A-GF2	Equipment	Gas Furnace #2	MODINE	HFP400SMRLN20A1	0917095012-1462	A	NTF	Fair	2
NTF-A-GF3	Equipment	Gas Furnace #3	MODINE	HFP400SMRLN20A1	0917095012-1460	A	NTF	Fair	2
NTF-A-GF4	Equipment	Gas Furnace #4	MODINE	HFP400SMRLN20A1	0917095012-1465	A	NTF	Fair	2
NTF-A-GF5	Equipment	Gas Furnace #5 - Bay 6 Roof	MODINE	HFP200SMRLN20A1	0917095012-1458	A	NTF	Fair	2
NTF-A-GF6	Equipment	Gas Furnace #6 - Bay 8 Roof	MODINE	HFP200SMRLN20A1	0917095012-1463	A	NTF	Fair	2
NTF-A-GF7	Equipment	Gas Furnace #7 - Bay 10 Roof	MODINE	HFP200SMRLN20A1	0917095012-1461	A	NTF	Fair	2
NTF-A-GF8	Equipment	Gas Furnace #8	MODINE	HFP200SMRLN20A1	0917095012-1464	A	NTF	Fair	2
NTF-A-GEN	Equipment	Generator #1 - Maint/Ops Generator	Cummins Onan	DFAC-5566448	H020403260	A	NTF	Fair	2
NTF-A-CU1	Equipment	Heat Pump - Elevator (lower roof)	TRANE	4TTB3018A1	12413N8G3F	A	NTF	Good	7
NTF-A-HP1	Equipment	Heat Pump #1 - Revenue	TRANE	2WCC3030A	12425JFX9H	A	NTF	Good	7
NTF-A-HP2	Equipment	Heat Pump #2 - Security Office	YORK	B2HZ030A06	N1C186314	A	NTF	Good	7
NTF-A-HPSW	Equipment	High Pressure Spray Washer -Bay 6	Landa	VHG4-30024C	11095430-162464	A	NTF	Fair	2
NTF-A-LIFTMSK	Equipment	Lift - Column - Mobile. Bay 11 & 12	Stertil Koni	ST-1072	TH89716, 17, 19, 32	A	NTF	Good	7
NTF-A-LIFT8	Equipment	Lift, Axle, 2 Post, 50K lbs - Bay 8	Rotary	R70Q-120	XBJ04D0003	A	NTF	Poor	0
NTF-A-LIFT4	Equipment	Lift, Axle, 3 Post, 75K lbs - Bay 4	Rotary	R70Q-120	XBJ04D0002	A	NTF	Poor	0
NTF-A-LIFT3	Equipment	Lift, Parallelogram, 60Klbs, 60 ft. Bay 3	Rotary	50-48SCPT1-3-3	PBK04D0005	A	NTF	Replace	0
NTF-A-LIFT6b	Equipment	Lift, Parallelogram, 78Klbs, 60 ft. Bay 6	Stertil Koni	SKY250-14.5	TZ239653	A	NTF	Good	7
NTF-A-LIFT1b	Equipment	Lift, Parallelogram, Bay 1	Stertil Koni	SKY200-8	TZ250031	A	NTF	Good	7

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NTF-A-LIFT2b	Equipment	Lift, Parallelogram, Bay 2	Stertil Koni	SKY200-8	TZ250032	A	NTF	Good	7
NTF-A-MCLift10.1	Equipment	Lift, Wireless Mobile Column #10-1	Stertil Koni	ST-1085 FWA-US	223D-621185	A	NTF	New	14
NTF-A-MCLift10.2	Equipment	Lift, Wireless Mobile Column #10-2	Stertil Koni	ST-1085 FWA-US	223B-620468	A	NTF	New	14
NTF-A-MCLift10.3	Equipment	Lift, Wireless Mobile Column #10-3	Stertil Koni	ST-1085 FWA-US	223B-620421	A	NTF	New	14
NTF-A-MCLift10.4	Equipment	Lift, Wireless Mobile Column #10-4	Stertil Koni	ST-1085 FWA-US	223B-620463	A	NTF	New	14
NTF-A-MCLift7.1	Equipment	Lift, Wireless Mobile Column #7-1	Stertil Koni	ST-1085 FWA-US	223A-619702	A	NTF	New	14
NTF-A-MCLift7.2	Equipment	Lift, Wireless Mobile Column #7-2	Stertil Koni	ST-1085 FWA-US	223D-621166	A	NTF	New	14
NTF-A-MCLift7.3	Equipment	Lift, Wireless Mobile Column #7-3	Stertil Koni	ST-1085 FWA-US	223C-621126	A	NTF	New	14
NTF-A-MCLift7.4	Equipment	Lift, Wireless Mobile Column #7-4	Stertil Koni	ST-1085 FWA-US	223D-621140	A	NTF	New	14
NTF-A-MCLift7.5	Equipment	Lift, Wireless Mobile Column #7-5	Stertil Koni	ST-1085 FWA-US	223D-621171	A	NTF	New	14
NTF-A-MCLift7.6	Equipment	Lift, Wireless Mobile Column #7-6	Stertil Koni	ST-1085 FWA-US	223D-621188	A	NTF	New	14
NTF-A-MCLift9.1	Equipment	Lift, Wireless Mobile Column #9-1	Stertil Koni	ST-1085 FWA-US	223C-621119	A	NTF	New	14
NTF-A-MCLift9.2	Equipment	Lift, Wireless Mobile Column #9-2	Stertil Koni	ST-1085 FWA-US	223D-621207	A	NTF	New	14
NTF-A-LGTEXT	Equipment	Lighting, Building Exterior	Various			A	NTF	Fair	2
NTF-A-EMGLGHT	Equipment	Lighting, Emergency - Maint. & OPs Bldg	Various			A	NTF	Fair	2
NTF-A-LGTINT	Equipment	Lighting, Interior - Maint. & OPs Bldg.	Various	Various		A	NTF	Fair	2
NTF-A-OHL1-12	Equipment	Lighting, Interior, Overhead. Shop, Metal Halide	Hubbell	224058	CO6E	A	NTF	Fair	2
NTF-A-MAU1	Equipment	Make-Up Air Unit - #1 Tire Shop Roof	United Metal	CAH-ODO-12	CAH-55596	A	NTF	Good	7
NTF-A-MAU2	Equipment	Make-Up Air Unit - #2 Bay 4 Roof	United Metal	CAH-ODO-12	CAH-55597	A	NTF	Good	7
NTF-A-MAU3	Equipment	Make-Up Air Unit - #3 Bay 6 Roof	United Metal	CAH-ODO-12	CAH-55598	A	NTF	Good	7
NTF-A-MAU4	Equipment	Make-Up Air Unit - #4 Bay 2 Roof	United Metal	CAH-ODO-31	CAH-55599	A	NTF	Good	7
NTF-A-MAU5	Equipment	Make-Up Air Unit - #5 Bay 8 Roof	United Metal	CAH-ODO-31	CAH-55600	A	NTF	Good	7
NTF-A-MAU6	Equipment	Make-Up Air Unit - #6 Bay 10 Roof	United Metal	CAH-ODO-31	CAH-55601	A	NTF	Good	7
NTF-A-MWH	Equipment	Millwork and Hardware	Solid surface-Staron, Lam-			A	NTF	Fair	2
NTF-A-OFC	Equipment	Oil Filter Crusher	Oberg	P300L	3202	A	NTF	Fair	2
NTF-A-PAS	Equipment	Public Address System	TOA	700 Series	A-724	A	NTF	Fair	2
NTF-A-RCP1	Equipment	Pump, Recirculation. In Janitor closet Hallway by Mech Break	Taco	50TCQA05A2A6A0A0A0	4832039	A	NTF	Good	7
NTF-A-R	Equipment	Roof, Maintenance & OPs Building - 3 roof planes	Sanafil	PVC		A	NTF	Good	7
NTF-A-LKROPS	Equipment	Staff Lockers, Operators	Art Metal Products	JN097414000000		A	NTF	Good	7
NTF-A-PARTSB	Equipment	Storage Bins and Shelving	Various Manufactures			A	NTF	Fair	2
NTF-A-ELEVSP	Equipment	Sump Pump - Elevator Pit	Liberty Pumps	Liberty 291	LBT61293	A	NTF	Good	7
NTF-A-ATS	Equipment	Switch, Automatic Transfer - Gen #1 Maint/Ops	Cummins Onan	OTPCC-5566447	G020397458	A	NTF	Fair	2
NTF-A-USTUO	Equipment	Tank, Used Oil. 1k gal, UST	Containment solutions	DW	388361	A	NTF	Good	7
NTF-A-VAV1-1	Equipment	Variable Air Volume Unit #1, 1st floor	TRANE	VCCF05	R12L02985A	A	NTF	Good	7
NTF-A2-VAV2-1	Equipment	Variable Air Volume Unit #1, 2nd floor	TRANE	VCEF08	R12L02989A	A	NTF	Good	7
NTF-A2-VAV2-10	Equipment	Variable Air Volume Unit #10, 2nd floor	TRANE	VCCF08	R12L02995A	A	NTF	Good	7

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NTF-A-VAV1-2	Equipment	Variable Air Volume Unit #2, 1st floor	TRANE	VCCF12	R12L02998A	A	NTF	Good	7
NTF-A2-VAV2-2	Equipment	Variable Air Volume Unit #2, 2nd floor	TRANE	VCEF06	R12L02997A	A	NTF	Good	7
NTF-A-VAV1-3	Equipment	Variable Air Volume Unit #3, 1st floor	TRANE	VCCF05	R12L02986A	A	NTF	Good	7
NTF-A2-VAV2-3	Equipment	Variable Air Volume Unit #3, 2nd floor	TRANE	VCEF12	R12L02993A	A	NTF	Good	7
NTF-A-VAV1-4	Equipment	Variable Air Volume Unit #4, 1st floor	TRANE	VCCF08	R12L02988A	A	NTF	Good	7
NTF-A2-VAV2-4	Equipment	Variable Air Volume Unit #4, 2nd floor	TRANE	VCEF06	R12L03087A	A	NTF	Good	7
NTF-A-VAV1-5	Equipment	Variable Air Volume Unit #5, 1st floor	TRANE	VCCF08	R12L02992A	A	NTF	Good	7
NTF-A2-VAV2-5	Equipment	Variable Air Volume Unit #5, 2nd floor	TRANE	VCEF10	R12L03000A	A	NTF	Good	7
NTF-A-VAV1-6	Equipment	Variable Air Volume Unit #6, 1st floor	TRANE	VCEF06	R12L02994A	A	NTF	Good	7
NTF-A2-VAV2-6	Equipment	Variable Air Volume Unit #6, 2nd floor	TRANE	VCEF08	R12L02990A	A	NTF	Good	7
NTF-A-VAV1-7	Equipment	Variable Air Volume Unit #7, 1st floor	TRANE	VCCF06	R12L02996A	A	NTF	Good	7
NTF-A2-VAV2-7	Equipment	Variable Air Volume Unit #7, 2nd floor	TRANE	VCEF12	R12L02999A	A	NTF	Good	7
NTF-A-VAV1-8	Equipment	Variable Air Volume Unit #8, 1st floor	TRANE	VCCF08	R12L03001A	A	NTF	Good	7
NTF-A2-VAV2-8	Equipment	Variable Air Volume Unit #8, 2nd floor	TRANE	VCEF12	R12L03002A	A	NTF	Good	7
NTF-A2-VAV2-9	Equipment	Variable Air Volume Unit #9, 2nd floor	TRANE	VCCF08	R12L02991A	A	NTF	Good	7
NTF-A-WH	Equipment	Water Heater, Hallway by Mechanics Breakroom	RHEEM	ELD80-TB	A262100471	A	NTF	New	6
NTF-B-OHD2	Equipment	Door, Roll Up - FMC Shop, North Side	Raynor	30L/120	D-173751	B	NTF	Fair	2
NTF-B-OHD1	Equipment	Door, Roll Up - FMC Shop, West Side	Raynor		D-173752	B	NTF	Fair	2
NTF-B-EP	Equipment	Electrical Panel-boards - FMC Shop				B	NTF	Fair	2
NTF-B-SPRNK	Equipment	Fire Sprinkler System - FMC Bldg				B	NTF	Fair	2
NTF-B-HP	Equipment	Heat Pump - FMC Shop Roof	YORK	B2HZ030A06	N1C186313	B	NTF	Fair	2
NTF-B-EXLGHT	Equipment	Lighting, Building Exterior - FMC Building	Various			B	NTF	Fair	2
NTF-B-EMGLGHT	Equipment	Lighting, Emergency - FMC Bldg	Various			B	NTF	Fair	2
NTF-B-INTLGHT	Equipment	Lighting, Interior - FMC Bldg	Various			B	NTF	Fair	2
NTF-B-R	Equipment	Roof, FMC Shop Building		Build up		B	NTF	Fair	2
NTF-B-WH	Equipment	Water Heater, Instantaneous Electric - FMC RR	Instant-Flow	SR30C/120	466771	B	NTF	Fair	1
NTF-C-AC	Equipment	Air Conditioning Unit - 6 Ton Bus Wash Inspection Bay	Aaron	RM-006-3-0-BB01-122	200706AMEF10107	C	NTF	Fair	2
NTF-C-BF5	Equipment	Backflow Valve, 3", Potable - Wash Bldg.	Wilkins	375 AST	22204	C	NTF	Good	7
NTF-C-BLWR	Equipment	Blower, Buck Cyclone Cleaner	ROSS WHITE	A3572/54523	B01413/456797-A2	C	NTF	Fair	2
NTF-C-BWS	Equipment	Bus Wash System	Ross & White	SPA200		C	NTF	Fair	7
NTF-C-DF	Equipment	Drinking Fountain	Oasis	PG8AC	2309003469	C	NTF	New	
NTF-C-EC1	Equipment	Evaporative Cooler #29. Wash Bled Roof	MasterCool	J-011831A		C	NTF	Fair	1
NTF-C-SPRNK	Equipment	Fire Sprinkler System - Wash Bldg				C	NTF	Fair	2
NTF-C-SPKR	Equipment	Fire Suppression System/ Risers/Valves/EPA BLD.C	Viking and Various	8510	EL-VIKING	C	NTF	Fair	2
NTF-C-LGT	Equipment	Lighting, Building/Area Exterior - Wash Building	Various	Various		C	NTF	Fair	2
NTF-C-EMGLGHT	Equipment	Lighting, Emergency - Wash Bldg	Various			C	NTF	Fair	2

Building Legend

A - Maintenance Ops
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 E - Security Kiosk

North Transit Facility

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ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
NTF-C-INTLGH	Equipment	Lighting, Interior - Wash Bldg	Various			C	NTF	Fair	2
NTF-C-BWSP	Equipment	Pump, Bus Wash System	WEG	EVMU18-10F200T35	C42426/17/1/CN9210274	C	NTF	Fair	2
NTF-C-BWSPR	Equipment	Pump, Reclamation	Gorman-Rup	82E52-B	1519591	C	NTF	Fair	2
NTF-C-ROSP1	Equipment	Reverse Osmosis System Pump - Bus Wash Mech Area	Ross & White Weg	RBUMO-2L48-10		C	NTF	Fair	1
NTF-C-ROSP2	Equipment	Reverse Osmosis System, Culligan	Culligan	R13088707	M2-6	C	NTF	Good	2
NTF-C-R	Equipment	Roof, Bus Wash & Inspection Building	Pan deck and build up			C	NTF	Fair	1
NTF-C-SSP	Equipment	Sump Pump - Wash Building N. End	ZOELLER	M137		C	NTF	Fair	1
NTF-C-WH1	Equipment	Water Heater - In Wash Insp BLD WRR	AO Smith	SD93-47221-YE	DSE-5	C	NTF	Fair	1
NTF-C-HWH	Equipment	Water Heaterr, Electric - Restrooms	Ruud	EGSP20		C	NTF	Fair	1
NTF-D-AC1	Equipment	Air Conditioning Unit - Electrical Room	Aaron	COG0Ho6-00	AYCC01153	D	NTF	Fair	2
NTF-D-ADYR1	Equipment	Compressed Air Dryer. By Fuel Island Stairs	Great Lakes Air	EDR-A1N4-116	47693	D	NTF	Good	7
NTF-D-ACOMP2	Equipment	Compressor, Air - 30HP Fuel System	Quincy	Q81-140, QSI140	UTY100947	D	NTF	Good	7
NTF-D-ACOMP1	Equipment	Compressor, Air - 5HP LCNG Control System	Quincy	QR325	UTY202254	D	NTF	Good	7
NTF-D-CNGD1	Equipment	Dispenser #1, CNG - Lane 1	Tulsa Gas Tech.	TGT-T7104		D	NTF	Good	7
NTF-D-DD1	Equipment	Dispenser #1, Diesel - Lane 1	Veeder Root	R788700-002	207222343	D	NTF	Good	7
NTF-D-LNGD1	Equipment	Dispenser #1, LNG - Lane 1	NEX-GEN	D-4000D		D	NTF	Good	7
NTF-D-CNGD2	Equipment	Dispenser #2, CNG - Lane 2	Tulsa Gas Tech.	TGT-T7104		D	NTF	Good	7
NTF-D-DD2	Equipment	Dispenser #2, Diesel - Lane 2	Veeder Root	R788700-002	501309835	D	NTF	Good	7
NTF-D-LNGD2	Equipment	Dispenser #2, LNG - Lane 2	NEX-GEN	D-4000D		D	NTF	Good	7
NTF-D-CNGD3	Equipment	Dispenser #3, CNG - Lane 3	Tulsa Gas Tech.	TGT-T7104		D	NTF	Good	7
NTF-D-LNGD3	Equipment	Dispenser #3, LNG - Lane 3	NEX-GEN	D-4000D		D	NTF	Good	7
NTF-D-UNLD	Equipment	Dispenser, Unleaded	Dresser Wayne	Wayne	38628CG13	D	NTF	Good	7
NTF-D-DF	Equipment	Drinking Fountain				D	NTF	Fair	2
NTF-D-ADYR2	Equipment	Dryer, Compressed Air - for Fuel Island 30hp compressor	Great Lakes Air	GRF-150AN4-116	47767	D	NTF	Good	7
NTF-D-EC2	Equipment	Evaporative Cooler #2 - Lane 1	MasterCool	J-011831A		D	NTF	Fair	1
NTF-D-EC1	Equipment	Evaporative Cooler #27 - Lane 3	MasterCool	EC630P	J01003618A	D	NTF	Fair	1
NTF-D-EC4	Equipment	Evaporative Cooler #28 - Electrical Room	MasterCool	J-01003618A		D	NTF	Fair	1
NTF-D-EC3	Equipment	Evaporative Cooler #3 - Lane 2	MasterCool	E-04122104		D	NTF	Fair	1
NTF-D-SPRKN	Equipment	Fire Sprinkler System - Fuel Bldg				D	NTF	Fair	2
NTF-D-LNGFSHV	Equipment	Fisher Valve Assembly	PCE Pacific Inc.	D Valve with 657 Actuator		D	NTF	Good	7
NTF-D-FMSC1	Equipment	Fluid Management System #1 -Fuel Force Console	Multiforce System	Fuel Force 814	1308105	D	NTF	Fair	2
NTF-D-FMSC2	Equipment	Fluid Management System #2 -Fuel Force Console	Multiforce System	Fuel Force 814	1308103	D	NTF	Fair	2
NTF-D-FMSC3	Equipment	Fluid Management System #3 -Fuel Force Console	Multiforce System	Fuel Force 814	1308102	D	NTF	Fair	2
NTF-D-FMSC4	Equipment	Fluid Management System #4 -Fuel Force Console	Multiforce System	Fuel Force 814	1308104	D	NTF	Fair	2
NTF-D-FR1	Equipment	Fluid Reel - Lane 1 & 2	ALEMITE	Z-3	7232C	D	NTF	Fair	2
NTF-D-FR2	Equipment	Fluid Reel - Lane 3	ALEMITE	Z-3		D	NTF	Fair	2

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NTF-D-GDS	Equipment	Gas Detection System (Methane Sys)- Contollers	Honeywell	TPPLBAWA8SNBRRN		D	NTF	New	
NTF-D-GDSS	Equipment	Gas Detection System (Methane Sys)- Sensors	Honeywell	SPXCDULNRXM		D	NTF	New	
NTF-D-GEN2	Equipment	Generator #2 - North FI	Cummins Onan	DFAC-5006815	A020321016	D	NTF	Fair	2
NTF-D-GEN3	Equipment	Generator #3 - South FI	Cummins Onan	DSGAE-1344515	A140620378	D	NTF	Good	7
NTF-D-HP	Equipment	Heat Pump - Fuel Island Office Roof	YORK	B2HZ030A06	N1C186307	D	NTF	Good	7
NTF-D-LCNGPV	Equipment	LCNG Piping & Valves	Various	Stainless		D	NTF	Good	7
NTF-D-LCNGCP	Equipment	LCNG PLC Control Panel	Cybertrol			D	NTF	Good	7
NTF-D-LCNGP1	Equipment	LCNG Pump 101	CS&P	3-ICPV-200		D	NTF	Good	7
NTF-D-LCNGP2	Equipment	LCNG Pump 102	CS&P	3-ICPV-200		D	NTF	Good	7
NTF-D-SPP	Equipment	Lift station sump pump pit area	Federal Pump			D	NTF	Fair	2
NTF-D-EXLGHT	Equipment	Lighting, Building/Area Exterior - Fuel Island	Various			D	NTF	Fair	2
NTF-D-EMGLGHT	Equipment	Lighting, Emergency - Maint. & OPs Bldg	Various			D	NTF	Fair	2
NTF-D-INTLGHT	Equipment	Lighting, Interior - Fuel Bldg	Various			D	NTF	Fair	2
NTF-D-LNGCP	Equipment	LNG Control Panel. PLC and HMI	ALLEN BRADLEY	1747-L552		D	NTF	Good	7
NTF-D-LCNGHEX	Equipment	LNG Vaporizers-Heat Exchangers	THERMAX, New-Cryoquip	C-16-1, VAI-856-SSL20-SP		D	NTF	Good	7
NTF-D-LCNGORD	Equipment	Odorant System. South side of vaporizers.	NorthStar			D	NTF	Fair	2
NTF-D-GLYP	Equipment	Pump, Engine Coolant/Glycol	Glyco	Diagram		D	NTF	Good	7
NTF-D-EOP1	Equipment	Pump, Engine Oil 1 - LNG Vehicles 15-40G	Graco	Fireball	K241569	D	NTF	Good	7
NTF-D-EOP2	Equipment	Pump, Engine Oil 2 - 15-40	Graco	Fireball	K241568	D	NTF	Good	7
NTF-D-UNLP	Equipment	Pump, Turbine	FE Petro		11051245	D	NTF	Good	7
NTF-D-R	Equipment	Roof, Fuel Island Building. 3-planes	Pan deck and build up			D	NTF	Fair	2
NTF-D-LNGP2	Equipment	Submergible LNG Pump 1-Middle	ACD Inc.	TC34		D	NTF	Fair	2
NTF-D-LNGP1	Equipment	Submergible LNG Pump 1-North	ACD Inc.	TC34	97884432	D	NTF	Fair	2
NTF-D-LNGP3	Equipment	Submergible LNG Pump 1-South	ACD Inc.	TC34		D	NTF	Fair	2
NTF-D-ATS1	Equipment	Switch, Automatic Transfer - Gen #2 North FI	Cummins Onan	OTC400		D	NTF	Fair	2
NTF-D-ATS2	Equipment	Switch, Automatic Transfer - Gen #3 South FI	Cummins Onan	OTC300		D	NTF	Fair	2
NTF-D-USTD1	Equipment	Tank #1, Diesel, 20K gal, UST, North	Containment solutions	DW	38838()	D	NTF	Good	7
NTF-D-LNGT1	Equipment	Tank #1, LNG, 20K gal, North	CHART INDUSTRIES	V2000-8.M5		D	NTF	Good	7
NTF-D-USTD2	Equipment	Tank #2, Diesel, 20K gal, UST, South	Containment solutions	DW	388384	D	NTF	Good	7
NTF-D-LNGT2	Equipment	Tank #2, LNG, 20K gal, South	CHART INDUSTRIES	V2000-8.M6		D	NTF	Good	7
NTF-D-USTGYL	Equipment	Tank, Engine Coolant/Glycol, 1k gal, UST	Containment solutions	DW	388379	D	NTF	Good	7
NTF-D-USTEO1	Equipment	Tank, Engine Oil 15-40. 1k gal, UST	Containment solutions	DW	388381	D	NTF	Good	7
NTF-D-USTEO2	Equipment	Tank, LCNG Vehicle Oil, 1k gal, UST	Containment solutions	DW	388382	D	NTF	Good	7
NTF-D-UNLDUST	Equipment	Tank, Unleaded, 2.5k gal, UST	Containment solutions	DW	388378	D	NTF	Good	7
NTF-D-CNGT1-5	Equipment	Tanks, CNG Bulk Storage (5 tanks)	FIBA	T-750, CNG-CLE-01		D	NTF	Good	7
NTF-D-LNGTSP	Equipment	Transfer Station and Pump	ACD Inc.	52075-3	12182401	D	NTF	Good	7

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NTF-D-VACS1	Equipment	Vacuum- Robertson Air System Lanes 1 & 2	ROBERTSON SYSTEM			D	NTF	Good	7
NTF-D-VACS2	Equipment	Vacuum System - Island #3	ROBERTSON SYSTEM	54523	456797-A2	D	NTF	Good	7
NTF-D-VFDC1	Equipment	Variable Frequency Drive Motor Controller #1	Square D		13F450400018G	D	NTF	Fair	2
NTF-D-VFDC2	Equipment	Variable Frequency Drive Motor Controller #2	Square D		13C451300028G	D	NTF	Fair	2
NTF-D-VFDC3	Equipment	Variable Frequency Drive Motor Controller #3	Square D			D	NTF	Fair	2
NTF-D-ATGMS1	Equipment	Veeder Root Monitoring System #1	Veeder Root	TSL 350	NO1223572405001	D	NTF	Good	7
NTF-D-ATGMS2	Equipment	Veeder Root Monitoring System #2	Veeder Root	TSL 350	NO1223275305001	D	NTF	Good	7
NTF-E-HP	Equipment	Heat Pump, Package Unit	American Standard	4WCC3024A1000A		E	NTF	Fair	2
NTF-E-ExLGHT	Equipment	Lighting, Building Exterior - Security Kiosk	Various			E	NTF	Good	7
NTF-E-INTLGHT	Equipment	Lighting, Interior - Security Kiosk	Various			E	NTF	Good	7
NTF-E-R	Equipment	Roof, Security Kiosk		Build up		E	NTF	Good	7
NTF-ADA	Equipment	ADA Elements - Site Wide					NTF	Good	7
NTF-ASP	Equipment	Asphalt-Emp & Visitor Pkg	Custom				NTF	Good	7
NTF-BFP3	Equipment	Backflow Valve, 6", Fire System - SE Corner by Exit	Wilkins	350A	U37349		NTF	Good	7
NTF-BFP2	Equipment	Backflow Valve, 6", Fire System - SW Corner by Kiosk	Wilkins	350A	U34703		NTF	Good	7
NTF-BFP1	Equipment	Backflow Valve, Domestic - Behind FMC Bldg	FEBCO - a Watts Brand	825Y	J009724		NTF	Good	7
NTF-HBBE	Equipment	Barrier, Horizontal Beam - East	Ross	XT-1800-HB	HB12-0374		NTF	Good	7
NTF-HBBW	Equipment	Barrier, Horizontal Beam - West	Ross	XT-1800-HB	HB12-0375		NTF	Good	7
NTF-CANS	Equipment	Canopy, Bus Parking - South Lot	Site built				NTF	Good	7
NTF-CANN1	Equipment	Canopy, North - 1-NW	Bell Steel	Site Built			NTF	Good	7
NTF-CANN2	Equipment	Canopy, North - 2-NE	Bell Steel	Site Built			NTF	Good	7
NTF-CANN3	Equipment	Canopy, North - 3-SW	Bell Steel	Site Built			NTF	Good	7
NTF-CANN4	Equipment	Canopy, North - 4-NW	Bell Steel	Site Built			NTF	Good	7
NTF-CONC	Equipment	Concrete	BM Concrete Repairs and				NTF	Fair	2
NTF-CLF	Equipment	Fencing, Chain Link		Chain Link-			NTF	Good	7
NTF-MASF	Equipment	Fencing, Masonry	Built On site				NTF	Good	7
NTF-FACP	Equipment	Fire Alarm System and Control Panel	EST Engineering Systems	Aerocool UID500			NTF	Good	7
NTF-FX	Equipment	Fire Extinguishers, Site	Various				NTF	Good	2
NTF-HYD	Equipment	Fire Hydrants	Clow Valve Company				NTF	Fair	2
NTF-CANRIS	Equipment	Fire Risers, Canopy (All)					NTF	Fair	2
NTF-EGE	Equipment	Gate, Arm Employee Lot Exit	Strong Arm 20	20 HTG 320-3 ST	516041-1242-313		NTF	Fair	2
NTF-EGI	Equipment	Gate, Arm Employee Lot In	Strong Arm 20	21 HTG 320-3 ST	516041-1242-314		NTF	Fair	2
NTF-BGES	Equipment	Gate, Bus - East Exit 40' slide gate	HySecurity	222 SS ST	026101-1326-217		NTF	Fair	2
NTF-BGWV	Equipment	Gate, Bus - West Entry Vertical gate	HySecurity	HVG 460 EX ST	9365A1-1250-693		NTF	Fair	2
NTF-EMG	Equipment	Gate, Employee Man Gate	Strong Arm 20				NTF	Fair	2
NTF-FMCGC	Equipment	Golf Car, Facility Maintenance	YAMAHA	DR2E23 AC-I	JOJ-604803		NTF	New	9

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NTF-CANLGHT	Equipment	Lighting, Canopy (All)					NTF	Good	7
NTF-PMEXLGHT	Equipment	Lighting, Exterior - Pole, Canopy & Wall for PM Only					NTF	Good	7
NTF-LGTEXT	Equipment	Lighting, Pole	Various	400W HPS-North lights			NTF	Good	7
NTF-LHW	Equipment	Locking Hardware	Sargent, Von Duprin	RX286410G71			NTF	Good	7
NTF-PLUM	Equipment	Outside Wash Areas & Related Interceptors					NTF	Good	7
NTF-M-SL32	Equipment	Scissors Lift 32', Skyjack	SKYJACK	SJ4632	70006655		NTF	Fair	2
NTF-SIGN	Equipment	Signage, Site	Gemini	Plastic			NTF	Fair	2
NTF-TD	Equipment	Trench Drains					NTF	Fair	2
NTF-VACD	Equipment	Vacuum System, Detail Area - North end of complex	Imperial	RBUMO-2L36-2	2.0061e+011		NTF	Fair	2
NTF-GLAZ	Equipment	Windows, Glazing and Treatments	Various Manufactures	Various			NTF	Good	7

South Transit Facility

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ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
STF	Grounds	South Transit Facility							
STF-A	Building	Main Building - Maintenance & Operations				A	STF		
STF-B	Building	Bus Wash Building				B	STF		
STF-C	Building	Fuel Area Complex				C	STF		
STF-D	Building	Warehouse/Shop Complex				D	STF		
STF-E	Building	Training Complex				E	STF		
STF-GH	Building	Security Kiosk				GH	STF		

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID
STF-A-SHOP	Room	Bays 1-27				A	STF
STF-A1-KITOPS	Room	Breakroom/Kitchen, 1FL Operations				A	STF
STF-A2-KITM	Room	Breakroom/Kitchen, 2FL Mech. Mezzanine				A	STF
STF-A2-KITOPS	Room	Breakroom/Kitchen, 2FL Operations				A	STF
STF-A-DISP	Room	Dispatch Area, Operations Section, West				A	STF
STF-A-SES	Room	Electrical Room, Service Entr Section				A	STF
STF-A-TECH	Room	Electronic Tech Shop				A	STF
STF-A2-EMR3	Room	Elevator Mechanical Room - Parts				A	STF
STF-A-EMR2	Room	Elevator Mechanical Room - Maintenance				A	STF
STF-A-EMR1	Room	Elevator Mechanical Room - Operations				A	STF
STF-A-FMC	Room	FMC Shop, East				A	STF
STF-A2-LKRMM	Room	Locker Room 2FL, Men's Mech Mezzanine				A	STF
STF-A2-LKRWM	Room	Locker Room 2FL, Women's Mech. Mezzanine				A	STF
STF-A-MSOFF	Room	Office, Maintenance Shop				A	STF
STF-A-OPS	Room	Operations Section-West				A	STF
STF-A1-PS	Room	Parts Storage- Floor 1				A	STF
STF-A2-PS	Room	Parts Storage- Floor 2				A	STF
STF-A1-MSMRR	Room	Restroom, Men's - Maintenance 1st Fl				A	STF
STF-A-RRBY1	Room	Restroom, Unisex, Bay 1				A	STF
STF-A1-RRB27	Room	Restroom, Unisex, Bay 27				A	STF
STF-A1-MSWRR	Room	Restroom, Women's - Maintenance 1st Fl				A	STF
STF-A2-RROPS	Room	Restroom, Men's - Operations - 2nd Floor				A	STF
STF-A2-MRR4	Room	Restroom, Men's, Maintenance - 2nd Fl Locker Room				A	STF
STF-A1-MRR3	Room	Restroom, Men's, Operations - 1st Floor				A	STF

Building Legend

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 GH - Guard House

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
STF-A2-WRR4	Room	Restroom, Women's Maintenance- 2nd Fl Locker Room				A	STF		
STF-A1-WRR	Room	Restroom, Women's Operations- 1st Floor				A	STF		
STF-A2-WRR5	Room	Restroom, Women's Operations- 2nd Floor				A	STF		
STF-A-ITRM	Room	Server Room, IT				A	STF		
STF-B-ELRM	Room	Electrical Room, Bus Wash				B	STF		
STF-B-MECH	Room	Mechanical Room, Bus Wash				B	STF		
STF-C-ELRM	Room	Electrical Room, Fuel Building				C	STF		
STF-C-OFF	Room	Office, Fuel Island				C	STF		
STF-C-MRR	Room	Restroom, Men's - Fuel Island				C	STF		
STF-C-WRR	Room	Restroom, Women's - Fuel Island				C	STF		
STF-C-TIRE	Room	Tire Shop, Fuel Complex				C	STF		
STF-D-NRVS	Room	Auto Shop/Non Revenue Vehicle Shop				D	STF		
STF-D-RRA	Room	Restroom, Unisex, Autoshop Area				D	STF		
STF-D-RRW	Room	Restroom, Unisex, Warehouse Area				D	STF		
STF-D-WH	Room	Warehouse Section				D	STF		
STF-E-KIT	Room	Breakroom/Kitchen				E	STF		
STF-E-Conf1	Room	Conference Room, Arizona				E	STF		
STF-E-Conf2	Room	Conference Room, Hopi				E	STF		
STF-E-Conf3	Room	Conference Room, Sedona				E	STF		
STF-E2-EMR	Room	Elevator Mechanical Room				E	STF		
STF-E-JC	Room	Janitor Closet				E	STF		
STF-E2-OffE	Room	Office Area, 2nd Floor East				E	STF		
STF-E2-OffW	Room	Office Area, 2nd Floor West				E	STF		
STF-E-RR	Room	Restroom, Unisex - Security/Revenue				E	STF		
STF-E-WRR	Room	Restroom, Women's - Training Bldg.				E	STF		
STF-E-MRR	Room	Restroom, Men's - Training Bldg.				E	STF		
STF-E-FC	Room	Revenue/Fare Collections Area				E	STF		
STF-E-SOFF	Room	Security Office Area				E	STF		
STF-E-ITRM	Room	Server Room, IT				E	STF		
STF-GH-RR	Room	Restroom, Unisex - Security Kiosk				GH	STF		

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ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
STF-A-AC1	Equipment	Air Conditioning Unit #1. Roof NE	Trane Voyager	YCD150D4LOBA	434101790D	A	STF	Poor	1
STF-A-AC2b	Equipment	Air Conditioning Unit #2 - SE Corner of Roof	Trane	GBC180A4ELC0900000000	22201403JA	A	STF	Good	13
STF-A-AC3b	Equipment	Air Conditioning Unit #3 - NW Corner of Roof	Trane	YSD150G4RLC17000000	220311089D	A	STF	Good	13
STF-A-ACS2	Equipment	Air Conditioning Unit #S2 - Middle of Roof	Trane	GBC180A4ELC0900000000	22191726JA	A	STF	Good	13
STF-A-ACS5	Equipment	Air Conditioning Unit #S5 - Lower Roof (Upstairs Locker	Trane	GBC180A4ELC0900000000	22201402JA	A	STF	Good	13
STF-A-BLEF	Equipment	Brake Lathe-Dust Collector Exhaust Fan Unit - Bay 2	UAS	Superaflo, SFC-4-2	121293	A	STF	Fair	2
STF-A-BAS	Equipment	Building Automation System - serves entire site	Alerton			A	STF	Good	7
STF-A-GCCS	Equipment	Charging Station, Golf Cart - Fac. Maint. Shop	YAMAHA	4818-04	7300034	A	STF	Fair	2
STF-A-ACOMP2b	Equipment	Compressor, Air 40HP - East (#2)	Kaeser	ASD 40	1021-6969498	A	STF	Good	7
STF-A-ACOMP1b	Equipment	Compressor, Air 40HP - West (#1)	Kaeser	ASD 40	1018-6964178	A	STF	Good	7
STF-A-CU10	Equipment	Condensing Unit #10, Mini Split	Mitsubishi Electric	MUZ-D36NA	5001065T	A	STF	Good	7
STF-A-CU2	Equipment	Condensing Unit #2, Mini Split	Mitsubishi Electric	PUY-A18NHA6	1816E12738	A	STF	Good	7
STF-A-CU9	Equipment	Condensing Unit #9, Mini Split	Mitsubishi Electric	MUZ-D36NA	5002716T	A	STF	Good	7
STF-A-CU4	Equipment	Condensing Unit #4, Ductless Split System	Mitsubishi Electric	PUY-A18NHA6	54U02795C	A	STF	Good	7
STF-A-CU5	Equipment	Condensing Unit #5, Ductless Split System	Mitsubishi Electric	PUY-A18NHA6	54U02764C	A	STF	Good	7
STF-A-CU7	Equipment	Condensing Unit #7, Ductless Split System - Server Room	Mitsubishi Electric	MUZ-D36NA	6002384T	A	STF	Good	7
STF-A-CU8	Equipment	Condensing Unit #8, Ductless Split System - Server Room	Mitsubishi Electric	MUZ-D36NA	6002385T	A	STF	Good	7
STF-A-CHJ2	Equipment	Crane, Chain Hoist Monorail 1/2 ton-SBB-002-AC Shop	TRACTEL	Tralift	A127260-2001	A	STF	Good	7
STF-A-CHJ13	Equipment	Crane, Hoist Bridge 3 ton-SBB-013-Bay 12 Parts Cleaning	Shaw-Box	3-113981-15A	K159232	A	STF	Fair	2
STF-A-CHJ4	Equipment	Crane, Hoist Bridge 1 ton-SBB-004-Bay 2 Brake Shop	Shaw-Box	3-110102-20B	K1-59226	A	STF	Fair	2
STF-A-CHB7	Equipment	Crane, Hoist Bridge 2 ton-SBB-007-North of Bays 7-9	R&M	S2-2-19-M21S	147194PG1	A	STF	Fair	2
STF-A-CHB11	Equipment	Crane, Hoist Bridge 2 ton-SBB-011-Bays 21-25	R&M	SX241002P1M5FALOS	A0205969	A	STF	Fair	2
STF-A-CHB14	Equipment	Crane, Hoist Bridge 3 ton-SBB-014-Bays 16-19	Shaw-Box	LSU180HSV4	80L03030S18	A	STF	Fair	2
STF-A-CHJ6	Equipment	Crane, Hoist Jib 1/2 ton-SBB-006-Bay 5 North	Shaw-Box	3-110103-20B	K1-59225	A	STF	Fair	2
STF-A-CHJ12	Equipment	Crane, Hoist Jib 2 ton-SBB-012-Bay 24 South	Shaw-Box	3-110107-10B	K159230	A	STF	Fair	2
STF-A-CHJ10	Equipment	Crane, Hoist Jib 3 ton-SBB-210-Bay 12 Pressure Cleaning	Shaw-Box	3-113981-15A	KI-59231	A	STF	Fair	2
STF-A-CHJ9	Equipment	Crane, Hoist Overhead 1 ton-SBB-009-Bay 7	Shaw-Box	3-110102-20B	KI-59227	A	STF	Good	7
STF-A-DPFCS	Equipment	Diesel Particulate Filter Trap Cleaning System - FSX Soot	FSX Equipment Inc.			A	STF	Good	7
STF-A-OHD1	Equipment	Door, Overhead - Bay 1	OVERHEAD DOOR	RDB-53	982343.1	A	STF	Fair	2
STF-A-OHD10	Equipment	Door, Overhead - Bay 10	OVERHEAD DOOR	RDB-53	982344	A	STF	Fair	2
STF-A-OHD11	Equipment	Door, Overhead - Bay 11	OVERHEAD DOOR	J-50-43	G10910	A	STF	Fair	2
STF-A-OHD12	Equipment	Door, Overhead - Bay 12	OVERHEAD DOOR	RDB-53	P982344-1000	A	STF	Fair	2
STF-A-OHD13	Equipment	Door, Overhead - Bay 13	OVERHEAD DOOR	RDB-53		A	STF	Fair	2
STF-A-OHD14	Equipment	Door, Overhead - Bay 14	OVERHEAD DOOR	RDB-53	982344-1000	A	STF	Fair	2

Building Legend

A - Maintenance Ops
 B - Wash Inspection
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STF-A-OHD15	Equipment	Door, Overhead - Bay 15	OVERHEAD DOOR	RDB-53	982344-100	A	STF	Fair	2
STF-A-OHD16	Equipment	Door, Overhead - Bay 16	OVERHEAD DOOR	RDB-53	982344-1000	A	STF	Fair	2
STF-A-OHD17	Equipment	Door, Overhead - Bay 17	OVERHEAD DOOR	RDB-53	982344-1000	A	STF	Fair	2
STF-A-OHD18	Equipment	Door, Overhead - Bay 18	OVERHEAD DOOR	RDB-53	982344-1000	A	STF	Fair	2
STF-A-OHD19	Equipment	Door, Overhead - Bay 19	OVERHEAD DOOR	RDB-53	982344-1000	A	STF	Fair	2
STF-A-OHD2	Equipment	Door, Overhead - Bay 2	OVERHEAD DOOR	RDB-53	982344.1	A	STF	Fair	2
STF-A-OHD20	Equipment	Door, Overhead - Bay 20	OVERHEAD DOOR	RDB-53	982344-1000	A	STF	Fair	2
STF-A-OHD21	Equipment	Door, Overhead - Bay 21	OVERHEAD DOOR	RDB-53	982344-1000	A	STF	Fair	2
STF-A-OHD22	Equipment	Door, Overhead - Bay 22	OVERHEAD DOOR	RDB-53		A	STF	Fair	2
STF-A-OHD23	Equipment	Door, Overhead - Bay 23	OVERHEAD DOOR	RDB-53		A	STF	Fair	2
STF-A-OHD24	Equipment	Door, Overhead - Bay 24	OVERHEAD DOOR	RDB-53		A	STF	Fair	2
STF-A-OHD25	Equipment	Door, Overhead - Bay 25	OVERHEAD DOOR	RDB-53	982344-1000	A	STF	Fair	2
STF-A-OHD26	Equipment	Door, Overhead - Bay 26	OVERHEAD DOOR	RDB-53	982344.1	A	STF	Fair	2
STF-A-OHD27	Equipment	Door, Overhead - Bay 27	OVERHEAD DOOR	RDB-53	982344.1	A	STF	Fair	2
STF-A-OHD3	Equipment	Door, Overhead - Bay 3	OVERHEAD DOOR	RDB-53	982341	A	STF	Fair	2
STF-A-OHD4	Equipment	Door, Overhead - Bay 4	OVERHEAD DOOR	RDB-53	982344	A	STF	Fair	2
STF-A-OHD5	Equipment	Door, Overhead - Bay 5	OVERHEAD DOOR	RDB-53	982343	A	STF	Fair	2
STF-A-OHD6	Equipment	Door, Overhead - Bay 6	OVERHEAD DOOR	RDB-53	982343	A	STF	Fair	2
STF-A-OHD7	Equipment	Door, Overhead - Bay 7	OVERHEAD DOOR	RDB-53	982344	A	STF	Fair	2
STF-A-OHD8	Equipment	Door, Overhead - Bay 8	OVERHEAD DOOR	RDB-53	982344	A	STF	Fair	2
STF-A-OHD9	Equipment	Door, Overhead - Bay 9	OVERHEAD DOOR	RDB-53	982344	A	STF	Fair	2
STF-A-OHFD1	Equipment	Door, Overhead Fire #1	Raynor			A	STF	Fair	2
STF-A-OHFD2	Equipment	Door, Overhead Fire #2	Raynor			A	STF	Fair	2
STF-A-OHFD3	Equipment	Door, Overhead Fire #3	Raynor			A	STF	Fair	2
STF-A-OHFD4	Equipment	Door, Overhead Fire #4	Raynor			A	STF	Fair	2
STF-A-ODF	Equipment	Drinking Fountains, Operations	ELKAY			A	STF	Good	7
STF-A-DF	Equipment	Drinking Fountains, Shops/Ops	ELKAY			A	STF	Good	7
STF-A-SES	Equipment	Electrical - Service Entrance Section - NW of Bay 7	GE			A	STF	Good	7
STF-A-EP1	Equipment	Electrical Panel-boards - 1st Floor	Various			A	STF	Good	7
STF-A-EP2	Equipment	Electrical Panel-boards - Roof	Various			A	STF	Good	7
STF-A-ELEV3	Equipment	Elevator - Freight Parts	Dover	E61889		A	STF	Fair	2
STF-A-ELVE2	Equipment	Elevator - Passenger Maintenance	ThyssenKrupp	US325326	ECV332	A	STF	Good	7
STF-A-ELEV1	Equipment	Elevator - Passenger Operations	Dover	E61888		A	STF	Fair	2
STF-A-EC3	Equipment	Evaporative Cooler #3, Bay 2-3	MasterCool	EAD150B/EASAD150W	WG7090006/WA713002	A	STF	Good	7

Building Legend

A - Maintenance Ops
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STF-A-ECC1	Equipment	Evaporative Cooler C1 - Bay 27	PMI	Aerocool UID601	2546313	A	STF	Good	7
STF-A-ECC10	Equipment	Evaporative Cooler C10 - Bay 20	PMI	Aerocool UID601	2546311	A	STF	Good	7
STF-A-ECC2	Equipment	Evaporative Cooler C2 - Bay 26	PMI	Aerocool UID601	2536066	A	STF	Good	7
STF-A-ECC3	Equipment	Evaporative Cooler C3	PMI	Aerocool UID601	2461810	A	STF	Good	7
STF-A-ECC4	Equipment	Evaporative Cooler C4 - Bay 25	PMI	Aerocool UID601	2536073	A	STF	Good	7
STF-A-ECC5	Equipment	Evaporative Cooler C5 - Bay 24	PMI	Aerocool UID601	2536062	A	STF	Good	7
STF-A-ECC6	Equipment	Evaporative Cooler C6 - Bay 23	PMI	Aerocool UID601	2536063	A	STF	Good	7
STF-A-ECC7	Equipment	Evaporative Cooler C7 - Bay 22	PMI	Aerocool UID601	2546391	A	STF	Good	7
STF-A-ECC8	Equipment	Evaporative Cooler C8 - Bay 21	PMI	Aerocool UID601	2542276	A	STF	Good	7
STF-A-ECC9	Equipment	Evaporative Cooler C9	PMI	Aerocool UID601	2542279	A	STF	Good	7
STF-A-ECD1	Equipment	Evaporative Cooler D1 - Bay 1	PMI	Aerocool UID601	25242341	A	STF	Good	7
STF-A-ECD2	Equipment	Evaporative Cooler D2 - Bay 3	PMI	Aerocool UID601	2546400	A	STF	Good	7
STF-A-ECD3	Equipment	Evaporative Cooler D3 - Bay 5	PMI	Aerocool UID601	2548475	A	STF	Good	7
STF-A-ECD4	Equipment	Evaporative Cooler D4	PMI	Aerocool UID601		A	STF	Good	7
STF-A-ECD5	Equipment	Evaporative Cooler D5	PMI	Aerocool UID601	2536310	A	STF	Good	7
STF-A-ECD6	Equipment	Evaporative Cooler D6	PMI	Aerocool UID601	2546390	A	STF	Good	7
STF-A-ECE1	Equipment	Evaporative Cooler E1 - Bay 18	PMI	Aerocool UID601	2546397	A	STF	Good	7
STF-A-ECE2	Equipment	Evaporative Cooler E2 - Bay 17	PMI	Aerocool UID601	2546397	A	STF	Good	7
STF-A-ECE3	Equipment	Evaporative Cooler E3	PMI	Aerocool UID601	2548475	A	STF	Good	7
STF-A-ECE4	Equipment	Evaporative Cooler E4 - Bay 15	PMI	Aerocool UID601		A	STF	Good	7
STF-A-ECE5	Equipment	Evaporative Cooler E5 - Bay 14	PMI	Aerocool UID601	2546313	A	STF	Good	7
STF-A-ECE6	Equipment	Evaporative Cooler E6 - Bay 13	PMI	Aerocool UID601	2536065	A	STF	Good	7
STF-A-ECE7	Equipment	Evaporative Cooler E7 - Bay 11	PMI	Aerocool UID601	2546386	A	STF	Good	7
STF-A-ECF1	Equipment	Evaporative Cooler F1	PMI	Aerocool UID601	2546399	A	STF	Good	7
STF-A-ECF2	Equipment	Evaporative Cooler F2 - Bay 7	PMI	Aerocool UID601	2546387	A	STF	Good	7
STF-A-ECF3	Equipment	Evaporative Cooler F3	PMI	Aerocool UID601	2461811	A	STF	Good	7
STF-A-ECF4	Equipment	Evaporative Cooler F4 - Bay 8	PMI	Aerocool UID601	2542278	A	STF	Good	7
STF-A-ECF5	Equipment	Evaporative Cooler F5 - Bay 9	PMI	Aerocool UID601	2546402	A	STF	Good	7
STF-A-ECF6	Equipment	Evaporative Cooler F6 - Bay 10	PMI	Aerocool UID601	2546401	A	STF	Good	7
STF-A-EFV11	Equipment	Exhaust Fan #11 - Vehicle Bus Exhaust Bay 26	Harvey Industries, Inc.	BD-11 I EF-11		A	STF	Fair	2
STF-A-EFV1	Equipment	Exhaust Fan 1 - Vehicle Bus Exhaust. Bay 1	Harvey Industries, Inc.	HP18 II EF-9		A	STF	Fair	2
STF-A-EFV10	Equipment	Exhaust Fan 10 - Bus Exhaust. Bay 24	Harvey Industries, Inc.	BD-11 I EF-10		A	STF	Fair	2
STF-A-EFV12	Equipment	Exhaust Fan 12 -Vehicle Bus Exhaust Bay 27	Harvey Industries, Inc.	HP18 II EF-1		A	STF	Fair	2
STF-A-EFV2	Equipment	Exhaust Fan 2 - Vehicle Bus Exhaust. Bay 2	Harvey Industries, Inc.	BD-11 II EF-2		A	STF	Fair	2

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STF-A-EFV3	Equipment	Exhaust Fan 3 - Vehicle-Bus Exhaust. Bay 6	Harvey Industries, Inc.	BD-11 I EF-3		A	STF	Fair	2
STF-A-EFV4	Equipment	Exhaust Fan 4 - Vehicle-Bus Exhaust. Bay 8	Harvey Industries, Inc.	BD-11 I EF-14		A	STF	Fair	2
STF-A-EFV5	Equipment	Exhaust Fan 5 - Vehicle-Bus Exhaust. Bay 12	Harvey Industries, Inc.	HP-18 II EF5		A	STF	Fair	2
STF-A-EFV6	Equipment	Exhaust Fan 6 - Vehicle-Bus Exhaust. Bay 12	Harvey Industries, Inc.	BD-11 I EF-6		A	STF	Fair	2
STF-A-EFV7	Equipment	Exhaust Fan 7 - Vehicle-Bus Exhaust. Bay 15	Harvey Industries, Inc.	BD-11 II EF-7		A	STF	Fair	2
STF-A-EFV8	Equipment	Exhaust Fan 8 - Vehicle-Bus Exhaust. Bay 19	Harvey Industries, Inc.	BD-11 II EF8		A	STF	Fair	2
STF-A-EFV9	Equipment	Exhaust Fan 9 - Vehicle-Bus Exhaust. Bay 20	Centrimaster			A	STF	Fair	2
STF-A-EFA1	Equipment	Exhaust Fan A1	Greenheck	GB-141-7	14463842	A	STF	Good	7
STF-A-EFC1	Equipment	Exhaust Fan C1 - Bay 27	Greenheck	RBIMP-2L48-30	14463849	A	STF	Good	7
STF-A-EFC10	Equipment	Exhaust Fan C10 - Bay 22	Greenheck	RBUMO-1L24-7	14463859	A	STF	Good	7
STF-A-EFC11	Equipment	Exhaust Fan C11 - Bay 22	Greenheck	RBUMO-3H54-30	14463861	A	STF	Good	7
STF-A-EFC12	Equipment	Exhaust Fan C12 - Bay 20	Greenheck	RBUMO-3H54-30	14463864	A	STF	Good	7
STF-A-EFC13	Equipment	Exhaust Fan C13 - Bay 19	Greenheck	RBUMO-1L24-7	14463865	A	STF	Good	7
STF-A-EFC2	Equipment	Exhaust Fan C2 - Bay 27	Greenheck	RBUMO-1L36-10	14463852	A	STF	Good	7
STF-A-EFC3	Equipment	Exhaust Fan C3 - Bay 27	Greenheck	GB-101-4	14463843	A	STF	Good	7
STF-A-EFC4	Equipment	Exhaust Fan C4 - Bay 26	Greenheck	GB-071-6	14463844	A	STF	Good	7
STF-A-EFC5	Equipment	Exhaust Fan C5 - Bay 26	Greenheck	RBUMO-3H54-30	14463854	A	STF	Good	7
STF-A-EFC6	Equipment	Exhaust Fan C6 - Bay 24	Greenheck	RBUMO-1L36-10	14463855	A	STF	Good	7
STF-A-EFC7	Equipment	Exhaust Fan C7 - Bay 24	Greenheck	RBUMO-3H54-30	14463856	A	STF	Good	7
STF-A-EFC8	Equipment	Exhaust Fan C8 - Bay 23	Greenheck	RBUMO-3H54-30	14463857	A	STF	Good	7
STF-A-EFC9	Equipment	Exhaust Fan C9 - Bay 22	Greenheck	TBI-CA-4L48-30	14452760	A	STF	Good	7
STF-A-EFD1	Equipment	Exhaust Fan D1 - Bay 2	Greenheck	GB-071	14463845	A	STF	Good	7
STF-A-EFD10	Equipment	Exhaust Fan D10 - Restroom Bay 1	Greenheck	SP-A-125	n/a	A	STF	Good	7
STF-A-EFD11	Equipment	Exhaust Fan D11 - Restroom Bay 27	Greenheck	SP-A-125	n/a	A	STF	Good	7
STF-A-EFD12	Equipment	Exhaust Fan D12 - HazMat Room	Greenheck	CUBE-101	14463850	A	STF	Good	7
STF-A-EFD2	Equipment	Exhaust Fan D2 - Bay 2	Greenheck	RBUMO-1L36-10	14463866	A	STF	Good	7
STF-A-EFD3	Equipment	Exhaust Fan D3 - Bay 4	Greenheck	RBUMO-2L36-20	14463857	A	STF	Good	7
STF-A-EFD4	Equipment	Exhaust Fan D4 - Bay 5	Greenheck	RBUMO-2L36-10	14463868	A	STF	Good	7
STF-A-EFD5	Equipment	Exhaust Fan D5 - Bay 6	Greenheck	RBUMO-2L36-10	14463869	A	STF	Good	7
STF-A-EFD6	Equipment	Exhaust Fan D6 - Bay 6	Greenheck	GB-081	14463846	A	STF	Good	7
STF-A-EFD7	Equipment	Exhaust Fan D7 - Parts Mezzanine	Greenheck	GB-131	14463847	A	STF	Good	7
STF-A-EFD8	Equipment	Exhaust Fan D8	Greenheck	RBUMP-2L48-30	14463870	A	STF	Good	7
STF-A-EFD9	Equipment	Exhaust Fan D9 - Battery Room	Greenheck	CUBE-101	14463848	A	STF	Good	7
STF-A-EFE1	Equipment	Exhaust Fan E1 - Bay 17	Greenheck	RBUMO-2L-10	14463871	A	STF	Good	7

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STF-A-EFE10	Equipment	Exhaust Fan E10 - Bay 11	Greenheck	RBUMO-136-10	14463873	A	STF	Good	7
STF-A-EFE11	Equipment	Exhaust Fan E11 - Bay 11	Greenheck	RBUMO-2H24-7	14463880	A	STF	Good	7
STF-A-EFE12	Equipment	Exhaust Fan E12 - Bay 12	Greenheck	CUBE-101-4	14463851	A	STF	Good	7
STF-A-EFE2	Equipment	Exhaust Fan E2 - Bay 17	Greenheck	RBUMO-2L-10	14463872	A	STF	Good	7
STF-A-EFE3	Equipment	Exhaust Fan E3 - Bay 16	Greenheck	TBI-CA-4L48-30	14452761	A	STF	Good	7
STF-A-EFE4	Equipment	Exhaust Fan E4 - Bay 16	Greenheck	RBUMO-2L48-10	14463873	A	STF	Good	7
STF-A-EFE5	Equipment	Exhaust Fan E5 - Bay 14	Greenheck	RBUMO-3H54-30	14463874	A	STF	Good	7
STF-A-EFE6	Equipment	Exhaust Fan E6 - Bay 12	Greenheck	RBUMO-2H24-7	14463875	A	STF	Good	7
STF-A-EFE7	Equipment	Exhaust Fan E7 - Bay 12	Greenheck	RBUMO-2H24-7	14463877	A	STF	Good	7
STF-A-EFE8	Equipment	Exhaust Fan E8 - Bay 12 (Steam Cleaning Hood)	Greenheck	USF-330-10-BI-50	14443572	A	STF	Good	7
STF-A-EFE9	Equipment	Exhaust Fan E9 - Bay 11	Greenheck	RBUMO-136-10	14463878	A	STF	Good	7
STF-A-EFF1	Equipment	Exhaust Fan F1	Greenheck	RBUMBO-1L24-7	14463881	A	STF	Good	7
STF-A-EFF2	Equipment	Exhaust Fan F2	Greenheck	RBUMO-2L48-10	14463882	A	STF	Good	7
STF-A-EFF3	Equipment	Exhaust Fan F3	Greenheck	RBUMO-1L36-10	14463883	A	STF	Good	7
STF-A-EFF4	Equipment	Exhaust Fan F4 - Parts Hood	Greenheck	USF-222-10-BI-10	14443593	A	STF	Good	7
STF-A-EFF5	Equipment	Exhaust Fan F5 - Bay 8	Greenheck	RBUMO-3H54-30	14463884	A	STF	Good	7
STF-A-EFF6	Equipment	Exhaust Fan F6 - Bay 8	Greenheck	RBUMO-3H54-30	14463885	A	STF	Good	7
STF-A-EFF7	Equipment	Exhaust Fan F7 - Bay 9	Greenheck	RBUMO-2L36-2	14463866	A	STF	Good	7
STF-A-EFF8	Equipment	Exhaust Fan F8 - Bay 10	Greenheck	RBUMO-2H24-7	14463887	A	STF	Good	7
STF-A-EFF9	Equipment	Exhaust Fan F9 - Bay 10	Greenheck	RBUMO-1L36-10	14463888	A	STF	Good	7
STF-A-ER12	Equipment	Exhaust Reel - Bay 12	Harvey Industries, Inc.	A-8060NV-PL73377		A	STF	Poor	
STF-A-ER13	Equipment	Exhaust Reel - Bay 13	Harvey Industries, Inc.	A-8060NV-PL73377		A	STF	Poor	
STF-A-ER14	Equipment	Exhaust Reel - Bay 14	Harvey Industries, Inc.	A-8060NV-PL73377	520080	A	STF	Poor	
STF-A-ER15	Equipment	Exhaust Reel - Bay 15	Harvey Industries, Inc.	A-8060NV-PL73377	571418	A	STF	Poor	
STF-A-ER16	Equipment	Exhaust Reel - Bay 16	Harvey Industries, Inc.	A-8060NV-PL73377	571411	A	STF	Poor	
STF-A-ER17	Equipment	Exhaust Reel - Bay 17	Harvey Industries, Inc.	A-8060NV-PL73377	571437	A	STF	Poor	
STF-A-ER18	Equipment	Exhaust Reel - Bay 18	Harvey Industries, Inc.	A-8060NV-PL73377	571431	A	STF	Poor	
STF-A-ER19	Equipment	Exhaust Reel - Bay 19	Harvey Industries, Inc.	A-8060NV-PL73377	571116	A	STF	Poor	
STF-A-ER20	Equipment	Exhaust Reel - Bay 20	Harvey Industries, Inc.	A-8060NV-PL73377	571439	A	STF	Poor	
STF-A-ER21	Equipment	Exhaust Reel - Bay 21	Harvey Industries, Inc.	A-8060NV-PL73377	571421	A	STF	Poor	
STF-A-ER22	Equipment	Exhaust Reel - Bay 22	Harvey Industries, Inc.	A-8060NV-PL73377	571424	A	STF	Poor	
STF-A-ER23	Equipment	Exhaust Reel - Bay 23	Harvey Industries, Inc.	A-8060NV-PL73377	571443	A	STF	Poor	
STF-A-ER24	Equipment	Exhaust Reel - Bay 24	Harvey Industries, Inc.	A-8060NV-PL73377	571424	A	STF	Poor	
STF-A-ER25	Equipment	Exhaust Reel - Bay 25	Harvey Industries, Inc.	A-8060NV-PL73377	571425	A	STF	Poor	

Building Legend

A - Maintenance Ops
 B - Wash Inspection
 C - Fuel Island Complex

D - Warehouse Autoshop
 E - Training Complex
 GH - Guard House

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
STF-A-ER26	Equipment	Exhaust Reel - Bay 26	Harvey Industries, Inc.	RHR-6R-MHR	571422	A	STF	Poor	
STF-A-ER27	Equipment	Exhaust Reel - Bay 27	Harvey Industries, Inc.	RHR-6R-MHR	571426	A	STF	Poor	
STF-A-ER1	Equipment	Exhaust Reel (2) - Bay 1	Harvey Industries, Inc.	RHR-6R-MHR	571446	A	STF	Poor	
STF-A-ER2	Equipment	Exhaust Reel (2) - Bay 2	Harvey Industries, Inc.	RHR-6R-MHR	571444	A	STF	Poor	
STF-A-ER3	Equipment	Exhaust Reel (2) - Bay 3	Harvey Industries, Inc.	RHR-6R-MHR	573412	A	STF	Poor	
STF-A-ER4	Equipment	Exhaust Reel (2) - Bay 4	Harvey Industries, Inc.	RHR-6R-MHR	571448	A	STF	Poor	
STF-A-ER5	Equipment	Exhaust Reel (2) - Bay 5	Harvey Industries, Inc.	RHR-6R-MHR	571448	A	STF	Poor	
STF-A-ER6	Equipment	Exhaust Reel (2) - Bay 6	Harvey Industries, Inc.	RHR-6R-MHR	571415	A	STF	Poor	
STF-A-ER7	Equipment	Exhaust Reel (2) - Bay 7	Harvey Industries, Inc.	RHR-6R-MHR	571420	A	STF	Poor	
STF-A-ER8	Equipment	Exhaust Reel (2) - Bay 8	Harvey Industries, Inc.	RHR-6R-MHR	571447	A	STF	Poor	
STF-A-ER9	Equipment	Exhaust Reel (2) - Bay 9	Harvey Industries, Inc.	RHR-6R-MHR	571425	A	STF	Poor	
STF-A-FC10	Equipment	Fan Coil Unit #10, Split System - Area B	Mitsubishi Electric	MSZ-D36NA	5002477.00	A	STF	Good	7
STF-A-FC2	Equipment	Fan Coil Unit #2, Split System - 2nd Floor Office	Carrier	FV4CNF003	0416A84533	A	STF	Good	7
STF-A-FC9	Equipment	Fan Coil Unit #9, Split System - Area B	Mitsubishi Electric	MSZ-D36NA	6001677.00	A	STF	Good	7
STF-A-FC4	Equipment	Fan Coil Unit #4, Ductless Split System - Area A	Mitsubishi Electric	PKA-18FA	5ZA06336A	A	STF	Good	7
STF-A-FC5	Equipment	Fan Coil Unit #5, Ductless Split System - Elevator Room Roof	Mitsubishi Electric	PKA-18FA	5ZA06327A	A	STF	Good	7
STF-A-FC7	Equipment	Fan Coil Unit #7, Ductless Split System - Server Room	Mitsubishi Electric	MSZ-D36NA	6002533T	A	STF	Good	7
STF-A-FC8	Equipment	Fan Coil Unit #8, Ductless Split System - Server Room	Mitsubishi Electric	MSZ-D36NA	6002529T	A	STF	Good	7
STF-A-SRKL	Equipment	Fire Suppression Sprinkler System/ Risers	Various			A	STF	Fair	2
STF-A-FR12	Equipment	Fluid Reel x 2 - Bay 12	Graco	224058		A	STF	Fair	2
STF-A-FR14	Equipment	Fluid Reel x 2 - Bay 14	Graco	224058		A	STF	Fair	2
STF-A-FR17	Equipment	Fluid Reel x 2 - Bay 17	Graco	224058		A	STF	Fair	2
STF-A-FR19	Equipment	Fluid Reel x 2 - Bay 19	Graco	224058		A	STF	Fair	2
STF-A-FR2	Equipment	Fluid Reel x 2 - Bay 2	Graco	224058		A	STF	Fair	2
STF-A-FR22	Equipment	Fluid Reel x 2 - Bay 22	Graco	224058		A	STF	Fair	2
STF-A-FR23	Equipment	Fluid Reel x 2 - Bay 23	Graco	224058		A	STF	Fair	2
STF-A-FR25	Equipment	Fluid Reel x 2 - Bay 25	Graco	224058		A	STF	Fair	2
STF-A-FR27	Equipment	Fluid Reel x 2 - Bay 27	Graco	224058		A	STF	Fair	2
STF-A-FR3	Equipment	Fluid Reel x 2 - Bay 3	Graco			A	STF	Fair	2
STF-A-FR5	Equipment	Fluid Reel x 2 - Bay 5	Graco	224058		A	STF	Fair	2
STF-A-FR1	Equipment	Fluid Reel x 7 - Bay1	Graco	224058		A	STF	Fair	2
STF-A-GEN1	Equipment	Generator #1 100KW - West Side Roof - Shop/Methane Sys	Kohler Power	100RZ272	396062	A	STF	Good	7
STF-A-GEN2	Equipment	Generator #2 80KW- East Side Roof - Dispatch	Kohler Power	MODEL 80RZ72, LGS-8751-	27093 F-15 RM	A	STF	Fair	2
STF-A-GEN4	Equipment	Generator #4 - Fuel Island located at Maintenance Bldg.	Kohler Power	500RE0ZJB	SGM32G5F4	A	STF	Fair	2

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STF-A-ACUHP1	Equipment	Heat Pump #1 - SW Corner Ops	Ruud	UPKA-036DAS	4938M19958054	A	STF	Good	7
STF-A-ACUHP2	Equipment	Heat Pump #2 - SW Mid Ops	Ruud	UPKA048DAS	4975M17953947	A	STF	Good	7
STF-A-ACUHP3	Equipment	Heat Pump #3 - N Mid Ops	Ruud	UPKA048DAS		A	STF	Good	7
STF-A-ACUHP4	Equipment	Heat Pump #4 - North end	Ruud	UHKAO48DAS	4975M17953948	A	STF	Good	7
STF-A-ACUHP5	Equipment	Heat Pump #5 - South end	Carrier	38TH024300	4189E22706	A	STF	Good	7
STF-A-ACUHP6	Equipment	Heat Pump #6 - By roof access	ICP	WCH3362GKR	X110582168	A	STF	Good	7
STF-A-ACUHP7	Equipment	Heat Pump #7 - By roof access	ICP	WCH3302GKR	X105084512	A	STF	Good	7
STF-A-HPD1	Equipment	Heat Pump D1	Carrier	50TCQA05A2A6A0A0A0	3715C50356	A	STF	Good	7
STF-A-HPE3	Equipment	Heat Pump E3	Carrier	50TCQA05A2A6A0A0A0	3715C50354	A	STF	Good	7
STF-A-HPF2	Equipment	Heat Pump F2 - FMC Shop	Carrier	50-VT-C24-30TP	1216C17454	A	STF	Good	7
STF-A-HPSW	Equipment	High Pressure Spray Washer - Bay 12	Landa	VHG5-30024C	11095420-161542	A	STF	Fair	2
STF-A-LIFT17b	Equipment	Lift, Axle, 2 Post, 60K lbs - Bay 17	Stertil Koni	ECO60-10	221B-02080	A	STF	Good	17
STF-A-LIFT26	Equipment	Lift, Axle, 3 Posts, 75K lbs. Bay 26-Long	Rotary	RU703Q-906	XXX04H0004	A	STF	Fair	2
STF-A-LIFT1b	Equipment	Lift, Axle, 3 Posts, 90K lbs - Bay 1	Stertil Koni	ECO-90	210C-01156	A	STF	Good	17
STF-A-LIFT2b	Equipment	Lift, Axle, 3 Posts, 90K lbs - Bay 2	Stertil Koni	ECO-90	221B-02083	A	STF	Good	17
STF-A-LIFT12b	Equipment	Lift, Parallelogram, 75Klbs, 48 ft. Bay 12	Rotary	75/48S2TS-5WB	PLY16F0001	A	STF	Fair	12
STF-A-LIFT13	Equipment	Lift, Parallelogram, 75Klbs, 48 ft. Bay 13	Rotary	50-48SCPT1-3-3	PEX03K0002	A	STF	Fair	2
STF-A-MCLift15.1	Equipment	Lift, Wireless Mobile Column #15-1	Stertil Koni	ST-1085 FWA-US	223D-621189	A	STF	Good	14
STF-A-MCLift15.2	Equipment	Lift, Wireless Mobile Column #15-2	Stertil Koni	ST-1085 FWA-US	223C-621127	A	STF	Good	14
STF-A-MCLift15.3	Equipment	Lift, Wireless Mobile Column #15-3	Stertil Koni	ST-1085 FWA-US	223D-621186	A	STF	Good	14
STF-A-MCLift15.4	Equipment	Lift, Wireless Mobile Column #15-4	Stertil Koni	ST-1085 FWA-US	223D-621201	A	STF	Good	14
STF-A-MCLIFT87	Equipment	Lift, Wireless Mobile Column #16-1	Stertil Koni	ST-1085 FRA-US	222G-618087	A	STF	Good	12
STF-A-MCLIFT81	Equipment	Lift, Wireless Mobile Column #16-2	Stertil Koni	ST-1085 FRA-US	222G-618081	A	STF	Good	12
STF-A-MCLift18.1	Equipment	Lift, Wireless Mobile Column #18-1	Stertil Koni	ST-1085 FWA-US	223D-621190	A	STF	Good	14
STF-A-MCLift18.2	Equipment	Lift, Wireless Mobile Column #18-2	Stertil Koni	ST-1085 FWA-US	223D-621214	A	STF	Good	14
STF-A-MCLift18.3	Equipment	Lift, Wireless Mobile Column #18-3	Stertil Koni	ST-1085 FWA-US	223D-621204	A	STF	Good	14
STF-A-MCLift18.4	Equipment	Lift, Wireless Mobile Column #18-4	Stertil Koni	ST-1085 FWA-US	223D-621203	A	STF	Good	14
STF-A-MCLIFT79	Equipment	Lift, Wireless Mobile Column #21-1	Stertil Koni	ST-1085 FRA-US	222G-618079	A	STF	Good	12
STF-A-MCLIFT77	Equipment	Lift, Wireless Mobile Column #21-2	Stertil Koni	ST-1085 FRA-US	222G-618077	A	STF	Good	12
STF-A-MCLIFT89	Equipment	Lift, Wireless Mobile Column #21-3	Stertil Koni	ST-1085 FRA-US	222G-618089	A	STF	Good	12
STF-A-MCLIFT78	Equipment	Lift, Wireless Mobile Column #21-4	Stertil Koni	ST-1085 FRA-US	222G-618078	A	STF	Good	12
STF-A-MCLift22.1	Equipment	Lift, Wireless Mobile Column #22-1	Stertil Koni	ST-1085 FWA-US	223D-621209	A	STF	Good	14
STF-A-MCLift22.2	Equipment	Lift, Wireless Mobile Column #22-2	Stertil Koni	ST-1085 FWA-US	223C-621124	A	STF	Good	14
STF-A-MCLift22.3	Equipment	Lift, Wireless Mobile Column #22-3	Stertil Koni	ST-1085 FWA-US	223D-621142	A	STF	Good	14
STF-A-MCLift22.4	Equipment	Lift, Wireless Mobile Column #22-4	Stertil Koni	ST-1085 FWA-US	223D-621211	A	STF	Good	14

Building Legend

A - Maintenance Ops
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ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
STF-A-MCLIFT86	Equipment	Lift, Wireless Mobile Column #23-1	Stertil Koni	ST-1085 FRA-US	222G-618086	A	STF	Good	12
STF-A-MCLIFT90	Equipment	Lift, Wireless Mobile Column #23-2	Stertil Koni	ST-1085 FRA-US	222G-618090	A	STF	Good	12
STF-A-MCLIFT83	Equipment	Lift, Wireless Mobile Column #23-3	Stertil Koni	ST-1085 FRA-US	222G-618083	A	STF	Good	12
STF-A-MCLIFT93	Equipment	Lift, Wireless Mobile Column #23-4	Stertil Koni	ST-1085 FRA-US	222G-618093	A	STF	Good	12
STF-A-MCLIFT80	Equipment	Lift, Wireless Mobile Column #25-1	Stertil Koni	ST-1085 FRA-US	222G-618080	A	STF	Good	12
STF-A-MCLIFT-82	Equipment	Lift, Wireless Mobile Column #25-2	Stertil Koni	ST-1085 FRA-US	222G-618082	A	STF	Good	12
STF-A-MCLIFT91	Equipment	Lift, Wireless Mobile Column #25-3	Stertil Koni	ST-1085 FRA-US	222G-618091	A	STF	Good	12
STF-A-MCLIFT92	Equipment	Lift, Wireless Mobile Column #25-4	Stertil Koni	ST-1085 FRA-US	222G-618092	A	STF	Good	12
STF-A-MCLIFT85	Equipment	Lift, Wireless Mobile Column #25-6	Stertil Koni	ST-1085 FRA-US	222G-618085	A	STF	Good	12
STF-A-MCLIFT88	Equipment	Lift, Wireless Mobile Column #25-6	Stertil Koni	ST-1085 FRA-US	222G-618088	A	STF	Good	12
STF-A-MCLift5.1	Equipment	Lift, Wireless Mobile Column #5-1	Stertil Koni	ST-1085 FWA-US	223D-621210	A	STF	Good	14
STF-A-MCLift5.2	Equipment	Lift, Wireless Mobile Column #5-2	Stertil Koni	ST-1085 FWA-US	223D-621187	A	STF	Good	14
STF-A-MCLift5.3	Equipment	Lift, Wireless Mobile Column #5-3	Stertil Koni	ST-1085 FWA-US	223D-621205	A	STF	Good	14
STF-A-MCLift5.4	Equipment	Lift, Wireless Mobile Column #5-4	Stertil Koni	ST-1085 FWA-US	223D-621135	A	STF	Good	14
STF-A-MCLift7.1	Equipment	Lift, Wireless Mobile Column #7-1	Stertil Koni	ST-1085 FWA-US	223D-621212	A	STF	Good	14
STF-A-MCLift7.2	Equipment	Lift, Wireless Mobile Column #7-2	Stertil Koni	ST-1085 FWA-US	223D-621206	A	STF	Good	14
STF-A-MCLift7.3	Equipment	Lift, Wireless Mobile Column #7-3	Stertil Koni	ST-1085 FWA-US	223C-621118	A	STF	Good	14
STF-A-MCLift7.4	Equipment	Lift, Wireless Mobile Column #7-4	Stertil Koni	ST-1085 FWA-US	223B-620433	A	STF	Good	14
STF-A-MCLift9.1	Equipment	Lift, Wireless Mobile Column #9-1	Stertil Koni	ST-1085 FWA-US	223C-621123	A	STF	Good	14
STF-A-MCLift9.2	Equipment	Lift, Wireless Mobile Column #9-2	Stertil Koni	ST-1085 FWA-US	223D-621208	A	STF	Good	14
STF-A-MCLift9.3	Equipment	Lift, Wireless Mobile Column #9-3	Stertil Koni	ST-1085 FWA-US	223D-621147	A	STF	Good	14
STF-A-MCLift9.4	Equipment	Lift, Wireless Mobile Column #9-4	Stertil Koni	ST-1085 FWA-US	223D-621202	A	STF	Good	14
STF-A-LIFT24	Equipment	Lift, Axle, 2 Post, 60K lbs - Bay 24	Rotary	MOD30D		A	STF	Fair	2
STF-A-EML	Equipment	Lighting, Emergency - Maint. & OPs Bldg	Various			A	STF	Fair	2
STF-A-IL	Equipment	Lighting, Interior (All) - Maint. & OPs Bldg	Various			A	STF	Fair	2
STF-A-OHLS	Equipment	Lighting, Overhead Shop Bays 1-9, 12-27	Hubbell	CH-A40-H-8-M		A	STF	Fair	2
STF-A-OHL10	Equipment	Lighting, Overhead. Bays 10-11	Hubbell	ECH250		A	STF	Fair	2
STF-A-LKROPS	Equipment	Lockers, Operators Area	Custom			A	STF	Good	7
STF-A-MAUC1	Equipment	Make-Up Air Unit C1 - Bay 27	Greenheck	IGX-115-H22	14436993 16A	A	STF	Good	7
STF-A-MAUC2	Equipment	Make-Up Air Unit C2 - Bay 25	Greenheck	IGX-115-H22	14436994	A	STF	Good	7
STF-A-MAUC3	Equipment	Make-Up Air Unit C3 - Bay 23	Greenheck	IGX-115-H22	14436997	A	STF	Good	7
STF-A-MAUC4	Equipment	Make-Up Air Unit C4 - Bay 21	Greenheck	IGX-115-H22	14436695	A	STF	Good	7
STF-A-MAUC5	Equipment	Make-Up Air Unit C5 - Bay 19	Greenheck	IGX-115-H22	14436996	A	STF	Good	7
STF-A-MAUD1	Equipment	Make-Up Air Unit D1 - Bay 1	Greenheck	IGX-115-H22	14437045	A	STF	Good	7

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STF-A-MAUD2	Equipment	Make-Up Air Unit D2 - Bay 2	Greenheck	IGX-115-H22	14437046	A	STF	Good	7
STF-A-MAUD3	Equipment	Make-Up Air Unit D3 - Bay 5	Greenheck	IGX-115-H22	14437002	A	STF	Good	7
STF-A-MAUD4	Equipment	Make-Up Air Unit D4	Greenheck	IGX-115-H22	14437003	A	STF	Good	7
STF-A-MAUE1	Equipment	Make-Up Air Unit E1 - Bay 15	Greenheck	IGX-115-H22	14437093	A	STF	Good	7
STF-A-MAUE2	Equipment	Make-Up Air Unit E2 - Bay 13	Greenheck	IGX-115-H22	14437094	A	STF	Good	7
STF-A-MAUE3	Equipment	Make-Up Air Unit E3 - Bay 12	Greenheck	IGX-115-H22	14437089	A	STF	Good	7
STF-A-MAUE4	Equipment	Make-Up Air Unit E4 - Bay 12	Greenheck	IGX-115-H22	14437090	A	STF	Good	7
STF-A-MAUE5	Equipment	Make-Up Air Unit E5 - Bay 11	Greenheck	IGX-115-H22	14437098	A	STF	Good	7
STF-A-MAUE6	Equipment	Make-Up Air Unit E6 - Bay 11	Greenheck	IGX-115-H22	14437099	A	STF	Good	7
STF-A-MAUF1	Equipment	Make-Up Air Unit F1	Greenheck	IGX-115-H22	14437115	A	STF	Good	7
STF-A-MAUF2	Equipment	Make-Up Air Unit F2	Greenheck	IGX-115-H22	14437116	A	STF	Good	7
STF-A-MAUF3	Equipment	Make-Up Air Unit F3 - Bay 7	Greenheck	IGX-115-H22	14437120	A	STF	Good	7
STF-A-MAUF4	Equipment	Make-Up Air Unit F4 - Bay 9	Greenheck	IGX-115-H22	14437121	A	STF	Good	7
STF-A-MAUF5	Equipment	Make-Up Air Unit F5 - Bay 10	Greenheck	IGX-115-H22	14437126	A	STF	Good	7
STF-A-MAUF6	Equipment	Make-Up Air Unit F6 - Bay 10	Greenheck	IGX-115-H22	14437127	A	STF	Good	7
STF-A-MDS	Equipment	Methane Detection System	SIERRA MONITOR	5000-08		A	STF	Good	12
STF-A-OFC	Equipment	Oil Filter Crusher- N of Bay 4	Oberg	P300	32979	A	STF	Fair	2
STF-A-ASWS	Equipment	OneFlow Anti-Scale Water System	Watts	OF1465-50		A	STF	Good	12
STF-A-PBb	Equipment	Paint Booth w/Heater	Global Finishing Solutions	IDB1076	U58692-A-RO1	A	STF	Good	12
STF-A-PAS	Equipment	Public Address System	TOA	700 Series	A-724	A	STF	Good	12
STF-A-OP1	Equipment	Pump, Oil, 15-40 - 10:1	Balcrank	1430-004		A	STF	Good	8
STF-A-OP2	Equipment	Pump, Oil, 15-40G - 10:1	Balcrank	1430-004		A	STF	Good	8
STF-A-R	Equipment	Roof, Maintenance & Ops Building		Build up		A	STF	Good	12
STF-A-PIT27	Equipment	Service Pit and Fluid Lift Station - Bay 27				A	STF	Fair	2
STF-A-SPumpB6	Equipment	Sump Pump Lift Station Outside Bay 6				A	STF	Good	12
STF-A-ATS1	Equipment	Switch, Automatic Transfer, Gen #1 - Shop/Methane Sys	ASCO	E0030030260N1XF		A	STF	Good	7
STF-A-ATS2	Equipment	Switch, Automatic Transfer, Gen #2 - TOC, Dispatch	ASCO/Kohler	962/K-166543-104	ASCO/K50845	A	STF	Good	7
STF-A-VACP1	Equipment	Vacuum Pump, Kinney Rotary Piston	Kinney	KC15L		A	STF	Fair	2
STF-A-VACP2	Equipment	Vacuum Pump, Kinney Rotary Piston	Kinney	KC15L		A	STF	Fair	2
STF-A-ATGMS	Equipment	Veeder Root Monitoring System	UST Monitoring	TL-350		A	STF	Good	7
STF-A-VPSAW	Equipment	Vertical Panel Saw and Exhauster. Between Bay 8 and 9	6400		50084	A	STF	Fair	2
STF-B-BFP1	Equipment	Backflow Valve, Bus Wash	Wilkins	3"-375	L12771	B	STF	Good	7
STF-B-BWNL	Equipment	Bus Wash System - North Lane	Interclean			B	STF	Fair	2
STF-B-BWSL	Equipment	Bus Wash System - South Lane	Interclean			B	STF	Fair	2

Building Legend

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South Transit Facility

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ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
STF-B-SRKL	Equipment	Fire Supression Sprinkler System	AUTO SPRINKLER			B	STF	Fair	2
STF-B-LGT	Equipment	Lighting - Canopy	Various			B	STF	Good	7
STF-B-EL	Equipment	Lighting, Emergency - Wash Bldg	Various			B	STF	Good	7
STF-B-IL	Equipment	Lighting, Interior - Wash Bldg	Various			B	STF	Good	7
STF-B-MDS	Equipment	Methane Detection System - Inspection Pit	SIERRA MONITOR		5100-08 5100-02	B	STF	Good	7
STF-B-ROOF	Equipment	Roof	Custom			B	STF	Good	12
STF-B-R	Equipment	Roof, Wash Building		Build up		B	STF	Good	7
STF-B-AST	Equipment	Tank, Above Ground, Chemical Station Containers				B	STF	Good	7
STF-B-ST	Equipment	Tanks, Sludge	ROSS WHITE			B	STF	Good	7
STF-B-WH	Equipment	Water Heater	Reliance			B	STF	Fair	2
STF-C-BP	Equipment	Buffer Panel (CNG/LCNG)	GP Strategies	N/A	N/A	C	STF	Good	7
STF-C-ACOMP1b	Equipment	Compressor, Air 15HP - #1	Kaeser	SK 15 / 101975.01	1865-8343586	C	STF	Good	13
STF-C-ACOMP2b	Equipment	Compressor, Air 20HP - #2	Kaeser	SK 20 / 101978.01	1744-8284584	C	STF	Good	13
STF-CONC	Equipment	Concrete	Various			C	STF	Fair	2
STF-C-COOLP	Equipment	Cooling System Pump	Wilder	Air Operated		C	STF	Fair	2
STF-C-CHB	Equipment	Crane, Hoist Bridge 1/4 ton-Tire Shop	Budget	USF-222-10-BI-10	188579	C	STF	Good	7
STF-C-DCNG1	Equipment	Dispenser #1, CNG	ANGI	RX371 Series II	n/a	C	STF	Good	7
STF-C-DD1	Equipment	Dispenser #1, Diesel - Lane 2	PMP Corp	R788700-002	FR132497	C	STF	Good	7
STF-C-LNGD1	Equipment	Dispenser #1, LNG	CHART INDUSTRIES			C	STF	Good	7
STF-C-DCNG2	Equipment	Dispenser #2, CNG	ANGI	RX371 Series II	n/a	C	STF	Good	7
STF-C-DD2	Equipment	Dispenser #2, Diesel - Lane 2	Veeder Root	R788700-002	FR-140502	C	STF	Good	7
STF-C-LNGD2	Equipment	Dispenser #2, LNG	CHART INDUSTRIES			C	STF	Good	7
STF-C-DCNG3	Equipment	Dispenser #3, CNG	ANGI	RX371 Series II	n/a	C	STF	Good	7
STF-C-DD3	Equipment	Dispenser #3, Diesel - Lane 3	Veeder Root	R788700-002	FR162058	C	STF	Good	7
STF-C-LNGD3	Equipment	Dispenser #3, LNG	CHART INDUSTRIES			C	STF	Good	7
STF-C-DD4	Equipment	Dispenser #4, Diesel - Lane 3	Veeder Root	R788700-002	207222345	C	STF	Good	7
STF-C-DD5	Equipment	Dispenser #5, Diesel - Capped Off		789001-32	FR172014	C	STF	Good	7
STF-C-DD6	Equipment	Dispenser #6, Diesel - Lane 4	Veeder Root	R788700-002	133418	C	STF	Good	7
STF-C-UD	Equipment	Dispenser, Unleaded	Gas Boy	9853KX	AT040242	C	STF	Good	7
STF-C-OHD1	Equipment	Door, Overhead - Tire Shop #1	OVERHEAD DOOR			C	STF	Fair	2
STF-C-OHD2	Equipment	Door, Overhead - Tire Shop #2	OVERHEAD DOOR			C	STF	Fair	2
STF-C-OHD3	Equipment	Door, Overhead - Tire Shop #3	OVERHEAD DOOR			C	STF	Fair	2
STF-C-OHD4	Equipment	Door, Overhead - Tire Shop #4	OVERHEAD DOOR			C	STF	Fair	2
STF-C-DF2	Equipment	Drinking Fountain, Fuel Island	ELKAY			C	STF	Fair	2

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STF-C-DF1	Equipment	Drinking Fountain, Tire Shop	ELKAY	EFA14-1E	50626114	C	STF	Fair	2
STF-C-ADRYR	Equipment	Dryer & Tank, Rotary Air Compressor System	Kaeser	KAD-50	1279742-1	C	STF	Fair	2
STF-C-EP	Equipment	Electrical Panel-boards - Fuel Island/Tire Shop	Various			C	STF	Good	7
STF-C-EC1b	Equipment	Evaporative Cooler 1 - Tire Shop	PMI	Aerocool UPD4802	2534684	C	STF	Good	7
STF-C-EC2b	Equipment	Evaporative Cooler 2 - Tire Shop	PMI	Aerocool UID500	2518265	C	STF	Good	7
STF-C-EC3b	Equipment	Evaporative Cooler 3	PMI	Aerocool UID601	25362390	C	STF	Good	7
STF-C-EC4b	Equipment	Evaporative Cooler 4 - Lane 1	PMI	Aerocool UID601	2536239	C	STF	Good	7
STF-C-EC5b	Equipment	Evaporative Cooler 5 - Lane 3	PMI	Aerocool UID601	2542383	C	STF	Good	7
STF-C-FFC1	Equipment	Fluid Management System, Lane 1 - Fuel Force Console	Multiforce System	814R	1511107	C	STF	Good	7
STF-C-FFC2	Equipment	Fluid Management System, Lane 2 - Fuel Force Console	Multiforce System	814R	1511109	C	STF	Good	7
STF-C-FFC3	Equipment	Fluid Management System, Lane 3 - Fuel Force Console	Multiforce System	814A	1511106	C	STF	Good	7
STF-C-FFC4	Equipment	Fluid Management System, Lane 4 - Fuel Force Console	Multiforce System	814A	1511108	C	STF	Good	7
STF-C-GEN3	Equipment	Generator #3 - Fuel Island - Propane/N.Gas	Generac	3011660100	2071408	C	STF	Fair	2
STF-C-HP1	Equipment	Heat Pump 1	Carrier	50VT-C30-30TP	1516C19862	C	STF	Good	7
STF-C-LCNGCP	Equipment	LCNG Control Panel	ACD Inc.	55165-1	98886591	C	STF	Fair	2
STF-C-LIFT	Equipment	Lift, Hydraulic, Single Post - Tire Shop Lane	Rotary	PL795. P5117	L07000. XJV07A0001	C	STF	Fair	2
STF-C-EL	Equipment	Lighting, Emergency - Fuel Bldg & Tire Shop	Various			C	STF	Fair	2
STF-C-IL	Equipment	Lighting, Interior - Fuel Bldg & Tire Shop	Various			C	STF	Fair	2
STF-C-LGT	Equipment	Lighting, Overhead - Fuel Building	Various			C	STF	Fair	2
STF-C-LNGHEX	Equipment	LNG Heat Exchangers	Cryoquip	VAI-336-55XL151094717	489180001	C	STF	Good	7
STF-C-LNGPV	Equipment	LNG Pipes and Valves	Swanson Flow	PKA-A18HA6		C	STF	Good	7
STF-C-LOCK	Equipment	Lockers, Tire Shop Break-room				C	STF	Fair	2
STF-C-MAU1	Equipment	Make-Up Air Unit - Tire Shop	Fan Air	9T21A4007	BU	C	STF	Good	7
STF-C-MDS	Equipment	Methane Detection System	SIERRA MONITOR			C	STF	Good	7
STF-C-OPPA	Equipment	Odorant Pump Panel Assembly	GP Strategies	N/A	n/a	C	STF	Good	7
STF-C-OG1	Equipment	Oil Gun #1, Lane 2 - 15/40				C	STF	Fair	2
STF-C-OG2	Equipment	Oil Gun #2, Lane 2 - 15/40G				C	STF	Fair	2
STF-C-OG3	Equipment	Oil Gun #3, Lane 3 - 15/40				C	STF	Fair	2
STF-C-OG4	Equipment	Oil Gun #4, Lane 3 - 15/40G				C	STF	Fair	2
STF-C-OG5	Equipment	Oil Gun #5, Lane 4 - 15/40				C	STF	Fair	2
STF-C-OG6	Equipment	Oil Gun #6, Lane 4 - 15/40G				C	STF	Fair	2
STF-C-VRP20	Equipment	Probe, VR In Tank - Tank 20	Veeder Root	6' MAG Plus	934999	C	STF	Good	7
STF-C-VRP21	Equipment	Probe, VR In Tank - Tank 21	Veeder Root	6' MAG Plus	935000	C	STF	Good	7
STF-C-VRP22	Equipment	Probe, VR In Tank - Tank 22	Veeder Root	6' MAG Plus	935005	C	STF	Good	7

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STF-C-VRP23	Equipment	Probe, VR In Tank - Tank 23	Veeder Root	NFS2-3030	960299	C	STF	Good	7
STF-C-VRP24	Equipment	Probe, VR In Tank - Tank 24	Veeder Root	NFS2-3030	934997	C	STF	Good	7
STF-C-VRP25	Equipment	Probe, VR In Tank - Tank 25	Veeder Root	8' MAG Plus	970015	C	STF	Good	7
STF-C-VRP26	Equipment	Probe, VR In Tank - Tank 26	Veeder Root	6' MAG Plus	9350006	C	STF	Good	7
STF-C-VRP27	Equipment	Probe, VR In Tank - Tank 27	Veeder Root	6' MAG Plus	935001	C	STF	Good	7
STF-C-VRP28	Equipment	Probe, VR In Tank - Tank 28	Veeder Root	6' MAG Plus	935007	C	STF	Good	7
STF-C-VRP29	Equipment	Probe, VR In Tank - Tank 29	Veeder Root	6' MAG Plus	935002	C	STF	Good	7
STF-C-VRP30	Equipment	Probe, VR In Tank - Tank 30	Veeder Root	6' MAG Plus	635003	C	STF	Good	7
STF-C-DPb	Equipment	Pump, Diaphragm - Perry Coolant	Graco	647666	FF24A4330	C	STF	New	9
STF-C-LCNGP11	Equipment	Pump, LCNG P-11 (A)	ACD Inc.	X-9	154505221	C	STF	Good	7
STF-C-LCNGP12	Equipment	Pump, LCNG P-12 (B)	ACD Inc.	X-9	154505222	C	STF	Good	7
STF-C-LCNGP13	Equipment	Pump, LCNG P-13 (C)	ACD Inc.	X-9	154505223	C	STF	Good	7
STF-C-OP1	Equipment	Pump, Oil - 10:1	Graco	Fireball 425	K06174	C	STF	Good	7
STF-C-OP2	Equipment	Pump, Oil - 10:1	Graco	Fireball 425	K06164	C	STF	Good	7
STF-C-FR10	Equipment	Reel, Cox Fluid (in front of lane 1 south)	Coxreels	P-LPL-150	20071213 1207	C	STF	Fair	2
STF-C-CFR2	Equipment	Reel, Cox Fluid (in front of lane 2)	Coxreels	P-LPL-150	20071213 1207	C	STF	Fair	2
STF-C-FR30	Equipment	Reel, Cox Fluid (in front of lane 3)	Coxreels	P-LPL-150	20071213 1207	C	STF	Fair	2
STF-C-FR4	Equipment	Reel, Cox Fluid (in front of lane 4 North)	Coxreels	P-LPL-150	20071213 1207	C	STF	Fair	2
STF-C-R	Equipment	Roof - Fuel Bldg & Tire Shop		Build up		C	STF	Poor	
STF-C-SCP	Equipment	Site Control Panel (CNG/LCNG)	GP Strategies	N/A	N/A	C	STF	Good	7
STF-C-LNGP2	Equipment	Submergible LNG Pump 1-Middle	ACD Inc.	TC34		C	STF	Good	7
STF-C-LNGP1	Equipment	Submergible LNG Pump 1-North	ACD Inc.	TC34	97884432	C	STF	Good	7
STF-C-LNGP3	Equipment	Submergible LNG Pump 1-South	ACD Inc.	TC34		C	STF	Good	7
STF-C-SUMP	Equipment	Sump Pump - LNG Containment		4TWA4060A3000AA		C	STF	Fair	2
STF-C-ATS2	Equipment	Switch, Automatic Transfer, Gen #3 - Tire Shop	Generac			C	STF	Fair	2
STF-C-OT20	Equipment	Tank #20, Oil - 2500 Gal	XERXES		S993082	C	STF	Good	12
STF-C-OT21	Equipment	Tank #21, Oil - 2500 Gal	XERXES		S993080	C	STF	Good	12
STF-C-CT22	Equipment	Tank #22, Coolant - 20k Gal	XERXES		S993084	C	STF	Good	12
STF-C-DT23	Equipment	Tank #23, Diesel - 20k Gal	XERXES		S993094	C	STF	Good	12
STF-C-DT24	Equipment	Tank #24, Diesel - 20k Gal	XERXES		S993101	C	STF	Good	12
STF-C-UT25	Equipment	Tank #25, Unleaded - 4k Gal	XERXES		S993105	C	STF	Good	12
STF-C-WOT26	Equipment	Tank #26, Waste Oil - 2500 Gal	XERXES		S993085	C	STF	Good	12
STF-C-WOT27	Equipment	Tank #27, Waste Oil - 2500 Gal	XERXES		S993083	C	STF	Good	12
STF-C-CT28	Equipment	Tank #28, Coolant - 3k Gal	XERXES		S933050	C	STF	Good	12

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STF-C-OT29	Equipment	Tank #29, Oil - 3k Gal	XERXES		S993079	C	STF	Good	12
STF-C-OT30	Equipment	Tank #30, Oil - 3k Gal	XERXES		S993067	C	STF	Good	12
STF-C-LNGT1	Equipment	Tank T-100, LNG Bulk	MVE Inc	VCS-3000-SC-165-LNG	3002	C	STF	Good	12
STF-C-LNGT2	Equipment	Tank T-200, LNG Bulk	MVE Inc	VCS-3000-SC-165-LNG	3001	C	STF	Good	12
STF-C-LNGT3	Equipment	Tank T-300, LNG Bulk	MVE Inc			C	STF	Good	12
STF-C-DT2E	Equipment	Turbine, Diesel - East	Red Jacket	5HP	3096A	C	STF	Good	12
STF-C-DT1W	Equipment	Turbine, Diesel - West	Red Jacket	5HP	3097A	C	STF	Good	12
STF-C-UTE	Equipment	Unleaded Turbine - East	Red Jacket	3/4 HP	236561A	C	STF	Good	12
STF-C-VJP	Equipment	Vacuum Jacket Piping (LCNG)	GP Strategies	N/A	n/a	C	STF	Good	7
STF-C-VACS4	Equipment	Vacuum System - Lane # 4	ROBERTSON SYSTEM	HV-3.5-3		C	STF	Good	7
STF-C-VACS1	Equipment	Vacuum System. Lane 1	ROBERTSON SYSTEM	HV-3.5-3	456797-A3	C	STF	Good	7
STF-C-VACS2	Equipment	Vacuum System. Lane 2	ROBERTSON SYSTEM	HV-3.5-3		C	STF	Good	7
STF-C-VACS3	Equipment	Vacuum System. Lane 3	ROBERTSON SYSTEM	HV-3.5-3		C	STF	Good	7
STF-C-VHA	Equipment	Vaporizer HEX-640A (CNG/LCNG)	Cryoquip	N/A	29740-1-1	C	STF	Good	12
STF-C-VHB	Equipment	Vaporizer HEX-640B (CNG/LCNG)	Cryoquip	N/A	29740-1-2	C	STF	Good	12
STF-C-VHC	Equipment	Vaporizer HEX-640C (CNG/LCNG)	Cryoquip	N/A	29740-1-3	C	STF	Good	12
STF-C-VRMS	Equipment	Veeder Root Monitoring System	Veeder Root	TLS450	Q11241748805001	C	STF	Good	12
STF-C-XCSP	Equipment	XXS Carbon Steel Piping (LCNG)	GP Strategies	N/A	n/a	C	STF	Good	12
STF-D-ACOMP	Equipment	Compressor, Rotary Air, storage tank and Drier	Kaeser	ASD-25/TC-36	1153/1302	D	STF	Poor	1
STF-D-OHD1	Equipment	Door, Overhead - Drum Room	OVERHEAD DOOR	Series 424		D	STF	Fair	2
STF-D-OHD2	Equipment	Door, Overhead - North Auto Shop	OVERHEAD DOOR	Series 424		D	STF	Fair	2
STF-D-OHD3	Equipment	Door, Overhead - North Warehouse	OVERHEAD DOOR	Series 424		D	STF	Fair	2
STF-D-OHD4	Equipment	Door, Overhead - South Auto Shop	OVERHEAD DOOR	Series 424		D	STF	Fair	2
STF-D-OHD6	Equipment	Door, Overhead - South Warehouse	OVERHEAD DOOR	Series 424		D	STF	Fair	2
STF-D-OHD5	Equipment	Door, Overhead - Storage Room	OVERHEAD DOOR	Series 424		D	STF	Fair	2
STF-D-EC1b	Equipment	Evaporative Cooler 1	PMI	Aerocool USI701	2560684	D	STF	Good	7
STF-D-EC2b	Equipment	Evaporative Cooler 2	PMI	Aerocool USI701	2560685	D	STF	Good	7
STF-D-EC3b	Equipment	Evaporative Cooler 3	PMI	Aerocool USI701	2546313	D	STF	Good	7
STF-D-EFV1	Equipment	Exhaust Fan #1 - Vehicle	Harvey Industries, Inc.	BD9 I	BV999458	D	STF	Fair	2
STF-D-EFV2	Equipment	Exhaust Fan #2 - Vehicle	Harvey Industries, Inc.	BD9 I	BV999466	D	STF	Fair	2
STF-D-EF30	Equipment	Exhaust Fan #30 - Methane	Greenheck	RBUMO-1L36-10	98B17276	D	STF	Good	7
STF-D-EF1	Equipment	Exhaust Fan 1 - Methane	Greenheck	RBUMO-1L36-10	14463889	D	STF	Good	7
STF-D-EF2	Equipment	Exhaust Fan 2 - Autoshop Restroom	Greenheck	SPA200		D	STF	Fair	2
STF-D-EF3	Equipment	Exhaust Fan 2 - Warehouse Restroom	Greenheck	SPA200		D	STF	Fair	2

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STF-D-SRKL	Equipment	Fire Sprinkler System - Auto Shop/Warehouse	Viking	F-1	8510	D	STF	Fair	2
STF-D-EL	Equipment	Lighting, Emergency - Warehouse/AutoShop Bldg	Various			D	STF	Fair	2
STF-D-LGTE	Equipment	Lighting, Exterior				D	STF	Fair	2
STF-D-LGTI	Equipment	Lighting, Interior - Warehouse/Autoshop	Hubbell	HPS	400W MH	D	STF	Fair	2
STF-D-MAU1	Equipment	Make-Up Air Unit 1	Greenheck	IGX-115-H22	14437107	D	STF	Good	7
STF-D-MAU2	Equipment	Make-Up Air Unit 2	Greenheck	IGX-115-H22	14437108	D	STF	Good	7
STF-D-MDS	Equipment	Methane Detection System	SIERRA MONITOR	5000-08		D	STF	Good	7
EQU-PAC1	Equipment	Portable Air Conditioning Unit 1	MovinCool	Climate Pro K18	01240138K18	D	STF	New	9
EQU-PAC2	Equipment	Portable Air Conditioning Unit 2	MovinCool	Climate Pro K18	04230723K18	D	STF	New	9
EQU-PAC3	Equipment	Portable Air Conditioning Unit 3	MovinCool	Climate Pro K18	08231033K18	D	STF	New	9
EQU-PAC4	Equipment	Portable Air Conditioning Unit 4	MovinCool	Climate Pro K18	04230549K18	D	STF	New	9
STF-D-R	Equipment	Roof, Warehouse & Auto-shop Building				D	STF	Good	18
STF-D-RACK	Equipment	Shelving-Pallet Rack System	Custom			D	STF	Fair	2
STF-E-CHIL	Equipment	Air Cooled Chiller Unit	Carrier	30RBA07064-5-3	3409Q73308	E	STF	Fair	2
STF-E-BFP2	Equipment	Backflow Valve, Chiller water feed	Watts	RBUMO-2L36-10	11099	E	STF	Fair	2
STF-E-CHILP	Equipment	Chiller Pumps-2	Taco	TWE090D300AB		E	STF	Good	7
STF-E-CU1	Equipment	Condensing Unit #1 - CoP Server Room	Mitsubishi Electric	PUY-A18NHA6	54U02789C	E	STF	Good	12
STF-E-CU2	Equipment	Condensing Unit #2 - Elevator Room	Mitsubishi Electric	PUY-A12NHA4	4XU09990A	E	STF	Good	12
STF-E-DF	Equipment	Drinking Fountains	ELKAY			E	STF	Fair	2
STF-E-SES	Equipment	Electrical - Service Entrance Section - CoP Sub Asset - South	Custom			E	STF	Good	12
STF-E-ELEV	Equipment	Elevator - Passenger	Dover	DMC	EE-1322, 2959	E	STF	Fair	2
STF-E-FCU1	Equipment	Fan Coil Unit #1, Chilled Water	Enviro-Tec	HDD12	6CJM005219	E	STF	Good	12
STF-E2-FCU10	Equipment	Fan Coil Unit #10, Chilled Water	Enviro-Tec	HDD12	6CJM005229	E	STF	Good	12
STF-E-FCU11	Equipment	Fan Coil Unit #11, Chilled Water	Enviro-Tec	HDD20	6CJM005225	E	STF	Good	12
STF-E-FCU12	Equipment	Fan Coil Unit #12, Chilled Water	Enviro-Tec	HDD40	6CJM005226	E	STF	Good	12
STF-E-FCU2	Equipment	Fan Coil Unit #2, Chilled Water	Enviro-Tec	HDD12	6CJM005220	E	STF	Good	12
STF-E-FCU3	Equipment	Fan Coil Unit #3, Chilled Water	Enviro-Tec	HDD08	6CJM005222	E	STF	Good	12
STF-E-FCU4	Equipment	Fan Coil Unit #4, Chilled Water	Enviro-Tec	HDD20	6CJM005224	E	STF	Good	12
STF-E-FCU5	Equipment	Fan Coil Unit #5, Chilled Water	Enviro-Tec	HDD12	6CJM005230	E	STF	Good	12
STF-E-FCU6	Equipment	Fan Coil Unit #6, Chilled Water	Enviro-Tec	HDD08	6CJM005227	E	STF	Good	12
STF-E-FCU7	Equipment	Fan Coil Unit #7, Chilled Water	Enviro-Tec	HDD12	6CJM005228	E	STF	Good	12
STF-E-FCU8	Equipment	Fan Coil Unit #8, Chilled Water	Enviro-Tec	HDD12	6CJM005221	E	STF	Good	12
STF-E2-FCU9	Equipment	Fan Coil Unit #9, Chilled Water	Enviro-Tec	HDD08	6CJM005223	E	STF	Good	12
STF-E-FC1	Equipment	Fan Coil Unit #1, CoP Server Room	Mitsubishi Electric	PKA-A18HA6	5ZA06330A	E	STF	Good	12

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STF-E-FC2	Equipment	Fan Coil Unit #2, Roof	Mitsubishi Electric	PKA-A12HA6	42A01755B	E	STF	Good	12
STF-E-SRKL	Equipment	Fire Suppression System	AUTO SPRINKLER	7800FP	GLV7811FP	E	STF	Good	7
STF-E-GEN5	Equipment	Generator #5 150Kw - Training Bldg	Generac	9363300200	2096659	E	STF	Fair	2
STF-E-CANL	Equipment	Lighting - Canopy	Various			E	STF	Fair	2
STF-E-EL	Equipment	Lighting, Emergency - Training/Security/Revenue	Various			E	STF	Fair	2
STF-E-LGTE	Equipment	Lighting, Exterior - Training/Security/Revenue	Various			E	STF	Fair	2
STF-ELGT	Equipment	Lighting, Exterior Building	Various	HPS 250W		E	STF	Fair	2
STF-E-LGTI	Equipment	Lighting, Interior - Training/Security/Revenue	Hubbell	HPS	400W MH	E	STF	Fair	2
STF-E-R	Equipment	Roof, Training Complex				E	STF	Good	12
STF-E-ATS1	Equipment	Switch, Automatic Transfer, Gen #5 - Training Complex	ASCO	962		E	STF	Good	7
STF-E-WH	Equipment	Water Heater, 40 gal.	AO Smith	100234831	2044121667214	E	STF	Good	12
STF-GH-FC1	Equipment	Ductless System FC1 - Guard Kiosk	Mitsubishi Electric	SLZ-KA15NA	59M01001	GH	STF	Good	12
STF-GH-EF1	Equipment	Exhaust Fan 1	Greenheck	SP-A125	14457294	GH	STF	Good	12
STF-GH-IL	Equipment	Lighting, Interior - Guard Kiosk	Various			GH	STF	Good	12
STF-GH-R	Equipment	Roof, Guard Kiosk				GH	STF	Good	12
STF-ADA	Equipment	ADA Elements - Site Wide					STF	Fair	2
STF-ASP	Equipment	Asphalt, Site					STF	Fair	2
STF-BFP3	Equipment	Backflow Valve, East Main Feed	Watts	GB-081	11102		STF	Good	12
STF-BFP2	Equipment	Backflow Valve, Main line check valve (north)					STF	Good	12
STF-CAN2	Equipment	Canopy, Bus - 2 North of 1	Custom				STF	Good	12
STF-CAN3	Equipment	Canopy, Bus - 3 North of 2	Custom				STF	Good	12
STF-CAN1	Equipment	Canopy, Bus - South 1	Custom				STF	Good	12
STF-PF	Equipment	Fencing, Perimeter	Phoenix Fence				STF	Good	12
STF-FAS	Equipment	Fire Alarm System - FACP's. Annunciators & Devices	NOTIFIER by Honeywell	ONYX Series			STF	Good	12
STF-FX	Equipment	Fire Extinguishers, Site	Various				STF	Fair	2
STF-HYD	Equipment	Fire Hydrants-9 units	Various Manufactures				STF	Fair	2
STF-BAE	Equipment	Gate - Barrier Arm, Bus Entry	HySecurity	Strong Arm M50	6EB557-1616-261		STF	Good	12
STF-BAX	Equipment	Gate - Barrier Arm, Bus Exit	HySecurity	Strong Arm M50	6EB557-1616-260		STF	Good	12
STF-EEGA	Equipment	Gate - Barrier Arm, Employee Lot Entrance	HySecurity	Strong Arm 20	514041-1542-729		STF	Good	12
STF-EXGA	Equipment	Gate - Barrier Arm, Employee Lot Exit	HySecurity	Strong Arm 20	514041-1542-728		STF	Good	12
STF-SGE	Equipment	Gate - Swing, Bus Entry	HySecurity	Swing Riser Twin Post	D1F1F6-1542-724		STF	Good	12
STF-SGX	Equipment	Gate - Swing, Bus Exit	HySecurity	Swing Riser Twin Post	D1F1F6-1542-725		STF	Good	12
STF-M-GC	Equipment	Golf Cart - Facility Maint.	YAMAHA	YDRE3	JW2--301658		STF	Fair	2
STF-K-HPb	Equipment	Heat Pump, Window Unit - Security Kiosk	Friedrich	KEQ08A11			STF	Fair	2

Building Legend

A - Maintenance Ops
 B - Wash Inspection
 C - Fuel Island Complex

D - Warehouse Autoshop
 E - Training Complex
 GH - Guard House

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
STF-LGTP	Equipment	Lighting - Pole lights	Various	N/A			STF	Good	12
STF-PMEXLGHT	Equipment	Lighting, Exterior - Pole, Canopy & Wall for PM Only					STF	Good	12
STF-HML	Equipment	Lighting, High Mast - Bus Parking		HPS 1000			STF	Good	12
STF-LHDW	Equipment	Locking Hardware, Site					STF	Good	12
STF-INTER	Equipment	Outside Wash Areas and related 4 Interceptors	Various				STF	Fair	2
STF-M-SLSJ1	Equipment	Scissors lift, Skyjack	SKYJACK	SJ4632	70006654		STF	Fair	2
STF-SIGN	Equipment	Signage, Site					STF	Good	12
STF-SRKL	Equipment	Sprinkler Risers - Canopy x 3					STF	Fair	2

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ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Floor	Location ID	Condition	Life Expectancy from 2024 (in years)
THQ	Grounds	Transit Headquarters Site							
302-THQ	Building	302 Building					THQ		

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Floor	Location ID
THQ-1-120	Room	302 Station - Suite 120				1	THQ
THQ-1-AHR	Room	Air Handler Room - 1st Fl				1	THQ
THQ-1-KIT100	Room	Breakroom/Kitchen, 302 Station - Suite 120				1	THQ
THQ-1-KIT120	Room	Breakroom/Kitchen, Suite 100, MAG - 1st Fl				1	THQ
THQ-1-100CNF	Room	Conference Room, Suite 100, MAG, South				1	THQ
THQ-1-ERN	Room	Electrical Room, 1st Fl, North side - 1HA, 1LA				1	THQ
THQ-1-ERS	Room	Electrical Room, 1st Fl, South side - 1HB, 1LB				1	THQ
THQ-1-FACPRM	Room	Fire Alarm Control Panel Room				1	THQ
THQ-1-JCMag	Room	Janitor Closet, Suite 100, MAG				1	THQ
THQ-1-MSGLR	Room	Locker Room, MSG				1	THQ
THQ-1-Lobby	Room	Main Entrance Lobby				1	THQ
THQ-1-NMRR	Room	Restroom, Men's, 302 Station - Suite 120				1	THQ
THQ-1-SMRR	Room	Restroom, Men's, Suite 100, MAG - 1st FL South				1	THQ
THQ-1-NWRR	Room	Restroom, Women's, 302 Station - Suite 120				1	THQ
THQ-1-SWRR	Room	Restroom, Women's, Suite 100, MAG - 1st FL South				1	THQ
THQ-1-100	Room	Suite 100, MAG, South				1	THQ
THQ-2-AHR	Room	Air Handler Room - 2nd Fl				2	THQ
THQ-2-KIT	Room	Breakroom/Kitchen - 2nd Fl				2	THQ
THQ-2-JUNCNF	Room	Conference RM, Juniper, Suite 200 - West				2	THQ
THQ-2-CHPCNF	Room	Conference Room, Chaparral, Suite 200 - Southeast				2	THQ
THQ-2-CHOCNF	Room	Conference Room, Cholla, Suite 200 - Northeast				2	THQ
THQ-2-COTCNF	Room	Conference Room, Cottonwood, Suite 200 - North				2	THQ
THQ-2-IRNCNF	Room	Conference Room, Ironwood, Suite 200 - Northwest				2	THQ
THQ-2-OCTCNF	Room	Conference Room, Octillo, Suite 200 - North				2	THQ
THQ-2-PVCNF	Room	Conference Room, Palo Verde, Suite 200 - Southwest				2	THQ
THQ-2-SAGCNF	Room	Conference Room, Saguaro, Suite 200 - South End				2	THQ
THQ-2-ERS	Room	Electrical Room, 2nd Fl, South side - 2HB, 2LB				2	THQ
THQ-2-ERN	Room	Electrical Room, 2nd Fl, North side - 2HA, 2LA				2	THQ
THQ-2-ITRM	Room	Information Technology Room, Suite 200				2	THQ

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ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Floor	Location ID	Condition	Life Expectancy from 2024 (in years)
THQ-2-JCN	Room	Janitor Closet - 2nd Fl North				2	THQ		
THQ-2-JCS	Room	Janitor Closet - 2nd Fl South				2	THQ		
THQ-2-MRR	Room	Restroom, Men's - 2nd FL				2	THQ		
THQ-2-WRR	Room	Restroom, Women's - 2nd FL				2	THQ		
THQ-2-Suite200	Room	Suite 200, Tenant Space, MAG Regional Meeting Center				2	THQ		
THQ-3-AHR	Room	Air Handler Room - 3rd Fl				3	THQ		
THQ-3-KIT	Room	Breakroom/Kitchen - 3rd Fl				3	THQ		
THQ-3-MESCNF	Room	Conference Room, Mesquite, Suite 300 - East				3	THQ		
THQ-3-ERN	Room	Electrical Room, 3rd Fl, North side - 3HB, 3LB				3	THQ		
THQ-3-ERS	Room	Electrical Room, 3rd Fl, South side - 3HA, 3LA				3	THQ		
THQ-3-ITRM	Room	Information Technology Room, Suite 300				3	THQ		
THQ-3-JC	Room	Janitor Closet - 3rd Fl				3	THQ		
THQ-3-MRR	Room	Restroom, Men's - 3rd FL				3	THQ		
THQ-3-WRR	Room	Restroom, Women's - 3rd FL				3	THQ		
THQ-3-Suite300	Room	Suite 300, Tenant Space, MAG - 3rd Fl				3	THQ		
THQ-4-AHR	Room	Air Handler Room - 4th Fl				4	THQ		
THQ-4-KIT	Room	Breakroom/Kitchen - 4th Fl				4	THQ		
THQ-4-ECNF	Room	Conference Room, East				4	THQ		
THQ-4-ERN	Room	Electrical Room, 4th Fl, North side - 4HB, 4LB				4	THQ		
THQ-4-ERS	Room	Electrical Room, 4th Fl, South side - 4HA, 4LA				4	THQ		
THQ-4-ITCR	Room	Information Technology Room - Tenant				4	THQ		
THQ-4-JC	Room	Janitor Closet - 4th Fl				4	THQ		
THQ-4-MRR	Room	Restroom, Men's - 4th FL				4	THQ		
THQ-4-WRR	Room	Restroom, Women's - 4th FL				4	THQ		
THQ-4-Suite400	Room	Suite 400, Tenant Space, MAG - 4th Fl				4	THQ		
THQ-5-AHR	Room	Air Handler Room - 5th Fl				5	THQ		
THQ-5-KIT	Room	Breakroom/Kitchen - 5th Fl				5	THQ		
THQ-5-OCC	Room	Bus Operations Control Center-Southeast				5	THQ		
THQ-5-CNFA	Room	Conference Room A- Southwest				5	THQ		
THQ-5-CNFC	Room	Conference Room C- Northeast corner				5	THQ		
THQ-5-ERN	Room	Electrical Room, 5th Fl, North side - 5HB, 5LB				5	THQ		
THQ-5-ERS	Room	Electrical Room, 5th Fl, South side - 5HA, 5LA				5	THQ		
THQ-5-ITRM	Room	Information Technology Room				5	THQ		
THQ-5-JCN	Room	Janitor Closet - 5th Fl North				5	THQ		

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ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Floor	Location ID	Condition	Life Expectancy from 2024 (in years)
THQ-5-JCS	Room	Janitor Closet - 5th Fl South				5	THQ		
THQ-5-MR	Room	Meeting Room Northeast-Old Rail OCC				5	THQ		
THQ-5-MRR	Room	Restroom, Men's - 5th FL				5	THQ		
THQ-5-WRR	Room	Restroom, Women's - 5th FL				5	THQ		
THQ-5-NSWRM	Room	Switch Room, IT - 5th FL, North				5	THQ		
THQ-5-Suite500	Room	Tenant Space - 5th Fl				5	THQ		
THQ-6-AHR	Room	Air Handler Room - 6th Fl				6	THQ		
THQ-6-KIT	Room	Breakroom/Kitchen - 6th Fl				6	THQ		
THQ-6-CLab	Room	Computer Lab				6	THQ		
THQ-6-CNF1	Room	Conference Room 1				6	THQ		
THQ-6-CNF2	Room	Conference Room 2				6	THQ		
THQ-6-CNF3	Room	Conference Room 3				6	THQ		
THQ-6-ERN	Room	Electrical Room, 6th Fl, North side - 6HB, 6LB				6	THQ		
THQ-6-ERS	Room	Electrical Room, 6th Fl, South side - 6HA, 6LA				6	THQ		
THQ-6-ITRM	Room	Information Technology Room				6	THQ		
THQ-6-JC	Room	Janitor Closet - 6th Fl				6	THQ		
THQ-6-MR1	Room	Meeting Room 1				6	THQ		
THQ-6-MR2	Room	Meeting Room 2				6	THQ		
THQ-6-MR3	Room	Meeting Room 3				6	THQ		
THQ-6-MR4	Room	Meeting Room, North				6	THQ		
THQ-6-OFFS	Room	Offices, Administration, South				6	THQ		
THQ-6-Suite600	Room	Phoenix Business and Workforce Development Center				6	THQ		
THQ-6-MRR	Room	Restroom, Men's - 6th FL				6	THQ		
THQ-6-WRR	Room	Restroom, Women's - 6th FL				6	THQ		
THQ-7-AHR	Room	Air Handler Room - 7th Fl				7	THQ		
THQ-7-KIT	Room	Breakroom/Kitchen - 7th Fl				7	THQ		
THQ-7-CNFA	Room	Conference Room A, West (Large)				7	THQ		
THQ-7-ERN	Room	Electrical Room, 7th Fl, North side - 7HB, 7LB				7	THQ		
THQ-7-ERS	Room	Electrical Room, 7th Fl, South side - 7HA, 7LA				7	THQ		
THQ-7-ITRM	Room	Information Technology Room				7	THQ		
THQ-7-JC	Room	Janitor Closet - 7th Fl				7	THQ		
THQ-7-CNFE	Room	Meeting Room 715, East Side, Kimbrough				7	THQ		
THQ-7-MRR	Room	Restroom, Men's - 7th FL				7	THQ		
THQ-7-WRR	Room	Restroom, Women's - 7th FL				7	THQ		

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ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Floor	Location ID	Condition	Life Expectancy from 2024 (in years)
THQ-7-Suite700	Room	Tenant Space - 7th Fl				7	THQ		
THQ-8-AHR	Room	Air Handler Room - 8th Fl				8	THQ		
THQ-8-KIT	Room	Breakroom/Kitchen - 8th Fl				8	THQ		
THQ-8-ERN	Room	Electrical Room, 8th Fl, North side - 8HB, 8LB				8	THQ		
THQ-8-ERS	Room	Electrical Room, 8th Fl, South side - 8HA, 8LA				8	THQ		
THQ-8-ITRM	Room	Information Technology Room				8	THQ		
THQ-8-JCN	Room	Janitor Closet - 8th Fl North				8	THQ		
THQ-8-JCS	Room	Janitor Closet - 8th Fl South				8	THQ		
THQ-8-CNFA	Room	Meeting Room A, West side				8	THQ		
THQ-8-CNFB	Room	Meeting Room B, East side				8	THQ		
THQ-8-MRR	Room	Restroom, Men's - 8th FL				8	THQ		
THQ-8-WRR	Room	Restroom, Women's - 8th FL				8	THQ		
THQ-8-Suite800	Room	Tenant Space - 8th Fl				8	THQ		
THQ-9-AHR	Room	Air Handler Room - 9th Fl				9	THQ		
THQ-9-KIT	Room	Breakroom/Kitchenette - 9th Fl				9	THQ		
THQ-9-ERN	Room	Electrical Room, 9th Fl, North side - 9HB, 9LB				9	THQ		
THQ-9-ERS	Room	Electrical Room, 9th Fl, South side - 9HA, 9LA				9	THQ		
THQ-9-ITRM	Room	Information Technology Room				9	THQ		
THQ-9-JC	Room	Janitor Closet - 9th Fl				9	THQ		
THQ-9-CNFA	Room	Meeting Room A, East side				9	THQ		
THQ-9-CNFB	Room	Meeting Room B, East side				9	THQ		
THQ-9-CNFC	Room	Meeting Room C, North Side				9	THQ		
THQ-9-MRR	Room	Restroom, Men's - 9th FL				9	THQ		
THQ-9-WRR	Room	Restroom, Women's - 9th FL				9	THQ		
THQ-9-Suite900	Room	Tenant Space - 9th Fl				9	THQ		
THQ-10-CHRM	Room	Chilled Water System Room				10	THQ		
THQ-10-ElevMR	Room	Elevator Machine Room				10	THQ		
THQ-10-GENRM	Room	Emergency Generator Room				10	THQ		
THQ-10-Pent	Room	Penthouse				10	THQ		
THQ-P1-ER	Room	Electrical Room, P1 #104 North				P1	THQ		
THQ-P1-MAURM	Room	Make Up Air Unit Room #107				P1	THQ		
THQ-P1	Room	Parking P1				P1	THQ		
THQ-P1-BWPR	Room	Plumbing DWB Pump Systems Room 1 & 2				P1	THQ		
THQ-P2-FMShop	Room	FM Shop				P2	THQ		

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Floor	Location ID	Condition	Life Expectancy from 2024 (in years)
THQ-P2-MAURM	Room	Make Up Air Unit Room #208				P2	THQ		
THQ-P2	Room	Parking P2				P2	THQ		
THQ-P3-MAURM	Room	Make Up Air Unit Room #308				P3	THQ		
THQ-P3	Room	Parking P3				P3	THQ		
THQ-P4-FWPRM	Room	Fire Water Pump Room 403-4				P4	THQ		
THQ-P4-MAURM	Room	Make Up Air Unit Room #408				P4	THQ		
THQ-P4	Room	Parking P4				P4	THQ		
THQ-P4-STRM	Room	Storeroom #406, P4				P4	THQ		
THQ-P5-MAURM	Room	Make Up Air Unit Room #503				P5	THQ		
THQ-P5	Room	Parking P5				P5	THQ		
THQ-R-ELCab1	Room	Elevator Cab #1 NW				Roof	THQ		
THQ-R-ELCab2	Room	Elevator Cab #2 NE				Roof	THQ		
THQ-R-ELCab3	Room	Elevator Cab #3 SE				Roof	THQ		
THQ-R-ELCab4	Room	Elevator Cab #4 SW				Roof	THQ		
THQ-PG	Room	Parking Garage					THQ		
THQ-N-STW	Room	Stairwell, North					THQ		
THQ-S-STW	Room	Stairwell, South					THQ		

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Floor	Location ID	Condition	Life Expectancy from 2024 (in years)
THQ-1-ADA-ACC	Equipment	ADA accessible path to building				1	THQ	Good	12
THQ-1-AHU	Equipment	Air Handler Unit - 1st Floor	Carrier	ZI39ED3615921	00689T15921	1	THQ	Good	7
THQ-1-SES	Equipment	Electrical - Building Service Entrance Section Cabinets,	GE			1	THQ	Good	12
THQ-1-NACP	Equipment	Fire Alarm NAC Panel - 1st Floor	Notifier	NACP LCD-160		1	THQ	Good	12
THQ-1-FACP1	Equipment	Fire Alarm System and Control Panel	Notifier	NFS2-3030		1	THQ	Good	12
THQ-1-Info	Equipment	Information Sign - Directory				1	THQ	Good	12
THQ-1-Lgt	Equipment	Lighting, 1st Floor				1	THQ	Good	12
THQ-1-10HU	Equipment	Perimeter Heat Unit #10-110, Fan Powered - 1st Floor	Carrier			1	THQ	Fair	7
THQ-1-11HU	Equipment	Perimeter Heat Unit #1-111, Fan Powered - 1st Floor	Carrier			1	THQ	Fair	7
THQ-1-11HU	Equipment	Perimeter Heat Unit #11-120, Fan Powered - 1st Floor	Carrier			1	THQ	Fair	7
THQ-1-12HU	Equipment	Perimeter Heat Unit #12-121, Fan Powered - 1st Floor	Carrier			1	THQ	Fair	7
THQ-1-13HU	Equipment	Perimeter Heat Unit #13-123, Fan Powered - 1st Floor	Carrier			1	THQ	Fair	7
THQ-1-2HU	Equipment	Perimeter Heat Unit #2-112, Fan Powered - 1st Floor	Carrier			1	THQ	Fair	7

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Floor	Location ID	Condition	Life Expectancy from 2024 (in years)
THQ-1-3HU	Equipment	Perimeter Heat Unit #3-113, Fan Powered - 1st Floor	Carrier			1	THQ	Fair	7
THQ-1-4HU	Equipment	Perimeter Heat Unit #4-114, Fan Powered - 1st Floor	Carrier			1	THQ	Fair	7
THQ-1-5HU	Equipment	Perimeter Heat Unit #5-115, Fan Powered - 1st Floor	Carrier			1	THQ	Fair	7
THQ-1-6HU	Equipment	Perimeter Heat Unit #6-116, Fan Powered - 1st Floor	Carrier			1	THQ	Fair	7
THQ-1-7HU	Equipment	Perimeter Heat Unit #7-117, Fan Powered - 1st Floor	Carrier			1	THQ	Fair	7
THQ-1-8HU	Equipment	Perimeter Heat Unit #8-118, Fan Powered - 1st Floor	Carrier			1	THQ	Fair	7
THQ-1-9HU	Equipment	Perimeter Heat Unit #9-119, Fan Powered - 1st Floor	Carrier			1	THQ	Fair	7
THQ-1-ExtSign	Equipment	Signage at Building Exterior				1	THQ	Good	12
THQ-1-VAV	Equipment	Variable Air Volume Units, VAV 1st Floor	Carrier Module line	37 CN, CL		1	THQ	Fair	1
THQ-1-MWMTR	Equipment	Water Meters, Main Building				1	THQ	Fair	7
THQ-2-AHU	Equipment	Air Handler Unit - 2nd Floor	Carrier	ZI39ED2915920	00589T15920	2	THQ	Good	7
THQ-2-EDF	Equipment	Drinking Fountain, Electric - 2nd Floor	ELKAY			2	THQ	Fair	7
THQ-2-SMTR	Equipment	Electrical Sub Meter (MAG 2C)	E-mon			2	THQ	Good	7
THQ-2-NACP	Equipment	Fire Alarm NAC Panel - 2nd Floor	Notifier	NACP LCD-160		2	THQ	Good	12
THQ-2-Lgt	Equipment	Lighting, 2nd Flr	Custom			2	THQ	Fair	7
THQ-2-1HU	Equipment	Perimeter Heat Unit #1, Fan Powered - 2nd Floor	Carrier	5.8 KW RFHE0750XX		2	THQ	Fair	7
THQ-2-2HU	Equipment	Perimeter Heat Unit #2, Fan Powered - 2nd Floor	Carrier	5.8 KW RFHE0750XX		2	THQ	Fair	7
THQ-2-3HU	Equipment	Perimeter Heat Unit #3, Fan Powered - 2nd Floor	Carrier	4 KW RFHE0750XX		2	THQ	Fair	7
THQ-2-4HU	Equipment	Perimeter Heat Unit #4, Fan Powered - 2nd Floor	Carrier	4 KW RFHE0750XX		2	THQ	Fair	7
THQ-2-5HU	Equipment	Perimeter Heat Unit #5, Fan Powered - 2nd Floor	Carrier	5.8 KW RFHE0750XX		2	THQ	Fair	7
THQ-2-6HU	Equipment	Perimeter Heat Unit #6, Fan Powered - 2nd Floor	Carrier	4 KW RFHE0750XX		2	THQ	Fair	7
THQ-2-VAV	Equipment	Variable Air Volume Units, VAV 2ndFloor	Carrier Module line	37 CN, CL		2	THQ	Fair	1
THQ-2-NWH	Equipment	Water Heater - 2nd Floor North	AO Smith		1832111486455	2	THQ	Fair	2
THQ-2-SWH	Equipment	Water Heater - 2nd Floor South	AO Smith		1801108781061	2	THQ	Fair	2
THQ-3-AHU	Equipment	Air Handler Unit - 3rd Floor	Carrier	ZI39ED2915923	00589T15923	3	THQ	Good	7
THQ-3-EDF	Equipment	Drinking Fountain, Electric - 3rd Floor	ELKAY			3	THQ	Fair	7
THQ-3A-SMTR	Equipment	Electrical Sub Meter (MAG 3A)	E-mon			3	THQ	Good	7
THQ-3B-SMTR	Equipment	Electrical Sub Meter (MAG3B3D)	E-mon			3	THQ	Good	7
THQ-3-NACP	Equipment	Fire Alarm NAC Panel - 3rd Floor	Notifier	NACP LCD-160		3	THQ	Good	12
THQ-3-NACP3	Equipment	Fire Alarm NAC Panel, N. Electrical Room - 3rd Floor	Notifier	FCPS-24S8		3	THQ	Good	12
THQ-3-Lgt	Equipment	Lighting, 3rd Floor				3	THQ	Fair	7
THQ-3-1HU	Equipment	Perimeter Heat Unit #1, Fan Powered	Carrier	5.8 KW RFHE0750XX		3	THQ	Fair	7
THQ-3-2HU	Equipment	Perimeter Heat Unit #2, Fan Powered - 3rd Floor	Carrier	5.8 KW RFHE0750XX		3	THQ	Fair	7
THQ-3-3HU	Equipment	Perimeter Heat Unit #3, Fan Powered - 3rd Floor	Carrier			3	THQ	Fair	7

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ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Floor	Location ID	Condition	Life Expectancy from 2024 (in years)
THQ-3-4HU	Equipment	Perimeter Heat Unit #4, Fan Powered - 3rd Floor	Carrier	4 KW RFHE0750XX		3	THQ	Fair	7
THQ-3-5HU	Equipment	Perimeter Heat Unit #5, Fan Powered - 3rd Floor	Carrier	5.8 KW RFHE0750XX		3	THQ	Fair	7
THQ-3-6HU	Equipment	Perimeter Heat Unit #6, Fan Powered - 3rd Floor	Carrier	4 KW RFHE0750XX		3	THQ	Fair	7
THQ-3-VAV	Equipment	Variable Air Volume Units, VAV 3rd Floor	Carrier Module line	37 CN, CL		3	THQ	Fair	1
THQ-4-AHU	Equipment	Air Handler Unit - 4th Floor	Carrier	ZI39ED2915924	00589T15924	4	THQ	Good	7
THQ-4-EDF	Equipment	Drinking Fountain, Electric - 4th Floor	ELKAY			4	THQ	Fair	2
THQ-4-SMTR	Equipment	Electrical Sub Meter (MAG 4E)	E-mon	Class 2000		4	THQ	Good	7
THQ-4-NACP	Equipment	Fire Alarm NAC Panel - 4th Floor	Notifier	NACP LCD-160		4	THQ	Good	12
THQ-4-Lgt	Equipment	Lighting, 4th Flr	Various			4	THQ	Good	7
THQ-4-1HU	Equipment	Perimeter Heat Unit #1 - 4th Floor		5.8 KW RFHE0750XX		4	THQ	Good	7
THQ-4-2HU	Equipment	Perimeter Heat Unit #2 - 4th Floor	Carrier	5.8 KW RFHE0750XX		4	THQ	Good	7
THQ-4-3HU	Equipment	Perimeter Heat Unit #3 - 4th Floor	Carrier	4 KW RFHE0750XX		4	THQ	Good	7
THQ-4-4HU	Equipment	Perimeter Heat Unit #4 - 4th Floor	Carrier	4 KW RFHE0750XX		4	THQ	Good	7
THQ-4-5HU	Equipment	Perimeter Heat Unit #5 - 4th Floor	Carrier	5.8 KW RFHE0750XX		4	THQ	Good	7
THQ-4-6HU	Equipment	Perimeter Heat Unit #6 - 4th Floor	Carrier	4 KW RFHE0750XX		4	THQ	Good	7
THQ-4-VAV	Equipment	Variable Air Volume Units, VAV 4th Floor	Carrier Module line	37 CN, CL		4	THQ	Fair	1
THQ-5-CRAC1	Equipment	Air Conditioning Unit #1, 5th Floor N Computer Room	APC	AF6.0-A-KA-D	AFX*196237, XKO322005263	5	THQ	Fair	2
THQ-5-CRAC2	Equipment	Air Conditioning Unit #2, 5th Floor Computer Room SW	APC	AF6.0-A-KA-D	AFX*196237, XKO322005261	5	THQ	Fair	2
THQ-5-CRAC3	Equipment	Air Conditioning Unit #3, 5th Floor SE Computer Room	APC	AF6.0-A-KA-D	AFX*196237, XKO322005262	5	THQ	Fair	2
THQ-5-AHU	Equipment	Air Handler Unit, 5th Floor	Carrier	ZI39ED2915925	00589T15925	5	THQ	Good	7
THQ-5-Cube	Equipment	Cubical				5	THQ	Fair	2
THQ-5-EDF	Equipment	Drinking Fountain, Electric - 5th Floor	ELKAY			5	THQ	Fair	2
THQ-5-NACP	Equipment	Fire Alarm NAC Panel - 5th Floor	Notifier	NACP LCD-160		5	THQ	Good	12
THQ-5-Lgt	Equipment	Lighting, 5th Floor	Various			5	THQ	Fair	2
THQ-5-1HU	Equipment	Perimeter Heat Unit #1 - 5th Floor		5.8 KW RFHE0750XX		5	THQ	Good	7
THQ-5-2HU	Equipment	Perimeter Heat Unit #2 - 5th Floor		5.8 KW RFHE0750XX		5	THQ	Good	7
THQ-5-3HU	Equipment	Perimeter Heat Unit #3 - 5th Floor		4 KW RFHE0750XX		5	THQ	Good	7
THQ-5-4HU	Equipment	Perimeter Heat Unit #4 - 5th Floor	Carrier	4 KW RFHE0750XX		5	THQ	Good	7
THQ-5-5HU	Equipment	Perimeter Heat Unit #5 - 5th Floor	Carrier	5.8 KW RFHE0750XX		5	THQ	Good	7
THQ-5-6HU	Equipment	Perimeter Heat Unit #6 - 5th Floor	Carrier	4 KW RFHE0750XX		5	THQ	Good	7
THQ-5-PAFSS1	Equipment	Pre-Action Fire Suppression System - N.C.C Room 5th Floor	Tyco-Red-E	PFC4410		5	THQ	Good	7
THQ-5-NSWUPS	Equipment	UPS, 5th Floor N. SW Room	APC			5	THQ	Fair	2
THQ-5-UPS	Equipment	UPS1-Main Server Rm	Mitsubishi Electric	2033A-E303SU-2	03-GLCX61-03	5	THQ	Good	7
THQ-5-VAV	Equipment	Variable Air Volume Units, VAV 5th Floor	Carrier Module line	37 CN, CL		5	THQ	Fair	1

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ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Floor	Location ID	Condition	Life Expectancy from 2024 (in years)
THQ-5-NWH	Equipment	Water Heater - 5th Floor North	AO Smith	ETC-66200	KO7J21835	5	THQ	Fair	1
THQ-5-SWH	Equipment	Water Heater - 5th Floor South	AO Smith		1705104803335	5	THQ	Fair	1
THQ-6-AHU	Equipment	Air Handler Unit - 6th Floor	Carrier	ZI39ED2915926	00589T15926	6	THQ	Good	7
THQ-6-EDF	Equipment	Drinking Fountain, Electric - 6th Floor	ELKAY			6	THQ	Fair	2
THQ-6-1FPB	Equipment	Fan Powered Blower #609 - 6th Floor	Titus	DTFS		6	THQ	Fair	2
THQ-6-2FPB	Equipment	Fan Powered Blower #610 - 6th Floor	Titus	DTFS		6	THQ	Fair	2
THQ-6-3FPB	Equipment	Fan Powered Blower #611 - 6th Floor	Titus	DTFS		6	THQ	Fair	2
THQ-6-4FPB	Equipment	Fan Powered Blower #612 - 6th Floor	Titus	DTFS		6	THQ	Fair	2
THQ-6-5FPB	Equipment	Fan Powered Blower #613 - 6th Floor	Titus	DTFS		6	THQ	Fair	2
THQ-6-6FPB	Equipment	Fan Powered Blower #614 - 6th Floor	Titus	DTFS		6	THQ	Fair	2
THQ-6-NACP	Equipment	Fire Alarm NAC Panel - 6th Floor	Notifier	NACP LCD-160		6	THQ	Good	12
THQ-6-Lgt	Equipment	Lighting, 6th Floor	Various			6	THQ	Fair	7
THQ-6-1HU	Equipment	Perimeter Heat Unit #1 - 6th Floor	Carrier	5.8 KW RFHE0750XX		6	THQ	Fair	7
THQ-6-2HU	Equipment	Perimeter Heat Unit #2 - 6th Floor	Carrier	5.8 KW RFHE0750XX		6	THQ	Fair	7
THQ-6-3HU	Equipment	Perimeter Heat Unit #3 - 6th Floor	Carrier	4 KW RFHE0750XX		6	THQ	Fair	7
THQ-6-4HU	Equipment	Perimeter Heat Unit #4 - 6th Floor	Carrier	4 KW RFHE0750XX		6	THQ	Fair	7
THQ-6-5HU	Equipment	Perimeter Heat Unit #5 - 6th Floor	Carrier	5.8 KW RFHE0750XX		6	THQ	Fair	7
THQ-6-6HU	Equipment	Perimeter Heat Unit #6 - 6th Floor	Carrier	4 KW RFHE0750XX		6	THQ	Fair	7
THQ-6-VAV1	Equipment	Variable Air Volume Unit, VAV 601 - 6th Floor	Titus			6	THQ	Fair	1
THQ-6-VAV2	Equipment	Variable Air Volume Unit, VAV 602, 6th Floor	Titus			6	THQ	Fair	1
THQ-6-VAV3	Equipment	Variable Air Volume Unit, VAV 603 - 6th Floor	Titus			6	THQ	Fair	1
THQ-6-VAV4	Equipment	Variable Air Volume Unit, VAV 604 - 6th Floor	Titus			6	THQ	Fair	1
THQ-6-VAV5	Equipment	Variable Air Volume Unit, VAV 605 - 6th Floor	Titus			6	THQ	Fair	1
THQ-6-VAV6	Equipment	Variable Air Volume Unit, VAV 606 - 6th Floor	Titus			6	THQ	Fair	1
THQ-6-VAV7	Equipment	Variable Air Volume Unit, VAV 607 - 6th Floor	Titus			6	THQ	Fair	1
THQ-6-VAV8	Equipment	Variable Air Volume Unit, VAV 608 - 6th Floor	Titus			6	THQ	Fair	1
THQ-7-AHU	Equipment	Air Handler Unit - 7th Floor	Carrier	ZI39ED2915927	00589T15927	7	THQ	Good	7
THQ-7-EDFW	Equipment	Drinking Fountain, ADA, Electric - 7th Floor West Side	ELKAY			7	THQ	Fair	2
THQ-7-EDF	Equipment	Drinking Fountain, Electric - 7th Floor	ELKAY			7	THQ	Fair	2
THQ-7-NACP	Equipment	Fire Alarm NAC Panel - 7th Floor	Notifier	NACP LCD-160		7	THQ	Good	12
THQ-7-Lgt	Equipment	Lighting, 7th Floor				7	THQ	Fair	1
THQ-7-1HU	Equipment	Perimeter Heat Unit #1 - 7th Floor	Carrier	5.8 KW RFHE0750XX		7	THQ	Fair	1
THQ-7-2HU	Equipment	Perimeter Heat Unit #2 - 7th Floor	Carrier	5.8 KW RFHE0750XX		7	THQ	Fair	1
THQ-7-3HU	Equipment	Perimeter Heat Unit #3 - 7th Floor	Carrier	4 KW RFHE0750XX		7	THQ	Fair	1

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ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Floor	Location ID	Condition	Life Expectancy from 2024 (in years)
THQ-7-4HU	Equipment	Perimeter Heat Unit #4 - 7th Floor	Carrier	4 KW RFHE0750XX		7	THQ	Fair	1
THQ-7-5HU	Equipment	Perimeter Heat Unit #5 - 7th Floor	Carrier	5.8 KW RFHE0750XX		7	THQ	Fair	1
THQ-7-6HU	Equipment	Perimeter Heat Unit #6 - 7th Floor	Carrier	4 KW RFHE0750XX		7	THQ	Fair	1
THQ-7-VAV703A	Equipment	Variable Air Volume Unit, VAV 703A West Conference Room	Krueger			7	THQ	Fair	1
THQ-7-VAV703B	Equipment	Variable Air Volume Unit, VAV 703B West Conference Room	Krueger			7	THQ	Fair	1
THQ-7-VAV709	Equipment	Variable Air Volume Unit, VAV 709 Office NE - 7th Floor	Krueger			7	THQ	Fair	1
THQ-7-VAV710	Equipment	Variable Air Volume Unit, VAV 710 Office NE - 7th Floor	Krueger			7	THQ	Fair	1
THQ-7-VAV713	Equipment	Variable Air Volume Unit, VAV 713 Open Office East - 7th	Krueger			7	THQ	Fair	1
THQ-7-VAV714	Equipment	Variable Air Volume Unit, VAV 714 Conference Room East -	Krueger			7	THQ	Fair	1
THQ-7-VAV715	Equipment	Variable Air Volume Unit, VAV 715 Open Office South East -	Krueger			7	THQ	Fair	1
THQ-7-VAV717	Equipment	Variable Air Volume Unit, VAV 717 Offices South East - 7th	Krueger			7	THQ	Fair	1
THQ-7-VAV721	Equipment	Variable Air Volume Unit, VAV 721 Offices South - 7th Floor	Krueger			7	THQ	Fair	1
THQ-7-VAV724	Equipment	Variable Air Volume Unit, VAV 724 Office Southwest - 7th	Krueger			7	THQ	Fair	1
THQ-7-VAV725	Equipment	Variable Air Volume Unit, VAV 725 Office Southwest - 7th	Krueger			7	THQ	Fair	1
THQ-7-VAV726	Equipment	Variable Air Volume Unit, VAV 726 Kitchen - 7th Floor	Krueger			7	THQ	Fair	1
THQ-7-VAV727	Equipment	Variable Air Volume Unit, VAV 727 by Men's RR - 7th Floor	Krueger			7	THQ	Fair	1
THQ-7VAV729	Equipment	Variable Air Volume Unit, VAV 729 by Women's RR - 7th Floor	Krueger			7	THQ	Fair	1
THQ-7-KITWH	Equipment	Water Heater - 7th Floor Kitchen	RHEEM			7	THQ	Fair	2
THQ-8-AHU	Equipment	Air Handler Unit - 8th Floor	Carrier	ZI39ED2915928	00589T15928	8	THQ	Good	7
THQ-8-Cube	Equipment	Cubical				8	THQ	Fair	2
THQ-8-EDF	Equipment	Drinking Fountain, Electric - 8th Floor	ELKAY			8	THQ	Fair	2
THQ-8-NACP	Equipment	Fire Alarm NAC Panel - 8th Floor	Notifier	NACP LCD-160		8	THQ	Good	12
THQ-8-Lgt	Equipment	Lighting, 8th Flr	Various			8	THQ	Fair	7
THQ-8-1HU	Equipment	Perimeter Heat Unit #1 - 8th Floor	Carrier	5.8 KW RFHE0750XX		8	THQ	Good	7
THQ-8-2HU	Equipment	Perimeter Heat Unit #2 - 8th Floor	Carrier	5.8 KW RFHE0750XX		8	THQ	Good	7
THQ-8-3HU	Equipment	Perimeter Heat Unit #3 - 8th Floor	Carrier	4 KW RFHE0750XX		8	THQ	Good	7
THQ-8-4HU	Equipment	Perimeter Heat Unit #4 - 8th Floor	Carrier	4 KW RFHE0750XX		8	THQ	Good	7
THQ-8-5HU	Equipment	Perimeter Heat Unit #5 - 8th Floor	Carrier	5.8 KW RFHE0750XX		8	THQ	Good	7
THQ-8-6HU	Equipment	Perimeter Heat Unit #6 - 8th Floor	Carrier	4 KW RFHE0750XX		8	THQ	Good	7
THQ-89-SC	Equipment	Spiral Staircase between 8 & 9				8	THQ	Fair	7
THQ-8-VAV	Equipment	Variable Air Volume Units, VAV 8th Floor	Carrier Module line	37 CN, CL		8	THQ	Good	7
THQ-8-NWH	Equipment	Water Heater - 8th Floor North	AO Smith	DEN110-40 Converted to 480v	18411223530	8	THQ	Fair	2
THQ-8-SWH	Equipment	Water Heater - 8th Floor South	AO Smith	4TWA4060A3000AA	1702104541380	8	THQ	Fair	2
THQ-9-AHU	Equipment	Air Handler Unit - 9th Floor	Carrier	39ED29	0589T15922	9	THQ	Good	7

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ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Floor	Location ID	Condition	Life Expectancy from 2024 (in years)
THQ-9-Cube	Equipment	Cubical	Custom			9	THQ	Fair	2
THQ-9-EDF	Equipment	Drinking Fountain, Electric - 9th Floor	ELKAY			9	THQ	Fair	2
THQ-9-NACP	Equipment	Fire Alarm NAC Panel - 9th Floor	Notifier	NACP LCD-160		9	THQ	Good	12
THQ-9-Lgt	Equipment	Lighting, 9th Floor	Various			9	THQ	Good	7
THQ-9-1HU	Equipment	Perimeter Heat Unit #1 - 9th Floor	Carrier	5.8 KW RFHE0750XX		9	THQ	Fair	7
THQ-9-2HU	Equipment	Perimeter Heat Unit #2 - 9th Floor	Carrier	5.8 KW RFHE0750XX		9	THQ	Fair	7
THQ-9-3HU	Equipment	Perimeter Heat Unit #3 - 9th Floor	Carrier	4 KW RFHE0750XX		9	THQ	Fair	7
THQ-9-4HU	Equipment	Perimeter Heat Unit #4 - 9th Floor	Carrier	4 KW RFHE0750XX		9	THQ	Fair	7
THQ-9-5HU	Equipment	Perimeter Heat Unit #5 - 9th Floor	Carrier	5.8 KW RFHE0750XX		9	THQ	Fair	7
THQ-9-6HU	Equipment	Perimeter Heat Unit #6 - 9th Floor	Carrier	4 KW RFHE0750XX		9	THQ	Fair	7
THQ-9-VAV	Equipment	Variable Air Volume Units, VAV 9th Floor	Carrier Module line	39 CN, CL		9	THQ	Good	7
THQ-10-ACAH	Equipment	Air Handler Unit, Elevator Machine Room	Carrier	See Comments		10	THQ	Fair	7
THQ-10-BFP-CW	Equipment	Backflow Valve, Potable - PH Chiller Room	Watts	GB-141-7	A77841	10	THQ	Fair	7
THQ-10-CHWP1A	Equipment	Chilled Water Pump 1	Bell & Gossett	E-1510 5BD		10	THQ	Good	7
THQ-10-CHWP2A	Equipment	Chilled Water Pump 2	Bell & Gossett	E-1510 5BD		10	THQ	Good	7
THQ-10-CWP1	Equipment	Condenser Water Pump 1	Bell & Gossett	Size 1510 BF 8.5	C072853-02J80	10	THQ	Good	7
THQ-10-CWP2	Equipment	Condenser Water Pump 2	Bell & Gossett	Size 1510 BF 8.5	C072853-01J80	10	THQ	Good	7
THQ-10-ACU	Equipment	Condensing Unit, Elevator Machine Room	Carrier	See Comments		10	THQ	Good	7
THQ-10-CTWT	Equipment	Cooling Tower Water Treatment-10 FL penthouse	Custom		2019271648	10	THQ	Fair	7
THQ-10-ECS1	Equipment	Elevator Control System	GAL Manufacturing Corp	GALaxy IV Traction KEB		10	THQ	Fair	7
THQ-10-EFMRR	Equipment	Exhaust Fan, Men's Restroom	Greenheck	BSQ-18-20		10	THQ	Fair	7
THQ-10-EFLRR	Equipment	Exhaust Fan, Women's Restroom	Greenheck	SWB-18-20	89B08097	10	THQ	Fair	7
THQ-10-HX	Equipment	Flat Plate Heat Exchanger	Tranter	OXD 051L5HP-181		10	THQ	Fair	7
THQ-10-GEN	Equipment	Generator, Emergency - FLS	Kohler	PUY-A12NHA4	240701	10	THQ	Fair	7
THQ-10-Lgt	Equipment	Lighting, 10th Fl				10	THQ	Fair	7
THQ-10-NSEF	Equipment	Pressure Fan, North Stairwell - Penthouse 10th Floor	Greenheck	TAB-30-50	89B08097	10	THQ	Fair	7
THQ-10-ATS	Equipment	Switch, Automatic Transfer - Emergency Generator	Kohler	K-166341-0400	K26750	10	THQ	Fair	7
THQ-10-CHLR1	Equipment	Water Cooled Chiller Unit#1 (Left)	Arctic Cool Chiller Group	TT350G1-ST-F-O-N-C	173055260	10	THQ	Good	12
THQ-10-CHLR2	Equipment	Water Cooled Chiller Unit#2 (Middle)	Arctic Cool Chiller Group	TT350G1-ST-F-O-N-C	173055260	10	THQ	Good	12
THQ-10-CHLR3	Equipment	Water Cooled Chiller Unit#3 (Right End)	Arctic Cool Chiller Group	TT350G1-ST-F-O-N-C	173055260	10	THQ	Good	12
THQ-P1-COSEN	Equipment	CO System - P1	Various			P1	THQ	Good	12
THQ-P1-EP	Equipment	Electrical Panel- load centers P1 North	Various			P1	THQ	Fair	7
THQ-P1-EF	Equipment	Exhaust Fan, Garage - P1	Greenheck	SPNE 48-75		P1	THQ	Fair	7
THQ-P1-FSFP	Equipment	Fire Sprinkler Fire Pump Diesel Engine & Pump	Clarke GM Diesel, Inc.		226-6-97282	P1	THQ	Good	12

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Floor	Location ID	Condition	Life Expectancy from 2024 (in years)
THQ-P1-FSJP	Equipment	Fire Sprinkler Jockey Pump	Aurora		226-6-97282	P1	THQ	Good	12
THQ-P1-VGb	Equipment	Vehicle Rolling Grille - Garage	Cookson	EPG325		P1	THQ	New	
THQ-P1-Lgt	Equipment	Lighting, Parking Level 1	Various			P1	THQ	Good	12
THQ-P1-MAU	Equipment	Make-Up Air Unit Fan 1	Greenheck	SPNS 48-75		P1	THQ	Fair	7
THQ-P1-1BWP	Equipment	Plumbing Domestic Water Booster Sys Pump #1	Bell & Gossett	GB-131	2270991	P1	THQ	Fair	7
THQ-P1-2BWP	Equipment	Plumbing Domestic Water Booster Sys Pump #2	Bell & Gossett	GB-131	2271301	P1	THQ	Fair	7
THQ-P2-BFP-FWP	Equipment	Backflow Valve, Fire System - Parking Garage	Watts	909	242960	P2	THQ	Fair	7
THQ-P2-BFP-FLB	Equipment	Backflow Valve, Fire System, Filreline Bypass 3/4"	Watts	805Y	211348	P2	THQ	Fair	7
THQ-P2-BAS	Equipment	Building Automation System	America Auto-Matrix	SAGE MAX	4855	P2	THQ	Good	12
THQ-P2-ECOSEN	Equipment	CO System - P2 East	Various			P2	THQ	Fair	7
THQ-P2-WCOSEN	Equipment	CO System - P2 West	Various			P2	THQ	Fair	7
THQ-P2-EF	Equipment	Exhaust Fan, Garage - P2	Greenheck	SPNE 48-75		P2	THQ	Fair	7
THQ-P2-NACP	Equipment	Fire Alarm NAC Panel #10 - P2	Notifier	NACP LCD-160		P2	THQ	Good	12
THQ-P2-Lgt	Equipment	Lighting, Parking Level 2	Various			P2	THQ	Fair	7
THQ-P2-MAU	Equipment	Make-Up Air Unit Fan 2	Greenheck	SPNS 48-75		P2	THQ	Fair	7
THQ-P3-ECOSEN	Equipment	CO System - P3 East	Various			P3	THQ	Good	12
THQ-P3-WCOSEN	Equipment	CO System - P3 West	Various			P3	THQ	Good	12
THQ-P3-EF	Equipment	Exhaust Fan, Garage - P3	Greenheck	SPNE 48-75		P3	THQ	Fair	7
THQ-P3-NACP	Equipment	Fire Alarm NAC Panel #11 - P3	Notifier	NACP LCD-160		P3	THQ	Good	12
THQ-P3-Lgt	Equipment	Lighting, Parking Level 3	Various			P3	THQ	Good	12
THQ-P3-MAU	Equipment	Make-Up Air Unit Fan 3	Greenheck	SPNS 48-75		P3	THQ	Fair	7
THQ-P4-ECOSEN	Equipment	CO System - P4 East	Various			P4	THQ	Good	12
THQ-P4-WCOSEN	Equipment	CO System - P4 West	Various			P4	THQ	Good	12
THQ-P4-DW	Equipment	Dry Wells	Torrent Resources	Maxwell IV		P4	THQ	Fair	7
THQ-P4-EF	Equipment	Exhaust Fan, Garage - P4	Greenheck	SPNE 48-75		P4	THQ	Fair	7
THQ-P4-NACP	Equipment	Fire Alarm NAC Panel #12 - P4	Notifier	NACP LCD-160		P4	THQ	Good	12
THQ-P4-Lgt	Equipment	Lighting, Parking Level 4	Various			P4	THQ	Good	12
THQ-P4-MAU	Equipment	Make-Up Air Unit Fan 4	Greenheck	SPNS 48-75		P4	THQ	Fair	7
THQ-P5-COSEN	Equipment	CO System - P5	Various			P5	THQ	Good	12
THQ-P5-Lgt	Equipment	Lighting, Parking Level 5	Various			P5	THQ	Good	12
THQ-P5-MAU	Equipment	Make-Up Air Unit Fan 5	Greenheck	SPNS-36-30		P5	THQ	Fair	7
THQ-ADA-DC	Equipment	ADA Door closures					THQ	Fair	7
THQ-R-ERAC	Equipment	Air Conditioning Condenser Unit, Elevator Room	Various				THQ	Fair	7
THQ-RW-BFP-CT	Equipment	Backflow Valve, Potable - East & West Cooling Tower	Wilkins Zurn	975XLSEU	3055983		THQ	Fair	7

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ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Floor	Location ID	Condition	Life Expectancy from 2024 (in years)
THQ-Doors	Equipment	Complex Doors	Various				THQ	Fair	7
THQ-R-ECT	Equipment	Cooling Tower Cell - East	BAC	3379C-1	U084265501		THQ	Fair	2
THQ-R-WCT	Equipment	Cooling Tower Cell - West	BAC	3379C-2	U084265501		THQ	Fair	2
THQ-R-CTSF	Equipment	Cooling Tower Sand Filter	Lakos	STS-24-075-A-S	80011-001		THQ	Fair	2
THQ-R-DAS	Equipment	Davit & Anchor System for Window Washing Equipment					THQ	Good	7
THQ-E1	Equipment	Elevator Cab #1, Northwest	OTIS				THQ	Good	7
THQ-E2	Equipment	Elevator Cab #2, Northeast	OTIS				THQ	Good	7
THQ-E3	Equipment	Elevator Cab #3, Southeast	OTIS				THQ	Good	7
THQ-E4	Equipment	Elevator Cab #4, Southwest	OTIS				THQ	Good	7
THQ-SHELL	Equipment	Exterior Shell, Main Building					THQ	Good	7
THQ-WIN	Equipment	Exterior Windows					THQ	Good	7
THQ-FX	Equipment	Fire Extinguishers, Portable - FLS					THQ	Good	2
THQ-FS	Equipment	Fire Sprinklers					THQ	Good	7
THQ-R-HX	Equipment	Flat Plate Heat Exchanger	Tranter	GXD-051-L-5-HP-181	ST 240		THQ	Fair	7
THQ-FOUND	Equipment	Foundation, Main Building					THQ	Good	7
THQ-ExtLgt	Equipment	Lighting, Exterior	MaxLight	RR93440W			THQ	Good	7
THQ-N-STPFAN	Equipment	Pressure Fan, North Stairwell	Greenheck	TAB-30-50			THQ	Fair	7
THQ-S-STPFAN	Equipment	Pressure Fan, South Stairwell	Greenheck	TAB-30-50	89B08097		THQ	Fair	7
THQ-R	Equipment	Roof	Carlisle EPDM ballasted				THQ	Good	17
THQ-Glaz	Equipment	Windows, Glazing	Custom				THQ	Good	7

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
WTF	Gounds	West Transit Facility							
WTF-A	Builing	Maintenance & Facilities Building				A	WTF		
WTF-B	Builing	Administration Building				B	WTF		
WTF-C	Builing	Wash & Inspection Building				C	WTF		
WTF-D	Builing	Fuel Island Complex				D	WTF		
WTF-E	Builing	Security Kiosk				E	WTF		

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID
WTF-A-ACRM	Room	Air Compressor Room - A Bldg				A	WTF
WTF-A-BR	Room	Battery Room				A	WTF
WTF-A-SHOP	Room	Bay Area, Maintenance Shop - A Bldg				A	WTF
WTF-A-KIT	Room	Breakroom/Kitchen - A Bldg				A	WTF
WTF-A-CNF	Room	Conference Room - A Bldg				A	WTF
WTF-A-SES	Room	Electrical Room, Service Entrance Section - A Bldg				A	WTF
WTF-A-FM	Room	Facility Maintenance Shop - A Bldg				A	WTF
WTF-A2-ITRM	Room	IT/Telco Room FL2 - A Bldg				A	WTF
WTF-A1-ITRM	Room	IT/Telco Room, FL1 - A Bldg				A	WTF
WTF-A-JC	Room	Janitor Closet - A Bldg				A	WTF
WTF-A-MLR	Room	Locker Room, Men's - A Bldg.				A	WTF
WTF-A-WLR	Room	Locker Room, Women's - A Bldg				A	WTF
WTF-A2-EMZZ	Room	Mezzanine, East - A Bldg				A	WTF
WTF-A2-WMEZZ	Room	Mezzanine, West - A Bldg				A	WTF
WTF-A-NRVS	Room	Non Revenue Vehicle Shop - A Bldg				A	WTF
WTF-A-OFF	Room	Offices - A Bldg				A	WTF
WTF-A-PTRM	Room	Parts Room - A Bldg				A	WTF
WTF-A-PIT	Room	Pit Area - A Bldg				A	WTF
WTF-A-RR3	Room	Restroom - Ops Admin Area - A Bldg				A	WTF
WTF-A-RR1	Room	Restroom, by High Speed Doors - A Bldg				A	WTF
WTF-A-RR2	Room	Restroom, by bay 6 - A Bldg				A	WTF
WTF-A-MLRR	Room	Restroom, Men's Locker Room - A Bldg				A	WTF
WTF-A-TRM	Room	Training Room - A Bldg				A	WTF
WTF-B-ABR	Room	Breakroom/Kitchen, Admin. Area - B Bldg				B	WTF
WTF-B-OBR	Room	Breakroom/Kitchen, Operator's Area - B Bldg				B	WTF
WTF-B-CNF	Room	Conference Room - B Bldg				B	WTF
WTF-B-Dsp	Room	Dispatch Area				B	WTF

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WTF-B-ITRMW	Room	IT Room, MDF, City, West - B Bldg				B	WTF		
WTF-B-ITRME	Room	IT Room, MDF, Contractor, East - B Bldg				B	WTF		
WTF-B-JC	Room	Janitor Closet - B Bldg				B	WTF		
WTF-B-LIB	Room	Library - - Operators Section				B	WTF		
WTF-B-TV	Room	Media/TV Room - Operators Section				B	WTF		
WTF-B-OFF	Room	Offices - B Bldg				B	WTF		
WTF-B-OPS	Room	Operators Area - B Bldg				B	WTF		
WTF-B-MRR	Room	Restroom, Admin Men's - B Bldg				B	WTF		
WTF-B-WRR	Room	Restroom, Admin Women's - B Bldg				B	WTF		
WTF-B-DRR	Room	Restroom, Dispatch - B Bldg				B	WTF		
WTF-B-TRR	Room	Restroom, Drug Testing - B Bldg				B	WTF		
WTF-B-OPSMRR	Room	Restroom, Operator's Men's - B Bldg				B	WTF		
WTF-B-OPSWRR	Room	Restroom, Operator's Women's - B Bldg				B	WTF		
WTF-B-RR	Room	Restroom, Visitor's Lobby				B	WTF		
WTF-A-WLRR	Room	Restroom, Women's Locker Room - A Bldg				B	WTF		
WTF-B-SO	Room	Security Office				B	WTF		
WTF-B-SR2	Room	Sleep Room, Center - Operators Section				B	WTF		
WTF-B-SR1	Room	Sleep Room, North - Operators Section				B	WTF		
WTF-B-SR3	Room	Sleep Room, South - Operators Section				B	WTF		
WTF-B-TRN	Room	Training Room - B Bldg				B	WTF		
WTF-C-Dyno	Room	Dyno Room - C Bldg				C	WTF		
WTF-C-ElecRM	Room	Electrical Room - C Bldg				C	WTF		
WTF-C-FMS	Room	Facility Maintenance Shop - C Bldg				C	WTF		
WTF-C-PIT	Room	Inspection Pit, South - C Bldg				C	WTF		
WTF-C-MECHRm	Room	Mechanical Room - C Bldg				C	WTF		
WTF-C-BWL1N	Room	North Lane - Bldg C				C	WTF		
WTF-C-BWL2S	Room	South Lane - Bldg C				C	WTF		
WTF-C-UCW	Room	Steam Bay - C Bldg				C	WTF		
WTF-D-BR	Room	Breakroom/Kitchen- D Bldg				D	WTF		
WTF-D-ElecRm	Room	Electrical Room - D Bldg				D	WTF		
WTF-D-FC	Room	Fare Collections - D Bldg				D	WTF		
WTF-D-ITRM	Room	IT Room. IDF, City, North side - B Bldg				D	WTF		
WTF-D-JC	Room	Janitor Closet - D Bldg				D	WTF		
WTF-D-SO	Room	Office, Supervisor's - D Bldg				D	WTF		
WTF-D-MRR	Room	Restroom, Men's - D Bldg				D	WTF		
WTF-D-WRR	Room	Restroom, Women's - D Bldg				D	WTF		

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WTF-E-RR	Room	Restroom, Security Kiosk				E	WTF		

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WTF-A-BFP1	Equipment	Backflow Valve, Potable - between bays 6 & 7	Watts	009M2	A18462	A	WTF	Fair	12
WTF-A2-BFP2	Equipment	Backflow Valve, Potable - NE Mezzanine	Watts	009M2	A003306	A	WTF	Fair	12
WTF-A-BFP2	Equipment	Backflow Valve, Potable - SW Hall Bldg A	Watts	009M3	A02127	A	WTF	Fair	12
WTF-A2-BFP1	Equipment	Backflow Valve, Potable 2in Parts W. Mezzanine	Watts	009M2	A003395	A	WTF	Fair	12
WTF-A-BSAN	Equipment	Belt Sander - Facility Maint. Shop	Powermatic	BD31A	7071045	A	WTF	Good	8
WTF-A-BAS	Equipment	Building Automation System, Johnson Metasys	JOHNSON	Metasys		A	WTF	Fair	0
WTF-A-CT	Equipment	Ceiling Tiles	USG			A	WTF	Fair	2
WTF-A-FLC	Equipment	Charging Station, Forklift - Parts Room - TOC	General Battery, Corp.	MX3-18-1050	FE11445	A	WTF	Fair	2
WTF-A-ACOMP	Equipment	Compressor, Air - 3 Stage Compressor Room	Champion	CABRSA-R SERIES	D041002/D041005/D041001	A	WTF	Fair	12
WTF-A2-CU1	Equipment	Condensing Unit #1, Heat Pump - Data Room	Daikin Industries, Ltd.	RXS24LVJU	E017463	A	WTF	Good	12
WTF-A-HP17	Equipment	Condensing Unit #17, Heat Pump - Fac Maint. Shop	Carrier	25HBC324A003	0511E14854	A	WTF	Good	12
WTF-A-CHB1	Equipment	Crane Bridge - Cap. 500 lbs	Budget	BEH5016	338844	A	WTF	Fair	7
WTF-A-CHB3	Equipment	Crane Bridge- Cap. 1000 lbs Tire Shop	Budget	USA50	07EU091	A	WTF	Fair	7
WTF-A-CHB2	Equipment	Crane, Hoist - Cap. 1000 lbs Bay 1	Budget	BEH5016	343197	A	WTF	Fair	7
WTF-A-OFC1	Equipment	Crusher, Oil Filter - Bay 16/17 facing North	Oberg	P200	24742	A	WTF	Fair	7
WTF-A-OFC2	Equipment	Crusher, Oil Filter - Bay 16/17 facing South	Oberg	P200	24738	A	WTF	Fair	7
WTF-A-OFC3	Equipment	Crusher, Oil Filter - Bay 3/4	Oberg	P200	24697	A	WTF	Fair	7
WTF-A-HSD2	Equipment	Door, High Speed - North Side	Albany	3000-C01244	S10877161	A	WTF	Fair	7
WTF-A-HSD1b	Equipment	Door, High Speed - South Side	Albany	RR3000	VN01230790278	A	WTF	Good	14
WTF-A-OHD24	Equipment	Door, Overhead - Auto Shop	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OHD1	Equipment	Door, Overhead - Bay 1	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OHD10	Equipment	Door, Overhead - Bay 10	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OHD11	Equipment	Door, Overhead - Bay 11	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OHD12	Equipment	Door, Overhead - Bay 12	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OHD13	Equipment	Door, Overhead - Bay 13	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OHD14	Equipment	Door, Overhead - Bay 14	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OHD15	Equipment	Door, Overhead - Bay 15	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OHD16	Equipment	Door, Overhead - Bay 16	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OHD17	Equipment	Door, Overhead - Bay 17	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OHD18	Equipment	Door, Overhead - Bay 18	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OHD19	Equipment	Door, Overhead - Bay 19	OVERHEAD DOOR	AA639020		A	WTF	Fair	7

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WTF-A-OHD2	Equipment	Door, Overhead - Bay 2	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OB20	Equipment	Door, Overhead - Bay 20	OVERHEAD DOOR			A	WTF	Fair	7
WTF-A-OHD-21	Equipment	Door, Overhead - Bay 21	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OHD22	Equipment	Door, Overhead - Bay 22	OVERHEAD DOOR	AA639020	DRMKR29	A	WTF	Fair	7
WTF-A-OB22C	Equipment	Door, Overhead - Bay 22 small door	OVERHEAD DOOR	AA639020	DRMKR3	A	WTF	Fair	7
WTF-A-OHD3	Equipment	Door, Overhead - Bay 3	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OHD4	Equipment	Door, Overhead - Bay 4	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OHD5	Equipment	Door, Overhead - Bay 5	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OHD6	Equipment	Door, Overhead - Bay 6	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OHD7	Equipment	Door, Overhead - Bay 7	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OHD8	Equipment	Door, Overhead - Bay 8	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OHD9	Equipment	Door, Overhead - Bay 9	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OHD27	Equipment	Door, Overhead - Facility Maint. Shop	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OB20B	Equipment	Door, Overhead - Inside Bay 20	OVERHEAD DOOR	AA69020	DRMKR40	A	WTF	Fair	7
WTF-A-OHD21B	Equipment	Door, Overhead - Inside Bay 21	OVERHEAD DOOR	AA639020	DRMKR38	A	WTF	Fair	7
WTF-A-OHD22B	Equipment	Door, Overhead - Inside Bay 22	OVERHEAD DOOR	AA639020	DRMKR39	A	WTF	Fair	7
WTF-A-OHD25	Equipment	Door, Overhead - Parts Receiving	OVERHEAD DOOR	AA639020	DRMKR5	A	WTF	Fair	7
WTF-A-OHD23	Equipment	Door, Overhead - Training Room	OVERHEAD DOOR	AA639020		A	WTF	Fair	7
WTF-A-OHD26	Equipment	Door, Roll Up - Parts Dept. entry from Shop	OVERHEAD DOOR	AA639020	DRMKR4	A	WTF	Fair	7
WTF-A-PRD	Equipment	Door, Roll Up - Part's Window	OVERHEAD DOOR	AA639020	DRMKR36	A	WTF	Fair	7
WTF-A-DPRSS	Equipment	Drill Press -Facility Maint. Shop	Clausing	1673	15537532	A	WTF	Good	7
WTF-A-EDF1	Equipment	Drinking Fountain - Break Room	ELKAY	LZFS8-1B	70216418	A	WTF	Fair	2
WTF-A-EDF2	Equipment	Drinking Fountain - Break Room	ELKAY	LZFS8-1B	70216423	A	WTF	Fair	2
WTF-A-EDF5	Equipment	Drinking Fountain - East Maint.	ELKAY	LZFS8-1B	071024A51	A	WTF	Fair	2
WTF-A-EDF3	Equipment	Drinking Fountain - North Maint.	ELKAY	LZFS8-1B	71024854	A	WTF	Fair	2
WTF-A-EDF4	Equipment	Drinking Fountain - Outside Training Room	ELKAY	LZFS8-1B	71024855	A	WTF	Fair	2
WTF-A-ELEC	Equipment	Electrical System - A Bldg.	Siemens-Main gear	Various		A	WTF	Fair	7
WTF-A-EWS	Equipment	Emergency Wash Stations - Eyewash & Shower (x4)				A	WTF	Fair	2
WTF-A2W-EF1	Equipment	Exhaust Fan #1 - W Mezzanine	Twin City Fan	200-TSL	D07232277-1-1	A	WTF	Fair	7
WTF-A-EFM10	Equipment	Exhaust Fan #10 -Methane (Tire Shop)	Twin City Fan	18B4-TCTA	D07-232277-7-1	A	WTF	Fair	7
WTF-A-EFM11	Equipment	Exhaust Fan #11 - Methane (by south bay roll up door)	Twin City Fan	24B5-TCTA	D07-232277-5-	A	WTF	Fair	7
WTF-A-WREF12	Equipment	Exhaust Fan #12 - West Restroom		T250L		A	WTF	Fair	7
WTF-A-EF13	Equipment	Exhaust Fan #13 - East Restroom		T250C		A	WTF	Fair	7
WTF-A-EFM2	Equipment	Exhaust Fan #2 - Methane	Twin City Fan	28B4-TCTA	D07-232277-2-1	A	WTF	Fair	7
WTF-A-EFM3	Equipment	Exhaust Fan #3 - Methane	Twin City Fan	28B4-TCTA	D07-232277-1-2	A	WTF	Fair	7
WTF-A-EFM4	Equipment	Exhaust Fan #4 - Methane (Parts RM)	Twin City Fan	32B4-TCTA	D07-232277-3	A	WTF	Fair	7

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WTF-A-EFM5	Equipment	Exhaust Fan #5 - Methane (Bays 6 & 7)	Twin City Fan	32B4-TCTA	D07-232277-3	A	WTF	Fair	7
WTF-A-EFM6	Equipment	Exhaust Fan #6 - Methane (by North bay Roll up door)	Twin City Fan	32B4-TCTA	D07-232277-3	A	WTF	Fair	7
WTF-A-EFM7	Equipment	Exhaust Fan #7 - Methane (near City Office)	Twin City Fan	32B4-TCTA	D07-2322774-1	A	WTF	Fair	7
WTF-A-EFM8	Equipment	Exhaust Fan #8 - Methane (Body Shop)	Twin City Fan	24B5-TCTA	D07-232277-5-1	A	WTF	Fair	7
WTF-A-EFM9	Equipment	Exhaust Fan #9 - Methane (Body Shop)	Twin City Fan	18B6-TCTA	D07-232277-6-1	A	WTF	Fair	7
WTF-A-EFV3	Equipment	Exhaust Fan, Vehicle - Bay 3	Maxireel	D141-X-4N4F2X	B 3	A	WTF	Good	7
WTF-A-EFV4	Equipment	Exhaust Fan, Vehicle - Bay 4	Maxireel	D141-X-4N4F2X	B 4	A	WTF	Fair	7
WTF-A-EFV5	Equipment	Exhaust Fan, Vehicle - Bay 5	Maxireel	D141-X-4N4F2X	B 5	A	WTF	Fair	7
WTF-A-EFV6	Equipment	Exhaust Fan, Vehicle - Bay 6	Maxireel	D141-X-4N4F2X	B 6	A	WTF	Fair	7
WTF-A-EFV7	Equipment	Exhaust Fan, Vehicle - Bay 7	Maxireel	D141-X-4N4F2X	B7	A	WTF	Fair	7
WTF-A-EFV8	Equipment	Exhaust Fan, Vehicle - Bay 8	Maxireel	D141-X-4N4F2X	B 8	A	WTF	Fair	7
WTF-A-EFV9	Equipment	Exhaust Fan, Vehicle - Bay 9	Maxireel	D141-X-4N4F2X	B9	A	WTF	Fair	7
WTF-A-VEF22	Equipment	Exhaust Fan, Vehicle - (Rm. 121C)	Maxireel	D141-X-4N4F2X	B22	A	WTF	Fair	7
WTF-A-EFV1	Equipment	Exhaust Fan, Vehicle- Bay 1	Maxireel	D141-X-4N4F2X	B1	A	WTF	Fair	7
WTF-A-EFV10	Equipment	Exhaust Fan, Vehicle- Bay 10	Maxireel	D141-X-4N4F2X	B10	A	WTF	Fair	7
WTF-A-EFV11	Equipment	Exhaust Fan, Vehicle- Bay 11	Maxireel	D141-X-4N4F2X	B11	A	WTF	Fair	7
WTF-A-EFV12	Equipment	Exhaust Fan, Vehicle- Bay 12	Maxireel	D141-X-4N4F2X	B12	A	WTF	Fair	7
WTF-A-EFV13	Equipment	Exhaust Fan, Vehicle- Bay 13	Maxireel	D141-X-4N4F2X	B13	A	WTF	Fair	7
WTF-A-EFV14	Equipment	Exhaust Fan, Vehicle- Bay 14	Maxireel	D141-X-4N4F2X	B14	A	WTF	Fair	7
WTF-A-EFV15	Equipment	Exhaust Fan, Vehicle- Bay 15	Maxireel	D141-X-4N4F2X	B15	A	WTF	Fair	7
WTF-A-EFV16	Equipment	Exhaust Fan, Vehicle- Bay 16	Maxireel	D141-X-4N4F2X	B16	A	WTF	Fair	7
WTF-A-EFV17	Equipment	Exhaust Fan, Vehicle- Bay 17	Maxireel	D141-X-4N4F2X	B17	A	WTF	Fair	7
WTF-A-EFV18	Equipment	Exhaust Fan, Vehicle- Bay 18	Maxireel	D141-X-4N4F2X	B18	A	WTF	Fair	7
WTF-A-EFV19	Equipment	Exhaust Fan, Vehicle- Bay 19	Maxireel	D141-X-4N4F2X	B19	A	WTF	Fair	7
WTF-A-EFV2	Equipment	Exhaust Fan, Vehicle- Bay 2	Maxireel	D141-X-4N4F2X	B 2	A	WTF	Fair	7
WTF-A-VEF20	Equipment	Exhaust Fan, Vehicle- Bay 21	Maxireel	D141-X-4N4F2X	B20	A	WTF	Fair	7
WTF-A-VEF21	Equipment	Exhaust Fan, Vehicle- Bay 22	Maxireel	D141-X-4N4F2X	B21	A	WTF	Fair	7
WTF-A2W-FCU1b	Equipment	Fan Coil Unit #1, Heat Pump - Data Room	Daikin Industries, Ltd.	FTXS24LVJU	E028638	A	WTF	Good	12
WTF-A-FCU17	Equipment	Fan Coil Unit #17, Heat Pump - Fac. Maint. Shop	Carrier	FX4DNF025000	1511A69227	A	WTF	Good	12
WTF-A-SPKR	Equipment	Fire Sprinkler System-Bldg. A	Various Components			A	WTF	Fair	7
WTF-FMCGC	Equipment	Golf Car, Facility Maintenance	YAMAHA	DR2E23 AC-L	JOJ-604787	A	WTF	Good	9
WTF-SecGC	Equipment	Golf Car, Security	YAMAHA	DR2E23 AC-L	JOJ-604192	A	WTF	Good	9
WTF-A-Grind	Equipment	Grinder	Baldor	M36C-97662441-1	X0708	A	WTF	Good	7
WTF-A2-HP1b	Equipment	Heat Pump #1 - City Offices	Carrier	50HCQA07A2A60A0A0	1519P39893	A	WTF	Good	12
WTF-A2-HP2b	Equipment	Heat Pump #2 - Restrooms & Locker Room's	Carrier	50HCQD12A2A6-0A0A0	0619D13011	A	WTF	Good	12
WTF-A2-HP3b	Equipment	Heat Pump #3 - Training Room & Office	Carrier	50HCQD12A2A60A0A0	0719P13222	A	WTF	Good	12

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WTF-A2-HP4b	Equipment	Heat Pump #4 - Parts Office & Mech. Lounge	Carrier	50HCQ009A2A6A0	1419P39073	A	WTF	Good	12
WTF-A-INT	Equipment	Interceptor, oil				A	WTF	Fair	7
WTF-A-LIFT4	Equipment	Lift, Axle, 2 Post, 60K lbs. Bay 4	Rotary	MC2-460VR	XKW06K0006	A	WTF	Fair	3
WTF-A-LIFT5	Equipment	Lift, Axle, 2 Post, 60K lbs. Bay 5	Rotary	MC2-460VR	XKW06K0004	A	WTF	Fair	3
WTF-A-LIFT6	Equipment	Lift, Axle, 2 Post, 60K lbs. Bay 6	Rotary	MC2-460VR	XKW06K0003	A	WTF	Fair	3
WTF-A-LIFT7	Equipment	Lift, Axle, 2 Post, 60K lbs. Bay 7	Rotary	MC2-460VR	XKW06K0001	A	WTF	Fair	3
WTF-A-LIFT8	Equipment	Lift, Axle, 2 Post, 60K lbs. Bay 8	Rotary	MC2-460VR	XKW06K0002	A	WTF	Fair	3
WTF-A-LIFT9	Equipment	Lift, Axle, 2 Post, 60K lbs. Bay 9	Rotary	MC2-460VR	XKW06K0005	A	WTF	Fair	3
WTF-A-LIFT14	Equipment	Lift, Axle, 3 Post, 90K lbs. Bay 14	Rotary	MC3-460VR	PH006K0001	A	WTF	Fair	3
WTF-A-LIFT3	Equipment	Lift, Axle, 3 Posts, 75K lbs. Bay 3	Rotary	RU703Q-903	XXX06K0018	A	WTF	Poor	0
WTF-A-LIFTM1	Equipment	Lift, Column - Mobile (4), 60Klbs. Bay 12	Rotary	HP415-100	HAC07I0003	A	WTF	Replace	0
WTF-A-LIFTM2	Equipment	Lift, Column - Mobile (6) 90Klbs. Bay 13	Rotary	HP615-100	HAF07I0003	A	WTF	Replace	0
WTF-A-MCLift351	Equipment	Lift, Wireless Mobile Column, Blue #351	Stertil Koni	ST-1085 FWA-US	244G-625351	A	WTF	New	15
WTF-A-MCLift354	Equipment	Lift, Wireless Mobile Column, Blue #354	Stertil Koni	ST-1085 FWA-US	244G-625354	A	WTF	New	15
WTF-A-MCLift358	Equipment	Lift, Wireless Mobile Column, Blue #358	Stertil Koni	ST-1085 FWA-US	244G-625358	A	WTF	New	15
WTF-A-MCLift359	Equipment	Lift, Wireless Mobile Column, Blue #359	Stertil Koni	ST-1085 FWA-US	244G-625359	A	WTF	New	15
WTF-A-MCLift364	Equipment	Lift, Wireless Mobile Column, Green #364	Stertil Koni	ST-1085 FWA-US	244G-625364	A	WTF	New	15
WTF-A-MCLift383	Equipment	Lift, Wireless Mobile Column, Green #383	Stertil Koni	ST-1085 FWA-US	244G-625383	A	WTF	New	15
WTF-A-MCLift394	Equipment	Lift, Wireless Mobile Column, Green #394	Stertil Koni	ST-1085 FWA-US	244G-625394	A	WTF	New	15
WTF-A-MCLift398	Equipment	Lift, Wireless Mobile Column, Green #398	Stertil Koni	ST-1085 FWA-US	244G-625398	A	WTF	New	15
WTF-A-MCLift405	Equipment	Lift, Wireless Mobile Column, Yellow #405	Stertil Koni	ST-1085 FWA-US	244G-625405	A	WTF	New	15
WTF-A-MCLift410	Equipment	Lift, Wireless Mobile Column, Yellow #410	Stertil Koni	ST-1085 FWA-US	244G-625410	A	WTF	New	15
WTF-A-MCLift422	Equipment	Lift, Wireless Mobile Column, Yellow #422	Stertil Koni	ST-1085 FWA-US	244G-625422	A	WTF	New	15
WTF-A-MCLift423	Equipment	Lift, Wireless Mobile Column, Yellow #423	Stertil Koni	ST-1085 FWA-US	244G-625423	A	WTF	New	15
WTF-A-MCLift424	Equipment	Lift, Wireless Mobile Column, Orange #424	Stertil Koni	ST-1085 FWA-US	244G-625424	A	WTF	New	15
WTF-A-MCLift425	Equipment	Lift, Wireless Mobile Column, Orange #425	Stertil Koni	ST-1085 FWA-US	244G-625425	A	WTF	New	15
WTF-A-MCLift426	Equipment	Lift, Wireless Mobile Column, Orange #426	Stertil Koni	ST-1085 FWA-US	244G-625426	A	WTF	New	15
WTF-A-MCLift427	Equipment	Lift, Wireless Mobile Column, Orange #427	Stertil Koni	ST-1085 FWA-US	244G-625427	A	WTF	New	15
WTF-A-PL	Equipment	Lift, Platform - LHS Series. Pit	SOUTHWORTH	LSH Series		A	WTF	Fair	7
WTF-A-LIFTNR	Equipment	Lift, Twin Posts, Drive 12,000 lbs Non Rev Bay	Rotary	SL212N510	RBM04H0014	A	WTF	Fair	7
WTF-A-ELEVPR	Equipment	Lift, Vertical Recip. - Parts RM	PFLOW INDUSTRIES	D-SERIES	11882	A	WTF	Fair	7
WTF-A-EL	Equipment	Lighting, Emergency - Bldg A				A	WTF	Good	7
WTF-A-LGHT2	Equipment	Lighting, Interior - All Non-Bay Areas	Various Manufactures			A	WTF	Fair	7
WTF-A-LGHT1	Equipment	Lighting, Interior - Bay 1 through 22	Lithonia			A	WTF	Fair	7
WTF-A2W-MAU1	Equipment	Make-Up Air Unit 1 w/ Heat	United Metal	CAHIB076	24776	A	WTF	Fair	2
WTF-A2W-MAU2	Equipment	Make-Up Air Unit 2 w/ Heat	United Metal	CAHIB0108	24777	A	WTF	Fair	2

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WTF-A2E-MAU3	Equipment	Make-Up Air Unit 3 w/Heat	United Metal	CAHIB066	24778	A	WTF	Fair	2
WTF-A2E-MAU4	Equipment	Make-Up Air Unit 4 w/ Heat	United Metal	CAHIB094	24779	A	WTF	Fair	2
WTF-A2W-MAU5	Equipment	Make-Up Air Unit 5 w/ Heat	United Metal	CAHIB064	24780	A	WTF	Fair	2
WTF-A-ML	Equipment	Man Lift, single person - Facility Maint. Shop	GENIE	IWP-30S	IWP 09-8210	A	WTF	Good	7
WTF-A-MDS	Equipment	Methane Detection System - Dagger Sys	STAHL	G14615093-3	H15507	A	WTF	Fair	2
WTF-A2-FMS	Equipment	Multiforce Fluid Management System	Multiforce System	FF814		A	WTF	Fair	7
WTF-A-PB	Equipment	Paint Booth - AFC Bay 11	Custom	CP-1	07-1762	A	WTF	Good	7
WTF-A-FH	Equipment	Portable Fume Hood - Facility Maint. Shop	Airflow	PCH1-B1-PG6	1028807	A	WTF	Good	7
WTF-A-WCP1	Equipment	Pump #1, Waste Coolant	Balcrank	E1 1120 015 UL	142005	A	WTF	Fair	3
WTF-A-WOP1	Equipment	Pump #1, Waste Oil, Pneumatic 1:1 Diaphragm	Lincoln Industrial	85627	2771579	A	WTF	New	3
WTF-A-WCP2	Equipment	Pump #2, Waste Coolant	Balcrank	E1 1120 015 UL		A	WTF	Fair	3
WTF-A-wOP2	Equipment	Pump, #2 Waste Oil - Back-up	Balcrank	E1 1120 015 UL	141997	A	WTF	Fair	3
WTF-A-ATFP	Equipment	Pump, ATF - 10:1	Balcrank	1430-004		A	WTF	New	14
WTF-A-CP	Equipment	Pump, Coolant	Balcrank	E1 1120 015 UL	142008	A	WTF	Fair	2
WTF-A-EO1P	Equipment	Pump, EO1 - 10:1	Balcrank	Lion HP 1130-024		A	WTF	Fair	2
WTF-A-EO2P	Equipment	Pump, EO2 - 10:1	Balcrank	Lion HP 1130-024		A	WTF	Fair	2
WTF-A-GOP	Equipment	Pump, Gear Oil - 10:1	Balcrank	Lion HP 1130-024		A	WTF	Fair	2
WTF-AP-GP	Equipment	Pump, Grease - 50:1	Balcrank	Lion HP	1150-015	A	WTF	Fair	2
WTF-A-FR9	Equipment	Reel, Fluid & Air x4 (bay 16 & 17)	Balcrank	2110-011 / 2110-003	51107	A	WTF	Fair	2
WTF-A-FR10	Equipment	Reel, Fluid & Air x4 (Bay 18 & 19)	Balcrank	2110-011 / 2110-003	51107	A	WTF	Fair	2
WTF-A-FR11	Equipment	Reel, Fluid & Air x6 (Auto Shop)	Balcrank	2110-011 / 2110-021	051607 / 051007	A	WTF	Fair	2
WTF-A-FR1	Equipment	Reel, Fluid & Air x6 (bay 1 & 2)	Balcrank	2110-011 / 2110-003	051107 / 051407	A	WTF	Fair	2
WTF-A-FR6	Equipment	Reel, Fluid & Air x6 (bay 10 & 11)	Balcrank	2110-011 / 2110-003	051607 / 051407	A	WTF	Fair	2
WTF-A-FR7	Equipment	Reel, Fluid & Air x6 (bay 12 & 13)	Balcrank	2110-011 / 2110-003	051607 / 051407 / 051307	A	WTF	Fair	2
WTF-A-FR8	Equipment	Reel, Fluid & Air x6 (bay 14 & 15)	Balcrank	2110-011 / 2110-003	051607 / 051407	A	WTF	Fair	2
WTF-A-FR2	Equipment	Reel, Fluid & Air x6 (bay 3 & 4)	Balcrank	2110-011 / 2110-003		A	WTF	Fair	2
WTF-A-FR3	Equipment	Reel, Fluid & Air x6 (bay 5 & 6)	Balcrank	2110-011 / 2110-003	51407	A	WTF	Fair	2
WTF-A-FR4	Equipment	Reel, Fluid & Air x6 (bay 7 & 8)	Balcrank	2110-011 / 2110-003	051607 / 051407 / 051707	A	WTF	Fair	2
WTF-A-FR5	Equipment	Reel, Fluid & Air x6 (Bay 9 & 10)	Balcrank	2110-011 / 2110-003	051607 / 051407	A	WTF	Fair	2
WTF-A-ADYR	Equipment	Refrigerated Air Dryer. Comp RM. 2-300 cfm	Champion	CRN300A4	RC1J0300A04A2NB07005	A	WTF	Fair	7
WTF-A-R	Equipment	Roof, A Building	Sarnafil	PVC		A	WTF	Good	7
WTF-A-SLSJ	Equipment	Scissors lift, Skyjack	JLG-Skyjack	SJ4632	70007982	A	WTF	Fair	2
WTF-A-SSP1	Equipment	Sump Pump - Pit System	WEIL			A	WTF	Fair	1
WTF-A-ATS	Equipment	Switch, Automatic Transfer - Bldg. A	GE	Zenith ZTS/ZTSD		A	WTF	Good	7
WTF-A-TSW	Equipment	Table Saw, 5H.P. -Facility Maint. Shop	Powermatic	66-TASAW	7060660408	A	WTF	Good	7
WTF-A-AST1	Equipment	Tank, Above Ground Storage, ATF		RBUMO-2L-10		A	WTF	Good	7

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WTF-A-AST2	Equipment	Tank, Above Ground Storage, Coolant		500 gal		A	WTF	Good	7
WTF-A-AST3	Equipment	Tank, Above Ground Storage, EO1		RBUMO-2L-10		A	WTF	Good	7
WTF-A-AST4	Equipment	Tank, Above Ground Storage, EO2		RBUMO-2L-10		A	WTF	Good	7
WTF-A-AST6	Equipment	Tank, Above Ground Storage, Used Coolant		500 gal		A	WTF	Good	7
WTF-A-AST5	Equipment	Tank, Above Ground Storage, Used Oil		RBUMO-2L-10		A	WTF	Good	7
WTF-A-ML15	Equipment	Trolley Man Lift - Bay 15	LPI Inc & LDPI Inc (Lighting	TK-48SLS001288	3156	A	WTF	Fair	7
WTF-A-ML16	Equipment	Trolley Man Lift - Bay 16	LPI Inc & LDPI Inc (Lighting	TK-48SLS001288	3158	A	WTF	Fair	7
WTF-A-ML17	Equipment	Trolley Man Lift - Bay 17	LPI Inc & LDPI Inc (Lighting	TK-48SLS001288	3160	A	WTF	Fair	7
WTF-A-ML18	Equipment	Trolley Man Lift - Bay 18	LPI Inc & LDPI Inc (Lighting	TK-48SLS001288	3159	A	WTF	Fair	7
WTF-A-ML19	Equipment	Trolley Man Lift - Bay 19	LPI Inc & LDPI Inc (Lighting	TK-48SLS001288	3157	A	WTF	Fair	7
WTF-A-VBNSDW	Equipment	Vertical Band Saw - Facility Maint. Shop	Wilton	RBUMBO-1L24-7	8203	A	WTF	Good	7
WTF-A-WH	Equipment	Water Heater - Maintenance Closet	AO Smith	BTR250A-110	AO6MOD4527	A	WTF	Good	7
WTF-A-WSHPR	Equipment	Wood Shaper - Facility Maint. Shop	JET	JWS-25CS 3H.P.	7032237	A	WTF	Good	7
WTF-B-CT	Equipment	Ceiling Tiles	USG			B	WTF	Fair	2
WTF-B-CU2	Equipment	Condensing Unit #2, Heat Pump - East Server Room	Carrier	25HCE448A0060011	1719E11392	B	WTF	Good	12
WTF-B-CU3	Equipment	Condensing Unit #3, Heat Pump - West Server Room	Carrier	25HCE436A0061011	1319E10808	B	WTF	Good	12
WTF-B-DF1	Equipment	Drinking Fountain	ELKAY	LZFS8-1B	70216417	B	WTF	Fair	2
WTF-B-DF2	Equipment	Drinking Fountain	ELKAY	LZFS8-1B	70221797	B	WTF	Fair	2
WTF-B-DF3	Equipment	Drinking Fountain	ELKAY	LZFS8-1B	70216421	B	WTF	Fair	2
WTF-B-DF4	Equipment	Drinking Fountain	ELKAY	LZFS8-1B	61029942	B	WTF	Fair	2
WTF-B-ELEC	Equipment	Electrical System - B Bldg.	Siemens gear	Various		B	WTF	Good	7
WTF-B-EF14	Equipment	Exhaust Fan #14 - South Roof	Twin City Fan	TYPE BCV	07-231277-9-1	B	WTF	Fair	7
WTF-B-EF15	Equipment	Exhaust Fan #15 - North Roof	Twin City Fan	TYPE BCV	07-232277-10-1	B	WTF	Fair	7
WTF-B-FCU2b	Equipment	Fan Coil Unit #2, Heat Pump - East Server Room	Carrier	FX4DNF049L00	1019F32306	B	WTF	Good	12
WTF-B-FCU3b	Equipment	Fan Coil Unit #3, Heat Pump - West Server Room	Carrier	FX4DNF037L00	1319F08142	B	WTF	Good	12
WTF-B-SPKR	Equipment	Fire Sprinkler System-Bldg. B	Various Components			B	WTF	Fair	7
WTF-B-FACSRM	Equipment	Fire Suppression System - Pre-action Server RM	Fenwalnet/Kiddie	6000/Pre action	Agent FM200	B	WTF	Fair	7
WTF-B-HP10b	Equipment	Heat Pump #10 - Driver's Restrooms	Carrier	50KCQA06A2A6-0A0A0	0720C81304	B	WTF	Good	12
WTF-B-HP11b	Equipment	Heat Pump #11 - Drivers Lounge Area	Carrier	50HCQD12A2A6A0A0A0	0819P13378	B	WTF	Good	12
WTF-B-HP12b	Equipment	Heat Pump #12 - Training Room	Carrier	50HCQD08A2A6A0A0A0	3819P83021	B	WTF	Good	12
WTF-B-HP13b	Equipment	Heat Pump #13 - Northeast Admin Area	Carrier	50TCQD08A2A6-0A0G0	0320P89667	B	WTF	Good	12
WTF-B-HP14b	Equipment	Heat Pump #14 - Supervisor's Office/Area	Carrier	50TCQD08A2A6-0A0G0	0320P89659	B	WTF	Good	12
WTF-B-HP15b	Equipment	Heat Pump #15 - Dispatch Area	Carrier	50TCQD08A2A6-0A0G0	0320P89662	B	WTF	Good	12
WTF-B-HP5	Equipment	Heat Pump #5 - Southwest Admin Area & Security Office	Carrier	50TCQD08A1A6-0B0A0	1310G50624	B	WTF	Good	12
WTF-B-HP6	Equipment	Heat Pump #6 - Lobby & Reception Area	Carrier	50TCQD08A1A6-0B0A0	0611G50694	B	WTF	Good	12
WTF-B-HP7b	Equipment	Heat Pump #7 - Southeast Admin Area	Carrier	50TCQD09A2A6-0A0G0	2320P97104	B	WTF	Good	12

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WTF-B-HP8b	Equipment	Heat Pump #8 - Reception Area & Conference Room	Carrier	50TCQD09A2A6-0A0G0	2320P97103	B	WTF	Good	12
WTF-B-HP9b	Equipment	Heat Pump #9 - Northwest Admin Area	Carrier	50KCQA06A2A6-0A0A0	0720C81062	B	WTF	Good	12
WTF-B-EL	Equipment	Lighting, Emergency - Bldg B				B	WTF	Fair	7
WTF-B-LGT	Equipment	Lighting, Interior - Bldg B	Various Providers			B	WTF	Fair	7
WTF-B-R	Equipment	Roof, B Building	Custom			B	WTF	Fair	12
WTF-B-ATS	Equipment	Switch, Automatic Transfer - Bldg. B	GE	Zenith ZTS/ZTSD		B	WTF	Fair	7
WTF-B-UPS	Equipment	UPS System -30kVA Liebert UPS - IT Rm	Liebert (Vertiv Brands)	NXB30	38-3852	B	WTF	Fair	2
WTF-B-WH	Equipment	Water Heater - Operators Locker Area	AO Smith	BTR250A-110	9280743002	B	WTF	Fair	2
WTF-C-BFP1b	Equipment	Backflow Valve, Potable - NW Corner Bldg C	Watts	LF009 DNRS		C	WTF	Good	8
WTF-C-BWACN	Equipment	Bus Wash Air Controls & Cylinders - North Lane	Parker	H11VXXH023C		C	WTF	Fair	2
WTF-C-BWACS	Equipment	Bus Wash Air Controls & Cylinders - South Lane	Parker	H11VXXH023C		C	WTF	Fair	2
WTF-C-BWRS	Equipment	Bus Wash Reclaim System and Tanks	ROSS WHITE	A3U-32-2007ST3G	7468-05	C	WTF	Fair	7
WTF-C-BWLN	Equipment	Bus Wash System - North Lane	ROSS WHITE	A3U-32-2007ST3G	7468-05	C	WTF	Fair	2
WTF-C-BWLS	Equipment	Bus Wash System - South Lane	ROSS WHITE	A3U-32-2007ST3G	7468-06	C	WTF	Fair	2
WTF-C-ACOMP	Equipment	Compressor, Air - 5 hp	Champion	CASRSA-R SERIES	D040695	C	WTF	Fair	7
WTF-C-OHD30	Equipment	Door, Overhead - C Bldg. Inspection Bay East	OVERHEAD DOOR	AA639020	DRMKR35	C	WTF	Fair	7
WTF-C-OHD29	Equipment	Door, Overhead - C Bldg. Inspection Bay West	OVERHEAD DOOR	AA639020	DRMKR34	C	WTF	Fair	7
WTF-C-OHD28	Equipment	Door, Overhead - C Bldg. Maint. Shop-West	OVERHEAD DOOR	AA639020	DRMKR31	C	WTF	Fair	7
WTF-C-OHD27	Equipment	Door, Overhead - C Bldg. Mech-East	OVERHEAD DOOR	AA639020	DRMKR33	C	WTF	Fair	7
WTF-C-DYNO	Equipment	Dynamometer, Chassis	Mustang Dynamometer	MD750	5715	C	WTF	Fair	7
WTF-C-ELEC	Equipment	Electrical System - C Bldg.	Siemens gear	Various		C	WTF	Good	7
WTF-C-EF16	Equipment	Exhaust Fan #16	Twin City Fan	BCRD-240HP	D07-232277-11	C	WTF	Fair	7
WTF-C-FB6	Equipment	Fan & Blower	Twin City Fan	DCRD-80	D-07-233474-2-3	C	WTF	Fair	7
WTF-C-SRKL	Equipment	Fire Sprinkler System-Bldg. C	Various Components			C	WTF	Fair	7
WTF-C-HPSWb	Equipment	High Pressure Spray Washer, Heated	Superior Cleaning	SENG8033-3	P0922-2225342	C	WTF	Good	6
WTF-C-LIFT1	Equipment	Lift, Parallelogram, 50K lbs, 32 ft. North	Rotary	PRO70298	PPD07E0001	C	WTF	Fair	2
WTF-C-LIFT2	Equipment	Lift, Parallelogram, 75Klbs, 48 ft. South	Rotary	PR060451	PHJ07E0001	C	WTF	Fair	2
WTF-C-EL	Equipment	Lighting, Emergency - Bldg C	Various	N/A		C	WTF	Fair	7
WTF-C-LGT	Equipment	Lighting, Interior - BLDG C	Various Providers			C	WTF	Fair	7
WTF-C-MAU6b	Equipment	Make-Up Air Unit 6	United Metal	UMP-839D	FA-87286	C	WTF	New	12
WTF-C-MAU7b	Equipment	Make-Up Air Unit 7	United Metal	UMP-939D	FA-87285	C	WTF	New	12
WTF-C-SPRYS	Equipment	Pump, Soap - Spray system	INJECT-O-METER	HV1-82	E-07-5E3-37	C	WTF	Fair	2
WTF-C-ADYR	Equipment	Refrigerated Air Dryer - 50 cfm	Champion	CRN50AZ	GD50A2300702034	C	WTF	Fair	7
WTF-C-ROS	Equipment	Reverse Osmosis System	Culligan	ACDU70/520T3G	RA07000860	C	WTF	Fair	2
WTF-C-R	Equipment	Roof, C Building				C	WTF	Good	12
WTF-C-SSP2	Equipment	Sump Pump - C Bldg.	WEIL	W-8158-T-025-D	485-337	C	WTF	Fair	2

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WTF-C-WSS-B	Equipment	Water Softener System	Culligan	RBUMO-3H54-30	VP06000895	C	WTF	Fair	2
WTF-D-ACOMP	Equipment	Compressor, Air - 2 Stage	Champion	CADRSA-R SERIES	D041021	D	WTF	Fair	7
WTF-D-CU4	Equipment	Condensing Unit #4, Heat Pump - Telecom Room	Carrier	25HCE436A610	4018E18454	D	WTF	Good	12
WTF-D-CNGD1	Equipment	Dispenser #1, CNG	Tulsa	TGT-7104-12CNG50		D	WTF	Fair	7
WTF-D-DD1	Equipment	Dispenser #1, Diesel	PMC	MSH-62BA	11463-0607	D	WTF	Fair	7
WTF-D-LNGD1	Equipment	Dispenser #1, LNG	Dresser Wayne	50E701	343	D	WTF	Fair	7
WTF-D-CNGD2	Equipment	Dispenser #2, CNG	Tulsa	TGT-7104-12CNG50		D	WTF	Fair	7
WTF-D-DD2	Equipment	Dispenser #2, Diesel	PMC	MSH-62BA	11465-0607	D	WTF	Fair	7
WTF-D-LNGD2	Equipment	Dispenser #2, LNG	Dresser Wayne	50E701	305	D	WTF	Fair	7
WTF-D-CNGD3	Equipment	Dispenser #3, CNG	Tulsa	TGT-7104-12CNG50		D	WTF	Fair	7
WTF-D-DD3	Equipment	Dispenser #3, Diesel	PMC	MSH-62BA	11464-0607	D	WTF	Fair	7
WTF-D-LNGD3	Equipment	Dispenser #3, LNG	Dresser Wayne	50E701	272	D	WTF	Fair	7
WTF-D-CNGD4	Equipment	Dispenser #4, CNG	Tulsa	TGT-7104-12CNG50		D	WTF	Fair	7
WTF-D-DD4	Equipment	Dispenser #4, Diesel	PMC	MSH-62BA	11465-0608	D	WTF	Fair	7
WTF-D-LNGD4	Equipment	Dispenser #4, LNG - Lane 4	Dresser Wayne	50E701	273	D	WTF	Fair	7
WTF-D-UNLD	Equipment	Dispenser, Unleaded	Dresser Wayne	92414		D	WTF	Fair	7
WTF-D-OHDFC	Equipment	Door, Overhead - D Bldg. Fare Collections Room	OVERHEAD DOOR	AA639020		D	WTF	Fair	7
WTF-D-OHDVAC	Equipment	Door, Overhead - D Bldg. Vacuum Equip. Room	OVERHEAD DOOR	AA639020	DRMKR6	D	WTF	Fair	7
WTF-D-ELEC	Equipment	Electrical System - D Bldg.	Siemens gear	Various		D	WTF	Good	7
WTF-D-EWS	Equipment	Emergency Wash Station - Eyewash & Shower				D	WTF	Fair	2
WTF-D-EF17	Equipment	Exhaust Fan #17	Twin City Fan	BCRD-085C	007-232277-12	D	WTF	Good	7
WTF-D-FCU4b	Equipment	Fan Coil Unit #4 - Heat Pump - Telecom Room	Carrier	FX4DNF037L00	1319F08193	D	WTF	Good	12
WTF-D-SPKR	Equipment	Fire Sprinkler System-Bldg. D	Various Components			D	WTF	Fair	7
WTF-D-FMS	Equipment	Fluid Management System - Multiforce	Multiforce System	FF814		D	WTF	Fair	7
WTF-D-HP16b	Equipment	Heat Pump #16 - Office, Break-room, Restrooms & Electrical	Carrier	50KCQA04A2A6-0A0A0	1020C50396	D	WTF	Good	12
WTF-D-LCNGHEX	Equipment	LCNG Vaporizers HEX	Cryoquip	BAF-8100-SSL20-SP		D	WTF	Good	12
WTF-D-EL	Equipment	Lighting, Emergency - Bldg D				D	WTF	Fair	12
WTF-D-LGT	Equipment	Lighting, Interior - BLDG D	Various Providers			D	WTF	Fair	7
WTF-D-MAU8b	Equipment	Make-Up Air Unit 8	United Metal	UMP-839D	FA-87287	D	WTF	New	12
WTF-D-ORDP	Equipment	Odorant Injector pump and filter, CNG				D	WTF	Good	12
WTF-D-LCNGCP	Equipment	Panel, Control, LNG-LCNG	NorthStar	N/A		D	WTF	Good	12
WTF-D-DPC1	Equipment	Pump #1, Diesel -Controller	FE Petro	STP SCIII		D	WTF	Fair	7
WTF-D-LCNGP1	Equipment	Pump #101, LCNG	CS&P	3-ICPV-200		D	WTF	Fair	7
WTF-D-LCNGP2	Equipment	Pump #102, LCNG	CS&P	3-ICPV-200		D	WTF	Fair	7
WTF-D-LCNGP3	Equipment	Pump #103, LCNG	CS&P			D	WTF	Fair	7
WTF-D-DPC2	Equipment	Pump #2, Diesel -Controller	FE Petro	STP SCIII		D	WTF	Fair	7

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WTF-D-DPC3	Equipment	Pump #3, Diesel -Controller	FE Petro	STP SCIII		D	WTF	Fair	7
WTF-D-LNGP1	Equipment	Pump, #1 LNG pot feeder north	ACD Inc.	AC-34		D	WTF	Fair	7
WTF-D-LNGP3	Equipment	Pump, #1 LNG pot feeder south	ACD Inc.	AC-34		D	WTF	Fair	7
WTF-D-LNGP2	Equipment	Pump, #2 LNG pot feeder middle	ACD Inc.	AC-34		D	WTF	Fair	7
WTF-D-ATFP	Equipment	Pump, ATF - 10:1	Balcrank	E1 1120 015 UL	142001	D	WTF	Fair	7
WTF-D-CP	Equipment	Pump, Coolant	Balcrank	E1 1120 015 UL	141998	D	WTF	Fair	7
WTF-D-COOLP	Equipment	Pump, Coolant - 10:1	Balcrank	Lion HP 1130-024		D	WTF	Fair	7
WTF-D-EO1P	Equipment	Pump, Engine Oil 1 - 10:1	Balcrank	Lion HP 1130-024		D	WTF	Fair	7
WTF-D-EOP2	Equipment	Pump, Engine Oil 2 - 10:1	Balcrank	E1 1120 015 UL	142000	D	WTF	Fair	7
WTF-D-DP1	Equipment	Pump, Fuel, Diesel - Tank 1 Turbine	Red Jacket	MXP50054-2K	1058A	D	WTF	Fair	7
WTF-D-DP2	Equipment	Pump, Fuel, Diesel - Tank 2 Turbine	Red Jacket	MXP50054-2K	1059A	D	WTF	Fair	7
WTF-D-DP3	Equipment	Pump, Fuel, Diesel - Tank 3 Turbine	Red Jacket	MXP50054-2K	1057A	D	WTF	Fair	7
WTF-D-UNLP	Equipment	Pump, Unleaded	Red Jacket	P150U1RJ2	40407-A035487	D	WTF	Fair	7
WTF-D-FR1	Equipment	Reel, Fluid x4 (lane 1)	Balcrank	2110-011	051707 / 051607	D	WTF	Fair	7
WTF-D-FR20	Equipment	Reel, Fluid x4 (lane 2)	Balcrank	2110-011	051707 / 051607	D	WTF	Fair	7
WTF-D-FR3	Equipment	Reel, Fluid x4 (lane 3)	Balcrank	2110-011	51707	D	WTF	Fair	7
WTF-D-FR40	Equipment	Reel, Fluid x4 (lane 4)	Balcrank	2110-011	51607	D	WTF	Fair	7
WTF-D-VHR1	Equipment	Reel, Vacuum Hose - Lane 1	Cleanair Tech	HOS-TSR-P37F0010	19242-2	D	WTF	Fair	7
WTF-D-VHR2	Equipment	Reel, Vacuum Hose - Lane 2	Cleanair Tech	HOS-TSR-P37F0010	19242-4	D	WTF	Fair	7
WTF-D-VHR3	Equipment	Reel, Vacuum Hose - Lane 3	Cleanair Tech	HOS-TSR-P37F0010	19242-3	D	WTF	Fair	7
WTF-D-VHR4	Equipment	Reel, Vacuum Hose - Lane 4	Cleanair Tech	HOS-TSR-P37F0010	19242-1	D	WTF	Fair	7
WTF-D-ADYR	Equipment	Refrigerated Air Dryer - 150 cfm	Champion	CRN150AZ	RC1J0150A03A2NB07032	D	WTF	Fair	7
WTF-D-R	Equipment	Roof, D Building				D	WTF	Good	12
WTF-D-ATS	Equipment	Switch, Automatic Transfer - Bldg. D	GE	Zenith ZTS/ZTSD		D	WTF	Fair	7
WTF-D-CNGT1	Equipment	Tank #1, CNG, Far East	Allied Equipment	U2 HT	2388	D	WTF	Fair	17
WTF-D-DUST1	Equipment	Tank #1, Diesel, 20k gal UST, North	OPW FUEL			D	WTF	Fair	12
WTF-D-LNGT1	Equipment	Tank #1, LNG, North		VS-300/68724	20039	D	WTF	Fair	17
WTF-D-CNGT2	Equipment	Tank #2, CNG, East	Allied Equipment	U2 HT	2387	D	WTF	Fair	17
WTF-D-DUST2	Equipment	Tank #2, Diesel, 20k gal UST, Middle	OPW FUEL			D	WTF	Fair	12
WTF-D-LNGT2	Equipment	Tank #2, LNG, South		VS-300/68780	20095	D	WTF	Fair	17
WTF-D-CNGT3	Equipment	Tank #3, CNG, West	Allied Equipment	U2 HT	2292	D	WTF	Fair	17
WTF-D-DUST3	Equipment	Tank #3, Diesel, 20k gal UST, South	OPW FUEL			D	WTF	Fair	12
WTF-D-CNGT4	Equipment	Tank #4, CNG, Far West	Allied Equipment	S-100		D	WTF	Fair	17
WTF-D-AST3	Equipment	Tank, Above Ground Storage, ATF		280 gal		D	WTF	Good	12
WTF-D-AST4	Equipment	Tank, Above Ground Storage, Coolant		280 gal		D	WTF	Fair	12
WTF-D-AST1	Equipment	Tank, Above Ground Storage, EO1		500 gal		D	WTF	Fair	12

Building Legend

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West Transit Facility

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ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
WTF-D-AST2	Equipment	Tank, Above Ground Storage, EO2		500 gal		D	WTF	Fair	12
WTF-D-UNLT	Equipment	Tank, Unleaded, 10k gal UST	OPW FUEL	N/A		D	WTF	Fair	12
WTF-D-EVAC	Equipment	Vacuum System, Euro - 60 HP	Cleanair Tech	CPO651-480-040D-60-12X	19242-1-2	D	WTF	Fair	7
WTF-D-LCNGVP	Equipment	Valves and Piping, LCNG	Various-Pneumatic and			D	WTF	Fair	12
WTF-D-WH	Equipment	Water Heater	AO Smith	DEL 6 102	L06M005493	D	WTF	Fair	2
WTF-E-HU	Equipment	Heating Unit, Small Space - Guard Kiosk	TPI	HF3316TRP		E	WTF	Fair	2
WTF-E-EL	Equipment	Lighting, Emergency - Security Kiosk				E	WTF	Fair	7
WTF-E-LGT	Equipment	Lighting, Interior - Security Kiosk				E	WTF	Fair	7
WTF-E-MS	Equipment	Mini-Split Condensing & Ceiling Cassette Unit	Durastar	DRA1U18S1A/DRAC18F1A	B21128021126 &	E	WTF	New	14
WTF-E-R	Equipment	Roof, Kiosk Building				E	WTF	Poor	0
WTF-E-WH	Equipment	Water Heater				E	WTF	Fair	1
WTF-ADA	Equipment	ADA Elements - Site Wide					WTF	Fair	7
WTF-BFP4	Equipment	Backflow Valve, Fire System - NW Entrance	Wilkins	350-8	U08294		WTF	Fair	7
WTF-BFP3	Equipment	Backflow Valve, Fire System - SE Corner of Property	Wilkins	350-8	J24489		WTF	Fair	7
WTF-BFP2	Equipment	Backflow Valve, Fire System - SW Corner of Property	Wilkins	350-10	J24487		WTF	Fair	7
WTF-BFP1	Equipment	Backflow Valve, Potable - NW Entrance near C Bldg	Watts	957	GL-0430		WTF	Fair	7
WTF-BOL	Equipment	Bollard System	Boon Edem/ATG	Titan K12/3	571604		WTF	Fair	2
WTF-BCAN	Equipment	Canopies, Bus	Site built				WTF	Fair	7
WTF-EPCAN	Equipment	Canopies, Parking - Employee Lot North	Site built				WTF	Fair	7
WTF-EPCAS	Equipment	Canopies, Parking - Employee Lot South	Site built				WTF	Fair	7
WTF-SCAN	Equipment	Canopies, Parking - Support Vehicles	Lithonia	S-132-277GEBIS			WTF	Fair	7
WT-EPCAV	Equipment	Canopies, Visitor Parking	Site built				WTF	Fair	7
WTF-CONC	Equipment	Concrete	Custom				WTF	Fair	2
WTF-DW	Equipment	Dry Wells 3. 2-East, 1-SW	Torrent Resources	Maxwell Plus Dual Chamber			WTF	Good	7
WTF-FACP	Equipment	Fire Alarm System and Control Panel	Honeywell Ademco	TWA090D30RAB			WTF	Fair	7
WTF-FX	Equipment	Fire Extinguishers - Site	Various	N/A			WTF	Fair	2
WTF-HYD	Equipment	Fire Hydrants	Various	Wet System-7 Devices			WTF	Fair	7
WTF-EGN	Equipment	Gate Arms, Employee North Lot	LiftMaster	MATDCBB3			WTF	Fair	2
WTF-EGS	Equipment	Gate Arms, Employee South Lot	LiftMaster	MATDCBB3			WTF	Fair	2
WTF-BGS	Equipment	Gate, Bus Entry - South Side	Chamberlain Elite	Controller 2 units			WTF	Fair	2
WTF-BGN	Equipment	Gate, Bus Exit - North Side	Chamberlain Elite	Controller			WTF	Fair	2
WTF-GEN	Equipment	Generator -Emergency w/960 gal fuel tank	Caterpillar	C18	STDOO169		WTF	Fair	7
WTF-LTLR	Equipment	Lift Trailer	Fleming Trailers, Inc.	T412-6			WTF	Fair	7
WTF-BCANL	Equipment	Lighting, Bus Canopies	Lithonia	EWL-132-277GEBIS			WTF	Fair	7
WTF-EPCANL	Equipment	Lighting, Employee Canopies	Lithonia	S-132-277GEBIS			WTF	Fair	7
WTF-PMEXLGHT	Equipment	Lighting, Exterior - Pole, Canopy & Wall for PM Only					WTF	Fair	7
WTF-EL	Equipment	Lighting, Exterior Bldg. & Area	Various	Various			WTF	Fair	7

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West Transit Facility

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ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
WTF-SCANL	Equipment	Lighting, Support Vehicle Canopies	Various	N/A			WTF	Fair	7
WTF-LGTP	Equipment	Lights-Street Pole	Beta	Baa-AVM-H-T3-1A-320PMH			WTF	Fair	7
WTF-LHDW	Equipment	Locking Hardware, Site	Sargent/Von Dupin	Various			WTF	Fair	7
WTF-PAS	Equipment	Public Address System, Site	GE/UTC				WTF	Fair	7
WTF-RB	Equipment	Retention Basin-east, south and west perimeter	Custom				WTF	Fair	7

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ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
24PnR	Gounds	24th St & Baseline Park-and-Ride							
24PnR-A	Builing	Main Building				A	24PnR		

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID
24PnR-A-ER	Room	Electrical Room				A	24PnR
24PnR-A-RR	Room	Restroom, Unisex				A	24PnR

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
24PnR-A-BA	Equipment	Bathroom Accessories: Mirror, dispensers, hand rails	Various. Bobrick	4TWA4060A3000AA		A	24PnR	Fair	7
24PnR-A-HPC	Equipment	Condensing Unit, Heat Pump	Carrier	25HCC536A003		A	24PnR	Fair	7
24PnR-A-HDRY	Equipment	Electric Hand Dryer	Excel Dryer Inc.	Xlerator XL-SB	851065	A	24PnR	Fair	2
24PnR-A-ELP	Equipment	Electrical Panel, B	Eaton	P2C225BT42AH3R	SPX0528139-002	A	24PnR	Fair	7
24PnR-A-EF2	Equipment	Exhaust Fan - Restroom, 75CFM-115V	Greenheck	SP-B90-QD	48598556-0003	A	24PnR	Fair	2
24PnR-A-EF1	Equipment	Exhaust Fan - Return/Electrical Room, RF-1, 1200CFM-115V	Greenheck	SP-A1410-QD	13169478	A	24PnR	Fair	2
24PnR-A-HPFC	Equipment	Fan Coil Unit, Heat Pump	Carrier	FX4DNB037	4914A85103	A	24PnR	Fair	7
24PnR-A-FX	Equipment	Fire Extinguisher	Amerex	B500	A2-764161	A	24PnR	Good	2
24PnR-A-FL	Equipment	Flooring, Restroom & Office	Various Manufactures	4TWA4060A3000AA		A	24PnR	Fair	7
24PnR-A-BLI	Equipment	Lighting, Building	Lithonia	Various		A	24PnR	Fair	7
24PnR-A-LH	Equipment	Locking Hardware	Sargent	Electrified 10G71		A	24PnR	Fair	7
24PnR-A-CH	Equipment	Millwork-Cabinetry and related hardware	Various Manufactures	4TWA4060A3000AA		A	24PnR	Fair	7
24PnR-A-PVEP	Equipment	Photovoltaic Combiner Breaker Panel, meter and disconnects	Eaton	P1C225LT18AH3R, Meter-		A	24PnR	Fair	7
24PnR-A-R	Equipment	Roof, Main Building		Standing Seam-Metal Source		A	24PnR	Good	12
24PnR-A-WIN	Equipment	Windows, Glazing	Trulite	Aluminum frame and window		A	24PnR	Good	7
24PnR-A-WT	Equipment	Windows, Treatments	Bali 1" Classic	4TWA4060A3000AA		A	24PnR	Fair	7
24PnR-ADA	Equipment	ADA Elements - Site Wide		4TWA4060A3000AA			24PnR	Good	7
24PnR-BNT	Equipment	Benches & Trash Cans	Lacor-Southwest fab	TC-OATR30, Bench-6' OABA6			24PnR	Fair	7
24PnR-BL	Equipment	Bike Lockers	Creative Pipe, Inc	4TWA4060A3000AA			24PnR	Fair	7
24PnR-BIKE	Equipment	Bike Rack-11	MADRAX	HW238-11-1G			24PnR	Fair	7
24PnR-BRT	Equipment	Bus Rapid Station and Information sign	Custom	4TWA4060A3000AA			24PnR	Good	7
24PnR-BSS	Equipment	Canopy, Shade and Trash Can - Street Bus Stop/Bay		4TWA4060A3000AA			24PnR	Good	7
24PnR-CAN	Equipment	Canopy, Vehicle	Gort Metals	Built On site, metal. JOB#14-010			24PnR	Good	12

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
24PnR-HSC	Equipment	Concrete and Hardscape	Custom	4TWA4060A3000AA			24PnR	Good	7
24PnR-DW	Equipment	Dry Wells - 6 Total	MaxWell	Type IV- 6"	1407-014		24PnR	Good	12
24PnR-SES	Equipment	Electrical - Service Section 400A-230/120V1Ph	Eaton	SES/A	SPX0528139-001		24PnR	Good	7
24PnR-FH	Equipment	Fire Hydrants & Valves - 3 each	Clow Valve Company	Medallion	6"		24PnR	Good	12
24PnR-INFO	Equipment	Information Kiosk-Triangle	Southwest Fabricators	OAK3			24PnR	Good	7
24PnR-ART	Equipment	Lighting, Art Structures and Up - 5-12W-LED	RCI-Paradox 7	PDX7 55 12LED wht41k 120-277			24PnR	Good	7
24PnR-CANL	Equipment	Lighting, Canopy -LED 20 lamp	Lithonia	TAM4ADC60S51EDA			24PnR	Good	7
24PnR-SL	Equipment	Lighting, Street/Area -12' Pole	Cem-Tec Poles and	A, B, C-Type			24PnR	Good	7
24PnR-PVC1	Equipment	Photovoltaic Solar Inverter. 8000 Watt rated	Sunnyboy	SB8000US	2001988431		24PnR	Fair	7
24PnR-PVC2	Equipment	Photovoltaic Solar Inverter. 8000 Watt rated	Sunnyboy	SB8000US	2002028818		24PnR	Fair	7
24PnR-PVC3	Equipment	Photovoltaic Solar Inverter. 8000 Watt rated	Sunnyboy	SB8000US	2007304558		24PnR	Fair	7
24PnR-PVP	Equipment	Photovoltaic Solar System Panels-96 units	Trina	TSM-PA05-255			24PnR	Fair	7

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
27PnR	Grounds	27th Ave & Baseline Park-and-Ride							
27PnR-A	Builing	Main Building				A	27PnR		

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID
27PnR-A-ER	Room	Electrical Room				A	27PnR
27PnR-A-RR	Room	Restroom, Unisex				A	27PnR

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
27PnR-A-HDRY	Equipment	Electric Hand Dryer	Excel Dryer Inc.	Xlerator XL-SB		A	27PnR	Fair	7
27PnR-A-SES	Equipment	Electrical - Panels/Section 200A-230V1Ph	Millbank			A	27PnR	Fair	7
27PnR-A-ELP	Equipment	Electrical Panels	Siemens			A	27PnR	Fair	7
27PnR-A-EF2	Equipment	Exhaust Fan Bld, 1200CFM-114V	Loren Cook	Gemini GC-862		A	27PnR	Fair	2
27PnR-A-EF1	Equipment	Exhaust Fan-Bathroom, 75CFM-114V	Loren Cook	Gemini GC-142		A	27PnR	Fair	2
27PnR-A-HPFC	Equipment	Fan Coil Unit, Heat Pump - 1/2 HP-230V1Ph	Carrier	FX4DNB037		A	27PnR	Fair	7
27PnR-A-FX	Equipment	Fire Extinguisher	Amerex			A	27PnR	Good	2
27PnR-A-FL	Equipment	Flooring: Bathroom Ceramic tile and Office VCT	Various Manufactures			A	27PnR	Fair	7
27PnR-A-BD	Equipment	Lighting, Building	Cooper Lighting	Various		A	27PnR	Fair	7
27PnR-A-LH	Equipment	Locking Hardware	Sargent			A	27PnR	Fair	7
27PnR-A-CH	Equipment	Millwork-Cabinetry and related hardware				A	27PnR	Fair	7
27PnR-A-PVEP	Equipment	Photovoltaic Combiner Breaker Panel, meter & disconnects				A	27PnR	Fair	7
27PnR-A-R	Equipment	Roof, Main Building	Kynar 500			A	27PnR	Good	12
27PnR-A-WH	Equipment	Water Heater, Instantaneous Electric	Chronomite	M-20L		A	27PnR	Fair	2
27PnR-A-WHb	Equipment	Water Heater, Instantaneous Electric	Instaflow	CR-20L		A	27PnR	Fair	2
27PnR-A-WIN	Equipment	Windows, Glazing	Milgard			A	27PnR	Fair	7
27PnR-A-WT	Equipment	Windows, Treatments	Custom			A	27PnR	Fair	7
27PnR-ADA	Equipment	ADA Elements - Site Wide					27PnR	Good	7
27PnR-ABA	Equipment	Bathroom Accessories: Mirror, dispensers, hand rails	Various				27PnR	Fair	7
27PnR-BENT	Equipment	Benches & Trash Cans	Lacor-Southwest fab				27PnR	Fair	7
27PnR-BL	Equipment	Bike Lockers	Creative Pipe, Inc				27PnR	Fair	7
27PnR-BRT	Equipment	Bus Rapid Station and Information sign					27PnR	Fair	7
27PnR-BSS	Equipment	Bus Stop Shelter	Lacor-Southwest fab				27PnR	Fair	7

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
27PnR-CANR	Equipment	Canopies, Parking - 14	Park n Shade of Tucson	Built On site, metal			27PnR	Good	7
27PnR-CAN	Equipment	Canopies, Vehicle	Built on Site				27PnR	Fair	7
27PnR-HSC	Equipment	Concrete & Hardscape	Custom				27PnR	Fair	7
27PnR-HPC	Equipment	Condensing Unit, Heat Pump	Carrier	25HPA536			27PnR	Fair	7
27PnR-EDF	Equipment	Drinking Fountain, High-Low	ELKAY	YRCSCTLR8SC			27PnR	Fair	2
27PnR-DW	Equipment	Dry Wells	MaxWell	Maxwell Plus Drainage System			27PnR	Fair	7
27PnR-PF	Equipment	Fencing, Perimeter - Includes Screen and Retaining Walls					27PnR	Fair	7
27PnR-FH	Equipment	Fire Hydrant	Clow Valve Company				27PnR	Fair	7
27PnR-INFO	Equipment	Information Kiosk	Custom				27PnR	Fair	7
27PnR-ART	Equipment	Lighting, Art Structure and Up -14W-LED	AIISCAPE, Cooper	SL-23 LTV768WF-14LED120			27PnR	Fair	7
27PnR-CANL	Equipment	Lighting, Canopy -LED 40 light	McGraw Edison	VPL-CO2-LEDE1SQ-RAL			27PnR	Good	7
27PnR-SL	Equipment	Lighting, Street/Area -14' Pole	Cem-Tec Poles and	VTS-CO6-LED-E1-T2RAL#8017			27PnR	Fair	7
27PnR-PVC	Equipment	Photovoltaic Solar Inverter. 2-7000 Watt rated	Sunnyboy	SB7000US			27PnR	Fair	7
27PnR-PVP	Equipment	Photovoltaic Solar System Panels	Sharp	ND-224QCJ			27PnR	Fair	7

40th St Pecos Park-and-Ride

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ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
40PPnR	Gounds	40th St & Pecos Park-and-Ride							
40PPnR-A	Building	Main Building				A	40PPnR		
40PPnR-B	Building	Small Storage Building				B	40PPnR		

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID
40PPnR-A-ER	Room	Electrical Room				A	40PPnR
40PPnR-A-RR	Room	Restroom, Unisex				A	40PPnR

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
40PPnR-A-BA	Equipment	Bathroom Accessories: Mirror, dispensers, hand rails	Various			A	40PPnR	Fair	7
40PPnR-A-HPC	Equipment	Condensing Unit, Heat Pump	Carrier	38BYC0183	492E07027	A	40PPnR	Fair	2
40PPnR-A-EDF	Equipment	Drinking Fountain	Oasis	P8AMSL		A	40PPnR	Fair	2
40PPnR-A-HDRY	Equipment	Electric Hand Dryer	Excel Dryer Inc.	Xlerator XL-SB		A	40PPnR	Fair	7
40PPnR-A-ELP	Equipment	Electrical Panels	Cutler-Hammer - Eaton	Job #SPX44180		A	40PPnR	Fair	7
40PPnR-A-SES	Equipment	Electrical Panels/Section	Cutler-Hammer - Eaton	Job #SPX44180		A	40PPnR	Fair	7
40PPnR-A-HPFC	Equipment	Fan Coil Unit, Heat Pump - 1.4 ton	Carrier	FA4BNF018	0403A60120	A	40PPnR	Fair	2
40PPnR-A-FX	Equipment	Fire Extinguisher	Custom			A	40PPnR	Good	2
40PPnR-A-FL	Equipment	Flooring, Ceramic/VTC	Mannington Commercial	VCT-Cherrywood #338		A	40PPnR	Fair	7
40PPnR-A-BLDL	Equipment	Lighting, Building	Lithonia/Kenall	WC&SB232120GEB/MR13E		A	40PPnR	Fair	7
40PPnR-A-LH	Equipment	Locking Hardware	Sargent	2 Elec-CR		A	40PPnR	Fair	7
40PPnR-A-MWCH	Equipment	Millwork, Cabinets & Hardware	Custom			A	40PPnR	Fair	7
40PPnR-A-MW	Equipment	Millwork-casework and countertops	Custom			A	40PPnR	Fair	7
40PPnR-A-PVEP	Equipment	Photovoltaic Combiner Breaker Panel, meter & disconnects	GE			A	40PPnR	Fair	7
40PPnR-A-R	Equipment	Roof, Main Building				A	40PPnR	Good	11
40PPnR-A-WH	Equipment	Water Heater, Instantaneous, Electric	Custom			A	40PPnR	Fair	2
40PPnR-A-WIN	Equipment	Windows, Glazing	Custom			A	40PPnR	Good	7
40PPnR-A-WT	Equipment	Windows, Treatments	Various			A	40PPnR	Fair	7
40PPnR-B-STORE	Equipment	Cart Storage	Diversified Datacenter			B	40PPnR	Good	7
40PPnR-B-R	Equipment	Roof, Small Storage Building				B	40PPnR	Good	11
40PPnR-ADA	Equipment	ADA Elements - Site Wide	Site built	Includes curb ramps and			40PPnR	Good	7
40PPnR-BENT	Equipment	Benches & Trash Cans	Rapid				40PPnR	Fair	6

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
40PPnR-BL	Equipment	Bike Lockers/Rack-spaces					40PPnR	Good	7
40PPnR-CANR1	Equipment	Canopies, Parking - Ph1 East - 34	Built On site				40PPnR	Good	7
40PPnR-CANR2	Equipment	Canopies, Parking - Ph2 West - 20	Built On site				40PPnR	Good	7
40PPnR-BRT	Equipment	Canopies, Shade w/Electronic Information, BRT	Rapid design				40PPnR	Good	7
40PPnR-HSC	Equipment	Concrete & Hardscape	Custom				40PPnR	Fair	7
40PPnR-DW	Equipment	Dry Wells and retention basins	MaxWell	Maxwell IV			40PPnR	Good	7
40PPnR-HYD	Equipment	Fire Hydrants	Custom				40PPnR	Fair	7
40PPnR-INFO	Equipment	Information Kiosk					40PPnR	Good	7
40PPnR-CANLC	Equipment	Lighting Controller, Canopy - 120V Clock & Photocell on SES	Intermatic	ET270			40PPnR	Fair	7
40PPnR-CANL1	Equipment	Lighting, Canopy -Phase 1	Beta/CREE	PKG-EDG-4M-DM-04-E-UL-BZ-			40PPnR	Good	7
40PPnR-CANL2	Equipment	Lighting, Canopy -Phase 2	Various Manufactures				40PPnR	Good	7
40PPnR-SL1	Equipment	Lighting, Street/Area	Lithonia-head	KAD400MR3240RPD09DFDDB			40PPnR	Good	7
40PPnR-SL2	Equipment	Lighting, Street/Area	Lithonia-head	KAD174MR3240RPD09DFDDB			40PPnR	Good	7
40PPnR-SL3	Equipment	Lighting, Street/Area - West Side	Thomas&Betts/CEM-TEC	PUY-A18NHA6			40PPnR	Good	7
40PPnR-SL4	Equipment	Lighting, Street/Area -West Side Expansion	Lithonia				40PPnR	Good	7
40PPnR-MCPK	Equipment	Motor Cycle Parking-6	Custom				40PPnR	Fair	7
40PPnR-PVS	Equipment	Photovoltaic Solar System and Panels - Purchased, Serviced	Custom				40PPnR	Fair	7

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
79PnR	Grounds	79th Ave Park-and-Ride							
79PnR-A	Building	Security Building				A	79PnR		
79PnR-B	Building	Storage/Restroom Building				B	79PnR		

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID
79PnR-B-ER	Room	Electrical/Storage Room- Card Access Only				B	79PnR
79PnR-B-RR	Room	Restroom, Unisex - Card Access Only				B	79PnR

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
79PnR-A-ELP1-3	Equipment	Electrical Panels - 3	Square D			A	79PnR	Fair	7
79PnR-A-FX	Equipment	Fire Extinguisher	Custom			A	79PnR	Good	2
79PnR-A-HP1	Equipment	Heat Pump #1 - Security Office	Mitsubishi Electric	MUZ-GE12NA	5634	A	79PnR	Fair	0
79PnR-A-IntLght	Equipment	Lighting, Interior - Security Bldg.				A	79PnR	Fair	7
79PnR-A-MW	Equipment	Millwork Cabinets & Hardware	Custom			A	79PnR	Fair	7
79PnR-A-R	Equipment	Roof, Security Building	Custom	Standing Seam		A	79PnR	Fair	7
79PnR-A-WIN	Equipment	Windows, Glazing	Various			A	79PnR	Fair	7
79PnR-A-WINT	Equipment	Windows, Treatments	Various			A	79PnR	Fair	7
79PnR-AB-FL	Equipment	Flooring Ceramic and VCT	Mannington Commercial	VCT-Cherrywood #338		A & B	79PnR	Fair	7
79PnR-AB-MBLDL	Equipment	Lighting, Building Exterior	Lithonia/Kendall			A & B	79PnR	Fair	7
79PnR-AB-LH	Equipment	Locking Hardware	Sargent			A & B	79PnR	Fair	7
79PnR-B-HDRY	Equipment	Electric Hand Dryer	Excel Dryer Inc.	Xlerator XL-SB		B	79PnR	Fair	2
79PnR-B-SES	Equipment	Electrical - Section/EP	Square D			B	79PnR	Fair	7
79PnR-B-HP2	Equipment	Heat Pump #2 - Restroom & Electrical	Mitsubishi Electric	MUZ-GE09	2000507	B	79PnR	Fair	0
79PnR-B-IntLght	Equipment	Lighting, Interior - Storage/Restroom Bldg.				B	79PnR	Fair	7
79PnR-B-R	Equipment	Roof, Storage/Restroom Building	Custom	Standing Seam		B	79PnR	Fair	7
79PnR-ADA	Equipment	ADA Elements - Site Wide	Custom				79PnR	Fair	7
79PnR-BENT	Equipment	Benches & Trash Cans-2ea	Rapid				79PnR	Fair	7
79PnR-BL	Equipment	Bike Rack & Lockers	Custom				79PnR	Fair	7
79PnR-CAN	Equipment	Canopies, Parking	Site built steel				79PnR	Fair	7
79PnR-CANA	Equipment	Canopies, Shade - ART	Built on Site				79PnR	Fair	7
79PnR-CANB	Equipment	Canopies, Shade - BRT	Built on Site				79PnR	Fair	7

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
79PnR-HSC	Equipment	Concrete, Pavers & Hardscape	Custom				79PnR	Fair	7
79PnR-HYD	Equipment	Fire Hydrants					79PnR	Fair	7
79PnR-INFO	Equipment	Information Kiosk, 3 Sided - BRT	Custom				79PnR	Fair	7
79PnR-CANL	Equipment	Lighting, Canopy	Cree, Inc	PKG-EDG-5M-DM			79PnR	Good	7
79PnR-SL	Equipment	Lighting, Street/Area	Various				79PnR	Poor	0
79PnR-MPK	Equipment	Motor Cycle Parking-6	Site built				79PnR	Fair	7

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
B17PnR	Grounds	Bell & I-17 Park-and-Ride							
B17PnR-A	Building	Main Building				A	B17PnR		

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID
B17PnR-A-RR	Room	Restroom, Unisex				A	B17PnR

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
B17PnR-A-HPC	Equipment	Condensing Unit, Heat Pump	Carrier	38YCO18330	4202E13895	A	B17PnR	Fair	2
B17PnR-A-HDRY	Equipment	Electric Hand Dryer	Excel Dryer Inc.	Xlerator XL-SB	760769	A	B17PnR	Fair	2
B17PnR-A-ELP3	Equipment	Electrical Panel	Siemens			A	B17PnR	Fair	7
B17PnR-A-ELP1-2	Equipment	Electrical Panels at SES	Square D	MHC-120/208		A	B17PnR	Fair	7
B17PnR-A-HPFC	Equipment	Fan Coil Unit, Heat Pump	Carrier			A	B17PnR	Fair	2
B17PnR-A-FX	Equipment	Fire Extinguisher				A	B17PnR	Good	2
B17PnR-A-FL	Equipment	Flooring Restroom/Office	Mannington Commercial	VCT-Cherry wood #338		A	B17PnR	Fair	7
B17PnR-A-HW	Equipment	Hardware doors and cabinets	Lock IR-Schlage			A	B17PnR	Fair	7
B17PnR-A-Lght	Equipment	Lighting, Building - Interior & Exterior	Various			A	B17PnR	Fair	7
B17PnR-A-LH	Equipment	Locking Hardware	Sargent			A	B17PnR	Fair	7
B17PnR-A-MWCH	Equipment	Millwork-Cabinets & Hardware				A	B17PnR	Fair	7
B17PnR-A-MW	Equipment	Millwork-casework and countertops				A	B17PnR	Fair	7
B17PnR-A-R	Equipment	Roof, Main Building	Custom	Standing Seam		A	B17PnR	Good	11
B17PnR-A-WH	Equipment	Water Heater, Instantaneous Electric	Instant-Flow	SR-30L/120	727749	A	B17PnR	Fair	2
B17PnR-A-WIN	Equipment	Windows, Glazing				A	B17PnR	Fair	7
B17PnR-A-WINT	Equipment	Windows, Treatments	Various			A	B17PnR	Fair	2
B17PnR-ADAR	Equipment	ADA curb ramps & elements					B17PnR	Fair	7
B17PnR-ADAP	Equipment	ADA Parking including striping					B17PnR	Fair	7
B17PnR-BENT	Equipment	Benches & Trash Cans	SWF	Lacor			B17PnR	Fair	6
B17PnR-BL	Equipment	Bike Rack & Lockers					B17PnR	Fair	7
B17PnR-BRT	Equipment	Bus Rapid Station and Information sign					B17PnR	Fair	7
B17PnR-BBCAN	Equipment	Canopies, Boarding area not BRT	SWF	Lacor			B17PnR	Good	7
B17PnR-CAN	Equipment	Canopies, Vehicle Shade	Built on Site				B17PnR	Good	7

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
B17PnR-HSC	Equipment	Concrete & Hardscape	Custom				B17PnR	Fair	7
B17PnR-SES	Equipment	Electrical - Service Entrance Section - By Kiosk Bridge	Square D				B17PnR	Fair	7
B17PnR-INFO	Equipment	Information Kiosk	Custom				B17PnR	Fair	7
B17PnR-CANL	Equipment	Lighting, Canopy					B17PnR	Good	7
B17PnR-SL	Equipment	Lighting, Street/Area					B17PnR	Fair	7
B17PnR-MPK	Equipment	Motor Cycle Parking					B17PnR	Fair	7
B17PnR-SIGN	Equipment	Signage, Directional and Monument					B17PnR	Fair	7

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
B51PnR	Gounds	Bell & SR 51 Park-and-Ride							
B51PnR-A	Builing	Main Building				A	B51PnR		

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID
B51PnR-A-RR	Room	Restroom, Unisex				A	B51PnR

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
B51PnR-A-HPC	Equipment	Condensing Unit, Heat Pump	Maratherm	R2H32GKR400	X142863162	A	B51PnR	Fair	7
B51PnR-A-HDRY	Equipment	Electric Hand Dryer	Excel Dryer Inc.	Xlerator XL-SB	760746	A	B51PnR	Fair	2
B51PnR-A-ELP	Equipment	Electrical Panel - Electrical Room	Siemens			A	B51PnR	Fair	7
B51PnR-A-HPFC	Equipment	Fan Coil Unit, Heat Pump	Maratherm			A	B51PnR	Fair	7
B51PnR-A-FX	Equipment	Fire Extinguisher	Strike First	5lbs ABC		A	B51PnR	Good	2
B51PnR-A-FL	Equipment	Flooring-Ceramic and VCT	Mannington Commercial	VCT-Cherrywood #338		A	B51PnR	Fair	7
B51PnR-A-MBLDL	Equipment	Lighting, Building - Interior & Exterior	Various			A	B51PnR	Fair	7
B51PnR-A-LH	Equipment	Locking Hardware	Sargent			A	B51PnR	Fair	7
B51PnR-A-MW	Equipment	Millwork-Cabinets & Hardware	Various			A	B51PnR	Fair	7
B51PnR-A-R	Equipment	Roof, Main Building	Custom	Standing Seam		A	B51PnR	Good	11
B51PnR-A-WH	Equipment	Water Heater, Instantaneous Electric	Instant-Flow	S-30L	293960	A	B51PnR	Fair	2
B51PnR-A-WIN	Equipment	Windows, Glazing				A	B51PnR	Fair	7
B51PnR-A-WINT	Equipment	Windows, Treatments - 6 windows	Various			A	B51PnR	Fair	2
B51PnR-ADAR	Equipment	ADA curb ramps & elements	Various				B51PnR	Fair	7
B51PnR-ADAP	Equipment	ADA Parking including striping					B51PnR	Fair	7
B51PnR-BENT	Equipment	Benches & Trash Cans	Rapid				B51PnR	Fair	7
B51PnR-BL	Equipment	Bike Lockers	Creative Pipe, Inc				B51PnR	Fair	7
B51PnR-BRT	Equipment	Bus Rapid Station and Information sign					B51PnR	Fair	7
B51PnR-BBCAN	Equipment	Canopies, Boarding Area - Non-BRT					B51PnR	Fair	7
B51PnR-BRTC	Equipment	Canopies, Shade - BRT	Built on Site				B51PnR	Fair	7
B51PnR-CAN	Equipment	Canopies, Vehicle Shade - 20 Units	Paint: 97-946-Primer/90-	Vehicle Shade Canopies-20			B51PnR	Fair	7
B51PnR-HSC	Equipment	Concrete & Hardscape	Custom				B51PnR	Fair	7
B51PnR-EDF	Equipment	Drinking Fountains					B51PnR	Fair	2

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
B51PnR-SES	Equipment	Electrical - Service Entrance Section	Cooper B-Line	U214-MTBP			B51PnR		
B51PnR-CANL	Equipment	Lighting, Canopy					B51PnR	Fair	7
B51PnR-SL	Equipment	Lighting, Street/Area					B51PnR	Fair	7
B51PnR-MPK	Equipment	Motor Cycle Parking- 4 Spaces					B51PnR	Fair	7
B51PnR-SIGN	Equipment	Signage, Directional and Monument					B51PnR	Fair	7

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
DSTC	Grounds	Desert Sky Transit Center							
DSTC-A	Building	Security Building				A	DSTC		
DSTC-B	Building	Driver's Restroom Building				B	DSTC		

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID
DSTC-A-ER	Room	Electrical Room				A	DSTC
DSTC-A-MPR	Room	Janitor's Closet & Mechanical Access				A	DSTC
DSTC-A-RR	Room	Restroom, Unisex				A	DSTC
DSTC-A-SO	Room	Security Office				A	DSTC
DSTC-B-PR	Room	Plumbing Access Room/Corridor				B	DSTC
DSTC-B-MRR	Room	Restroom, Men's - Card Reader Access Only				B	DSTC
DSTC-B-WRR	Room	Restroom, Women's - Card Reader Access Only				B	DSTC

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
DSTC-A-AC	Equipment	Air Conditioning System, Split - Electrical Room	Mitsubishi Electric	SUZ-KA12 Mini Split AC	52P00561	A	DSTC	Fair	7
DSTC-A-EDF2	Equipment	Drinking Fountain, North of Security Office, 2 station	ELKAY	LVRCTL8SC	ELKAY	A	DSTC	Fair	7
DSTC-A-SES	Equipment	Electrical - Service Entrance Section	Eaton	4TWA4060A3000AA		A	DSTC	Fair	7
DSTC-A-ELP	Equipment	Electrical Panel A and B	Cutler-Hammer - Eaton	225A MLO		A	DSTC	Fair	7
DSTC-A-EF2	Equipment	Exhaust Fan 2 - For Janitor Closet	Greenheck	G-070-G	14140621	A	DSTC	Fair	2
DSTC-A-EF3	Equipment	Exhaust Fan 3 - For Unisex Restroom Security Office	Greenheck	SP-B110		A	DSTC	Fair	2
DSTC-A-FACP	Equipment	Fire Alarm and Control Panel System	True-Alert Simplex	4TWA4060A3000AA		A	DSTC	Fair	7
DSTC-A-FX	Equipment	Fire Extinguishers 4	JL Industries	5LB ABC		A	DSTC	Fair	7
DSTC-A-HP1	Equipment	Heat Pump, Package Unit - Security (there is NO HVAC for	Lennox	KHA036S4D	5614K14369	A	DSTC	Fair	7
DSTC-A-LC	Equipment	Lighting Control	Tork	EWZ101		A	DSTC	Fair	7
DSTC-A-Lght	Equipment	Lighting, Building - Interior & Exterior	Lithonia	STL4-40L-LP836 + EL14L, 2VTL4-		A	DSTC	Fair	7
DSTC-A-MW	Equipment	Millwork-Cabinetry and related hardware	Quartz Countertop-	4TWA4060A3000AA		A	DSTC	Fair	7
DSTC-A-R	Equipment	Roof, Security Building				A	DSTC	Good	12
DSTC-A-WH	Equipment	Water Heater	AO Smith	Del-30	15333000308	A	DSTC	Fair	2
DSTC-A-WIN	Equipment	Windows, Glazing	Trulite Glass &	4TWA4060A3000AA		A	DSTC	Fair	7
DSTC-A-WINT	Equipment	Windows, Treatments	MechoShade	Mecho 5, Sandstone 0104		A	DSTC	Fair	7
DSTC-AB-FLR	Equipment	Flooring	Custom	4TWA4060A3000AA		A & B	DSTC	Fair	7

Desert Sky Transit Center

10/30/2024

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
DSTC-B-EDF1	Equipment	Drinking Fountain, outside Public RR South, 2 station	ELKAY	LVRCTL8SC	ELKAY	B	DSTC	Fair	7
DSTC-B-EF1	Equipment	Exhaust Fan 1 - Public RR, Over Men's RR	Greenheck	G-143-B	14140620	B	DSTC	Fair	2
DSTC-B-Lght	Equipment	Lighting, Building - Interior & Exterior - Restroom Building	Lithonia	STL4-4OL-LP836 + EL14L, 2VTL4-		B	DSTC	Fair	7
DSTC-B-R	Equipment	Roof, Driver's Restroom Building				B	DSTC	Good	12
DSTC-ADA	Equipment	ADA Elements - Site Wide					DSTC	Fair	7
DSTC-ART	Equipment	ART Elements Panels and Fascia	This Field Must never be	4TWA4060A3000AA			DSTC	Fair	7
DSTC-BEN	Equipment	Benches - 42	ANOVA Furnishings	LEXC6-Expostion			DSTC	Fair	7
DSTC-BKL	Equipment	Bike Lockers-4	SCH Enterprise LLC	CS 2-C-PP-PD-SSP-P			DSTC	Fair	7
DSTC-BKR	Equipment	Bike Rack - 7	ANOVA Furnishings	CIRCLEBR			DSTC	Fair	7
DSTC-BCAN	Equipment	Canopies, Shade - Bus Bays	Custom	Per plan			DSTC	Fair	7
DSTC-VCAN	Equipment	Canopies, Vehicle	Skyline Steel	4TWA4060A3000AA			DSTC	Fair	7
DSTC-HS	Equipment	Concrete PCC and Hardscape: Bus Bays	Custom	4TWA4060A3000AA			DSTC	Fair	7
DSTC-AB-DH	Equipment	Door Hardware	Sargent, Ives hinges	4TWA4060A3000AA			DSTC	Fair	7
DSTC-DW2	Equipment	Dry Well	Torrent Resources	Maxwell IV Plus			DSTC	Fair	7
DSTC-DW3	Equipment	Dry Well	Torrent Resources	Maxwell IV Plus			DSTC	Fair	7
DSTC-DW1	Equipment	Dry Well - South	Torrent Resources	Maxwell IV			DSTC	Fair	7
DSTC-SWAL	Equipment	Fencing, Perimeter - Screen Walls	Built on Site	4TWA4060A3000AA			DSTC	Fair	7
DSTC-FH	Equipment	Fire Hydrant	East Jordan	Water Master 5CD250			DSTC	Fair	7
DSTC-AB-FS	Equipment	Fire Sprinklers -26 heads	Reliable	F1FR56			DSTC	Fair	7
DSTC-KIO	Equipment	Information Signage Kiosk	Various Manufactures	Time and Temp			DSTC	Fair	7
DSTC-CANLB	Equipment	Lighting, Canopy - Bus 160	Lithonia Commercial	DSXSC LED 20C 1000 40K T5W			DSTC	Fair	7
DSTC-CANLV	Equipment	Lighting, Canopy - Vehicle 19	Lithonia Commercial	TZL1N L96 6000LM FST MVOLT			DSTC	Fair	7
DSTC-SAL	Equipment	Lighting, Street/Area	Lithonia	Various, see comments			DSTC	Fair	7
DSTC-PVEP	Equipment	Photovoltaic Combiner, breaker panel, meter & disconnects	Eaton	PRL2A	SPX0584099-004		DSTC	Fair	7
DSTC-PVC	Equipment	Photovoltaic Solar System Collectors Modules -66	Suniva	OPT325-72-4-100			DSTC	Fair	7
DSTC-PVI	Equipment	Photovoltaic Solar System Inverters -3	Sunny Boy	SB 6000TL-US-22	1913118979, 1913118971,		DSTC	Fair	7
DSTC-SIGN	Equipment	Signage, Directional and Lighted	This Field Must never be	4TWA4060A3000AA			DSTC	Fair	7
DSTC-TC40	Equipment	Trash Cans, 11-40 gal	ANOVA Furnishings	L2007			DSTC	Fair	7
DSTC-TC50	Equipment	Trash Cans, 11-50 gal	ANOVA Furnishings	L2006			DSTC	Fair	7

Ed Pastor Transit Center

10/30/2024

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
EPTC	Grounds	Ed Pastor Transit Center							
EPTC-A	Building	Main Building				A	EPTC		

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID
EPTC-A-BR	Room	Breakroom/Kitchen				A	EPTC
EPTC-A-ER	Room	Electrical Room				A	EPTC
EPTC-A-JC	Room	Janitor's Closet				A	EPTC
EPTC-A-PDO	Room	Police Office Area				A	EPTC
EPTC-A-MPRR	Room	Restroom, Public, Men's				A	EPTC
EPTC-A-WPRR	Room	Restroom, Public, Women's				A	EPTC
EPTC-A-MRR	Room	Restroom, Staff, Men's				A	EPTC
EPTC-A-WRR	Room	Restroom, Staff, Women's				A	EPTC

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
EPTC-A-AHU1b	Equipment	Air Handler Unit #1	TRANE	TAM4ADC60S51EDA	17275POU1V	A	EPTC	Good	9
EPTC-A-AHU2b	Equipment	Air Handler Unit #2	TRANE	TAM4ADC60S51EDA	17275PUK1V	A	EPTC	Good	9
EPTC-A-AHU3b	Equipment	Air Handler Unit #3	TRANE	TAM4ADC60S51EDA	17254K171V	A	EPTC	Good	9
EPTC-A-AHU4b	Equipment	Air Handler Unit #4	TRANE	TWE090D300AB	17233L92BA	A	EPTC	Good	9
EPTC-A-AHU5b	Equipment	Air Handler Unit #5	LG	LSN180HSV4	610KAFX0AG67G	A	EPTC	Good	9
EPTC-A-HP1b	Equipment	Condensing Unit #1, Heat Pump	TRANE	4TWA4060A3000AA	17255JTS2F	A	EPTC	Good	9
EPTC-A-HP2b	Equipment	Condensing Unit #2, Heat Pump	TRANE	4TWA4060A3000AA	17263HRD2F	A	EPTC	Good	9
EPTC-A-HP3b	Equipment	Condensing Unit #3, Heat Pump	TRANE	4TWA4060A3000AA	17255JSU2F	A	EPTC	Good	9
EPTC-A-HP4b	Equipment	Condensing Unit #4, Heat Pump	TRANE	TWA090D30RAB	17244X0DYA	A	EPTC	Good	9
EPTC-A-AC5b	Equipment	Condensing Unit, Mini Split - #5	LG	LSU180HSV4	609KAFX0QT23	A	EPTC	Good	9
EPTC-A-DH	Equipment	Door Hardware	Sargent			A	EPTC	Fair	7
EPTC-A-OHD2	Equipment	Door, Overhead - Public Men's Restroom	LiftMaster (Chamberlain	GH501162	42020000001	A	EPTC	Fair	1
EPTC-A-OHD1	Equipment	Door, Overhead - Public Women's Restroom	LiftMaster (Chamberlain	GH5011L	33020110006	A	EPTC	Fair	1
EPTC-A-EDF1	Equipment	Drinking Fountain #1 - Break Rm	ELKAY			A	EPTC	Fair	1
EPTC-A-EDF2	Equipment	Drinking Fountain #2 - Public RR North side	ELKAY			A	EPTC	Poor	0
EPTC-EDF3	Equipment	Drinking Fountain #3 - Canopy West side	Stern-Williams Co. Inc			A	EPTC	Poor	0
EPTC-A-HDRY1	Equipment	Electric Hand Dryer - Men's RR INT	Bradley	XRA5	3409987	A	EPTC	Fair	1

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
EPTC-A-HDRY3	Equipment	Electric Hand Dryer - Men's RR Public	Bradley	XRA5		A	EPTC	Fair	1
EPTC-A-HDRY2	Equipment	Electric Hand Dryer - Women's RR INT	Bradley	XRA5	3409942	A	EPTC	Fair	1
EPTC-A-HDRY4	Equipment	Electric Hand Dryer - Women's RR Public	Bradley	XRA5		A	EPTC	Fair	1
EPTC-A-SES	Equipment	Electrical Section	Square D	16603085-001		A	EPTC	Fair	7
EPTC-A-EF1	Equipment	Exhaust Fan #1	PENN VENTILATOR	DX11VSR	08D61906J	A	EPTC	Fair	1
EPTC-A-EF2	Equipment	Exhaust Fan #2 - next to ACCU5	PENN VENTILATOR	DX105SR	03P61647R	A	EPTC	Fair	1
EPTC-A-DWFS	Equipment	Filtration System, Drinking Water	ELKAY	ER10-ID	60816996	A	EPTC	Fair	1
EPTC-A-FACP	Equipment	Fire Alarm and Control Panel System	EST Engineering Systems			A	EPTC	Good	12
EPTC-A-FX	Equipment	Fire Extinguisher, 5lbs - 5 units	Bauer	5MB-6H-ABC		A	EPTC	Good	1
EPTC-A-FLR2	Equipment	Flooring, Carpet, East Offices	Custom			A	EPTC	Fair	7
EPTC-A-FLR1	Equipment	Flooring, VCT and Ceramic	Custom			A	EPTC	Fair	7
EPTC-A-INTCOM	Equipment	Intercoms, Service Windows-2	Norcon	TTU-7		A	EPTC	Fair	7
EPTC-A-LC	Equipment	Lighting Control for exterior lights	Custom			A	EPTC	Fair	7
EPTC-A-EMLGT	Equipment	Lighting, Emergency				A	EPTC	Fair	7
EPTC-A-ILGT	Equipment	Lighting, Interior	Metalux/ Portfolio	32w-T5-T8/ 26w-QUAD		A	EPTC	Fair	7
EPTC-A-MW	Equipment	Millwork-Hardware and Cabinets				A	EPTC	Fair	7
EPTC-A-R	Equipment	Roof, Main Building	Custom	Site Built		A	EPTC	Fair	7
EPTC-A-WH	Equipment	Water Heater	RHEEM	ELD40-1	CF0902RR0502606011	A	EPTC	Fair	1
EPTC-A-WIN	Equipment	Windows, Glazing	Custom			A	EPTC	Fair	1
EPTC-ADA	Equipment	ADA Elements - Site Wide					EPTC	Fair	7
EPTC-BKL	Equipment	Bike Lockers	Creative Pipe, Inc				EPTC	Fair	7
ETCP-BIKE	Equipment	Bike Service, Park Grid Contracted	Custom				EPTC	Fair	7
EPTC-SC	Equipment	Canopies, Shade - Personnel	Built On site				EPTC	Fair	7
EPTC-HSC	Equipment	Concrete	Custom				EPTC	Fair	7
EPTC-EP	Equipment	Electrical Panels - 3	Square D		1.216603085e+016		EPTC	Fair	7
EPTC-INFO	Equipment	Information Kiosk					EPTC	Fair	7
EPTC-BRTINFO	Equipment	Information Kiosk, BRT Shelter - Off Central					EPTC	Fair	7
EPTC-CL	Equipment	Lighting, Canopy - Downlight with reflector	Failsafe	RDR1270MH	70 WMH		EPTC	Fair	7
EPTC-ELGT1	Equipment	Lighting, Exterior Area/wall	Various				EPTC	Fair	7
EPTC-ELGT2	Equipment	Lighting, Street Drive - Exterior Poles 15'-1Head-250WMH,	Custom				EPTC	Fair	7
EPTC-BRT	Equipment	Shelter w/Trash Can & Bench, BRT - Off Central					EPTC	Fair	7
EPTC-SIGN	Equipment	Signage, Site - Informational					EPTC	Fair	7
EPTC-TE	Equipment	Trash Enclosure-Parking Lot	Custom				EPTC	Fair	7

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
HVPnR	Grounds	Happy Valley Park-and-Ride							
HVPnR-A	Builing	Main Building				A	HVPnR		

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID
HVPnR-A-RR	Room	Restroom, Unisex				A	HVPnR

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
HVPnR-A-HPC	Equipment	Condensing Unit, Heat Pump	Carrier	FB4CNF018	1810A70704	A	HVPnR	Fair	7
HVPnR-A-EDF	Equipment	Drinking Fountain-Exterior	Oasis	P8ACSL		A	HVPnR	Fair	2
HVPnR-A-HDRY	Equipment	Electric Hand Dryer	Excel Dryer Inc.	Xlerator XL-SB	760768	A	HVPnR	Fair	7
HVPnR-A-SES	Equipment	Electrical - Service Entrance Section and Main Breakers	Custom			A	HVPnR	Fair	7
HVPnR-A-ELP1-3	Equipment	Electrical Panels	GE			A	HVPnR	Fair	7
HVPnR-A-EF	Equipment	Exhaust Fan, Bathroom	Greenheck			A	HVPnR	Fair	2
HVPnR-A-HPFC	Equipment	Fan Coil Unit, Heat Pump - 1.5 ton	Carrier			A	HVPnR	Fair	7
HVPnR-A-FX	Equipment	Fire Extinguisher & cabinet	Various Manufactures	1837		A	HVPnR	Good	2
HVPnR-A-FL	Equipment	Flooring -Tile and Grout	Various Manufactures	Tile Color 14 Biscuit, Wall		A	HVPnR	Fair	7
HVPnR-A-HW	Equipment	Hardware doors and cabinets	Lock IR-Schlage			A	HVPnR	Fair	7
HVPnR-A-Lght	Equipment	Lighting, Building - Interior & Exterior	Custom			A	HVPnR	Fair	7
HVPnR-A-MW	Equipment	Millwork-casework and countertops	Custom			A	HVPnR	Fair	7
HVPnR-A-R	Equipment	Roof, Main Building -Metal roofs gutters and siding		24 gauge		A	HVPnR	Good	11
HVPnR-A-WH	Equipment	Water Heater, Instantaneous Electric	Redring	RP3P		A	HVPnR	Fair	2
HVPnR-A-WIN	Equipment	Windows, Glazing	Windows			A	HVPnR	Fair	7
HVPnR-A-WINT	Equipment	Windows, Treatments	Custom			A	HVPnR	Fair	7
HVPnR-ADA	Equipment	ADA Elements - Site Wide					HVPnR	Fair	7
HVPnR-BKL	Equipment	Bike Lockers, Bike shade and security locking points	Creative Pipe, Inc				HVPnR	Fair	7
HVPnR-BRT	Equipment	Bus Rapid Station and Information sign	Custom				HVPnR	Fair	7
HVPnR-CANS	Equipment	Canopy Structure	Skyline Steel				HVPnR	Good	7
HVPnR-DW1	Equipment	Dry Well/Retension Basin northwest end	Torrent Resources				HVPnR	Fair	7
HVPnR-DW2	Equipment	Dry Well/Retension Basin southeast end	Torrent Resources				HVPnR	Fair	7
HVPnR-DW3	Equipment	Dry Well/Retension Basin southwest end	WACO	WACO 400			HVPnR	Fair	7

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
HVPnR-DW4	Equipment	Dry Well/Retention Basin NE side	Torrent Resources				HVPnR	Fair	7
HVPnR-DW5	Equipment	Dry Well/Retention Basin SE side	Torrent Resources				HVPnR	Fair	7
HVPnR-PF	Equipment	Fencing, Chain Link	Custom				HVPnR	Fair	7
HVPnR-HYD	Equipment	Fire Hydrants	Clow Valve Company				HVPnR	Fair	7
HVPnR-HDS	Equipment	Hardscape: Sidewalks & handrails	Custom				HVPnR	Fair	7
HVPnR-ELC	Equipment	Lighting Control	Tork				HVPnR	Fair	7
HVPnR-CANL	Equipment	Lighting, Canopy	Lithonia				HVPnR	Good	7
HVPnR-SL	Equipment	Lighting, Street	Custom				HVPnR	Fair	7
HVPnR-SIGN	Equipment	Monument Signs ect.	Custom				HVPnR	Fair	7
HVPnR-PVEP	Equipment	Photovoltaic Combiner, Breaker Panel, meter & disconnects					HVPnR	Fair	7
HVPnR-PVC1	Equipment	Photovoltaic Solar Inverter/Controller. 8000 Watt rated	Sunnyboy	SB8000US	2002028501		HVPnR	Fair	7
HVPnR-PVC2	Equipment	Photovoltaic Solar Inverter/Controller. 8000 Watt rated	Sunnyboy	SB8000US	2002123132		HVPnR	Fair	7
HVPnR-PVC3	Equipment	Photovoltaic Solar Inverter/Controller. 8000 Watt rated	Sunnyboy	SB8000US	2002096762		HVPnR	Fair	7
HVPnR-PVP	Equipment	Photovoltaic Solar System Panels	Custom				HVPnR	Fair	7
HVPnR-BF1	Equipment	Plumbing Backflow(s) Domestic	FEBCO - a Watts Brand				HVPnR	Fair	7
HVPnR-RW	Equipment	Retaining Walls	Custom				HVPnR	Fair	11
HVPnR-BS	Equipment	Shelter-29th Ave	Custom				HVPnR	Fair	7

Paradise Valley Transit Center

10/30/2024

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
PVTC	Grounds	Paradise Valley Transit Center							
PVTC-A	Builing	Main Building				A	PVTC		

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID
PVTC-A-RR	Room	Restroom, Unisex				A	PVTC

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
PVTC-A-CU	Equipment	Condensing Unit, Heat Pump	Carrier	25HHA424A003	2419X74747	A	PVTC	Fair	7
PVTC-A-DH	Equipment	Door Hardware	IR-Steelcraft	F16 gauge		A	PVTC	Fair	2
PVTC-A-HDRY	Equipment	Electric Hand Dryer	Excel Dryer Inc.	Xlerator XL-SB		A	PVTC	Fair	2
PVTC-A-SES2	Equipment	Electrical - Service Entrance Section - Meter in Room	Square D			A	PVTC	Fair	7
PVTC-A-SES1	Equipment	Electrical - SES - Meter in Electrical Room	Square D			A	PVTC	Fair	7
PVTC-A-EP	Equipment	Electrical Panel - 42 space, 200A, 208/120V 3W1Ph	Square D-QOB			A	PVTC	Fair	7
PVTC-A-EF	Equipment	Exhaust Fan-100+ CFM, 120v	Penn	Z5H		A	PVTC	Fair	2
PVTC-A-AHU	Equipment	Fan Coil Unit (AHU)	Carrier	40MKQB34C--301	3417V00318	A	PVTC	Fair	7
PVTC-A-FX	Equipment	Fire Extinguisher				A	PVTC	Good	2
PVTC-A-FLR	Equipment	Flooring- Restroom	Custom			A	PVTC	Fair	2
PVTC-A-R	Equipment	Roof, Main Building	Stevens	EP-TPO-45Mils		A	PVTC	Fair	7
PVTC-A-WH	Equipment	Water Heater	Marathon/ Rudd Point of	MR20120		A	PVTC	Fair	2
PVTC-ADA	Equipment	ADA Elements - Site Wide	Built On site				PVTC	Fair	7
PVTC-BENT	Equipment	Benches & Trash Cans	Landscape Forms Brands	Presidio			PVTC	Fair	7
PVTC-BKL	Equipment	Bike Lockers-3 sets	Creative Pipe, Inc				PVTC	Fair	7
PVTC-CAN	Equipment	Canopies, Shade	Built on Site				PVTC	Fair	7
PVTC-HSC	Equipment	Concrete and Hardscape	Custom				PVTC	Fair	7
PVTC-EDF2	Equipment	Drinking Fountain - ADA High-low east	MDF	410SM			PVTC	Fair	0
PVTC-EDF1	Equipment	Drinking Fountain - ADA High-low west	MDF	410SM			PVTC	Fair	0
PVTC-INFO	Equipment	Information Kiosk	Lacor	ARK3R			PVTC	Fair	7
PVTC-LGTC	Equipment	Lighting Control	Intermatic				PVTC	Fair	7
PVTC-CANL	Equipment	Lighting, Canopy	Kenall-Millenium	M013FLp1AC8A13Q2120			PVTC	Fair	7
PVTC-SL	Equipment	Lighting, Street/Area - 10 poles	Kim Lighting	7-175W, 3-400W			PVTC	Fair	2

Paradise Valley Transit Center

10/30/2024

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
PVTC-Signage	Equipment	Signage, Site and Directional	Various				PVTC	Fair	7
PVTC-TVM	Equipment	Ticket Vending Machine Riser and Shelter	Shelter only				PVTC	Fair	7

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
S51PnR	Gounds	Shea & SR51 Park-and-Ride							
S51PnR-A	Builing	Main Building				A	S51PnR		

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID
S51PnR-A-RR	Room	Restroom, Unisex				A	S51PnR

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
S51PnR-A-BA	Equipment	Bathroom Accessories: Mirror, dispensers, hand rails	Various			A	S51PnR	Fair	1
S51PnR-A-HPC	Equipment	Condensing Unit, Heat Pump	Unitary Products Group-	HP018X1221A	WEJPO16257	A	S51PnR	Fair	7
S51PnR-A-EDF	Equipment	Drinking Fountain	Halsey Taylor	HAC8FQ1E		A	S51PnR	Fair	2
S51PnR-A-HDRY	Equipment	Electric Hand Dryer	Excel Dryer Inc.	Xlerator XL-SB	760757	A	S51PnR	Fair	1
S51PnR-A-ELP	Equipment	Electrical Panel - Kiosk	Cutler-Hammer - Eaton	PRL-1A	Job#TA609457	A	S51PnR	Fair	7
S51PnR-A-SES	Equipment	Electrical Panels/Section - By bus lane	Myers	MEUG16-M200		A	S51PnR	Fair	7
S51PnR-A-EF1	Equipment	Exhaust Fan-Bathroom	Greenheck	SP-B150-QD		A	S51PnR	Fair	2
S51PnR-A-HPFC	Equipment	Fan Coil Unit, Heat Pump	Unitary Products Group-			A	S51PnR	Fair	7
S51PnR-A-FX	Equipment	Fire Extinguisher	First Strike	5LB ABC	TC-116078	A	S51PnR	Good	2
S51PnR-A-FL	Equipment	Flooring: Bathroom Ceramic tile/ and Office VCT	Various Manufactures	VCT-Cherrywood #338		A	S51PnR	Fair	7
S51PnR-A-MBLDL	Equipment	Lighting, Building - Interior & Exterior	Kenall/Lithonia-layin,	Aerocool USI701		A	S51PnR	Fair	7
S51PnR-A-LH	Equipment	Locking Hardware	Sargent	5BB1HW RX2864-10G7		A	S51PnR	Fair	7
S51PnR-A-MW	Equipment	Millwork-Cabinetry-Coutertops-Hardware	Various			A	S51PnR	Fair	7
S51PnR-A-R	Equipment	Roof, Main Building	Paint Dura Tech MX	Patina Green		A	S51PnR	Good	11
S51PnR-A-WH	Equipment	Water Heater, Instantaneous Electric	AquaHot, Inc	30/120 S	91064	A	S51PnR	Fair	2
S51PnR-A-WIN	Equipment	Windows, Glazing - excluding Glass block	Milgard	F-C40-96X72		A	S51PnR	Fair	7
S51PnR-A-WT	Equipment	Windows, Treatments	Various			A	S51PnR	Fair	7
S51PnR-ADA	Equipment	ADA Elements - Site Wide					S51PnR	Fair	7
S51PnR-BENT	Equipment	Benches & Trash Cans	Lacor-Southwest fab				S51PnR	Fair	7
S51PnR-BL	Equipment	Bike Lockers- 4 Units	Creative Pipe, Inc				S51PnR	Fair	7
S51PnR-CANR	Equipment	Canopies, Parking - 28	Built On site				S51PnR	Fair	7
S51PnR-CAN	Equipment	Canopies, Vehicle - 28	Built on Site				S51PnR	Fair	7
S51PnR-BSS	Equipment	Canopy, BRT Bus Boarding	Custom				S51PnR	Fair	7

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
S51PnR-HSC	Equipment	Concrete & Hardscape	Custom				S51PnR	Fair	7
S51PnR-DF2	Equipment	Drinking Fountain - NR Bus Boarding Area					S51PnR	Fair	2
S51PnR-DF1	Equipment	Drinking Fountain - NR North Drive					S51PnR	Fair	2
S51PnR-DW	Equipment	Dry Wells	MaxWell	Maxwell Plus Drainage System			S51PnR	Fair	7
S51PnR-HYD	Equipment	Fire Hydrant - SW Corner					S51PnR	Fair	7
S51PnR-INFO	Equipment	Information Kiosk- 3 sided	Lacor-Southwest fab				S51PnR	Fair	7
S51PnR-LC	Equipment	Lighting Control	Various				S51PnR	Fair	7
S51PnR-ART	Equipment	Lighting, Art Structure and Up	Kim Lighting	LTV768WF-15LED120			S51PnR	Fair	7
S51PnR-CANL	Equipment	Lighting, Canopy	McGraw Edison	VPL-CO2-LEDE1SQ-RAL			S51PnR	Fair	7
S51PnR-SL	Equipment	Lighting, Street/Area	Cooper Lighting, Pacific	50-VT-C24-30TP			S51PnR	Fair	7

Sunnyslope Transit Center

10/30/2024

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
SSTC	Grounds	Sunnyslope Transit Center							
SSTC-A	Building	Main Building				A	SSTC		
SSTC-B	Building	Electrical Building				B	SSTC		

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID
SSTC-A-RR	Room	Restroom, Unisex				A	SSTC

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
SSTC-A-BA	Equipment	Bathroom Accessories: Mirror, dispensers, hand rails	Various			A	SSTC	Fair	1
SSTC-A-BLDCAN	Equipment	Canopy, Building - East Side	Custom			A	SSTC	Fair	7
SSTC-A-HPC	Equipment	Condensing Unit, Heat Pump	Mitsubishi Electric	MXZ4B36NA	32911026A	A	SSTC	Fair	2
SSTC-A-DH	Equipment	Door and Locking Hardware	Sargent			A	SSTC	Fair	7
SSTC-A-EDF1	Equipment	Drinking Fountain, High-Low	ELKAY	ERP2-8C		A	SSTC	Fair	2
SSTC-A-HDRY	Equipment	Electric Hand Dryer	Excel Dryer Inc.	Xlerator XL-SB		A	SSTC	Fair	2
SSTC-A-EF1	Equipment	Exhaust Fan-Bathroom, 75CFM-115V	Penn Barry	Zephyr		A	SSTC	Fair	2
SSTC-A-HPFC1	Equipment	Fan Coil Unit -2, Heat Pump	Mitsubishi Electric			A	SSTC	Fair	2
SSTC-A-FX	Equipment	Fire Extinguisher	Amerex 1-5lb ABC	B402		A	SSTC	Good	2
SSTC-A-FLR	Equipment	Flooring: Bathroom Ceramic tile and Office VCT	Various Manufactures			A	SSTC	Fair	2
SSTC-A-INTCOM	Equipment	Intercom, Service Window	Custom	Norcon	TTU-1	A	SSTC	Fair	7
SSTC-A-MW	Equipment	Millwork-Cabinetry and related hardware				A	SSTC	Fair	2
SSTC-A-R	Equipment	Roof, Main Building		Standing Seam		A	SSTC	Fair	7
SSTC-A-WH	Equipment	Water Heater, Instantaneous Electric	Eemax	EX55	2085663	A	SSTC	Fair	2
SSTC-A-WIN	Equipment	Windows, Glazing		GB-071		A	SSTC	Fair	7
SSTC-A-WT	Equipment	Windows, Treatments				A	SSTC	Fair	2
SSTC-B-ELP1	Equipment	Electrical Panel, East Bldg				B	SSTC	Fair	7
SSTC-B-ELP2	Equipment	Electrical Panel, Main Bldg				B	SSTC	Fair	7
SSTC-B-SES	Equipment	Electrical Panels, Section 200A-230V1Ph - East Bldg	Various			B	SSTC	Fair	7
SSTC-BLGT	Equipment	Lighting, Building - 4'T-8's, wall lights 32W Triples	Kenall	MLHAB, V1128L		B	SSTC	Fair	7
SSTC-ADA	Equipment	ADA Elements - Site Wide					SSTC	Fair	7
SSTC-ART	Equipment	Art Work: 2 sets of three bronze	Custom				SSTC	Fair	7

Sunnyslope Transit Center

ID	Asset Type	Description	Manufacturer	Model Number	Serial Number	Building	Location ID	Condition	Life Expectancy from 2024 (in years)
SSTC-BENT	Equipment	Benches & Trash Cans	Lacor-Southwest fab				SSTC	Fair	2
SSTC-BKL	Equipment	Bike Lockers	Creative Pipe, Inc.				SSTC	Fair	2
SSTC-PCAN	Equipment	Canopies, Shade - Personnel	Built On site				SSTC	Fair	7
SSTC-VCAN	Equipment	Canopies,Vehicle Parking - 4 units		Built On site, metal			SSTC	Fair	7
SSTC-HSC	Equipment	Concrete and Hardscape	Custom				SSTC	Fair	7
SSTC-DW	Equipment	Dry Wells	Custom				SSTC	Fair	7
SSTC-INFO	Equipment	Information Kiosk	Custom				SSTC	Fair	7
SSTC-CANL	Equipment	Lighting, Canopy -LED 40 lamp	Cree, Inc	Can-EDG-DM			SSTC	Fair	7
SSTC-SLGT	Equipment	Lighting, Street/Area	Cooper Lighting, Pacific	50-VT-C24-30TP			SSTC	Fair	7
SSTC-MCP	Equipment	Motorcycle parking	Site built				SSTC	Fair	7

PUBLIC TRANSIT DEPARTMENT

HAZARDOUS BUILDING MATERIALS PROGRAM

The purpose of this program is to help preserve and enhance the safety, health, and environment of the Public Transit Department (PTD) facilities, personnel and contractors. The program also is intended to achieve compliance with the City's Hazardous Building Materials Policy and A.R. 2.314, Hazardous Materials Owned by the City of Phoenix, Responsibilities for Compliance with Local, State and Federal Governing Hazardous Materials.

Applicability: Any facility owned or managed by the Public Transit Department where physical modifications are planned or otherwise required. These (HBM Policy) procedures must be followed prior to the implementation of any activity that could result in an exposure to HBM.

Departmental Program: First documented in September 2013 by Joe Bowar, Public Transit Department's Environmental Programs Coordinator, who also served as the Designated Departmental Representative (DR). **Update:** Joe Bowar is the current Deputy Public Transit Director for the Facilities and Contracts Division and is the Designated Departmental Representative. Document revised February 13, 2023.

Training and Communication

- Only the DR will be trained to recognize and respond to HBM situations per the training plan submitted.
 - The Public Transit Department will use only the Streets Environmental Section (STES; 534-3747) or Human Resources Safety Division (262-7555) to identify and manage HBM issues for work contracted directly through the Public Transit Department.
 - The DR will be responsible for identifying training needs and verifying they are met within regulatory time limits.
- Public Transit staff have no internal capabilities to perform physical facility modifications. The department defers to our third-party private contractors, Public Works Facilities Management, City IT Department, Streets Vertical Project Management, consultants or other contracted contractors for projects requiring physical modifications to our facilities. Public Transit staff managing capital improvement projects, building maintenance contracts and/or small transit facilities projects will defer to the DR for training in HBM awareness, OSHA Class IV asbestos awareness, and the program procedures.
- Division Deputy Directors and Section Leads will be trained to refer all possible HBM situations to the DR who will notify STES or the Human Resources Safety Division. Beyond this, no staff training other than that described above is deemed necessary.
- The department's plan to communicate information regarding identified HBMs to city employees and contractors will defer to the DR.

- The DR is responsible for communicating with the entities contracted with for physical facility modifications as indicated above. The DR along with the contracted entities would communicate information to employees and contractors who are assigned to work at the HBM site.
- The Public Transit Department defers to STES staff for contacting and providing information to employees and contractors prior to start of work that will potentially disturb HBMs.

Notification

- STES is responsible for notifying management, affected employees, tenants, contractors, and subcontractors of the location of known hazardous building materials, with the DR serving as a liaison. The procedure for notifying will be determined by STES, but if communication from the DR is necessary, then a combination of staff meetings, telephone calls, and e-mails would be utilized to notify those applicable.
- Public Transit will defer to STES to notify regulatory agencies (Maricopa County, ADEQ, etc.) in situations where disturbances of HBMs could meet established criteria.
 - STES will determine how the notification will be accomplished.

Procedures

- This document serves as the Public Transit Department's HBM Program/Procedures.
- To reduce the inadvertent disturbance of hazardous building materials by employees, awareness briefings by OEP and/or STES staff will be held periodically at staff meetings.
- For projects managed by Streets Vertical Project Management and Public Works Facilities Management, those departments will be responsible for determining if HBMs may be disturbed and if so, conducting the appropriate testing and abatement, if needed.
- For projects where Public Transit contracts directly with a third-party contractor, Public Transit's DR will contact STES or HR Safety in any applicable situation to prevent or control the possibility for exposure levels to HBMs.
 - Either STES or the DR, if applicable, will check with PW Central Records at 262-4935 to determine whether the site has been previously tested, altered, or renovated.
 - In any circumstances in which there are suspected HBM's, Public Transit will contact HR Safety and/or STES to conduct task-specific sampling and monitoring at occupied city facilities.
 - There are no field operations in the Public Transit Department requiring Standard Operating Procedures (SOPs) used in field operations to prevent or control exposures to HBMs.
- In the event of an HBM emergency, Public Transit will respond as follows:
 - Stop work and direct all staff to leave immediate area.

- Limit access to area.
- Immediately contact supervisor, who will contact DR, HR Safety, or STES.

Recordkeeping

- Where applicable, records will be maintained in the Public Transit Department hard drive under HBM. Hard copies, where applicable, will be stored in the DR's office in a file labeled HBM.
- STES will submit sampling and abatement records to Central Records. PW Facilities Management maintains sample records in their work order system and HR Safety sends sampling records to Central Records.
- Where applicable, records of testing, laboratory analyses and removal/abatement will be maintained as described above.
- The DR, where applicable, will track employee training through the e-CHRIS system.

Approved by:



Joe Bowar
Deputy Public Transit Department Director – Facilities & Contracts Division

APPENDIX B - HBM TRAINING PLAN – Public Transit Department

Hazardous Building Materials Policy Specific Training					
Who Should be Trained	Required Training	Training Frequency	Regulatory Requirements	Training Provided by	Designated Employees
Designated Department Representative(S) from each department with HBM responsibilities	DR HBM Policy Review (2 hr)	Annual	City of Phoenix HBM Policy	OEP	Facilities Deputy Director
COP staff who may, in the course of their job duties, either disturb building materials or direct others to do so	HBM Awareness/Avoidance (15-30 minutes)	Biennial	City of Phoenix HBM Policy	OEP	Applicable Project Managers Applicable Contract Monitors
Designated Representatives, Asbestos and/or Lead Program Managers, contract monitors, project managers, supervisors	HBM Management (4 hr)	Initial with abbreviated annual refresher	City of Phoenix HBM Policy	OEP	NA
Asbestos Training					
Asbestos Program Managers	Asbestos Building Inspector (24 hr)	Initial training and then 4 hr annual refresher training	AHERA 40 CFR Part 763, Appendix C; HBM Policy	EPA accredited trainer	NA
Workers that may come into contact with HBM, but do not disturb (OSHA Class IV work)	Asbestos Awareness Construction Industry (OSHA Class IV Activities) (2 hr)	Annual	AHERA [40 CFR 763.92(a)(2)(I)] for school, custodial and maintenance personnel and OSHA training requirements [29 CFR 1926.1101(k)(9)]	Can be COP or outside trainer	NA
Workers that may disturb building materials in the course of their job duties (OSHA Class III Work). Also personnel that oversee OSHA Class III work, however, Contractor Supervisor certification is preferred.	Asbestos Operation & Maintenance for specific OSHA Class III activities (4 hr)	Initial and then 1 hr annual refresher training	AHERA 40 CFR 763.92(a)(2)], OSHA training requirements 29 CFR 1926.1101(k)(9)	Can be COP or outside trainer	NA
	Respiratory Fit Testing	Annual	29 CFR 1926.1101(h) and (g)(9) and 29 CFR 1910.134	HR Safety/Dept. Safety Analyst	
Personnel that collect bulk asbestos sampling for asbestos inspections	Asbestos Building Inspector (24 hr)	Initial training and then 4 hr annual refresher training	AHERA 40 CFR Part 763, Appendix C	EPA accredited trainer	NA
	Respiratory Fit Testing	Annual	29 CFR 1926.1101(h) and (g)(9) and 29 CFR 1910.134	HR Safety/Dept. Safety Analyst	NA
Lead Training					
Lead Program Managers	Lead Building Inspector (24 hr) and/or Lead Risk Assessor (special req's)	Every 3 years	40 CFR 745.227(b); City of Phoenix HBM Policy	EPA accredited trainer	NA
Personnel at facilities that perform work that disturbs no greater than 2 sq. ft. of known or assumed lead based paint (see policy for details)	HBM Awareness/Avoidance	Biannual	40 CFR Part 745 (EPA Renovation, Repair and Painting Rule); City of Phoenix HBM Policy	OEP	NA
Personnel at facilities that perform work that disturbs greater than 2 sq. ft	Lead Renovator (8 hr)	Every 5 years	40 CFR Part 745 (EPA Renovation, Repair and Painting Rule)	EPA accredited trainer	NA
	Respiratory Fit Testing (not required for project managers)	Annual	29 CFR 1926.1101(h) and (g)(9) and 1910.134	HR Safety/Dept. Safety Analyst	

Personnel may require more than one category of training based upon job duties. For example, a Project Manager or Department Representative may require HBM Policy, lead and asbestos training based upon their job duties.

CITY OF PHOENIX PUBLIC TRANSIT DEPARTMENT DEPARTMENTAL POLICY/PROCEDURE		Pages 4
Subject FACILITY DAMAGE - INCIDENT REPORT PROCEDURE		Effective 10/31/2014
Policy/Procedure Owner Deputy Public Transit Director/FAO	Initiating Division FAO Division	Revision Date 4/05/19
Policy/Procedure User(s) PTD, TEB, Contractors, and Vendors		Revision Number 4

PURPOSE

The purpose of this procedure is to provide guidance to Public Transit staff, Police Transit Bureau Unit, all contractors, and vendors on how to report and document damage that occurs at the operating facilities, transit centers, park and rides and headquarters building.

GENERAL INFORMATION

The Public Transit Department (PTD) Facilities and Oversight (FAO) Division is responsible for the management and maintenance of PTD facilities. All incidents resulting in damage to City assets must be documented and reported as outlined in this document. All repairs associated with such incidents shall be coordinated by the City.

PROCEDURE

- This procedure applies to all City of Phoenix Public Transit Department facilities.
- All incident report repair requests should be inputted into MPulse or called into the Work Order system at 602-495-7011.
- PTD FAO has point of contacts assigned to manage the incident reporting process.
- PTD sites are assigned to FAO Division staff and that individual should be contacted during after hour/weekend emergencies at the following numbers:

PTD Facility	Staff Contact	Number
Transit Department Headquarters	Danny Medina	602-323-4566
Transit Centers, Park-and-Rides, and Operating Facilities	Danny Medina	602-323-4566
Bus Stops	Herb Muñoz	602-370-1448

* Denotes alternate contact person

- An emergency is considered life safety or building and equipment failure that hinders operations or may cause further damage. Life threatening or wide spread property damage should be considered a 911 emergency. Facility occupants should refer to their contract in reference to emergency responsibilities.
- When City of Phoenix property is damaged an incident report should be filled out by the Tenant, Contractor, City staff, Police Transit Bureau Unit (TEB) or any personnel that caused or discovered the damage.

Operating Standards: Work Order System as it Relates to Facility Damage Repairs

The following guidelines can be found in the Work Order Business Practice Guide, 10/26/2016:

- The normal business hours are from 7:00 AM- 5:00 PM, Monday – Friday, excluding City holidays.
- After hours and immediate response emergency work orders (as defined) shall be called into the staff person assigned to site stated above. FAO staff will assign the work through authorized work teams/contractors to respond to the emergency. Affected contract managers for transit operating contractor should be notified ASAP when the emergency could impact operations.
- Work order tracking, assignment and database are managed by Facilities staff.
- Work order review is performed weekly by FAO staff assigned to the site(s). Response and status reports are delivered to the work order administration team to update work order tracking information.
- Receipt of work order request by caller is provided weekly to Public Transit FAO Division, Police Transit Bureau Unit and site primary manager.

Operating Standards: Incident Report

The following guidelines are used for Incident Reports:

- All Public Transit facility damage shall be recorded with an incident form.
- All incident forms must be complete with all requested information and all required signatures. Any incomplete forms will be returned to the originating party.
- Person finding and reporting the damage shall notify their supervisor and on site security of the incident and where it occurred either in person or by phone, if applicable. The City Contract Manager of the reporting party, if applicable, must also be notified of the damage and current status.
- All property damaged shall be reviewed and repaired by the Facilities Maintenance staff assigned to the site, unless otherwise approved or directed by Public Transit Department management staff.
- Incident reports shall be provided to the City Contract Manager as soon as possible. It is the responsibility of the City Contract Manager to forward information to the identified responsible party.
- Copy of quotes/estimates for damages will be forwarded to the City Contract Manager for review.

Operating Standards: Damage Recovery Cost

The following guidelines are used to recover cost due to misuse, abuse or neglect to City Assets:

- Operating Facilities: Contractors responsible for operation and/or maintenance of equipment as part of their contract scope will do so according to the Original Equipment Manufacturer (OEM) specifications. All contractors assigned to the North, South, and West Transit facilities should refer to their contract for City provided equipment replacement responsibilities. The contractor will also be financially responsible for any damage repairs throughout the facility caused by misuse or abuse (accidents, improper operation, theft, etc.) by their employees, subcontractors or visitors. The aforementioned repairs shall be performed, as directed by the City, by the Facilities Maintenance Contractor (FMC), other City departments or City contracted vendor and charged to the responsible contractor.
- Park-and-Rides & Transit Centers: Same as above. Repairs shall be performed, as directed by the City, by the Facilities Maintenance Contractor (FMC), Facilities Cleaning Contractor, other City departments or City contracted vendor and charged to the responsible contractor.
- Initial communication of damages and recovery cost is conducted with the City Contract Manager overseeing the responsible party. All disputes should be submitted, in writing, via email, regular mail service or hand delivery within 5 business days of the Incident Report delivery to the City Contract Manager.
- All disputes will be reviewed and researched by the FAO Division. A written response to the City Contract Manager will be provided within 5 business days of receipt by the FAO Division.
- Invoicing to the responsible contractor for recovery costs is managed through the Management Services Division. Invoices are issued after payment is processed by the City for the repairs completed.

- City staff and/or FMC reviews the damage and reports any issues and the current status, based on knowledge and expertise, to the City staff responsible for the site. Any repairs authorized by the City must follow City purchasing guidelines to restore the equipment or property to the level prior to damage.

RESPONSIBILITY

All Public Transit Department staff, Police Transit Bureau Unit, contractors, and vendors are responsible for following this reporting procedure.

EXHIBITS/ATTACHEMENTS

Public Transit Department Incident/Repair Service Request Form

Approved by:

Approved by:

Jesús Sapien, Director
Public Transit Department

Joseph Bowar, Deputy Director
Public Transit Department



Public Transit Department

INCIDENT / REPAIR SERVICE REQUEST FORM

North Transit Facility	<input type="checkbox"/>	South Transit Facility	<input type="checkbox"/>	West Transit Facility	<input type="checkbox"/>	
Other Facility	<input type="checkbox"/>					
INCIDENT DATE:		EQUIPMENT OR VEHICLE #:				
TIME OF REPORT:		PERSON REPORTING INCIDENT / REQUEST: CONTACT NUMBER				
WAS SITE SECURITY NOTIFIED?	Yes No					
BUILDING		LOCATION:				
DAMAGED	<input type="checkbox"/>		REPAIR/SERVICE	<input type="checkbox"/>		

GIVE A COMPLETE DESCRIPTION OF WHAT WAS DAMAGED OR NEEDING REPAIR/SERVICE

Damage to City property must be reported ASAP.

All City Property repairs shall be conducted by City staff or their contractors, unless otherwise agreed to by Management.

THIS SECTION IS FOR CITY USE ONLY

Assigned to:								DATE:				
COMMENTS												
OUT SOURCED:	Yes <input type="checkbox"/>	No <input type="checkbox"/>			Service Contractor:							

Account #	Account Name
-----------	--------------

50045	Building Engineer Salaries
51151	HVAC Contracts
51152	HVAC Supplies/Parts/Equip.
51153	HVAC Repairs
51551	Electrical Repairs & Maintenance
51553	Electrical Supplies/Parts/Equipment
51552	Bulbs and Ballasts
51201	Elevator Contract
51202	Elevator Repairs & Maintenance
51501	Plumbing Repairs & Maintenance
51502	Plumbing Supplies/Parts/Equipment
51517	Backflow Testing/Repairs
51649	GB Repairs - Other
51619	Building Rep-Glass Rep/Repl
51351	Roof-Repairs
51913	Signs and Directories
51903	Exterminating
51914	Keys and Locks
51610	Metal Refinishing
51601	Painting
51620	General Building Supplies
51908	Maintenance Uniforms
51110	Life Safety Systems
53110	Management Fees
50010	Prop Mgt Sal-Oper
52030	Office Supplies
52040	Postage and Related
52050	Telephones

Section 1: Introduction

The City has an obligation to protect employees and the visiting public, preserve the availability of assets and ensure the continued delivery of services effectively, safely, and cost-efficiently. Identification cards (ID Cards) and Electronic Access Badges help the City accomplish all of these goals. With the addition of policies for Intrusion Detection Systems (Alarms) and issuing physical keys, this document serves as the central document related to Security, Access Controls and Badging Information for the Public Transit Department.

Section 2: The Policy

2.1 – Introduction

Administration Regulation (AR) 4.44 and 4.45 were drafted and adopted by the City of Phoenix on September 30, 2009. These new regulations provide most of the policy guidelines referred to in this document. AR 4.44 provides guidelines for assessing risk and managing access to City facilities and City assets. AR 4.45 governs Contract Worker background screening.

2.2 – Roles and Responsibilities

1. Monitoring of the Access Control and Security Systems is the responsibility of the Police Department – Central Monitoring Station (CMS).
2. The Public Works Department Alarm Services Section is responsible for specifying, implementing and maintaining the City's badge access system in accordance with accepted industry standards and best practices. Card Access Control Systems must sufficiently meet current and emerging credible threats and standards.
3. The Public Works Department Badge Imaging Office and Public Transit Department Facilities Division control the production, issuance, and accountability of access badges.
4. Periodic reviews of programmed access, clearance codes and inactive badges must be performed by the contractor, Facilities Division, and the Badge Imaging Office to ensure current, valid and relevant access into City facilities.

2.3 – Badge Use and Conditions of Use

Access badges issued by the City of Phoenix remain the property of the City and should be collected and returned to the Facilities Division once no longer required.

While on City property, badge holders must visibly display badges and present government identification upon request of management, security personnel, or law enforcement.

Contract Workers with authorized access are entitled to have the City of Phoenix Contractor Badge and their company identification badge in their possession while on

City property. Only one City access badge is assigned and active for a contract worker. Having more than one active badge assigned to the same person can pose a serious potential security breach. It is important that the contractor and the Facilities Division track and ensure their workers are using the appropriate badge.

Access badges are not transferable. City access may only be used by the person it was issued to. No access may be loaned or borrowed.

All City badge holders are responsible for appropriate care and control of their access badge in accordance with the City of Phoenix Administrative Regulations and contract policies. Badge holders must immediately notify the contractor and the Facilities Division upon noticing their badge is lost, stolen, missing or damaged.

Permanent photo access badges must be picked up personally by the recipient from the Facilities Division Badge Office, during posted office hours, and signed for on the badge application at the Facilities Division Badge Office location.

No one may circumvent, bypass or otherwise render ineffective any City badge access devices. This includes badge readers, locking mechanisms, door sensors, etc. Any intentional attempts to do so shall be regarded as a criminal act.

2.4. – Protection of Information

Personal information for badging purposes is used to issue employees and contract worker access badges and for contact purposes in case of an emergency. The Facilities Division Badge Office and the Badge Imaging Office staff are entrusted to ensure confidential information remains confidential.

Badge access information may not be divulged except in compliance with the City of Phoenix policies and procedures or directives. Any requests for confidential information should be forwarded through the appropriate channels. The information contained in the security system(s) database must not be used for non-security purposes including, but not limited to, time, attendance, and data gathering for disciplinary purposes.

2.5 – Consequences

Violations of this Policy may be subject to disciplinary action at the discretion of the department.

Section 3: Procedures

2.6 – Background Screening Review Process

There are specific requirements that must be completed prior to the Public Works Department Badge Imaging Office and the Public Transit Department Facilities Division Badge Office issuing an Access Badge. Both badging offices will require Facilities Division Management Assistant II signature, contractor representative signature, City contract manager signature, employees and contract workers to complete badge documentation and submit information in order to create a badge and for validation purposes.

Contractor badges may only be issued to contract workers if:

- A business need exists for the worker to have unescorted electronic access to common and secure areas of City facilities;
- A background check has been conducted
 - Level of Access (Minimum, Standard, Maximum) is determined by the Facilities Division Management Assistant II in conjunction with City Risk Assessment Guide
 - The contractor shall be responsible for determining whether a contract worker is qualified to perform work or disqualified from performing work for the City under the terms of the contract for minimum and standard risk level background checks.
 - For minimum and standard level background check requirements, the contractor will provide a list of “eligible contract workers” on the contractor’s company letterhead, to the Facilities Division Management Assistant II.
 - The contractor will provide a complete background check report for the maximum level background check to the Facilities Division Management Assistant II (MAII). The MAII will review and approve/disapprove maximum risk background check results.
 - Maximum risk background check results are to be submitted to the MAII in a sealed, confidential envelope, at a minimum of 5 business days before work is to begin.
 - The MAII will secure all maximum risk background check results in a locked file cabinet until the review is complete.
 - The MAII will discard of the maximum risk background check results in the confidential secured bin that is picked up by an offsite secured shredding company.
 - The contract worker is to work directly with the contractor, not the City, to resolve any disputes related to the background check process and/or outstanding Criminal History Records Check Information.
 - All contractors, except **employees** of 302 Building tenants, must pay a \$55 badge fee before issuance of an access badge.
 - Please note that subcontractors, whether of a tenant or primary contractor, will be charged the \$55 fee, no exceptions.

- Access badges will not be issued if background checks are incomplete, badge applications are incomplete, photo identification is not presented at the time of issuance, background check has been denied, badging fee not paid, or sufficient time not allowed for review.
- Individuals must come in for issuance of an Access Badge within 30 days from date of maximum risk background check results or minimum and standard risk “eligible contractor worker” list.

2.7 – Company Responsibility for Contractors

Each Contract company shall designate a primary and secondary representative who will work directly with their Designated Authorized Signer to have their contract worker(s) complete the necessary steps to perform services. The Contract companies representative(s) are responsible for complying with all requirements associated with conducting business and performing services for the City of Phoenix. Contract companies must ensure their contract workers complete the appropriate paperwork in a timely manner and any supporting documentation requested by their Designated Authorized Signer.

The Designated Authorized Signers are responsible for authorizing and approving City of Phoenix Badge Data Form page 2. In addition, the Designated Authorized Signers are responsible for making access related notifications to their Public Transit Department Badge Office staff regarding changes in status for contract workers such as lost and stolen badges and issues where replacement badges are required to ensure they are deactivated in the system properly. The Badge Office staff will require that each Contract Manager or Tenant Representative Authorized Signer communicate badge, access, and background check information to the Contract companies representative(s) to ensure consistency and that processes are followed properly.

2.8 – AR-Applicable Contracts: Background Check Process

The following regulations apply to all contracts that contain background screening language as it was approved by the Law Department.

Contractors perform a variety of work for the City. The type of work performed and the work environment influence the need for three levels of risk, each of which requires a background check. The first and second levels involve circumstances where background checks are required and performed by the contractor and a third level where the background check is performed by the contractor, but reviewed by City Departments.

Contractors must have workers complete and sign a copy of the Contract Worker Disclosure Form before the background check is conducted.

The Contract Worker Disclosure Form will provide an opportunity for the contract worker to list any and all criminal convictions and grant the City the right to review the background check results.

2.9 – AR-Applicable Contracts: Evaluating Results

The contractor shall be responsible for determining whether a contract worker is disqualified from performing work for the City under the terms of the contract for minimum and standard level background checks.

For minimum- and standard-level background screening, the contractor will provide the contracting department a memo indicating the types of screenings performed and that the contract worker passed those screenings (See Section 2.6).

For maximum-level background screening, the contracting department will review and approve the background check provided by the contractor. The department will prepare a memo to be placed in the contract file that indicates the results of each worker's background check.

The contract worker is to work directly with the contractor (not the City) to resolve any disputes related to the background check process and/or any outstanding Criminal History Records Check information.

In making the determination of whether information contained in the results of the background checks constitute grounds for disqualification of a contract worker, the contractor and contracting department should be guided by these principles and guidelines:

- Disqualification decisions should not be based solely on a criminal conviction, unless the conviction is related to performance under the contract. Arrests that did not result in a conviction or have not been charged may not be considered when determining whether a contract employee is disqualified.
- Not all criminal convictions or other negative information obtained in the background screening process would prohibit an individual to work under the contract. Departments must evaluate the job relatedness of the information received. To determine if a contract employee's background would be prohibitive for a specific contract, these factors should be analyzed:
 - Duties of the specific position;
 - Time, nature, and number of negative events / convictions;
 - Attempts and extent of rehabilitation efforts; and
 - The relation between the duties of the job, and the nature of the crime committed.

The analysis of whether or not any particular item in a background check is a potentially disqualifying factor involves looking at what the contract work requires, where the work is done, the access to particular areas, and the type of people or places that the contract worker will encounter. Then the background results should be reviewed to determine whether the nature of the crime reported would create a risk to the City based on that person's background. An example of this analysis would be as follows:

Security, Access, Controls and Badging Information – City of Phoenix Public Transit
Department

For a person who is contracting for work requiring the minimum risk background check, there is no conviction that should disqualify a person for the work, since at this level, the contract worker does not have direct access to City facilities, does not come in contact with vulnerable people, does not have access to private property, and only has escorted access to City facilities. The only disqualifying factors would be if the contract worker did not meet the requirements of A.R.S. § 41-4401.

For a person who is contracting for work requiring a standard risk background check, potentially disqualifying convictions could include a record of theft, burglary, arson, crimes against property, violent crimes, or other crimes involving dishonesty, or embezzlement.

For a person who is contracting for work requiring a maximum risk background check, potentially disqualifying convictions could include a record of child molestation, assault, sexual assault, crimes against a person, public indecency, drug offenses, forgery, theft, burglary, arson, crimes against property, violent crimes, crimes for financial gain, and embezzlement.

If a contract worker has a criminal record that includes a disqualifying conviction, that person shall not be permitted to perform work for the City under the contract. If the records check indicates that the disposition of the criminal case is unknown, the contractor must determine the disposition.

3.0 – Badge Office Locations and Contacts

The Public Works Department Badge Imaging Office is located on the Mezzanine in the Calvin C. Goode Building. Employees and contractors without a valid parking pass may park in the 305 Garage (305 West Washington) or at a parking meter. Individuals will enter the building through the main lobby entrance and proceed to the single elevator located directly east of the main elevator banks. Employees and contractors are only to utilize this location upon prior approval from the Public Transit Department Facilities Division Badging staff.

Public Works Department
Badge Imaging Office
251 West Washington, Mezzanine
Phoenix, Arizona 85003
Monday – Friday
8 am to 12 pm, 1 pm to 4 pm
602-534-4611

The Public Transit Department has (3) three badge office locations. All information must be received by badging staff prior to individuals coming in for issuance of an Access Badge.

Public Transit Headquarters
302 North 1st Avenue, Ste. 900
Phoenix, Arizona 85004

Security, Access, Controls and Badging Information – City of Phoenix Public Transit
Department

602-495-5914
Tuesday, 1 pm to 5 pm
Thursday, 8 am to 12 pm

West Transit Facility
405 North 79th Avenue
Phoenix, Arizona 85043
602-534-9121
Wednesday
8 am to 12 pm, 1 pm to 5 pm

South Transit Facility
2225 West Lower Buckeye
Phoenix, Arizona 85009
602-495-7690
Friday
8 am to 12 pm, 1 pm to 5 pm

3.1 – Fees and Payment Info

Payment must be submitted to badging staff with submission of application, unless prior arrangements have been made with the Facilities Division Management Assistant II.

Initial Badge Fee.....	\$55.00
Renewal Badge Fee.....	\$55.00
Lost or Damaged Replacement Badge Fee.....	\$55.00
Stolen Replacement Badge Fee.....	PD Department Report – No Charge (Report # is required on the Badge Data Form, if individual does not have proof of report \$55 will be charged)

3.2 – How Access Badges Work

The proximity access badges used by the City of Phoenix have a microchip embedded inside them. The badge holder is required to present their issued badge to the card readers only in the areas they are authorized. Presenting badges to card readers that the individual does not have approved access to will trigger “denied wrong area” alarm activation to the Central Monitoring Station.

3.3 – Badge Number

The access badge number is the last four to six digit number printed on the back of the badge in the lower right corner.

3.4 – Authorization for Access

Each Designated Authorized Signer shall establish an Access Authorized Signer List. The list shall be maintained by the Designated Authorized Signer and contain the name and signatures of individuals who have been given the authority to approve access, along with a description of the areas for which they are allowed to approve access. Signers should be at the highest possible level based on the level of security needed for each area.

The number of people each department authorizes to approve access should be limited to the fewest number needed to efficiently process requests. The Access Authorized Signer List must be kept current and on file with the appropriate badging and/or security office.

Authorization to grant employees and contract workers access shall be documented by the requesting department prior to the issuance of a badge, key, or PIN code.

Documentation shall include, but is not limited to, the following:

- Employee's or contractor's true and legal name;
- Location and times of access needed;
- The reason for access to each area;
- Approval signature of Contract Company Authorized Signer; and
- Approval signature from the Designated Authorized Signer.

Section 4: Enrollment

4.1 – Identity Verification

It is imperative that photo identification be shown to Badge Office staff when a person has their photo taken for a badge. The integrity of the City's identification system relies on this procedure. Government-issued photo identification is the most reliable.

Acceptable types include:

- Passport
- Citizenship Card
- Photo Health Card
- Driver's License
- Photo Firearms License
- Native/Immigration Status Card
- Permanent Resident Card
- Other acceptable form of government-issued ID

Badging staff will not take a photo and issue a badge without acceptable identification.

4.2 – Information Collection

The following steps must be followed by the Public Transit Department Badge Office when collecting information on a badge candidate:

- Ensure that the badge request form is fully completed and that all required information is written clearly on the form.
- Check photo identification to verify that the name on the form matches the name on the ID. If the person does not have photo identification, they will need to take the necessary steps to obtain an appropriate photo ID.
- Badging staff will ensure the appropriate badge type has been checked. This will determine the type of badge template to issue.
- Validate signature of the person who signed the badge application.
- Validate payment method and process.
- Take photo and inspect the badge to ensure the name is spelled correctly.

4.3 – Photo Capture

City access and identification badges are used in many sensitive applications, including access into restricted City facilities, senior and childcare facilities, critical infrastructure and private homes, so it is important that the best quality picture be captured and applied.

Below are some guidelines to help obtain the above result:

- Hats or head coverings are not allowed, except if worn for religious reasons. If the photo candidate is permitted a head covering, the facial features must be fully and clearly visible.
- The candidate's eyes must be open and clearly visible.
- Glasses, including those tinted with a prescription, may be worn as long as the eyes are clearly visible. Sunglasses are not permitted.
- Photos must show both edges of the face clearly.
- Photos must show a full front view of face and shoulders squared to the camera.
- A small section of space may be left above the top of the head and below the neckline to show proportion.
- The face and shoulder image must be centered in the photo.
- Smiling is always permitted; however, unusual or contorted expressions will not be permitted.

4.4 – Retain Photocopy of Badging Sheet

The Badge Office staff will retain a copy of each processed Badge Data Form as long as the badge holder is active and in good standing with the City.

Section 5: Verification

Before any badge is produced, employment or affiliation with the City must be verified. No badges are to be produced without this verification.

5.1 – Requirements for Verification

For City employees, the following information would satisfy the requirements of verification:

- Established record in the Human Resources e-CHRIS database;
- Confirmation of City department name, division, and section;
- Government-issued photo ID;
- Badge access requirements including all City facilities;

For a contractor, the following information would satisfy the requirements of verification:

- Confirmation of affiliation with a City department, function, division or program;
- Confirmation of passed and approved background check process;
- Required need for access into a City facility, use of City assets or recognition of City affiliation;
- Government-issued photo ID;
- Expected contract completion/end date; and
- Badge access requirements for all City facilities.

The contract manager must provide the Badge Office staff with the required information. Where the required information is not available, the Badge Office will advise the worker of the information required and will request that they return when all information requirements have been satisfied. All information must be entered on the City of Phoenix Badge Data Form for retention and future auditing purposes.

5.2 – Confirm Employment Data

As part of the confirmation process, all relevant information must be collected. Relevant information includes:

- Badge Holder's name;
- Department, Function, Division and/or Contract Company worked for;
- Position/Title;
- Home Address and Phone Number;
- Work Location and Phone Number;
- Year of birth;
- Last 4-digits of Social Security Number;
- Emergency contact; and
- Badge Holder's Signature and current date;

5.3 – Confirm Access Requirement

The last part of the verification process involves the determination and authorization of access needs. Access must be requested by the Designated Authorized Signer(s) on behalf of the worker. Requests must be submitted in writing to the Badge Imaging Office and/or noted on the Badge Request form for processing.

Section 6: Production and Distribution

6.1 – Verify New Record

The Badge Office staff will research the database prior to entering a badge to ensure that another record does not already exist. If another badge record already exists, the latest information from the Badge Data Form and recent photo should be used to update the existing record, not replace it.

6.2 – Badge Pick-Up

All access or identification badges must be signed for at the Badge Office. Access badges may not be picked up by a co-worker or family member, and should not be inter-office mailed directly to the recipient.

Prior to issuing an ID or access badge, the Badge Imaging Office will ensure that any temporary badges issued to the badge holder are returned. This procedure enables proper badge tracking and auditing from production to issuance by maintaining continuity of possession.

6.3 – Identity Verification

It is important that ID and access badges be issued to the intended holder. When a badge holder arrives to pick up a photo ID or access badge, verification of the correct recipient is done using the badge holder's government issued photo identification.

Section 7: Maintenance

ID/Access Badges and Keys issued by the City of Phoenix are considered City property. Designated Authorized Signers must ensure employees and contract workers protect and take care of City assets. Badges and Keys must be returned immediately to their appropriate issuing department when no longer required. Penalties may be assessed to the contracting department and/or the Contractor for failure to return these items.

7.1 – Lost and Stolen Badges

Active lost badges pose a serious potential security breach, similar to a lost key. It is imperative that employees and contract workers immediately report the badge as lost or stolen.

7.1.1 – Reporting Lost or Stolen Badges

Employees and contract workers are responsible for immediately notifying their Designated Authorized Signers of any lost or stolen badges so they can be deactivated and the appropriate precautions taken. Designated Authorized Signers must establish a method for reporting lost and stolen badges during afterhours.

Employees are responsible for completing the following steps:

- Notify the Designated Authorized Signer immediately;
- Notify the Public Transit Department Badge Office;
- Complete a new Badge Data Form signed by the Designated Authorized Signer and/or designee; and
- Complete payment process (if applicable).

Contract Workers are responsible for completing the following steps:

- Notify the Contract Company he or she is employed with;
- Notify the Designated Authorized Signer and/or designee; and
- Complete a new Badge Data Form signed by the contract worker and the Designated Authorized Signer.

Departments shall require a police report be filed for any stolen badges.

7.1.2 – Found Badges

Often times, ID/Access badges are reported lost at first and are later found. Badge holders are prohibited from using a badge that has been reported as lost or stolen, unless the Badge Imaging Office notifies the department or employee otherwise.

When a deactivated badge has been found, the Designated Authorized Signer and/or the contracting department shall report these conditions to the Badge Imaging Office immediately. The Badge Imaging Office will verify the badge record information. If a new badge has been issued, the Designated Authorized Signer is required to return the

badge that was found to the Badge Imaging Office. If a new badge has not been issued, the Badge Imaging Office staff will validate the badge holder's record information and update the status. It is vital to be sure the badge is being activated for the correct person.

The badge should only be re-activated after ensuring that a replacement badge has not yet been made. If no new badge has been issued, the badge may be reactivated at the discretion of the Designated Authorized Signer and the Badge Imaging Office.

7.1.3 – Replacement

Lost and stolen badges will be replaced once a new badge application is completed and signed by the appropriate Designated Authorized Signer. In the case of lost badges, the employee, contractor and/or contract worker will be responsible for the current replacement cost. In the case of a stolen badge that has been reported to the Police Department, a replacement will be provided at no cost. A new Badge Application must be completed and approved, along with the Police Department Report number, before a replacement badge is issued.

7.2 – Damaged and Defective Badges

From time to time, the microchip inside an access badge will become inactive or fail. Sometimes a badge will be cracked or otherwise damaged, rendering the badge inoperable. Badges that have sustained cosmetic damage to the front of the card, such as scratching, or fading, should be replaced if the image on the front of the card is no longer legible from an appropriate distance.

A new Badge Application needs to be completed before the badge can be reissued. Defective badges may be replaced at no cost, if it is determined that the employee or contract worker did not cause the defect. Payment is expected at time of application.

7.3 – Name Change

Employees or contract workers requesting a name change from their existing City – issued access badge must complete a new Badge Application signed by the appropriate personnel and pay the replacement cost at time application is submitted. The old badge must be returned at the time the new badge is issued.

7.4 – New Photo

Personal appearance can change significantly over time, due to changes in weight, hair color, style, etc. The goal is to have the City electronic access badge look like the person that it represents for security and safety reasons. If a new badge is issued within 6 months of previous badge, a new photo is required.

If an employee and/or contract worker wishes to take a new photo due to the individual's change in appearance, that request must be initiated from the Designated Authorized Signer and/or the contract manager. A new Badge Data Form must be completed and submitted to the Public Transit Department Badge Office.

The badge holder will be required to make a payment in the amount of \$55 at the time of issuance of the new badge.

7.5 – Separation in Service

When there is a separation in service from the City of Phoenix involving an employee, it is the responsibility of the supervisor to report the change in status immediately in writing to the Public Transit Department Badge Office. This will ensure the badge record is deactivated in a timely manner and eliminate security and safety risks involving the use of the City issued badge. Badges must be collected and returned to the Badge Office.

If the former City of Phoenix employee returns to perform services under a contract, it is the responsibility of the supervisor to follow the guidelines outlined in the contract.

If there is a separation in service where a contract worker is no longer employed with their company, the contract company is responsible for reporting the change in status immediately to the Designated Authorized Signer. If the former contract worker later returns to work for that same company it is the responsibility of the contract company to re-screen the worker.

7.6 – Extended Leave

Badge access privileges will be suspended for all badge holders who are on authorized extended leave. The supervisor or contract company is responsible for reporting change in status immediately to the Designated Authorized Signer.

All cancelled badges must be returned to the appropriate Badge Office.

7.8 – Expired Badges

Badges are only valid through the expiration date printed on the front of the Access badges. It is the responsibility of the badge holder to ensure they are in possession of a current and valid badge. A new badge application must be completed by the individual and signed by the appropriate personnel to replace an expired badge.

When expired badges are presented to card readers as an attempt to gain entry, alarm activation are generated in the Police Central Monitoring Station (CMS). This is a violation of badge holder responsibilities and may result in discipline.

7.9 – Adding Access to Badges

If a need develops for a badge holder to have additional access, the designated person may request the additional access via email to the Public Transit Department Facilities Division Management Assistant II.

Section 8: Badge Holder Responsibilities

8.1 – Badge Responsibility Agreement

Badge Holders shall read and sign a Badge Responsibility Agreement acknowledging their responsibilities related to safeguarding and caring for their city-issued badge. The information found in a Badge Responsibility Agreement may vary between departments

and/or location based on the level of security maintained in each area, but should include the badge holder responsibilities outlined in Section 8 of AR 4.44. Departments are responsible for maintaining Badge Responsibility Agreements for each badge holder.

8.2 – Representing the City of Phoenix

Badge holders should recognize that a City of Phoenix badge demonstrates affiliation with the City of Phoenix, and the actions of City employees and contractors are closely watched by members of the public. All badge holders must act legally, responsibly, and respectfully while wearing the badge.

8.3 – Guidelines

Guidelines for wearing the badge include, but are not limited to:

- While badge holders are conducting business and performing services at City facilities, ID/Access Badges must be worn at all times; displayed on the outer most garment and visible for immediate identification purposes.
- Badge holders must not loan, borrow or share badges, keys or PIN codes.
- The person to whom a key or badge has been issued shall be held responsible for its use until it has been properly returned to the appropriate Department or the Badge Imaging Office.
- Any person found to be in possession of an unauthorized key or badge shall be liable for its use and may be subject to disciplinary or legal action.
- Lost or stolen badges or keys must be reported immediately.
- If badges or keys are found, employees and contract workers must notify appropriate personnel.
- Badge holders must use their assigned access cards to gain entry into work areas that have card readers. Keys, when issued, should only be used in an emergency situation as it will cause alarms to be activated.
- Badge holders shall not tamper, interfere, compromise, modify or circumvent any security system, measures or procedures.
- Badge holders shall not allow persons without a badge to follow them into a restricted or controlled environment unless being escorted by a badged employee.
- Badge holders shall ensure doors are secure and never left open.
- Badge holders must take care to secure their badges and keys. They should never be left on an employee's desk or vehicle. Alarm PIN codes must be memorized and never posted for view.
- Badges and keys must be returned to appropriate personnel when no longer needed or upon the termination or transfer of an employee or contract worker.
- Badge holders may be charged for the cost of replacing badges or re-keying locks.
- Badge holders shall question the presence of persons without a badge and report infractions.
- Badge holders shall not duplicate badges and/or keys.
- Badge holders shall immediately report all alarm activations that occur in error.

8.4 – Violations

Employees may be subject to disciplinary action for violation of these policies and procedures.

For contractors, violations of this section, or any other section of this document, are punishable by temporary or permanent suspension from contracting with the City. Contract companies and their workers may be subject to other fines or consequences, depending on the severity of the infraction.

Section 9: Department Responsibilities

9.1 – Introduction

Designated Authorized Signers and contract managers shall be responsible for ensuring the City of Phoenix A.R.'s for Badge and Access Control and Contract Worker Background Check policies are followed by all employees and contractors. The City and contract managers must communicate the badge and access control and background check requirement needs to the appropriate Badge Office at least one week prior to start of new employees and the contractor's work assignment(s).

9.2 – Auditing and Process Reviews

Departments shall perform regular employee audits to ensure employees are in compliance with the Administrative Regulations, understand their responsibilities, and Designated Authorized Signer and/or designees are following the required procedures.

Departments shall perform regular contract worker disclosure audits and process review per prescribed citywide guidelines in conjunction with the implementation of Administrative Regulation 4.45. The City Auditor Department may also perform audits as it deems necessary.

As a part of contract monitoring, the contract manager shall establish procedures for controlling contractor badges and a process for reporting lost/stolen cards. The same care and level of authorization should be applied to badges for a contractor as is for an employee badge (see AR 4.44, section 3 through 4G). All requirements, policies, and procedures related to contractor badges shall be documented in the contract.

9.3 – Training

The Designated Authorized Signers are required to conduct an internal Security Badge and Access training and awareness session for employees and contract workers. The Public Works Department Badge Imaging Office is available to assist departments in developing and/or improving their training program.

Section 10: Special Circumstances

10.1 – Contract Company Extensions/Special Access Request

When a contract is extended beyond the original end date of the contract, the department or division must contact the Badge Office. The department needs to ensure any contract workers who continue to work after the original expiration date of the contract will continue to have access. If contractors need additional access, or have a special access request, they are encouraged to contact the Badge Office.

10.2 – Working for Multiple City Departments/Multiple Contracts

Contract workers may be employed by multiple contract companies conducting business and performing services for the City of Phoenix. Contractors may be awarded multiple City contracts and perform services on behalf of multiple City departments. It is important for each City department to do their due diligence to ensure a proper background check has been conducted for contract workers according to the area and facility(s) assigned. This will ensure appropriate precautions have been considered to mitigate risk and liability for the City.

10.3 – Secondary Access Media

There are times when contract workers are employed by multiple companies doing business with the City of Phoenix and will require multiple badges. The Designated Authorized Signer must notify the appropriate Badge Imaging Office of the Contract company names, contract numbers and expiration dates, and determine the appropriate level(s) of access based on the areas and facilities associated with the duties performed by the contract worker. Contract workers must safeguard all issued media and follow all guidelines outlined in this policy.

10.4 – Access for Other Government Agencies

A non-City of Phoenix Government agency requesting an ID/Access Badge for City facilities/sites may, at the discretion of the Designated Authorized Signer waive certain fees outlined in the Fee Schedule.

Section 11: Intrusion Detection (Alarm) Systems

11.1 – Introduction

An Intrusion Detection System is an important device in protecting City of Phoenix facilities. Many City facilities are equipped with Intrusion Detection Systems (burglar alarm) and other specialized system devices to protect people, facilities, and assets.

These systems are electronic and can be controlled through a low voltage hard-wire or wireless transmitters and receivers. Sensors, such as door contacts, glass break sensors and infrared motion detectors, connect to an alarm that is sounded when the system is compromised. Sensors are wired to a central control panel that can deactivate an alarm by keying in the proper code. Properly installed, used, and maintained, City of Phoenix Intrusion Detection Burglar Alarm Systems are a real asset to the organization.

Every effective Intrusion Detection System is only as good as the department employees and the Central Monitoring Station that monitors it. Designated Authorized Signers must educate employees, tenants, and contract workers on the proper use of the Intrusion Detection System, how to properly enter the facility without unnecessarily setting off alarms, and how to report accidental alarm activations.

When Intrusion Detection Systems are misused and not operated properly, they can become a liability to the City. The Phoenix Police and Fire Departments as well as the Central Monitoring Station, must spend a significant amount of time and money handling

and responding to false alarm activations. As the Designated Authorized Signers and system users, you may also experience the inconvenience of false alarms at the facilities you maintain.

11.2 – Alarm Permit Subscriber Permit Application Form

An alarm subscriber permit application form is required for all Intrusion Detection Systems monitored by the City of Phoenix Central Monitoring Station. The form must be completed by the Designated Authorized Signer and forwarded to the Police Department Code Enforcement Unit when a new Intrusion Detection System is installed. The initial application fee is \$17.00 and a cost center must be included on the application form before returned to the Code Enforcement Unit.

City of Phoenix facilities with an Intrusion Detection System installed that do not have a burglar alarm permit on file with the Police Department will be assessed a \$96.00 fee. Designated Authorized Signers are required to complete that alarm subscriber permit form, include that department cost center, and return the application form to the Police Department Code Enforcement Unit immediately. Once the form is received and processed by the Police Department personnel a permit number is assigned to the City facility for emergency response purposes. Departments may also be subject to an assessment of \$105.00 for a fire alarm activation that the Fire Department responds to if there is no permit on file.

11.3 – Annual Renewal Process

The Designated Authorized Signers and/or Responsible Party must renew the City of Phoenix Alarm Subscriber Permit and notify the Public Works Department Alarm Services staff (if the alarm system is monitored by the Central Monitoring Station) to make all necessary updates in the security system database. It is important to update the responsible party names and telephone numbers on the permit form that is returned to the Police Code Enforcement Unit as well as to ensure the Public Works Department system database reflects the changes.

11.4 – PIN Codes

Personal Identification Numbers, or PIN codes, are programmed into the Intrusion Detection System database to allow an authorized person the ability to arm and disarm a facility's burglar alarm system by use of a keypad. Any employee or contract worker requiring a PIN code is asked to select a 4-digit number that can be programmed to the system panel in the field to communicate with the keypad. PIN codes are specific to the individual and must not be shared and loaned to other individuals. PIN codes should be kept confidential and not be obvious or easy to guess. It is recommended that when selecting a PIN code that the use of bankcard PIN numbers or the last 4-digits of social security numbers are not used for security reasons. Designated Authorized Signer and/designees must notify the Public Works Department of any changes in status to ensure accurate data is maintained in the security system.

Generic PIN codes are not allowed for security and identification purposes, but may be acceptable based on certain operational needs.

11.5 – Responsible Party

The Responsible Party is the person(s) designated by the department to handle alarm activations and the person(s) responsible for responding to the facility in the event of an emergency after hour issue. When alarm activations are received in the Central Monitoring Station, police staff will notify the Responsible Party of the alarm type and condition. Police and/or Fire may request the responsible party respond to the facility. The responsible party is required to have an established PIN code, a badge and appropriate keys (where applicable) to the facility to properly investigate the alarm issue(s).

It is important for Designated Authorized Signers to identify a minimum of three (3) people who can be primary contacts and responsible parties for after-hour alarm notifications. Contact information for responsible parties must be kept up-to-date and on file with the Public Works Department, the Central Monitoring Station or their appropriate monitoring agency.

11.6 – False Alarms

False alarms are a problem for everyone: the City, Designated Authorized Signers, the Central Monitoring Station and the Police Department. With the growing number of alarm systems being installed and used throughout the City of Phoenix, all facility Responsible Parties and users must be aware of how to correctly operate their internal systems.

In addition to the personnel costs to the City of Phoenix, there are other items that affect police response to false alarms. False alarms are costly and divert Police Officer time away from calls that may be real emergencies. Article IX of the City Code describes the duties of alarm subscribers, proprietor alarm owners, and alarm businesses and explain how false alarms are defined.

The majority of false alarms are caused by human error. False alarms caused by human error are the easiest to prevent. It is extremely important that Designated Authorized Signers, Responsible Parties, and users understand how to operate the alarm system in order to prevent unfortunate mistakes that result in a Police emergency response and unnecessary cost to the City of Phoenix.

Everybody must do their part to reduce the number of false alarms generated citywide. A few tips:

- Make sure everyone who has access to the premises knows how to operate the alarm system and knows how to clear false alarm activations from the keypad.
- Immediately call the Central Monitoring Station and inform security staff of any errors and false alarm activations.
- If there are any changes at the facility such as remodeling that may affect the security system devices, such as a motion detectors or panic buttons, notify the Public Works Department Alarm Services section.

- Make sure Responsible Party names and after-hour contact details are current and up-to-date.
- Every person using the alarm system keypad must have their own PIN for verification purposes with the Central Monitoring Station.
- During monsoon weather, the Responsible Party and/or staff should double check all doors and windows to make sure they are secure and will not blow open.
- Conduct monthly observations of alarm system devices such as motion detectors to make sure there are no obstructions, dust build up, and that building doors and windows are securing properly.
- Report problems immediately to Public Works Department Work Control by calling 602-262-6732.

11.7 – Preventative Maintenance Inspections

City of Phoenix Code requires an annual preventative maintenance inspection of all security alarm systems. Preventative Maintenance can save the City unwarranted costs, eliminate false and trouble alarms issues, and reduce expensive repairs when performed by the Public Works Department Alarm Services trained professionals.

Designated Authorized Signers should establish annual auto-generating preventative maintenance inspection work orders by contacting the Public Works Department Work Control at 602-262-6732. Public Works Department Alarm Services staff can assist departments with the above process.

Section 12: Keys

12.1 – Introduction

Physically keys cannot be turned off or deactivated electronically to prevent use. It is the responsibility of the Designated Authorized Signer to train and educate employees and contract workers on the importance of keeping track of keys that are issued by the City of Phoenix.

City employees requiring keys to perform the duties of their position must safeguard them in the same manner as they would ID/Access Badges.

There are times when a contractor and/or their workers may require a key to be issued to complete City approved work or services. A key may be issued only upon written authorization from the applicable contracting Designated Authorized Signer. **A key shall be authorized only when no other reasonable means of access is available.** All policies described for issuing badges to contractors and their workers must be followed to issue keys (see AR 4.44, Section 4.J.).

12.2 – Responsibility of the Site Key Liaison

The Site Key Liaison is responsible for tracking all keys assigned to their site. These responsibilities include recording and maintaining all key information in a site database. It is suggested that the Key Liaison retain a copy of the key issue form from the key holder, in order to maintain a written record with signature and date for when that person received and returned the key.

12.3 – Key Issue Instructions

All keys are issued to Site Key Liaisons by Alarm Services. Keys will then be issued to personnel on-site and tracked by the Site Key Liaison. Alarm Services requires original key issue forms with original signatures to release keys. The following steps need to be completed for a key to be issued or re-issued:

1. Submit a request for a work order to Work Control (602-262-6732).
2. Record the work order number on the top left of the Key Request Form (See the Intranet site for the most current Key Request Form.)
3. Date the form at the top right hand side.
4. Fill in your information on the "City of Phoenix Employee" line.
5. Mark any applicable boxes in the "check all that apply" section: "New issue, Duplicate, Master," etc.
6. In the "Key Number 1" box, record the key information and include all letters and numbers on the existing key if available. For example: 22x13 NA; 10M03 NC; AD HE. Building numbers refer to facilities with multiple buildings at the site. Boxes 2 and 3 can be used for additional keys, but request only one key code per box. Record the number of key copies requested of each code in the "copy no." box.
7. Sign, and fill in all of the information on the "key holder's signature" line at the bottom of the form, middle line.
8. Read and initial the bottom two lines in the "NOTE" section.
9. Forward the form to your Designated Authorized Signer to sign, filling in all of the information on the "key authorizer's signature" line at the bottom of the form, top line.
10. The Designated Authorized Signer should then forward the form to Alarm Services at the address at the top of the form. (Calvin C. Goode Building, 251 W. Washington, 2nd floor Mezzanine.)
11. Alarm Services will e-mail or call when keys are ready. Keys can be picked up at the Calvin Goode Building 2nd floor.

12.4 – Key Return Instructions

The following instructions shall guide the return of a key when it is no longer necessary for any reason.

1. Make any necessary changes in the site database.
2. Fill out a key issue/return form. (See Intranet site for the updated form.)
3. Mark the form "Return" in the "check all that apply" section.
4. Fill in all of the information in the "Received key(s) from" section.
5. Record the key information, for example: 22x13 NA, 10M03 NC, AD HE and building information in key box #1, 2 or 3 that are to be returned.
6. Sign, and fill in all of the information on the "key holder's signature" line at the bottom of the form, middle line.
7. Return the form and keys to Alarm Services at the address on the top of the form. (Calvin C. Goode Building, 251 W. Washington, 2nd floor Mezzanine.)

8. Alarm Services representative will sign the “key received by” section and return the form to you as a receipt.

12.5 – Key Duplication

All keys are property of the City of Phoenix. Duplication of keys by anyone other than authorized personnel is prohibited.

12.6 – Terminated or No Longer Required

Keys must be obtained from employees and contract workers and returned to the Designated Authorized Signer before the end of their last working day with the City of Phoenix and/or with the contracting department.

12.7 – Lost/Stolen Keys

Lost and stolen keys shall be immediately reported to the Designated Authorized Signer. Employees are required to file a Police report and obtain a Department Report (DR) number for lost and stolen keys. If a new key is required, the Designated Authorized Signer must generate a work order by contacting Public Works Department Work Control and complete and sign a new Key Request Form for the employee. Depending on the type of key and what facilities are controlled by the key, departments may be required to re-key the facility and absorb all costs associated to the re-key.

For contractors, lost and stolen keys shall be immediately reported to the contract worker’s contract manager. Contract workers are required to file a Police report and obtain a Departmental Report (DR) number for lost and stolen keys. The contracting department must establish a method for reporting lost and stolen keys during after-hours. The Contractor and contracting department may be required to bear the cost for re-keying locks and replacing keys. If another key is required, a new key request form must be completed and signed by the contracting department’s Designated Authorized Signer.

Section 13: Auditing

13.1 – Introduction

Frequent audits will depend on the level of security needed in each facility/area. Audits can be conducted in various forms. In high risks area, the department may want every employee to show their badges and keys to assure they are still active and in the employee’s possession. In lower risk areas, the audit can be performed by coordinating with the appropriate Human Resource liaison and working closely with the appropriate Badge Office. Any questionable issues related to auditing badges, access, any keys should be researched and the appropriate action taken to ensure assigned badges and keys are with the correct personnel and access is restricted to only those areas that are approved.

Keys should periodically be visually reviewed to ensure that employees are still in possession of the keys assigned to them.

Departments are responsible for developing an audit plan for reviewing access for their areas at least once annually (for high-risk areas, it is recommended that audits be performed more frequently). The audits should include, but not limited to:

A.R. 4.45

- Contract Worker Disclosure Forms copies for each contract worker
- Review of contract company files
- Name of firm and/or internal staff that conducted the background checks
 - Type(s) of Background Checks conducted
 - Background Check results
- Confirmation that the contract worker is still employed with the company
- Confirmation that the contract worker has an active badge in their possession

A.R. 4.44

- Employee's badge (physical inspection)
- Badge access (electronic access)
- Keys (physical inspection)
- Employee's with PIN Code access (electronic access via burglar alarm system key pads)
- Responsible Party (RP) Data and after-hour contact numbers
- Facility Dispatch Instructions

Badging Offices and the City Auditor may also perform audits as they deem necessary.

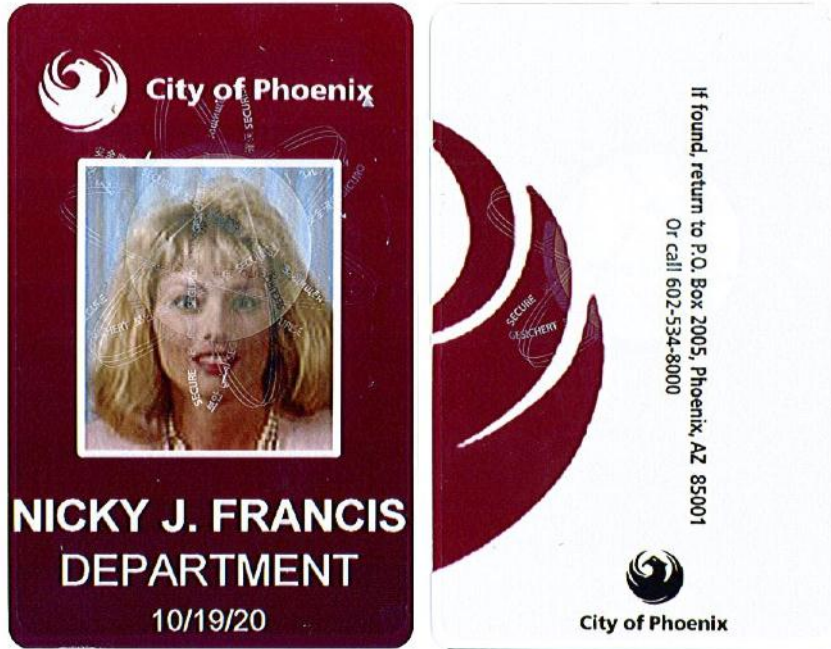
12.2 – Violations

Violations of the Badge and Access Controls and Contract Worker Background Check Administrative Regulations may result in disciplinary action.

Sample Badge Templates

Some departments have an approved variance and may provide another type of identification and/or access badge.

Employee Badge



Front

Back

Municipal Court Employee Badge

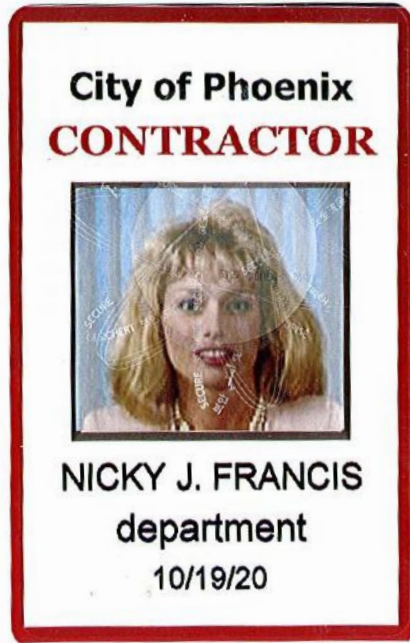


Front

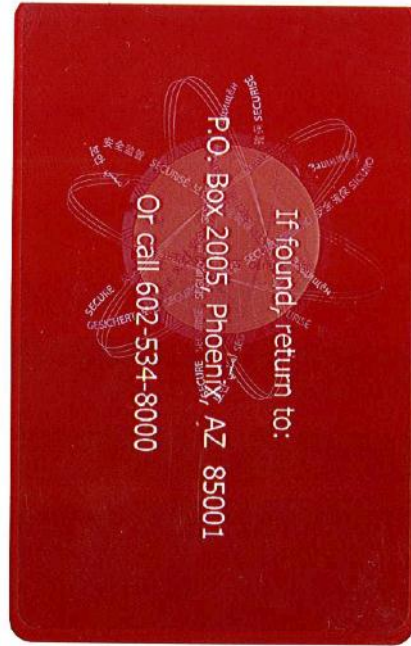
Back

Some departments have an approved variance and may provide another type of identification and/or access badge.

Contractor Badge

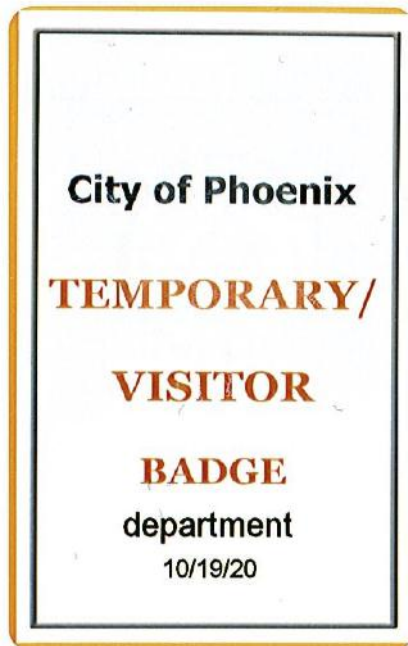


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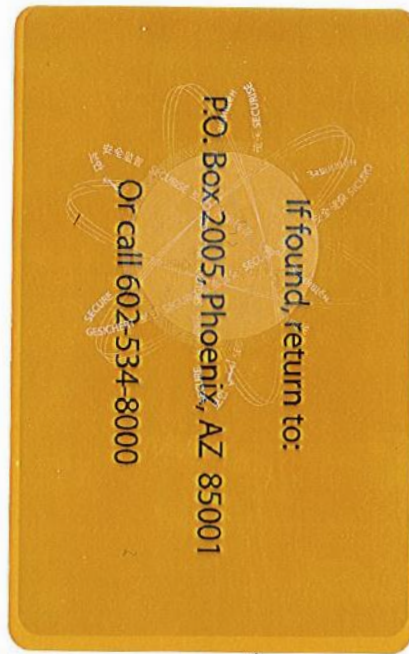


Back

Temporary and Visitor Badges



Front



Back

Exhibit Z

Technology and Telecommunications Requirements

This exhibit details the CITY's Information Technology standards, technical and performance specifications, problem escalation and oversight.

Particular care must be exercised when connecting to CITY enterprise network. These connections will typically be used to permit the sharing or exchange of information. Data stored on CITY databases is considered public domain; however, the impact of data loss or disturbance in terms of lost business access and employee time to restore normal operations may be very high. Accordingly, CITY data assets will be protected at a level commensurate with the risk of damage or loss.

Due to the constant evolving nature of technology, this document represents CITY requirements and is subject to change at the discretion of CITY.

1. PERMITTED SYSTEM ACCESS

The CITY will provide access to transit business related systems upon a submitted and approved business justification outlining the need for such access. All user access requests for applications and data (i.e., Virtual Private Network (VPN), MPulse, etc.) will be submitted on-line using the electronic security access form (SAF), which is accessible on the CITY TransPort contractor web page.

- Contractor shall follow the CITY's established process of two (2) weeks advance notice of its request to activate the Contractor's user account.
- Contractor shall communicate to the CITY any updates to accounts belonging to employees in the Contractor's control.
- Contractor shall inform CITY within one (1) business day when a Contractor employee who is granted CITY systems access has been terminated or will otherwise be leaving the Contractor's employment.

The Contractor shall designate a representative who will be responsible for the system access process and will work with the CITY as required for the duration of the Contract.

2. COMMUNICATION CONTACTS

The Contractor shall supply the CITY with an Internet email address capable of reaching all Contractor transit staff. This information will be used to communicate critical CITY system information as needed. The Contractor shall supply Internet email addresses within thirty (30) days after the Contract is signed. The Contractor shall provide to the CITY the following contact information and communicate changes within one (1) business day for the duration of the Contract:

- Local Information Technology contact
- Local Contractor Management contact

3. VIRTUAL PRIVATE NETWORK (VPN) SOFTWARE

The Contractor shall install VPN software on all desktop computers requiring access to CITY systems for the duration of the Contract.

- Contractor shall be responsible for supplying all personnel required to support VPN software installation.
- Contractor shall be solely responsible for testing VPN software with their desktop computer software environment in advance of widespread distribution within their organization.
- CITY will not be held liable for any damage or disruption to any desktop computer or to Contractor's data environment as a result of the installation of VPN software.
- CITY shall act in a consulting role and provide telephone support.
- CITY reserves the right to make changes to the VPN software product, functionality and access requirements.

4. PROPER USE OF SYSTEMS

All Contractor employees granted access to CITY systems will be bound by the rules and conduct set forth in CITY Policies and Administrative Regulations.

The CITY will provide the Contractor with CITY Administrative Regulations, standards and policies within ten (10) days of contract start date. The Contractor shall distribute CITY A.R.(s), policies and standards to every employee under Contractor control who is granted access to transit business applications or data.

The Contractor shall direct all employees under their control to read and sign CITY document "IT Standards and Signature Sheet," to convey receipt, comprehension and intent to comply. The Contractor shall retrieve from their employees and submit electronically the signed documents to the CITY within ten (10) days of Contract start date.

For all new accounts, CITY document "IT Standard and Signature Sheet" must be attached to the security access form (SAF) submitted electronically.

Contractor shall perform user account review and provide "IT Standards and Signature Sheet" on an annual basis and CITY will provide any revisions to standards and policies to Contractor for the duration of this agreement.

5. IMPROPER USE OF SYSTEM

Any Contractor employee found in violation of CITY A.R.(s), policies or standards for proper system usage will be considered a potential risk factor resulting in account suspension.

Should any CITY system wide failure occur as a result of improperly maintained or unauthorized software installation by a Contractor employee, the CITY will assess the Contractor those costs required to restore the network retroactive to its full and healthy condition.

6. COMPUTERIZED MAINTENANCE MANAGEMENT SYSTEM REQUIREMENTS

In an effort to realize lifecycle cost to obtain the most cost efficient model, all asset work performed requiring parts, repairs, inspections, or service requiring twenty (20) minutes or more of labor shall be documented by use of a Computerized Maintenance Management System (CMMS). The CITY utilizes MPulse Maintenance Software for all maintenance-related work orders. The successful contractor shall use the CITY's existing system for all work orders.

The Contractor shall track asset maintenance by, but not limited to: unit number, model, serial number, location-site-building-sub location at building, labor hours, parts used, parts cost, warranty tracking, trades and complete repair details for FMC and subcontractors. The Contractor will be responsible for updating the equipment inventory and required PM's as needed.

7. COMPUTER DESKTOP REQUIREMENTS

The Contractor will be required to supply desktop computers to their employees.

8. TECHNICAL SUPPORT

There are two common areas where technical issues may arise.

- VPN log in
- MPulse Software Application

Information Technology Support Processes and Procedures

Problem	Customer Service Contacts	Local CONTRACTOR Contacts
Cannot access the internet	Local Contractor Information Technology (IT)	To be determined by Contractor
Cannot log into VPN	Local Contractor IT	COP Enterprise Help Desk
Problem within the MPulse Software	Local Contractor IT	COP Enterprise Help Desk

For issues with configuration, application access and function, Contractor should:

- (1) Contact Local Contractor IT
- (2) Follow the Call Escalation Chart for Public Transit Application Support

User manuals are accessible on CITY TransPort Contractor's and Regional Contractor's web page (<http://transport/PublicTransitContractors/Pages/default.aspx>).

8. SYSTEM MAINTENANCE

The CITY reserves the right to establish and communicate specific dates and times to perform system maintenance. The CITY shall provide the Contractor at least a two (2) week notice in advance of a non-emergency scheduled or planned system outage.

In the event of emergency, the Contractor will be notified; however, notification may not occur in advance.

9. NETWORK INFRASTRUCTURE REQUIREMENTS

The Contractor's Information Technology (IT) Specialist will be responsible for providing onsite technical support and will be responsible for all issues related to CITY network access. The IT Specialist will act as the Contractor representative and work directly with the CITY to address any technical issues as they arise for the duration of the Contract.

- A. A structured cabling system is defined as the complete collective configuration of cabling and associated hardware at a given site that has been installed to provide a comprehensive telecommunications infrastructure. This infrastructure is intended to serve a wide range of usage, such as to provide telephone service or computer networks and should not be device dependent.

CITY Responsibilities:

- 1) Inside and outside telecommunications system facilities
- 2) The associated backbone cabling
- 3) Telecommunications cabling pathway
- 4) The infrastructure necessary to support the horizontal and riser cabling systems
- 5) The necessary infrastructure to interconnect buildings: including routes, conduit, manholes, pull boxes and building entrances, cables, splices, D-marc points.

All wiring from the telecommunications closets through the risers and out to the walls are the responsibility of CITY.

Contractor Responsibilities:

Any requirements for repairs or additions to the current telecommunication wiring within the facility must be made in writing. This request must include the following information:

- 1) Facility Address (Campus location)
- 2) Building (within the campus location)
- 3) Floor
- 4) Office location
- 5) Jack Number
- 6) Problem Description

All work and materials shall be performed and provided by the CITY and in full accord with the requirements of the Arizona Administrative Code, the State Fire Marshall, the Division of Industrial Safety, the National Electric Code and other applicable CITY and state laws or regulations. Nothing in the specifications shall be construed to permit work not conforming to these codes and orders.

The Contractor will be responsible for all expenses related to additional jacks costs will be based on estimates at the time of request.

Any Contractor found in violation of the structured cabling guideline will result in a negative performance finding resulting in a possible cure notice. Additionally should wiring be found to be installed without notification to the CITY, the Contractor will be assessed those costs required to restore or correct any damages.

- B. Telecommunication circuits are defined as a dedicated, private or leased line on which information is transmitted. The application of standards and guidelines for telecommunications circuits will remain facility sensitive. The size, architecture, location and intended use of a facility will significantly affect the particular design of the telecommunication circuits for a building or campus. The details for the specific voice and data circuits shall be the responsibility of the Contractor.

The Contractor will be responsible for obtaining its own telecommunication circuit. These circuits will be allowed to run over existing CITY structured cabling. This will allow the Contractor to use existing wiring from the telecommunication closets (block and patch panels) out to the wall jacks.

The Contractor will be responsible for providing onsite technical support. Support personnel will be responsible for all day to day issues related to the voice and data communications network. This/these individuals will act as a liaison to the CITY for any break fix or additional connectivity requests.

Any requirements for repairs or additions to the current telecommunication wiring within the facility must be made in writing. This request must include the following information:

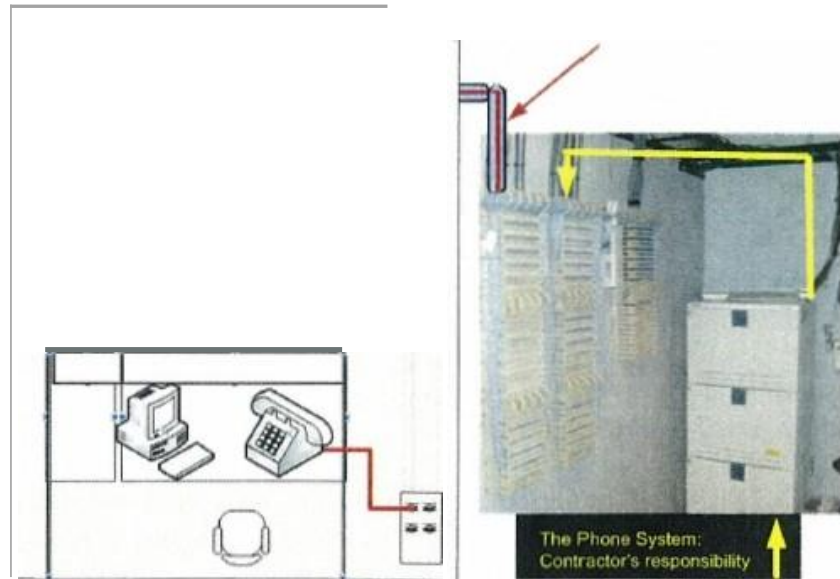
- 1) Facility Address (Campus location)
- 2) Building (within the campus location)
- 3) Floor
- 4) Office location
- 5) Jack Number
- 6) Telephone Number
- 7) Problem Description

This information must be submitted to CITY and work will be conducted as per the structured cabling standards.

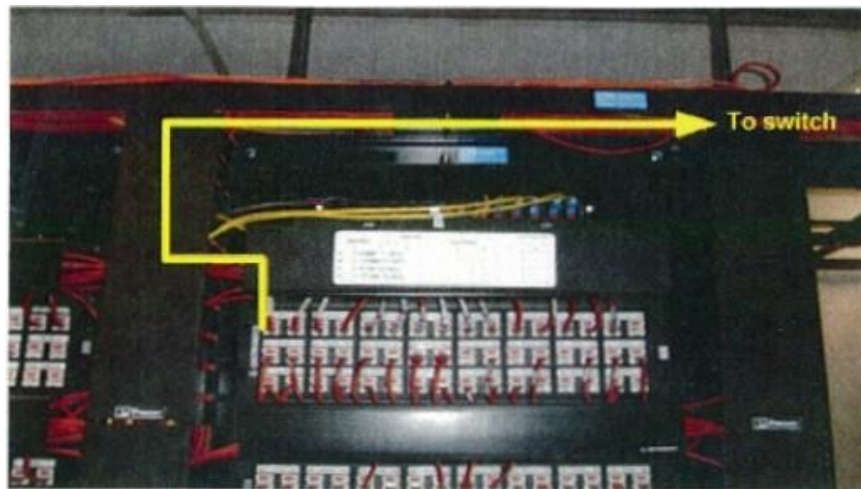
Contractor shall be responsible for all expenses related to additional jacks costs will be based on estimates at the time of request.

Any Contractor found in violation of the Voice and Data Circuit guidelines will result in a negative performance finding resulting in a possible cure notice. Additionally, should wiring be found to be installed without notification to the CITY, the Contractor will be assessed those costs required to restore or correct any damages.

Data and Telecom Cabling



The Contractor must provide their own phone system and utilize the existing voice cable structure



Contractor (See Yellow arrows) will be responsible for all cabling from the patch panel to the network equipment (Switches)



City of Phoenix

Management of Hazardous Building Materials at City of Phoenix Facilities

I. Policy Statement

Phoenix will comply with the applicable federal, state and local laws and regulations to identify and manage environmental risks when physical modifications are conducted at facilities owned or managed by the city.

II. Scope

At many city of Phoenix facilities hazardous materials were used in construction for a variety of reasons which were acceptable at the time of construction. This policy details the minimum requirements that city of Phoenix staff must use to manage these facilities while protecting health and environmental safety throughout operations, and consistently managing potential liabilities associated with facility repair, remodeling, and demolition.

- A. This policy applies to any facility owned or managed by the city where changes are planned or otherwise required. Changes are physical modifications such as demolition, repair, renovation, and expansion of city facilities. These procedures will be followed prior to the implementation of any activity that could result in an exposure to hazardous building materials.
- B. Hazardous building materials that may be encountered during changes at city facilities include, but are not limited to, asbestos, lead, mercury, and polychlorinated biphenyls (PCB).
- C. Departments that encounter mold issues during changes at city facilities may contact the Human Resources Department Safety Section (Safety) for assistance.
- D. Contract specifications for city of Phoenix contractors and consultants will be consistent with this policy.
- E. The policy will also enhance compliance with requirements imposed by various funding entities.

III. Regulations

Applicable regulations are included in the policy or attachment for each hazardous building material.

IV. Roles and Responsibilities

The responsibilities defined below are implemented for an effective citywide program that provides a safe environment for facility occupants, identifies unsafe conditions, provides training and protection for employees and contractors, and effectively administers contracts to remove or otherwise remediate hazardous building materials when necessary.

A. Department Responsibilities

1. Appoint a Departmental Representative (DR) to be responsible for maintaining compliance with this policy and all applicable guidelines and regulations.
2. Ensure that staff is familiar with the contents of the HMMP and are aware of resources such as the expertise of appropriately qualified staff for materials that are specifically regulated, such as lead and asbestos. Requirements for these materials are detailed in the attached appendices. Departments that do not employ qualified staff must contact the Public Works Department – Environmental Section (PWES) or Safety for these projects.
3. Implement procedures to conduct or arrange for the identification, management and disposal of known or suspected hazardous building materials when implementing change at a facility. Applicable procedures shall include those specified in the HMMP, and specifications and guidelines developed under section IV.B.
4. Ensure assigned staff implementing change that may disturb hazardous building materials maintains any required certifications.
5. Respond to notification by staff of pending renovation, demolition, or maintenance projects that could disturb hazardous building materials.
6. Ensure compliance with agency notification requirements in situations where exposures to hazardous building materials could meet established threshold criteria.
7. Notify management and affected employees, tenants and contractors of the location of known hazardous building materials and provide guidance in performing routine facility operations in its presence if there is a likelihood of exposure.
8. Communicate information about identified hazardous building materials to city employees and contractors who may disturb or otherwise contact these materials in the course of work at city facilities.
9. Implement procedures and specifications to reduce the inadvertent disturbance of hazardous building materials.
10. Implement procedures and specifications to mitigate the possibility of levels of exposure to hazardous building materials that exceed regulated levels.
11. Complete a training plan to ensure that appropriate city staff are trained to recognize or identify hazardous building materials that staff might encounter in the course of their work.
12. Maintain organized, accessible records of notifications, periodic surveillance activities, training and other related activities. Submit to Public Works Central Records.

- B. Public Works Environmental Section (PWES) or other departments approved according to the procedures of this policy to accomplish these responsibilities.
1. Develop and manage annual services contracts for surveys, abatement and demolition of hazardous building materials.
 2. Upon departmental request, contract for and coordinate surveys, abatement and demolition of hazardous building materials.
 3. Implement guidelines and specifications to ensure that any inspections, surveys, assessments, mitigation, containment and/or removal of hazardous building materials are comprehensive and are performed by qualified personnel with experience in the identification, removal and management of specified materials.
 4. Perform oversight of hazardous building materials abatement activities by periodically inspecting contracted work to ensure that contractors are aware of and following required procedures or project specifications.
 5. Review contractor bids and reports to ensure work and pricing are compliant with regulatory requirements and industry standards.
 6. Develop and manage annual services contracts to provide any of the services listed in this section.
 7. It is the policy of PWES to charge fees for their services. Therefore, departments that use PWES to meet the requirements of this policy must provide funding authorization with each request for services.
- C. Human Resources Safety Section (Safety)
1. Conduct task-specific industrial hygiene sampling and monitoring at occupied city facilities for hazardous building materials such as asbestos and mold.
 2. Respond to employee, contractor or tenant complaints at occupied city facilities regarding inspections, removal or construction activities that may disturb hazardous building materials and potentially expose City employees.
 3. Establish and monitor city safety policies.
 4. Conduct or coordinate training regarding specific hazardous building materials in city facilities for city of Phoenix staff.
 5. Coordinate disposal of hazardous building materials upon request by departments that do not have staff responsible for coordinating disposal with the city hazardous waste contractor.
- D. Office of Environmental Programs (OEP)
1. Establish and monitor city policies for hazardous building materials management.
 2. Develop training modules and train city employees regarding recognition of hazardous building materials, or review and approve departmental training modules.
 3. Research, develop, and maintain information regarding regulatory and city-generated compliance policies. Share information on OEP's centralized intranet website.
 4. Monitor new laws, regulations, or advisories applicable to city operations involving hazardous building materials and determine if changes to city policies and procedures are necessary.

V. Procedure for Hazardous Building Materials

- A. When department staff is aware that an activity which could disturb hazardous building materials is being considered at an impacted facility, they shall notify the facility supervisor and/or the DR.
- B. Assigned staff may use their discretion to determine whether a minor change must be reviewed using this policy. Staff must be confident that minor changes that are not evaluated will not disturb hazardous building materials.
- C. Departmental staff will check the records for the facility which, to the extent they are available, may provide a good source of information regarding dates and materials used for construction, as well as renovations or improvements made at the facility.
- D. The supervisor responsible for the activity will, with the assistance of the DR, ensure that potential exposures are identified and evaluated. The Hazardous Building Materials in City of Phoenix Facilities Checklist (Appendix A) may be used to assist in that evaluation. The purpose of the checklist is to direct staff to the correct actions, so additional forms or steps may be required.
- E. The DR will ensure that the correct action is taken.
- F. All work conducted by city staff or contractors will be done in compliance with HMMP documents in addition to those required by funding or regulatory agencies such as the U.S. Department of Housing and Urban Development (HUD), the Environmental Protection Agency (EPA), the Occupational Safety and Health Administration, Maricopa County, etc.
- G. Contractor Selection and Hazard Communication
 - 1. Contractor selection will be based in part on minimum requirements established by PWES. PWES will develop model contract language governing contractor responsibilities to ensure competent contractors with appropriate training are selected for these facilities. Contractor proposals and bids will be evaluated by PWES or staff with equivalent credentials, training and experience.
 - 2. Staff responsible for planned renovation or demolition activities in the vicinity of hazardous building materials or that will directly disturb such materials will notify contractors of the materials during the contract negotiations for the project. This will allow for price and schedule negotiations prior to the start of the project. Staff shall ensure that the contractor(s) hired meet all minimum regulatory requirements.
- H. Emergencies
 - 1. Employees must adhere to the requirements of this policy even if situations such as major leaks or building damage may call for immediate corrective action. City of Phoenix employees or contractors are NOT to commence work that potentially subjects them to exposure to known or untested hazardous building materials. The city maintains contracts with professionals who can provide immediate response such as testing for hazardous building materials, or working safely in

contaminated areas. Department planning for emergency response should include provisions to prevent against employee or contractor exposure to hazardous building materials.

2. If an employee becomes aware that hazardous building materials have been disturbed and may pose an exposure hazard, he or she will stop work and direct others to leave the immediate area and take action to limit access. The employee will immediately contact his or her supervisor, who will then contact the DR, Safety, or PWES.

VI. Recordkeeping

- A. Public Works Central Records maintains detailed records of city properties, including environmental testing. Departments can access these records by contacting Central Records.
- B. The completed "Hazardous Building Materials in City of Phoenix Facilities Checklist" (Appendix A) or equivalent will be retained within the department, with a copy of any testing reports and laboratory analyses that are obtained. Testing reports and laboratory analyses will also be provided to Central Records.
- C. All training of staff will be tracked through the e-CHRIS system.

VII. Training

- A. Departments are to ensure that staff are trained on the contents of this procedure as it relates to their job functions. Employees must be trained both before performing duties in which it is possible that they will disturb hazardous building materials, and every three years thereafter.
- B. Departmental Representatives and Facility Supervisors will be trained in:
 1. Basic recognition of potential hazardous building materials.
 2. Tasks which are exempt from the requirement of this policy.
 3. Completion of forms and notifications.
 4. Required actions upon completion of Hazardous Building Materials in City of Phoenix Facilities Checklist or equivalent forms.
 5. Notification that employees may be required to attend hazard-specific courses such as those specified by Asbestos or Lead regulations. The Human Resources Safety Section can provide basic Asbestos Recognition courses and assist departments in identifying qualified trainers.
- C. Departmental staff who have the potential to disturb hazardous building materials which could result in exposure to themselves or others will be trained in:
 1. Basic recognition of potential hazardous building materials, including identification and/or awareness of areas where exposure might take place, or where regulation might mandate a certain course of action.
 2. Tasks which are exempt from the checklist requirement.
 3. Process to notify supervisor and initiate completion of the checklist and form.

DEFINITIONS

Affected means reasonably likely to come into contact with or otherwise be exposed to a hazardous building material.

Change means any physical modification at a facility such as repair, renovation, expansion or demolition. It does not mean removal of an intact structure.

CFR is the Code of Federal Regulations

DR (COP) means Department Representative and is the person designated to be responsible for compliance with hazardous building materials policies and applicable guidelines and regulations.

Emergency is any sudden, unexpected event.

Facility is any structure that is designed, built, installed, etc., to serve a specific function affording a convenience or service. This includes, but is not limited to, buildings, roads, sheds, bridges, etc.

Facility Occupant is one who occupies a space in or at a city of Phoenix facility, including employees, visitors, customers and the public.

Facility Supervisor is one responsible to supervise and coordinate activities that may include change at a city of Phoenix facility. There may be multiple facility supervisors at a single facility.

Hazardous Building Material (HBM) means a facility component that may pose a health hazard when disturbed or otherwise mobilized through wear or deterioration. Most HBMs are stable and are contained or encapsulated during normal use.

Managed means that change is performed by city staff or by any person or entity that contracts with the city for these activities, which may include change at facilities that the city does not own.

Risk means a measure of the probability that damage to life, health, property, and/or the environment will occur as a result of a given hazard.

APPENDIX A

HAZARDOUS BUILDING MATERIALS IN CITY OF PHOENIX FACILITIES CHECKLIST

Complete this form **before** making changes that might **disturb** hazardous building materials (HBM) at a facility. Changes include physical modifications such as repair, renovation, demolition or expansion of city facilities or operations. Contact your supervisor or HBM Departmental Representative for assistance if you are unsure as to whether or not this form must be completed.

Department _____ Facility Address _____

Description of Planned Change

Anticipated Start Date _____ Employee Completing form _____

DOES THE ACTIVITY:	Yes, No, or Don't Know	IF ANSWER IS "YES OR DON'T KNOW:	
		CONTACT	DOCUMENT(S)
Require renovation or destruction of any building materials (including paint), with the exception of unpainted wood, metal or glass?		PWES	Request for Environmental Services Form
Require the disturbance or relocation of any building materials, with the exception of wood, metal, or glass? (i.e., to gain access for required maintenance or repair)		PWES, or departmental equivalent	Request for Environmental Services Form
Result in changes in air emissions that might be permitted? Contact OEP or Air Quality staff for assistance in determining whether an existing permit is affected or a new one is required.		OEP, or departmental equivalent	
Involve new facility construction or improvements?		Public Works Design and Construction Management, or departmental equivalent	PW Design and Construction Management Environmental Review Checklist
Involve facility or equipment decommission or demolition?		PWES	Request for Environmental Services Form
Have the potential to generate significant quantities of dust?		OEP, or departmental equivalent	
Require a new maintenance or operational procedure to avoid employee exposure to hazardous building materials?		DR works with facility staff to develop procedure. Submit to OEP or HR Safety for review.	HMMP Policies, if applicable - Mercury Containing Equipment, Mercury Lamps, Oil or PCB policies

Send copy of completed form to Departmental Representative and the contact designated on the checklist. Keep original on file at facility.

City of Phoenix Hazardous Building Materials Policy

APPENDIX B: Asbestos Containing Material

I. Policy Statement: The City of Phoenix shall comply with applicable City, State, County, and Federal regulations pertaining to asbestos containing material (ACM). The city has developed comprehensive procedures to address the identification, in-place management, and abatement of ACM.

II. Scope

A. These procedures apply to city of Phoenix employees and contractors who will repair, renovate, demolish or otherwise alter building materials in any way. This procedure is an appendix to the *Hazardous Building Materials (HBM) Policy* and is to be used after departments complete the checklist from that document. Any part of a facility, component of a facility, or facility component that is not bare wood, glass, or metal is Presumed ACM (PACM). Materials are presumed to be asbestos containing materials (PACM), unless tested and determined by laboratory analysis to be non-ACM (1% or less).

Asbestos regulations are complex. This policy establishes minimum standards for departments to implement the following procedures:

1. Identification of ACM in facilities owned or managed by the city.
 2. Written Program requirements
 3. Training plans
 4. Notification requirements
 5. Response Actions
 6. Disposal requirements
 7. Recordkeeping
- B. Each department must choose and document one of the two programs used to ensure compliance.
1. Option 1: Adopt a recognition-only policy and utilize either of the two departments that act as city contacts to assist in all facets of compliance:
 - Human Resources – Safety Section (Safety): 262-7555. Only for small-scale projects performed by city employees.
 - Public Works – Environmental Section (PWES): 495-7274
 2. Option 2: Develop a written program and designate a departmental Asbestos Program Manager (APM) to coordinate the requirements of this procedure. These departments may request assistance from PWES and Safety.

Departments must contact the Office of Environmental Programs (OEP) to coordinate with PWES and Safety to obtain program approval. OEP, PWES and

Safety will meet with departments that are proposing to use their own Asbestos Program Manager to oversee the responsibilities detailed in this document to determine if the proposed program meets the requirements of this policy and the applicable regulations, and whether the experience of the proposed Asbestos Program Manager meets the minimum requirements. (Contact OEP for information.) Approval may be granted upon mutual agreement of OEP, PWES, and Safety and may be removed if the designated Competent Person leaves the employment of the department.

Note: The department's Designated Representative (DR) may also be the Asbestos Program Manager, provided he or she meets the position requirements. Departmental DRs must be trained to the function they will assume with hazardous materials (i.e. if the department does not perform any changes to facilities, recognition and notification training is appropriate).

- C. CITY OF PHOENIX EMPLOYEES SHALL NOT PERFORM CLASS I OR II OSHA-DEFINED ASBESTOS ACTIVITIES (See definitions). These projects are abatement (removal) of ACM, and the requirements for these activities are beyond the scope of this policy.
- D. City of Phoenix employees WHO ARE TRAINED, QUALIFIED, AND WORKING IN CONSULTATION WITH A COMPETENT PERSON may conduct some Class III work. This includes repair and maintenance operations where ACM is likely to be disturbed.
- E. City of Phoenix employees WHO ARE TRAINED perform Class IV work which is maintenance and custodial activities during which they contact but do not disturb ACM.

III. Background

Asbestos fibers can cause serious health problems. If asbestos fibers are inhaled, the tiny microscopic fibers can cause normal functions of the lungs to be disturbed. Exposure increases the risk of developing lung cancer, mesothelioma, or asbestosis, which is a scarring of the lungs that leads to breathing problems. It could take anywhere from 15 to 30 years after the first exposure for symptoms to occur. Medical investigations have shown that inhalation is the principal route of entry that leads to asbestos-related diseases. There is no known safe exposure level to asbestos. To control these risks, OSHA and EPA have developed acceptable practices for each phase of asbestos management.

Common Uses: Some typical industrial and commercial uses for asbestos include, but are not limited to, fireproofing, thermal and acoustical insulation, condensate controls, and decorative finishes. Typical ACM building materials in city facilities include, but are not limited to, mastic adhesives, floor tile, drywall, and drywall mud. These materials may be covered by modern finishes.

IV. Applicable Regulations

The specific asbestos regulations the city of Phoenix must comply with during building maintenance, renovation, and demolition include:

- A. Occupational Safety and Health Administration (OSHA):
- 29 CFR Part 1926.1101 – Asbestos Standard for the Construction Industry
 - 29 CFR Part 1910.1020 – Access to Employee Exposure and Medical Records
 - 29 CFR Part 1910.1001 – Asbestos Standard for General Industry
- B. Environmental Protection Agency (EPA):
- 40 CFR Part 61, Subpart M – National Emissions Standard Hazardous Air Pollutants (NESHAP) - Disposal/air emissions
 - 40 CFR Part 763, Subpart E – Asbestos Hazard Emergency Response Act (AHERA) – Inspections and sampling
 - 40 CFR Part 763 Appendix C – Model Accreditation Plan (MAP)
- C. Maricopa County (MCAQD) Air Pollution Control Regulation III, Rule 370, Section 301.8

Each of these regulations pertains to a different aspect of ACM work, which might require departments to comply with additional regulations, such as those for respiratory protection.

V. Roles and Responsibilities

- A. All departments shall:
1. Refer to the *Hazardous Building Materials Policy* for detailed roles and responsibilities.
 2. Use Scope of Work specifications for contracted abatement and renovation projects that are consistent with the general guidelines and specifications prepared by PWES.
 3. Ensure that facility employees who perform custodial or maintenance activities in the vicinity of ACM have the required training in accordance with section VIII of this plan.
- B. Departments that are approved to meet the requirements of this policy by choosing Option 2 under Section II.B shall:
1. Develop a written plan that outlines how the requirements of this policy will be met.
 2. Ensure that any ACM inspections, asbestos abatement oversight, and maintenance of ACM are performed by personnel with experience in the identification, removal and management of ACM. Certifications and licenses shall be commensurate with federal, state and local regulations concerning the identification, oversight, and handling of ACM.
 3. Ensure compliance with [MCAQD NESHAP](#) notification requirements in situations where ACM meets the criteria of Regulated Asbestos Containing Material (RACM) and exceeds the threshold amounts of 160 square feet, 260 linear feet or 35 cubic feet of RACM.
 4. Monitor and document the condition of known installed ACM on a routine basis to identify damage or deterioration.

5. Respond to employee, contractor, or tenant complaints or questions regarding ACM concerns including construction, inspections, or removal activities.
6. Maintain records of notifications, periodic surveillance activities, training, and other ACM related activities.

VI. Procedure

A. Identification of Asbestos. Prior to any repair, renovation or demolition, departments must test for the presence of asbestos. For repairs and renovations, only the building materials that will be disturbed need to be tested. For demolitions, all PACM must be tested. No facility or its components shall be considered exempt from asbestos requirements based on construction or renovation date. Departments have three options for testing asbestos before beginning work:

1. Records Check

- a. Contact Public Works Central Records at 602-262-4935 to request any asbestos records they might have. Department staff will also check within their departments to locate records of asbestos surveys and abatement projects. If survey was performed by a currently certified AHERA Accredited Asbestos Building Inspector within the previous 12 months and includes all building materials that will be affected by the renovation, it is considered valid to support renovation activities.
- b. If no records are found, the survey was performed more than 12 months prior to the renovation or demolition, or the survey does not include all building materials that will be affected by the renovation, data must be collected, renewed or supplemented.
- c. If existing data is located, a currently certified AHERA inspector must review it to determine if it remains accurate and includes all materials that may be affected by the renovation. The inspector will approve the existing data or require additional sampling. The inspector must document the review, and the department must file in-house and with PW Central Records.

2. Sampling

- a. Conduct a MCAQD NESHAP compliant inspection using AHERA sampling protocol where applicable. The MCAQD requires that bulk samples of suspect building materials be collected and analyzed for asbestos and that **the inspections be dated within one year of the beginning of the planned demolition or renovation project.**
- b. Inspections and sample collections must be performed by a currently certified AHERA Asbestos Building Inspector to meet regulatory standards.
- c. The city and its consultants and contractors shall use only laboratories that are accredited with the National Voluntary Laboratory Accreditation Program (NVLAP). The current testing method is EPA-600/M4-82-020: Interim Method for the Determination of Asbestos in Bulk Insulation Samples.
- d. All AHERA-certified inspectors must pass medical evaluation and fit testing. They must be issued respirators in order to collect bulk samples. All reports must include certification documentation for the certified inspector.

3. Presume Materials Contain Asbestos

Prepare a written document stating that all suspect asbestos-containing materials that will be affected by the planned renovation or demolition project are presumed to contain greater than 1% asbestos and must be treated as asbestos and removed as asbestos and removed prior to disturbance where applicable. **Note: This will substantially increase project costs!**

B. Positive Results

1. Typically, the least burdensome approach is to remove ACM. However, a positive asbestos test does not mean that all asbestos must be removed. Asbestos that is intact and in good condition is often best managed by leaving it undisturbed and in place. When materials are determined to be ACM, departments must ensure that it is kept in good condition and is not disturbed.
2. If materials are not intact and in good condition, contact HR Safety, PWES or department APM for assistance. Contact PWES or departmental APM for assistance with abatement options.

C. Notification – Hazard Communication

1. Departments are responsible for notifying affected employees, contractors, and building occupants of the location of ACM.
2. Project managers responsible for repairs of small areas, planned renovation, or demolition activities in the vicinity of ACM or that will directly disturb ACM will notify contractors of the asbestos hazard during the contract negotiations for the project. For abatement, renovation and demolition projects, the Asbestos Program Manager, project manager, or other responsible party will share renovation plans and drawings with the asbestos inspector/consultant to ensure the scope of the survey is accurately determined and complete to address all areas scheduled to be disturbed.
3. All intentional disturbance of ACM will be completed by licensed and certified asbestos removal and oversight personnel contracted through the PWES contracting process or other approved City contracting processes.

D. Medical Surveillance

Respirators may be required for Class III work. Departments must ensure that they follow the requirements of the city's [Respiratory Protection Program](#).

E. Demolition

Departments that use contractor's services to demolish a building must comply with the additional requirements detailed in the [Asbestos Demolitions Requirements](#) document.

F. Disposal Requirements for ACM.

All asbestos-containing waste material will be handled, transported, and disposed of according to the applicable local, state, and federal regulations.

VII. Training

- A. Various levels of OSHA training are required, depending on the type of involvement with asbestos materials.
 - 1. Each department is responsible for ensuring employees are trained for their level of asbestos involvement. Safety can assist departments in identifying the level of required training.
 - 2. Class IV Awareness Training. Two- hour basic level training, required for custodial and maintenance employees within 30 days of initial assignment to a building containing ACM. Safety provides this training, through catalog courses or departmental request.
 - 3. Class III Maintenance and Repair Activities. This is a 16-hour course, to allow employees to work directly on small scale projects which generate no more than one bag of ACM waste. Training will also include overview of respiratory protection requirements. Employees must be included in their department's Respiratory Protection Program prior to beginning work. This training can be provided by OSHA-approved accredited training programs.
 - 4. Building Inspector Training. This is a 24-hour course designed for a "Competent Person" with responsibilities for assessing and identifying ACM in a facility to ensure employee safety. This training can be provided by OSHA-approved accredited training programs.

VIII. Recordkeeping

- A. Because significant amounts of ACM are prevalent throughout city facilities, it is imperative that city departments maintain a well-documented program for identifying ACM, recording both positive and negative sampling results, abatement, and other asbestos-related work.
- B. All facility-specific asbestos information such as inspections, removal oversight information and waste manifests shall be retained in Public Works Central Records indefinitely.
- C. Records for employees exposed to toxic substances such as asbestos shall be retained for the length of employment plus 30 years in accordance with 29 CFR 1910.1020. This includes training information, medical evaluations, fit test information, respirator training and use information and worker certifications. In addition, copies of all initial inspections documents will be maintained within the department.
- D. All training information will be tracked in e-CHRIS.

DEFINITIONS

Asbestos means the asbestiform varieties of Serpentine (chrysotile), and Amphibole, which includes: riebeckite (crocidolite), cummingtonite-grunerite, anthophyllite, and actinolite-tremolite.

Asbestos Containing Materials (ACM) means any material containing greater than 1% asbestos as determined by laboratory analysis, or presumed to be asbestos containing materials (PACM), unless tested and proven to be non-ACM.

Asbestos Program Manager is one who is qualified to assess and identify ACM. Required training is 24 hours AHERA Building Inspector, with a 4 hour annual refresher course.

Class I asbestos work means activities involving the removal of Thermal Systems Insulation (TSI) and surfacing ACM and PACM.

Class II asbestos work means activities involving the removal of ACM which is not thermal system insulation or surfacing material. This includes, but is not limited to, the removal of asbestos-containing wallboard, floor tile and sheeting, roofing and siding shingles, and construction mastics.

Class III asbestos work means repair and maintenance operations, where "ACM", including TSI and surfacing ACM and PACM, is likely to be disturbed.

Class IV asbestos work means maintenance and custodial activities during which employees contact but do not disturb ACM or PACM and activities to clean up dust, waste and debris resulting from Class I, II, and III activities.

Demolition means the wrecking or taking out of any load-supporting structural member of a facility together with any related handling operations or the intentional burning of any facility.

Facility means, for purposes of NESHAP compliance, all public, private, commercial and industrial buildings excluding single private residences and apartment complexes of four (4) units or less.

Friable asbestos material means any material containing more than 1 percent asbestos as determined using the method specified in appendix E, subpart E, 40 CFR part 763, section 1, Polarized Light Microscopy, that, when dry, can be crumbled, pulverized, or reduced to powder by hand pressure. If the asbestos content is less than 1 percent as determined by a method other than point counting by polarized light microscopy (PLM), verify the asbestos content by point counting using PLM.

Installation means any building or structure or any group of buildings or structures at a single demolition or renovation site that are under the control of the same owner or operator (or owner or operator under common control).

Owner or operator of a demolition or renovation activity means any person who owns, leases, operates, controls, or supervises the facility being demolished or renovated or any person who owns, leases, operates, controls, or supervises the demolition or renovation operation, or both.

Physical Assessment means the evaluation of the physical condition and potential for damage of all friable asbestos containing materials and thermal insulation systems.

PLM: Polarized light microscopy means an examination that permits the identification of pigments and fibers for possible asbestos content. Pigment particles used for PLM are typically in the size range of 1–20 microns, or less than a thousandth of an inch.

Regulated asbestos-containing material (RACM) means (a) Friable asbestos material, (b) Category I nonfriable ACM that has become friable, (c) Category I nonfriable ACM that will be or has been subjected to sanding, grinding, cutting, or abrading, or (d) Category II nonfriable ACM that has a high probability of becoming or has become crumbled, pulverized, or reduced to powder by the forces expected to act on the material in the course of demolition or renovation operations regulated by this subpart.

Removal means to take out RACM or facility components that contain or are covered with RACM from any facility.

Renovation means altering a facility or one or more facility components in any way, including the stripping or removal of RACM from a facility component. Operations in which load-supporting structural members are wrecked or taken out are demolitions.

Repair means returning damaged ACM to an undamaged condition, or intact state, so as to prevent the release of asbestos fibers.

Response Action means a method, including removal, encapsulation, enclosure, repair, operations and maintenance, which protects human health and the environment from friable ACBM.

Structural member means any load-supporting member of a facility, such as beams and load supporting walls; or any nonload-supporting member integral to the structure, such as ceilings and nonload-supporting walls.

Surfacing Material means material that is sprayed, troweled-on or otherwise applied to surfaces (such as acoustical plaster on ceilings and fireproofing materials on structural members, or other materials on surfaces for acoustical, fireproofing, and other purposes).

Thermal System Insulation (TSI) means ACM applied to pipes, fittings, boilers, breeching, tanks, ducts, or structural components to prevent heat loss or gain.

ASBESTOS REFERENCE CHART

Any part of a facility that is not bare wood, bare glass, or bare metal is considered Suspect ACM!

If your Department....	The Basics	Training	Sampling	Written Requirements	Notification	You must also.....
Is a tenant at a facility	Do not cut into walls, move acoustical ceiling tiles, or make any changes to facility – contact landlord first!					
Has workers that might need to clean or maintain a facility, but will not disturb ACM.	There are no exemptions for “small” areas. Either test or presume ACM	2 hour Awareness training (OSHA Class IV)	Required if any suspect ACM will be disturbed; must be conducted by AHERA insp.	Statement of policy, specific procedures to ensure ACM not disturbed		Wait for sampling results/ clearance from Competent Person before proceeding with repairs.
Has workers that make minor repairs to ACM	Must know level of exposure before proceeding.	16 hours (OSHA Class III)	Required for any employee exposures; work over NESHAPS min. requirements	Operations and Maintenance Program	Contact H. R. Safety Section to determine requirements prior to sample collection by AHERA Inspector.	Medical Surveillance and respiratory/ personal protective equipment may be required
Is in control of a facility that must be renovated or demolished.	Major renovations are managed by Public Works Engineering and Architectural Services or Asbestos Competent Person.	Competent Person must be trained to coordinate contract.	Per contract requirements		Must notify county of all ACM disturbances above threshold amounts, all demolitions. Must notify 10 days prior to start.	Ensure contracts either written or approved by PW EAS. ACM must be removed from structures prior to demolition.
Contacts Public Works Department Environmental and Architectural Services or the Human Resources Safety Section to coordinate Asbestos issues	Do not cut into walls, move acoustical ceiling tiles, or make any changes to facility – contact landlord first!	2 hour Awareness training may be required for employees that clean or maintain facility		Statement of policy, specific procedures to ensure ACM not disturbed		

ASBESTOS REFERENCE CHART

Any part of a facility that is not bare wood, bare glass, or bare metal is considered Suspect ACM!

Has a departmental Asbestos Program Manager/Competent Person	Must meet OSHA requirements for Competent Person.	2 hour Awareness training may be required for employees that are assigned to clean or maintain facility	Coordinated by Competent Person	Written departmental plan	Coordinated by Competent Person	
Employs contractors for electrical, computer installation or related projects that might disturb ACM.		Project Managers must have 2 hour Awareness Training	Coordinated by Competent Person			Contractors must have received minimum Class III training if they will cut into or disturb ACM in any way.
Employs contractors that are working in areas with known or suspect ACM					Must notify contractors for activities in the vicinity of ACM.	

CITY OF PHOENIX HAZARDOUS BUILDING MATERIALS POLICY**APPENDIX C: LEAD IN PAINT AND COATINGS****I Policy Statement**

The city of Phoenix shall comply with applicable City, State, County, and Federal regulations pertaining to lead in paint and coatings. Phoenix has developed guidelines to address the identification, in-place management, and abatement of lead coatings in city facilities and on city projects.

II Scope

- A. This policy applies to all facilities owned or managed by the city of Phoenix with paint or other surface coatings including, but not limited to, paint, lacquer, glaze, varnish, putties, caulks and patching materials. The policy distinguishes between “lead-based paint” and “lead-containing paint” as defined herein.
- B. These procedures apply to city of Phoenix employees and contractors that may encounter lead in surface coatings when repairing, renovating, demolishing or in any way disturbing building materials at city facilities or during a city-funded project. This procedure is an appendix to the Hazardous Building Materials (HBM) Policy and is to be used after departments complete the requirements of that document. These procedures provide guidance on who to contact for lead paint-related services and the regulations that govern testing, removal, and disposal of lead coated materials. This policy establishes minimum standards for departments to do the following:
 - 1. Identify lead-based paint in city owned or operated facilities that may be encountered during facility change or projects.
 - 2. Notify contractors and affected employees of the results of all testing for lead in paint and coatings.
 - 3. Establish a training plan.
 - 4. Dispose of waste materials that contain lead in compliance with applicable regulations.
 - 5. Implement a recordkeeping system.
- C. Each department must choose and document one of the two programs they will use to ensure compliance.
 - 1. Utilize the Public Works Environmental Section (PWES) (495-7274) to assist in all facets of compliance. PWES will coordinate applicable testing prior to any facility work where lead-based paint may be disturbed. PWES administers on-call contracts for lead consultants and contractors for both testing and removal (if needed) of lead-based paint. They can be mobilized quickly under these contracts to assist with project needs.
 - 2. Employ a departmental Lead Program Manager who has the experience and expertise to coordinate the requirements of this procedure. After receiving

program approval, these departments may implement these procedures with assistance as requested from PWES.

Departments must contact the Office of Environmental Programs (OEP) to coordinate with PWES and Safety to obtain program approval. OEP, PWES and Safety will meet with departments that are proposing to use their own Lead Program Manager to oversee the responsibilities detailed in this document to determine if the proposed program meets the requirements of this policy and the applicable regulations, and whether the experience of the proposed Lead Program Manager meets the minimum requirements. Approval may be granted upon mutual agreement of OEP, PWES, and Safety and may be reconsidered if the designated lead program manager leaves the employment of the department.

- D. PWES has procedures for the testing and removal of lead-based paint when PWES-contracted on-call consultants and contractors are utilized on a project. The scope of services and technical specifications drafted by PWES will help to ensure proper compliance with all regulations and city policies pertaining to lead in coatings. These documents can only be enforced when the consultant/contractors work under the PWES on-call contract. Work not performed under this contract will not be subject to enforcement or protected under the requirements of the PWES on-call contract.

III Background

Chronic overexposure to lead results in damage to the kidneys, the gastrointestinal tract, the nervous system, the reproductive system, and the blood-forming organs. In adults, occupational exposure through uncontrolled building renovation is the leading contributor to elevated blood lead levels.

The exposure effects are most harmful in children under six (6) years of age and unborn children, whose bodies and nervous systems are still developing. Exposure to high concentrations of lead can cause development issues, convulsions, coma and death even at low levels. There is no truly safe concentration of blood lead level for children less than six years of age.

IV Applicable Regulations

Lead regulations are complex and vary according to the type of application. Three federal agencies – OSHA, EPA, and HUD – have developed regulations and/or guidance to address lead-based paint and lead-containing paint. Before implementing facility change departments must determine which of the following regulations apply to their specific project and prepare to comply with all of the associated requirements. PWES, Safety, and if necessary the Law Department will assist Departmental Representatives in making these determinations.

The following regulations and their various subparts may apply:

1. OSHA: 29 CFR Part 1926.62 – Construction Safety (Lead) and 29CFR Part 1910.1025 General Industry Safety.
2. EPA: 40 CFR Part 745 (Includes the Lead Renovation, Repair and Painting Program Rule)
3. EPA: Toxic Substances Control Act (TSCA). Several sections pertain to lead-based paint hazards

4. HUD and EPA: Residential Lead-Based Paint Hazard Reduction Act of 1992 (referred to as Title X).
5. HUD: Lead Safe Housing Rule (24 CFR 35)
6. HUD: Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing developed in 1995, revised 1997

V Procedures

- A. General Requirements: All departments shall:
 1. Refer to the Hazardous Building Materials Policy for detailed roles and responsibilities for all HBMs.
 2. Develop written departmental procedures that outline how the requirements of this Appendix will be met.
 3. Use the lead in paint scope of work language consistent with that developed by PWES.
- B. Identification: Testing for lead must be conducted and the results considered before performing the tasks listed below on painted or coated surfaces.
 1. Facility change at interior and exterior surfaces of target housing and child-occupied facilities, or,
 2. Facility change at exterior surfaces of any non-residential building or building component including equipment and other structures regardless of the date of construction or,
 3. Work that involves the direct disturbance of any painted or coated surfaces using techniques such as grinding, sanding, power-washing, dry scraping, sandblasting or dry (particulate) blasting, or open-flame burning /torching of painted components. An exception may be made if the disturbance will be less than 2 square feet and the work practices specified in section VIII are followed.
- C. Sampling: Lead in paint is analyzed by only two commonly recognized methods: X Ray Fluorescence (XRF) sampling and paint chip sampling. XRF sampling is a non-destructive means of sampling with utilizes a portable device to provide a direct reading of lead in paint. Paint chip sampling is the physical removal of paint from the substrate for laboratory analysis. Paint chip sampling is the most accurate and most accepted form of lead testing and is the only form of lead testing accepted by OSHA.
 1. Sampling must be conducted by an EPA-certified lead paint inspector or risk assessor.
 2. The laboratory used for analysis must be certified by the National Lead Laboratory Accreditation Program (NLLAP).
 3. If XRF is used, the sampling report must document that the required instrument calibration was performed at appropriate times.
- D. Management of Lead-Based Paint: If a painted or coated surface is tested and found to contain a lead concentration equal to or above 5000 ppm (1.0 mg/cm²), departments may either:

1. Manage the lead-based paint in place. Removal /abatement is not required on paints that are in an intact position and not located on a friction point, with potential to become a hazard.
2. Remove the lead-based paint. If minor amounts of the paint are to be removed or disturbed, departments must consult with PWES or Safety and act to limit occupational and secondary exposure to lead dust by following the work practices listed in Section VIII. All removal projects in excess of 2 square feet must be conducted by certified lead renovation firms or lead abatement contractors.

Before making a decision to manage the lead-based paint in place, departments doing work pursuant to a federal grant should evaluate whether the grant conditions require removal.

VI Lead Management Strategies

Departments shall follow the applicable procedures for the work scenarios listed below **when lead-based paint is known or reasonably assumed to be present** and will likely be disturbed during renovation.

- A. If the work consists of abatement or disturbance of lead-based paint over an area in excess of 2 square feet, departments must contact PWES to obtain the services of an appropriately trained and licensed renovator or lead abatement firm. City employees shall not engage in the disturbance of more than 2 square feet of lead-based paint.
- B. If the work is to be done at target housing or a child-occupied facility and exceeds the threshold for minor maintenance and repair, departments must follow the EPA Lead Renovation, Repair and Painting rules using appropriately-trained city staff or contact PWES to obtain the services of an appropriately trained and licensed renovator.
- C. If the work will occur at a housing unit that receives federal assistance, both EPA and HUD regulations and guidelines are potentially applicable and a lead-based paint inspection, risk assessment, or full abatement may be required. Departments shall follow HUD regulations relating to occupant protection, lead-safe work practices, worksite cleanup, and a clearance exam intended to ensure that the work area meets HUD standards after completion and before re-occupancy. Contact PWES or the departmental Lead Program Manager for assistance in preparing the scope of services.
- D. If the work involves tasks such as grinding, sandblasting or dry (particulate) blasting, or open flame burning/torching on more than two square feet of painted or coated surfaces, contact PWES to obtain the services of an appropriately trained and licensed renovator.

VII Oversight of Regulated Lead Abatement or Disturbance at Regulated Facilities

- A. Departments shall employ a consultant to conduct third party oversight for lead abatement to ensure compliance with regulations, engineering controls, and air monitoring.
- B. Following lead abatement and/or renovation that results in a disturbance of lead-based paint at child-occupied facilities and target housing, departments shall employ a

consultant to conduct third party clearance sampling. Depending on the scope of work and the applicable regulatory requirements, clearance sampling will vary but may include soil and wipe sampling.

VIII Work Practices for Employees Performing Minor Maintenance

The EPA Lead Renovation, Repair and Painting Rule and resultant HUD guidelines require contractors working in target housing to be trained in the use of lead-safe work practices and receive certification. Lead-safe work practices are designed to provide occupant protection, minimize worker exposure, achieve containment of lead dust and debris, clean up the work area, and in some cases provide formal clearance to document that the work area has been restored and is suitable for resumed occupancy. Federal rules exempt workers performing minor maintenance in target housing and child-occupied facilities from these training requirements and practices. However, the following work practices are recommended when city workers perform minor maintenance in target housing, child-occupied facilities, or other locations where materials known or assumed to be lead-based paint could be disturbed. Modifications to these suggestions or use of other products may be made as appropriate, although review by PWES or Safety is encouraged.

- A. For localized work that has the potential to generate negligible quantities of lead contaminated dust but not debris, such as placing nails or fasteners into walls.
- Place a plastic drop cloth under the immediate work area
 - Use strong tape for the removal of dust and fragments
 - Mist the work area prior to sanding if sanding is necessary
 - Conduct the work
 - Wash the immediate work area and tools with a light detergent/water solution
 - Rinse the area with clean water
 - Clean shoes and clothing with a damp wipe before leaving the immediate work area.
 - Gently roll the drop cloth inward from the outside edges to the center
 - Dispose of the tape, drop cloth, and used items into a plastic bag labeled "Lead Contaminated Waste".
 - Dispose of all plastic bags inside appropriately sealed and labeled containers.
 - Make arrangements for proper disposal of the containers.
- B. For work activities that have the potential to generate moderate quantities of lead contaminated dust and debris, such as sanding of small areas, cutting small openings into walls, or other types of minor maintenance.
- Move equipment and furnishings away from the area of work
 - Place a plastic drop cloth over fixed equipment or furnishings
 - Place a plastic drop cloth on the floor under the working area and extending at least five feet from all areas of work
 - Overlap and seal additional drop cloths as necessary with duct tape
 - Turn the drop cloth up the walls within the work area and seal to wall with duct tape
 - Limit access through the work area to workers utilizing barricade tape across the door.

- Mist the work area
 - Conduct the work; use a putty knife or scraper to scrape loose paint flakes and deteriorated subsurface
 - Chip or wet sand all edges until no loose paint remains on the surface
 - Wash the immediate work area and tools with a light detergent/water solution
 - Rinse the area with clean water
 - Dispose of booties and Tyvek outer coverings, if used, or clean shoes and clothing with a damp wipe before leaving the immediate work area.
 - Gently roll the drop cloth inward from the outside edges to the center
 - Dispose of the tape, drop cloth, personal protective equipment, and used items into a plastic bag labeled "Lead Contaminated Waste".
 - Immediately wash hands and face thoroughly
 - All work areas shall be visually inspected after cleanup procedures to ensure no visible dust is left in the work area
 - Dispose of all plastic bags inside appropriately sealed and labeled containers.
 - Make arrangements for proper disposal of the containers.
- C. For the removal of windows. Removal of windows from the exterior of a building should not be done on windy days when, in the judgment of the supervisor in charge of the job, it is likely that chips, dust, and other debris could blow off of the plastic sheeting.
- All adjacent and surrounding area windows shall be kept closed.
 - If accessing the window from the inside,
 - Tape plastic over the entire outside window opening
 - Seal off the work area by covering entryways with secured plastic sheeting and use barrier tape to restrict access.
 - If accessing the window from the outside, put plywood on the inside of the window and tape plastic sheeting over and extending 12 inches past the plywood.
 - Cover the floor inside the window with plastic sheeting (drop cloth).
 - Cover bare soil and vegetation with plastic sheeting extending at least five feet from the base and an additional three feet for every story where the windows are located.
 - Mist the window and frame with water
 - Remove the window unit from the outside, if possible
 - Completely wet-scrape the frame with water; use a HEPA vacuum to clean debris and wash the window opening before removing the plastic seal inside.
 - Collect all dust and paint chips as the window is disassembled
 - Gently roll the drop cloth inward from the outside edges to the center
 - Dispose of the plastic sheeting and other materials and debris into a plastic bag labeled "Lead Contaminated Waste".
 - Thoroughly wash hands and face
 - Visually inspect all work areas after cleanup procedures to ensure that no visible dust or debris is left in the work area
 - Dispose of all plastic bags inside drums provided at a designated location
 - Make arrangements for proper disposal of the containers.

- D. Demolition: For pre-1978 structures, testing for lead shall be done concurrent with the asbestos testing required by Appendix B of the Hazardous Building Materials Policy. Testing shall at a minimum consist of the Toxicity Characteristic Leaching Procedure (TCLP) of a composite of the materials to be demolished in order to evaluate if the materials must be disposed of as a hazardous waste.

IX Lead Containing Coatings Disturbance/Removal

- A. Workers performing tasks on lead-based paint must be trained under OSHA Lead in construction standard ([29 CFR 1926.62](#)). Guidance for worker protection is also found in the [HUD Guidelines Chapter 9: Worker Protection](#).
- B. If city workers or contractors performing work on lead-based paint are unable to meet the requirements of OSHA 29 CFR 1926.62 & the HUD Guidelines, they must defer to a licensed lead abatement firm to perform activities involving lead containing coatings.

X Notification – Hazard Communication

- A. Departments are responsible for notifying affected employees, contractors, and other building occupants of the location of lead-based paint. Notification to some regulatory agencies may also be required. Note that for renovations, repair and painting at target housing and child-occupied facilities the Pre-Renovation Lead Information Rule (TSCA 406(b) requires distribution of a specific lead hazard information pamphlet to owners and affected parents.
- B. Project managers responsible for repairs of small areas, planned renovation, or demolition activities in the vicinity of lead-based paint or that will directly disturb lead-based paint will notify contractors of the lead hazard during the contract negotiations for the project. For abatement, renovation and demolition projects, the Lead Program Manager, project manager, or other responsible party will share renovation plans and drawings with the lead inspector/consultant to ensure the scope of the survey is accurately determined and complete to address all areas scheduled to be disturbed.

XI Disposal Requirements

Disposal shall be performed by the lead contractor in accordance with project specifications. It is the responsibility of the contract manager to review documentation provided by the contractor to ensure that all applicable disposal regulations and specifications have been satisfied.

- A. Testing: Prior to disposal of materials coated with lead-based paint, abatement waste/debris or demolition debris, a Lead Toxicity Characteristic Leaching Procedure (TCLP) test must be performed on the waste stream that is being disposed to ensure that it is not hazardous waste.
1. The regulatory threshold for lead is 5 ppm and/or 5.0mg/L. TCLP laboratory results below 5 ppm and/or 5.0mg/L may be disposed of as non-hazardous waste.
 2. Proper disposal of lead waste that is above the hazardous waste threshold is regulated by the EPA and the Arizona Department of Environmental Quality (ADEQ). Requirements for shipment and disposal are detailed in the Hazardous Waste Procedure in the HMMP.

- B. Storage of these materials prior to testing and disposal must be in compliance with the HMMP. Contact OEP for guidance.

XII Recordkeeping

Because lead-based paint and lead-containing paint may be present throughout city of Phoenix facilities, it is imperative that city operations maintain a well documented program for identifying lead, recording both positive and negative sampling results, abatement and other lead-related work.

- A. Departments will forward lead survey information to Public Works Central Records.
- B. Departments will maintain records of lead surveys in a manner that allows them to be easily retrievable by building maintenance personnel. Departmental staff will check with PWES and within their departments to locate records of lead surveys and work.
- C. If lead survey information is not available: A lead survey of the proposed renovation area may be required. All painted or coated building materials within the renovation area must be inspected and sampled for lead before the start of work.

DEFINITIONS

1. Lead Based Paint Hazards means
 - a. Any condition that causes an exposure to lead and that would affect human health.
 - b. Exposures from lead contaminated dust.
 - c. Exposures from lead contaminated soil.
 - d. Deteriorating lead-based paint, and lead-containing paint that is found on friction points.

Intact lead based paint, which is not on a friction point, is not considered a lead paint hazard.
2. Lead-Based Paint - Paint or other surface coatings that contain concentrations of lead equal to or above 5000 parts per million (ppm), 0.5%/weight, or 1.0 milligrams per centimeter squared (mg/cm^2)
3. Lead-Containing Paint - Paint or other surface coatings that contain concentrations of lead below the Lead-Based Paint thresholds. OSHA regulates any known quantity of lead in paint for worker protection requirements.
4. Friction Point - an interior or exterior surface that is subject to abrasion or friction as it operates. e.g. doors/door frames. Lead dust is likely to occur around such surfaces.
5. Lead Program Manager - is one who is qualified to assess and identify lead in city facilities.
6. Lead Paint Assessment - Lead Paint Risk Assessments can only be performed by an EPA certified lead paint risk assessor. Risk assessments are more in depth inspections that not only include a surface by surface paint inspection but identify lead paint hazards as well as possible solutions to correct the hazards.
7. Minor Maintenance and Repair Activities – Activities including minor heating, ventilation or air conditioning work, electrical work, and plumbing, that disrupt 6 square feet or less of coated surface per room for interior activities or 20 square feet or less of painted surface for exterior activities and where the work does not involve window replacement, demolition of coated surface areas, or the use of prohibited work practices.
8. Renovation – the modification of any existing structure, or portion thereof, that results in the disturbance of coated surfaces (excluding abatement). It includes but is not limited to the removal, modification, or repair of coated surfaces or components including cutting, surface preparation such as sanding, planing or scraping, and other activities that may generate dust.
9. Removal – the removal and disposal of surface coatings from an area of a facility.
10. Abatement – the permanent elimination of lead-based paint hazards from a facility.
11. Target Housing – Any housing constructed prior to 1978, except housing for the elderly or persons with disabilities (unless any child under age 6 resides or is expected to reside in such housing) or any 0-bedroom dwelling.

12. Child-occupied facility means a building constructed prior to 1978 that could be visited regularly by the same child, under 6 years of age, on at least two different days within and week, provided that each day's visit lasts at least 3 hours and the combined weekly visits last at least 6 hours, and the combined annual visits last at least 60 hours. Child-occupied facilities may be located in target housing or in public or commercial buildings and may include, but are not limited to, day care centers, preschools, kindergarten classrooms, homeless shelters, family service centers, etc.

City of Phoenix Hazardous Building Materials Policy

APPENDIX D: Polychlorinated Biphenyls

I. Policy Statement

The city of Phoenix shall manage and dispose of Polychlorinated Biphenyls (PCB) encountered at facilities and projects in accordance with the Toxic Substances Control Act (TSCA).

II. Scope and Applicability

These procedures apply to city of Phoenix employees and contractors who encounter building materials and fixtures that may contain PCBs during their work. Of primary concern are building materials and fixtures manufactured between 1950 and 1978, including electrical equipment such as transformers, capacitors, and ballasts.

Any department responsible for the ownership, maintenance, removal and disposal of PCB-containing items not specifically described in this policy, including PCB wastes, shall consult with the Office of Environmental Programs (OEP) and/or the Public Works Department Environmental Section (PWES before disturbing, removing or disposing of those items.

Section V identifies a pilot program for testing caulk for PCBs to be done as departments renovate or demolish buildings constructed prior to 1979.

III. Background

PCBs are a class of complex man-made compounds that were manufactured between approximately 1930 and 1976 as oily liquids or solids. They are chemically stable with many useful properties including heat resistance, water insolubility, and electrical insulation.

The chemical stability of PCBs causes them to persist in the environment and bioaccumulate in the food chain. They adversely affect the immune, reproductive, nervous and endocrine systems and are a potential human carcinogen.

PCBs were used in electrical equipment such as transformers and capacitors, as well as in lubricants, inks, plasticizers, fluorescent light ballasts, carbonless copy paper, and many other manufactured items. Building materials that may contain PCBs include light ballasts, paint, electrical equipment, and masonry caulk. In particular, commercial and industrial buildings constructed or renovated between 1950 and 1978 may contain significant levels of PCBs in the caulk around windows, door frames, and masonry joints, although this may be much less prevalent in warmer climates such as the Phoenix area. Electrical equipment manufactured prior to 1979 that contains oils or tarry materials also is likely to contain PCBs.

IV. Applicable Regulations

The Toxic Substances Control Act (TSCA) enacted by Congress in 1976 banned the manufacture of PCBs and most of their former common uses. Some uses, such as in electrical transformers, were allowed to continue until the PCB-containing equipment was no longer

functional. TSCA established requirements for labeling, handling and disposal of PCBs, as well as procedures to document and respond to releases of PCBs into the environment.

In Arizona, TSCA and its accompanying regulations (40 CFR Part 761) are administered by EPA. These regulations are complex and departments should not to rely upon this appendix in lieu of a complete TSCA regulatory analysis. In some cases it may be necessary to consult with the Law Department to obtain regulatory interpretation to assist with the goal of compliance with TSCA.

V. Procedures for Identification

Because they have not been used in manufacturing over 30 years, PCBs are only a concern at older buildings and structures that the city owns or is considering acquiring. For many years the city actively removed PCB-containing equipment from its buildings so that today the presence of PCB electrical equipment at city facilities is unlikely.

A. Sampling Procedures and Analytical Methods

Appropriate techniques for sampling different materials vary; the sampling procedure should be that which is consistent with standard industry practice and applicable EPA guidance. The analytical method to use for potential PCB-containing materials is EPA Method 8082.

B. Real Estate Acquisitions

Phoenix occasionally acquires older buildings, and customarily PWES performs a hazardous building materials assessment during or shortly after the acquisition process. If the building was constructed prior to 1979, the assessment shall include identification of any remaining potentially PCB-contaminated electrical equipment and may include identification and testing of masonry caulk, at the acquiring department's discretion. Test results shall be reported to the acquiring department so that appropriate actions can be taken.

C. Electrical Equipment

Electrical equipment that contains PCBs is required to be labeled as such. Should a city employee become aware of or receive a report of older, unlabeled or otherwise suspect electrical equipment, or electrical equipment labeled as containing PCBs, at a city-owned facility, immediately contact Safety and the Departmental Representative (DR).

1. Transformers are devices that transfer electrical energy between circuits. In the past, transformers often contained oil contaminated with PCBs. Regulations now require labeling to disclose whether a transformer contains PCBs. Any unlabeled oil-filled transformer shall be considered a PCB-contaminated transformer and reported to the DR. If the manufacturer provides documentation that it is non-PCB, no additional action is required. Similarly, both APS and SRP have long-standing programs to replace PCB transformers or refill them with non-PCB oil. Either company may be contacted for information if the transformer is believed to be the property of the utility. Transformers confirmed to contain PCBs must be registered

with the USEPA, and other requirements also apply. Contact OEP or Safety for compliance assistance.

2. Ballasts and capacitors are devices that limit current. Ballasts are commonly located in metal containers behind the lamps in light fixtures. A ballast contains a resistor or capacitor embedded in a tar-like substance, which may or may not contain PCBs. After 1979, ballasts were labeled "NO PCBs." Ballasts that are not labeled shall be reported to the DR for consultation prior to removal and disposal.

D. PCB-containing Caulk

Departments that manage and/or occupy masonry buildings that were constructed prior to 1979 are encouraged to consider the EPA guidance to building owners and contractors including material testing and best management practices to minimize the potential exposure to PCBs that may be present in caulk. A summary of those recommended practices is available from OEP.

The city will conduct a limited pilot study to assess the presence of PCBs in caulk in city buildings built prior to 1979 that are being renovated or demolished. Testing will be coordinated between OEP, PWES, and the department that owns the structure. Results of this pilot study will be used to evaluate whether caulk should continue to be a focus of this policy, and used in developing comments to the EPA regarding future regulatory proposals concerning PCB-containing caulk.

VI. Procedures for Management of PCBs

A. Electrical Equipment

Employees shall not work with electrical equipment unless they are confident, based on labeling or the age of manufacture, that the product is not PCB-contaminated. If there is uncertainty, contact the equipment manufacturer or Safety prior to beginning the task.

VII. Requirements for PCB Disposal

- A. Electrical Equipment. In the unexpected event that a city employee encounters PCB-containing electrical equipment, they will immediately contact their supervisor who will contact Safety for guidance concerning removal and disposal.
- B. Departments shall coordinate with OEP or PWES for assistance in arranging for the testing and disposal of any PCB-containing material. OEP and the Law Department shall be consulted before selecting methods for analysis and disposal or preparing written notices and plans to the US EPA.

For disposal purposes, TSCA classifies materials that were manufactured to contain PCBs and at the time of removal contain PCB concentrations equal to or greater than 50 ppm as PCB bulk product waste. Materials that contain PCBs as a result of chemical transfer from other PCB-containing materials, such as concrete in contact with PCB-containing caulk, and which at the time of removal contain PCBs in excess of 1 ppm, are classified as PCB remediation wastes. The reporting and disposal

requirements are different for each class of material. All known or suspected bulk product wastes and remediation wastes shall be placed in secure, appropriately labeled containers. Copies of waste manifests and other disposal documentation shall be retained by the department.

Reference Materials

- ✓ Toxic Substances Control Act of 1976
- ✓ PCB Regulations 40 CFR Part 761
- ✓ Polychlorinated Biphenyl (PCB) Site Revitalization Guidance Under the Toxic Substances Control Act. November 2005 OPPT-2004-0123
- ✓ EPA Guidance: Current Best Practices for PCBs in Caulk Fact Sheets
 - Testing in Buildings (September 2009)
 - Contractors: Handling PCBs in Caulk During Renovation (September 2009)
 - Disposal Options for PCBs in Caulk and PCB-Contaminated Soil and Building Materials (September 2009)
 - Interim Measures for Assessing Risk and Taking Action to Reduce Exposures (October 2009)
 - Facts About PCBs in Caulk (April 2010)
 - Steps to Safe Renovation and Abatement of Buildings That Have PCB-Containing Caulk (April 2010)